

INDUSTRIAL PROPERTY // FOR LEASE

1,200 SF VERSATILE BUILDING WITH LARGE FENCED LOT & ELECTRIC GATE

25530 SCHOENHERR RD
WARREN, MI 48089



- 1,000 SF warehouse space & recently renovated 200 SF office
- 0.31-acre lot that is fully fenced with an electric gate
- C1 Local Business Zoning - Many uses possible
- 10' x 12' electric overhead door and 13' clear height
- Shop mezzanine & exterior shed for additional storage
- 220 volt, 3-phase power and AC in the office
- Operating security cameras and air compressor
- On-site parking for 25-30 vehicles
- Great exposure on main road with 17,700 VPD & quick access to I-696



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EXECUTIVE SUMMARY



Lease Rate	\$2,250.00 PER MONTH (NNN)
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OFFERING SUMMARY

Building Size:	1,200 SF
Available SF:	1,200 SF
Lot Size:	0.31 Acres
Number of Units:	1
Year Built:	1949
Zoning:	C1 - Local Business
Market:	Detroit
Submarket:	Groesbeck South
Traffic Count:	17,719

PROPERTY OVERVIEW

This versatile property offers 1,000 SF warehouse space with a recently renovated 200 SF office area. Situated on a spacious 0.31-acre lot, the property is fully fenced with an electric gate, providing security and peace of mind and has electrical outlets throughout the lot. The warehouse features a 12' x 12' electric overhead door, a 13' clear height, restrooms in the shop, operating security cameras, an air compressor, a shop mezzanine, and an exterior shed for additional storage. With 220-volt, 3-phase power and AC in the office, this space is well-equipped for various businesses. Ample on-site parking for 25-30 vehicles ensures convenience for both staff and visitors. Boasting great exposure on a main road with 17,700 vehicles passing by daily, and quick access to I-696, this property is an ideal location for your business. C1 Local Business zoning is ideal for retail/office use for almost any type of company. Approved for minor auto repair, such as oil changes, brakes, tires, mufflers, windshields, alarms, and stereos.

LOCATION OVERVIEW

Convenient location on Schoenherr, between 10 Mile Rd and Frazho; not far from I-696. Close to Groesbeck Highway. Near Restaurants, retail and industrial hub.



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INDUSTRIAL DETAILS

Property Type:	Industrial / Flex
Building Size:	1,200 SF
Space Available:	1,200 SF
Shop SF:	1,000 SF
Office SF:	200 SF
Mezzanine SF:	200 SF
Occupancy:	Available March 1, 2026
Zoning:	C1 - Local Business
Lot Size:	0.31 Acres
Parking Spaces:	25-30
Fenced Yard:	Yes
Trailer Parking:	Yes
Year Built / Renovated:	1949
Construction Type:	Block
Clear Height:	13'
Overhead Doors:	One 10' x 12'
Truckwells/Docks:	None
Cranes:	None
Column Spacing:	N/A
Power:	220 Volt 3-Phase
Airlines:	Yes
Air Conditioning:	Office Only
Heat Type:	Radiant
Lighting:	Fluorescent
Sprinklers:	No
Security Cameras	Yes
Taxes:	\$3,946



