

**DESIGN TEAM**

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**CODE REVIEW:**

PROJECT NUMBER: 2022.0028  
 PROJECT ARCHITECT: BLAKE BURAL, AIA  
 STATE OF OREGON 2019 STRUCTURAL SPECIALTY CODE - AMENDMENTS BASED ON 2018 IBC  
 PROJECT DESCRIPTION: EXISTING BUILDING TO BE RENOVATED INTO 12 RESIDENTIAL UNITS AND ADDITION OF AN EXTERIOR EGRESS STAIRWAY

**USE AND OCCUPANCY CLASSIFICATION (CHAPTER 3)**

RESIDENTIAL GROUP R-2

**SPECIAL DETAILED REQUIREMENTS (CHAPTER 4)**

SEPARATION WALLS - UNITS FIRE PARTITIONS - SECT 708 - 30 MIN. PER 708.3  
 HORIZONTAL SEPARATION - UNITS HORIZONTAL ASSEMBLIES - SECT 711 - 30 MIN PER 711.2.4.3  
 AUTOMATIC SPRINKLER REQUIRED  
 FIRE ALARM AND SMOKE ALARM REQUIRED

**GENERAL BUILDING HEIGHTS AND AREAS (CHAPTER 5)**

CONSTRUCTION TYPE IIIB, SPRINKLED 13R SYSTEM  
 ALLOWABLE AREA / STORIES: 16,000 SF / 5 STORIES / 40 FT  
 EXISTING BUILDING AREA FIRST = 5,090 SF  
 SECOND = 5,170 SF  
 FRONTAGE INCREASE: NONE REQUIRED

**TYPES OF CONSTRUCTION (CHAPTER 6)**

CONSTRUCTION TYPE IIIB, SPRINKLED  
 BUILDING ELEMENTS:  
 STRUCTURAL FRAME: NON-RATED  
 EXTERIOR BEARING WALL: 2-HR  
 INTERIOR BEARING WALL: NON-RATED  
 EXTERIOR NON-BEARING WALL:  
 X < 5'-0" 1-HR  
 5'-0" < X < 10'-0" 1-HR  
 10'-0" < X < 30'-0" NON-RATED  
 X > 30'-0" NON-RATED  
 INTERIOR NON-BEARING WALL: NON-RATED  
 FLOOR: NON-RATED  
 ROOF, INCLUDING BEAMS: NON-RATED

**FIRE PROTECTION (CHAPTER 9)**

PORTABLE FIRE EXTINGUISHERS: REQUIRED, PER FIRE CODE  
 FIRE SPRINKLER SYSTEM: REQUIRED, NFPA 13R

**MEANS OF EGRESS (CHAPTER 10)**

CORRIDOR: 30 MINUTE RATING REQUIRED  
 44 INCHES MINIMUM IN WIDTH  
 STORIES WITH ONE EXIT: FIRST FLOOR, ONE EXIT COMPLIANT WITH TABLE 1006.3.3 (1)  
 SECOND FLOOR, ONE EXIT COMPLIANT WITH TABLE 1006.3.3 (1)  
 EMERGENCY ESCAPE AND RESCUED OPENINGS NOT REQUIRED ON SECOND FLOOR PER 1030.1 EX 4.2