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ADDITIONAL PHOTOS



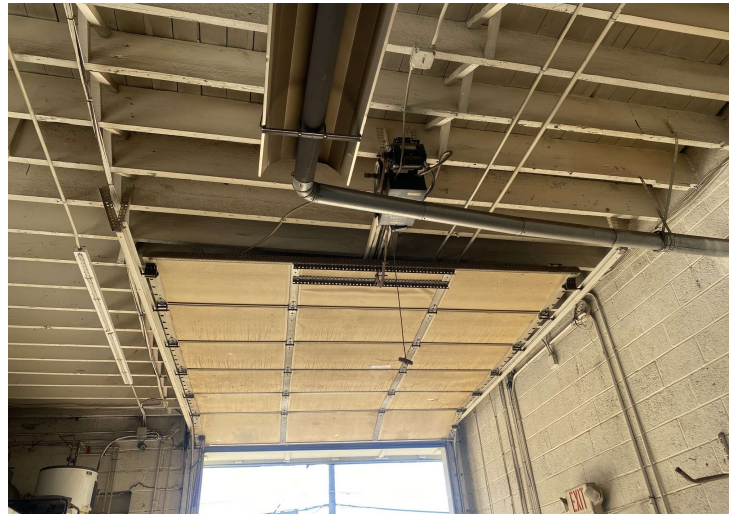
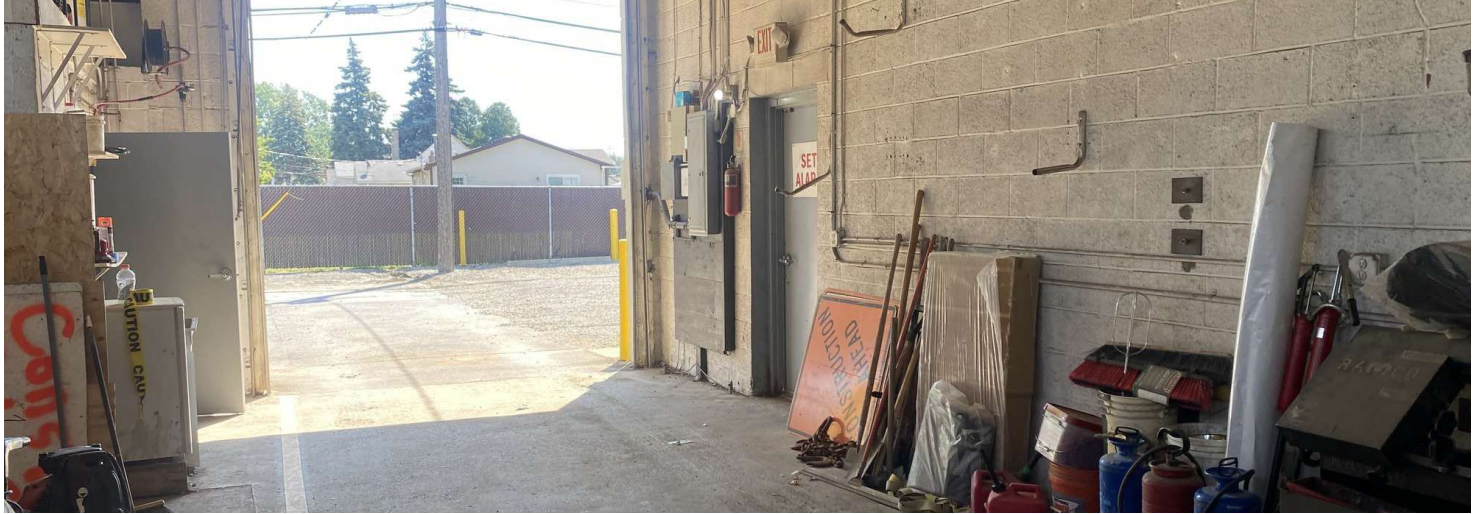
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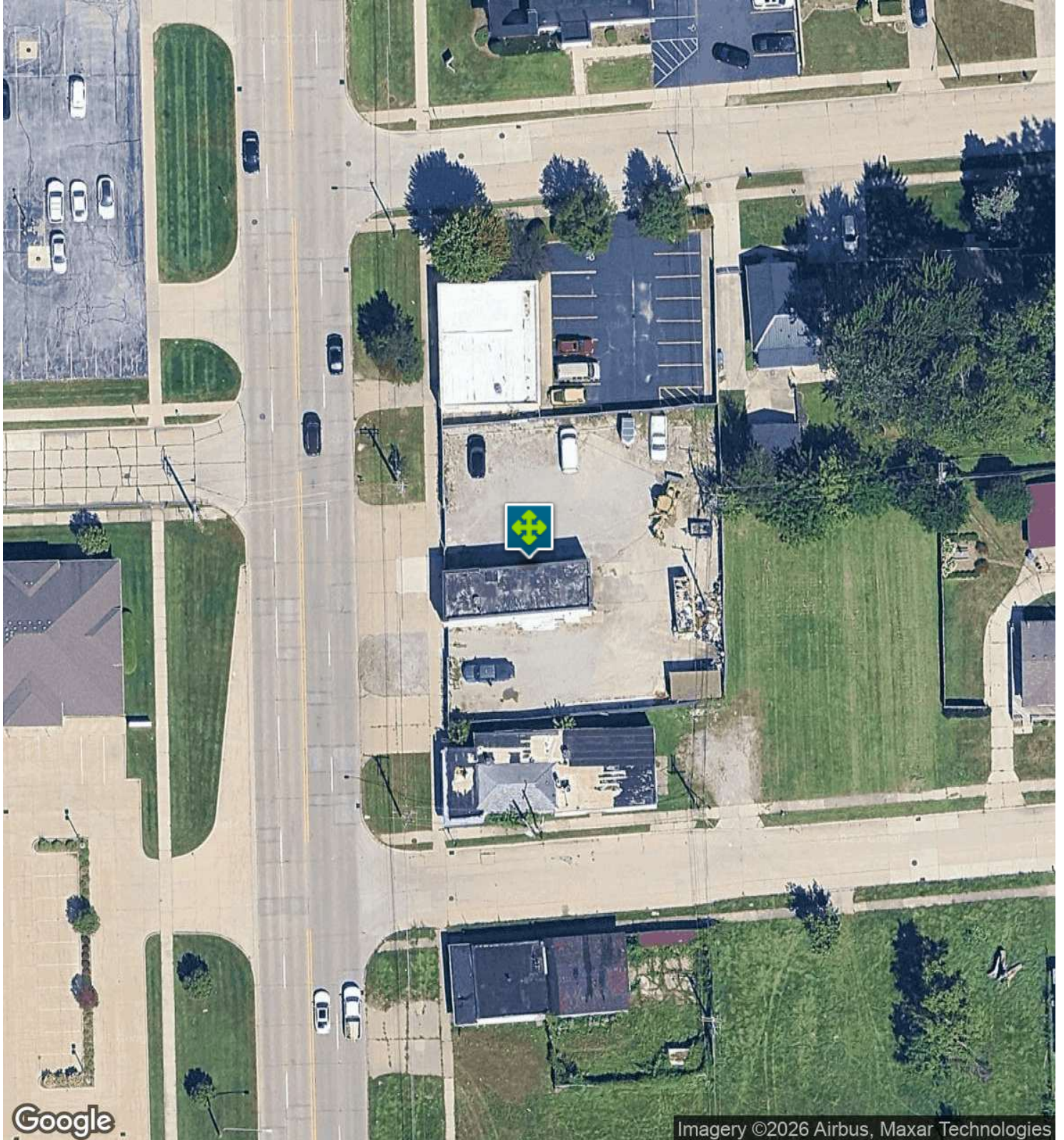
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AERIAL MAP