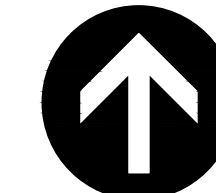
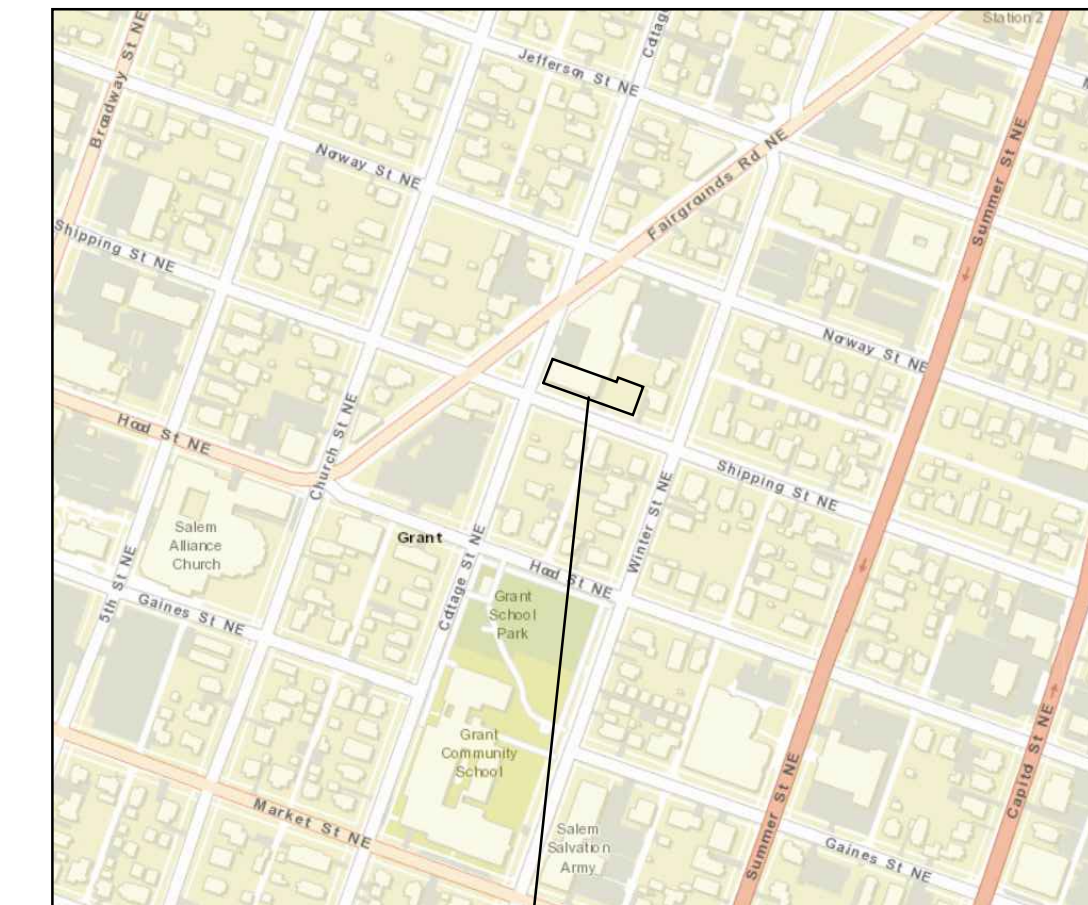
**ACCESSIBILITY (CHAPTER 11)**

MULTISTORY BUILDING ACCESSIBILITY: NOT APPLICABLE, RESIDENTIAL STRUCTURE  
 ELEVATOR: NOT REQUIRED PER 1104.5, EX 2  
 UNIT ACCESSIBILITY: OSSC TYPE B UNITS - ACCESSIBLE OR TYPE A PER ANSI A117.1  
 TYPE B UNITS REQUIRED  
 LESS THEN 20 UNITS - TYPE A NOT APPLICABLE  
 GREATER THAN 4 UNITS - UNITS TO BE TYPE B  
 ZONING CODE: ONLY UNITS ON GROUND FLOOR TO BE TYPE B DUE TO NO ELEVATOR SERVICE PER 1107.7.1  
 THIS PROJECT IS BEING SUBMITTED TO BE REVIEWED UNDER DESIGNATION OF MU II AS IS PROJECTED CASE UNDER OUR SALEM.  
 MULTIPLE FAMILY IS PERMITTED USE.  
 SITE SIZE = 0.24 AC = 10,454 SF  
 SETBACKS:  
 BUILDING = 0 FT  
 PARKING = 5 FT TO THE NORTH AND EAST  
 = 6 OR 10 FEET TO STREET? CONFIRM WITH CITY  
 FRONTAGE:  
 50% REQUIRED SHIPPING STREET SIDE - 190.5 FT FOR THE PROPERTY  
 BUILDING LENGTH = 108'-10", COMPLIES  
 PEDESTRIAN ORIENTED DESIGN STANDARDS  
 GROUND FLOOR HEIGHT, 10 FT MINIMUM. APPEARS WE COMPLY  
 HORIZONTAL SEPARATION - 5 FT REQUIRED PROVIDED = 0, POSSIBLE ADJUSTMENT  
 BUILDING FACADE ARTICULATION - BASE, MIDDLE, TOP REQUIRED.  
 BASE TO BE DIFFERENT COLOR  
 MIDDLE - VERT WINDOWS OR PILASTER  
 TOP - NEED AN APPLIED CORNICE  
 GROUND FLOOR WINDOWS - 30% REQUIRED  
 SHIPPING STREET WINDOW % = 30%  
 COTTAGE STREET WINDOW % = 24.5%  
 BUILDING ENTRANCE - COTTAGE HAS ENTRANCE - NEEDS WEATHER PROTECTION  
 SHIPPING NEEDS ENTRANCE  
 WEATHER PROTECTION - REQUIRED 50% STREET FACING FACADES  
 NO DESIGN REVIEW AND MULTIFAMILY DESIGN REVIEW REQUIRED

# GLAZE - SHIPPING APARTMENTS

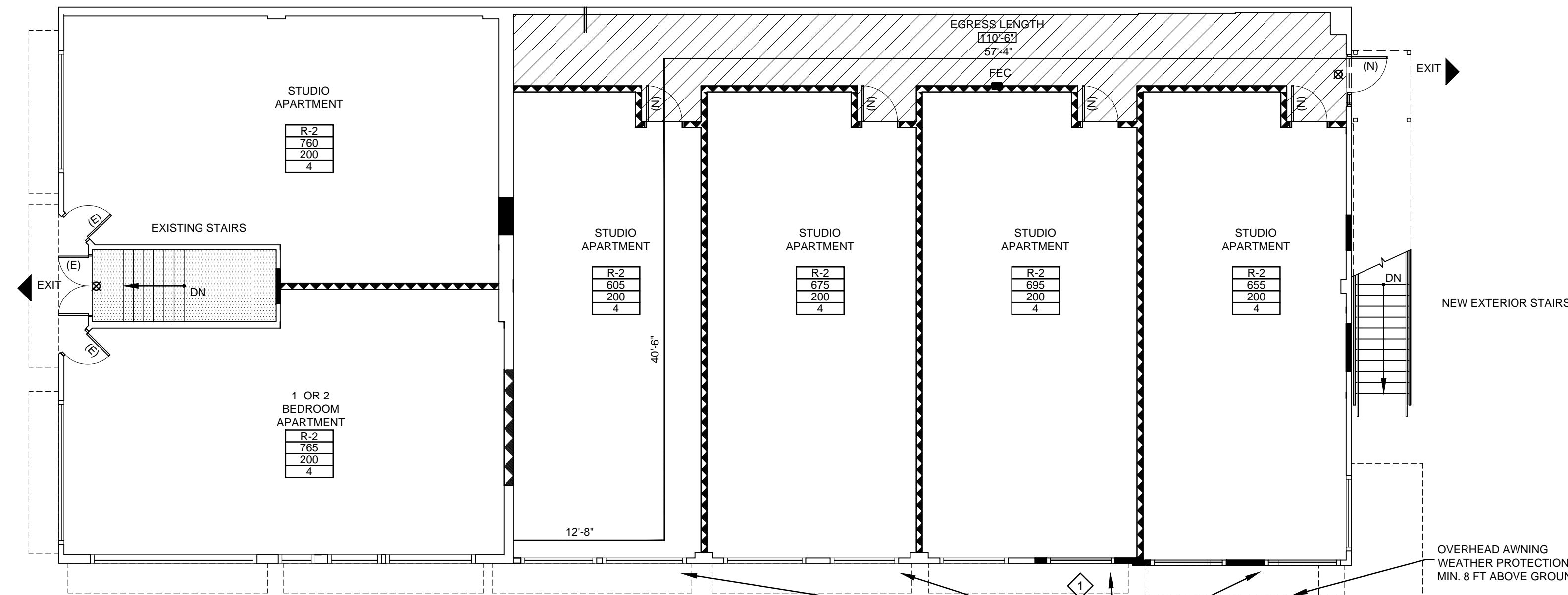
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**VICINITY MAP**