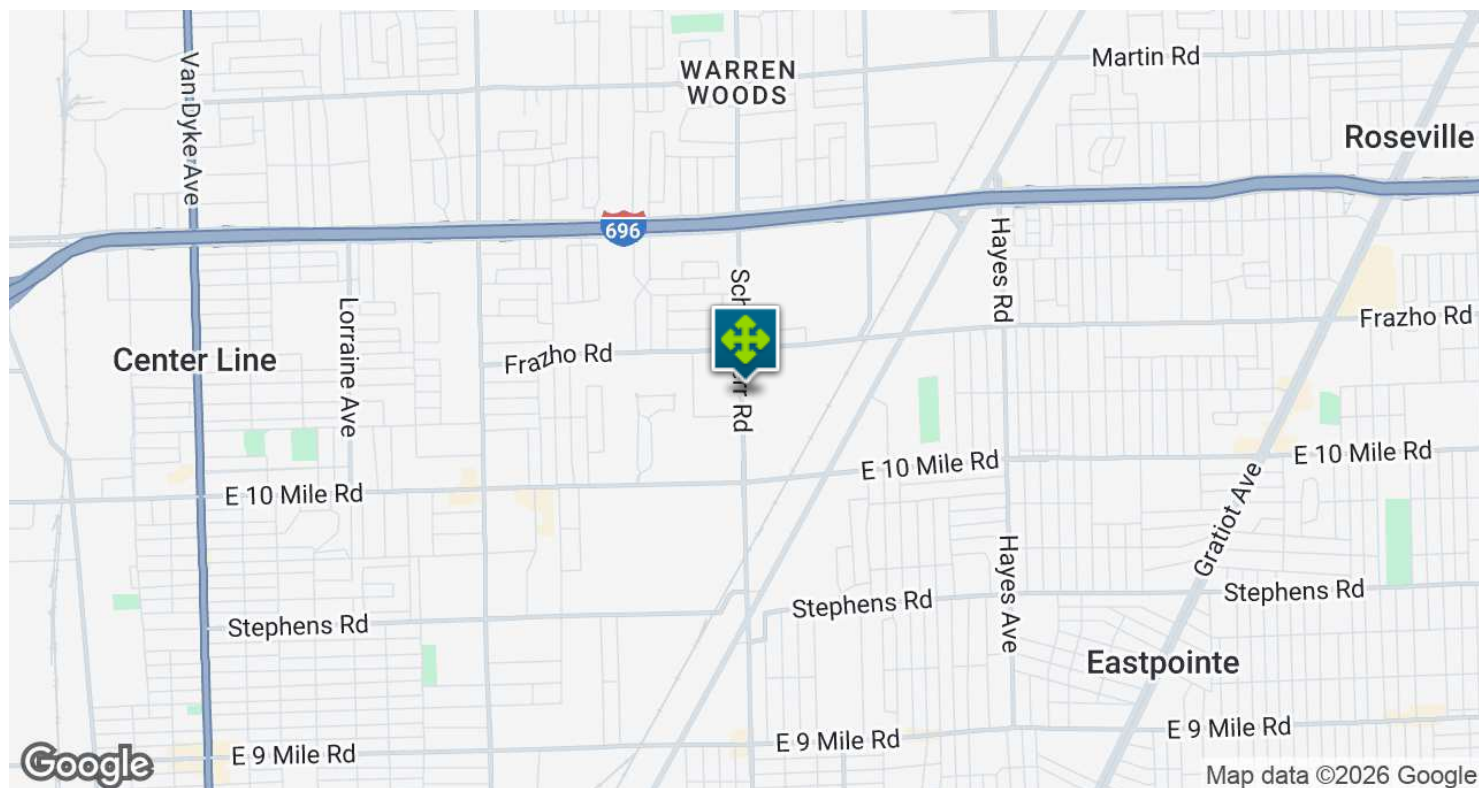
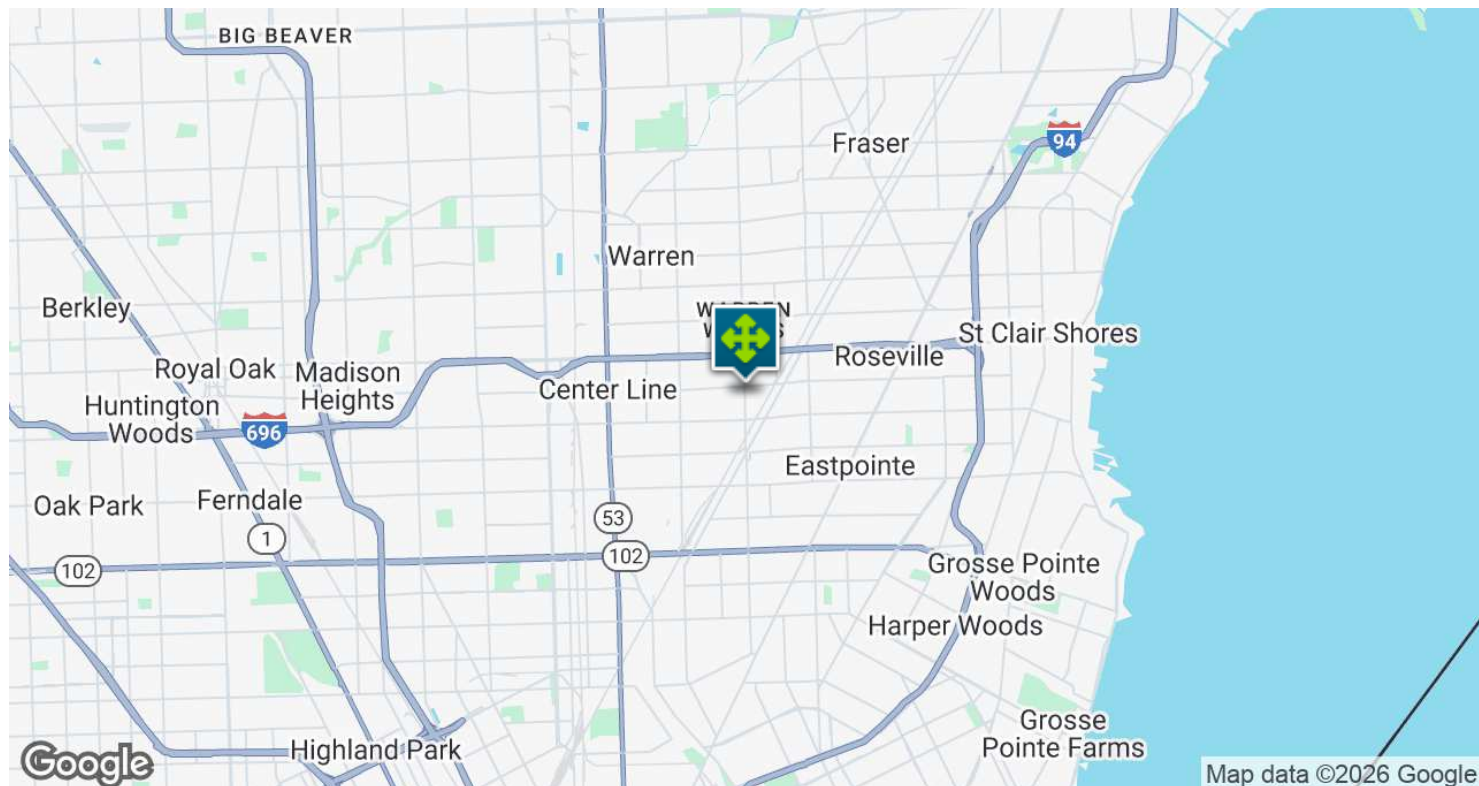
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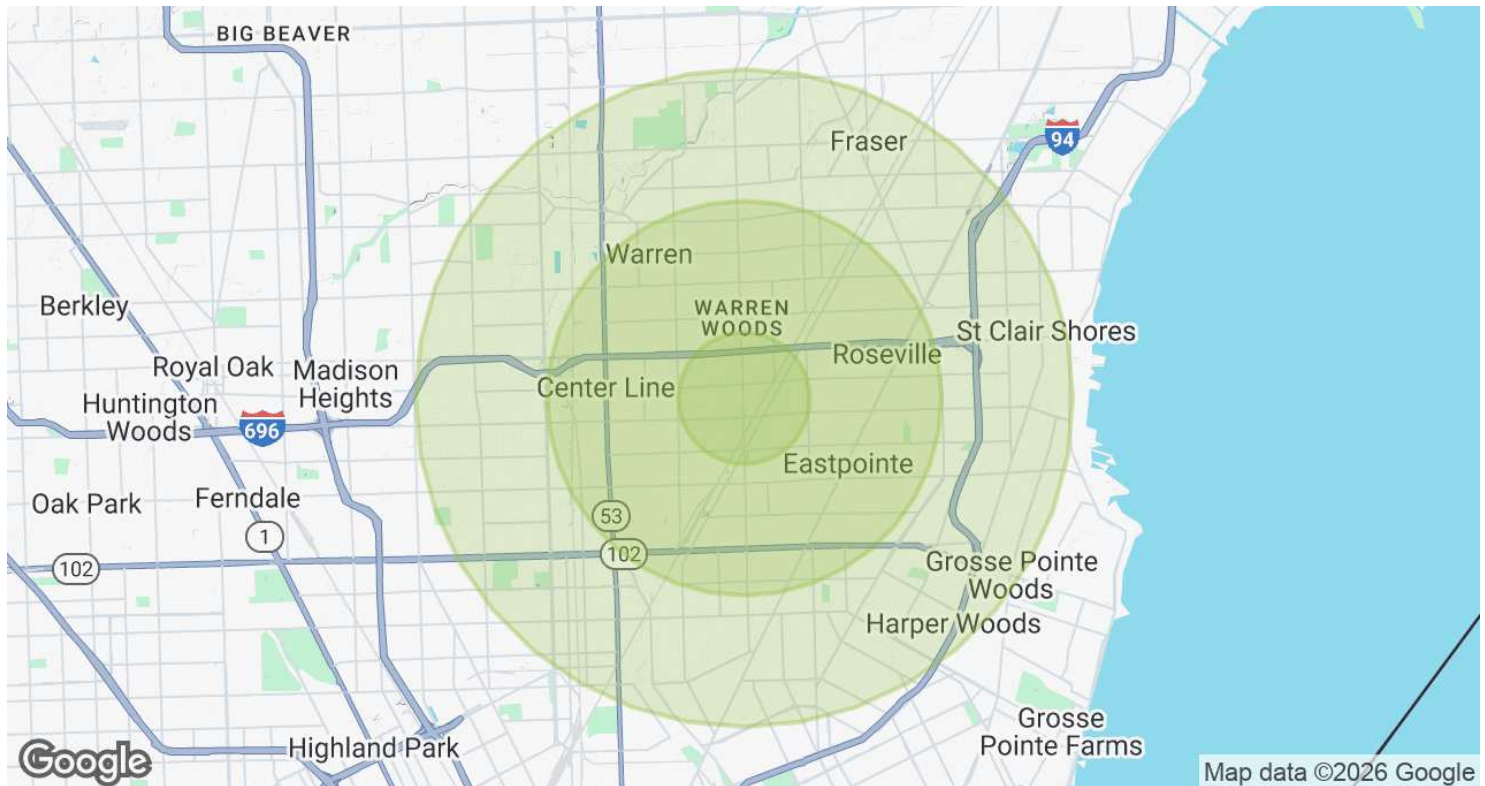
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LOCATION MAP



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DEMOGRAPHICS MAP & REPORT



POPULATION	1 MILE	3 MILES	5 MILES
Total Population	9,982	136,679	344,903
Average Age	40	40	40
Average Age (Male)	39	38	39
Average Age (Female)	40	41	41

HOUSEHOLDS & INCOME	1 MILE	3 MILES	5 MILES
Total Households	3,961	54,254	138,075
# of Persons per HH	2.5	2.5	2.5
Average HH Income	\$81,182	\$70,483	\$71,320
Average House Value	\$157,409	\$141,159	\$152,252

Demographics data derived from AlphaMap

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CONTACT US



FOR MORE INFORMATION, PLEASE CONTACT:



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