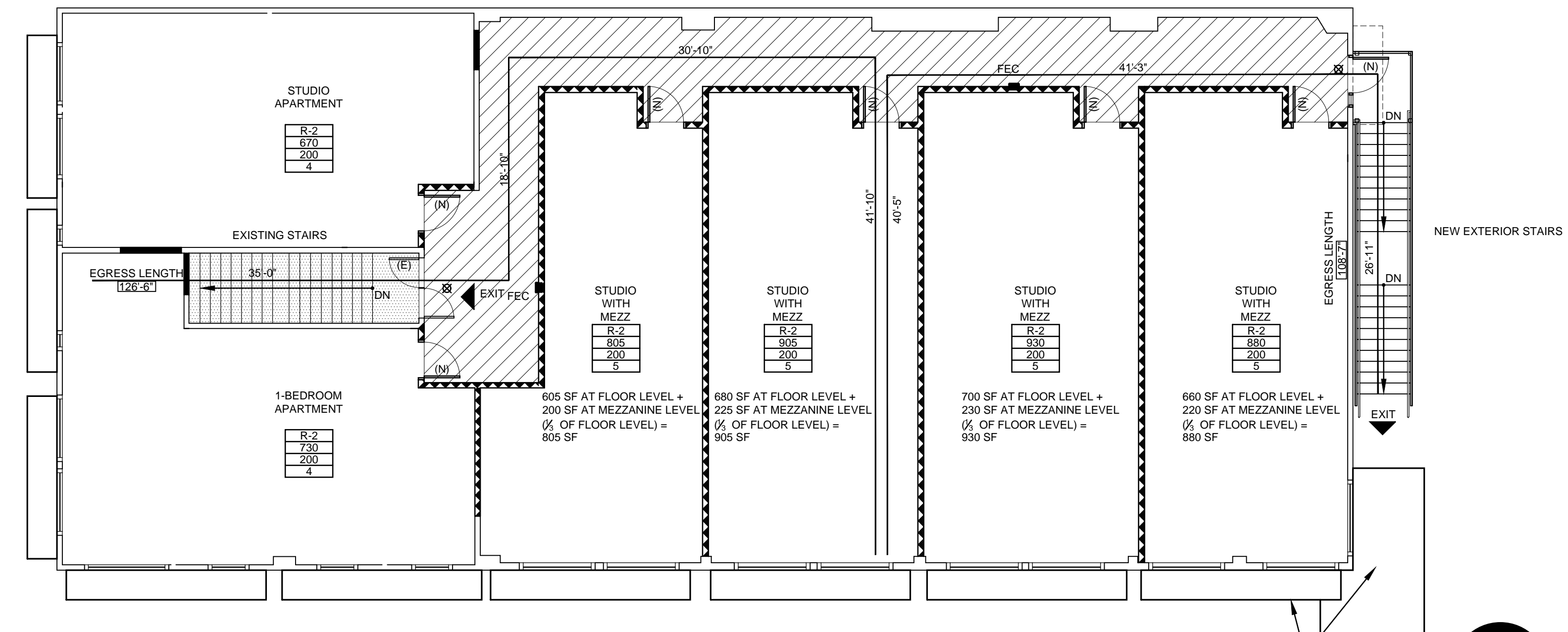
**SHEET INDEX**

ARCHITECTURAL A0.1 CODE REVIEW, LIFE SAFETY PLAN  
 A1.0 SITE PLAN & DETAILS  
 A3.0 ELEVATION - EXISTING/DEMO  
 A3.1 ELEVATIONS - NEW WORK  
 CIVIL C 100 UTILITY PLAN



**1 FIRST FLOOR PLAN**

SCALE: 1/8"=1'-0"



**2 SECOND FLOOR PLAN**

SCALE: 1/8"=1'-0"

**SYMBOL LEGEND: (CODE)**

- OCCUPANCY CLASSIFICATION
- OCCUPANT LOAD FACTOR
- SQUARE FOOTAGE OF AREA
- OCCUPANTS
- EXIT SIGN WITH EMERGENCY LIGHTS AND BATTERY BACK UP
- EXIT

**LEGEND:**

- EXISTING WALL TO REMAIN
- INFILL AT EXISTING WALL
- NEW DEMISING WALL
- EXISTING DOOR AND FRAME TO REMAIN
- NEW DOOR AND FRAME
- NEW WINDOW SYSTEM
- NEW FIRE EXTINGUISHER CABINET
- WALL AND/OR CEILING MOUNTED EXIT LIGHT, BATTERY BACK UP, REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS
- 30 MINUTE RATED CORRIDOR
- 1 HR RATED STAIR SHAFT

SCHEMATIC DESIGN  
 NOT FOR CONSTRUCTION

In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

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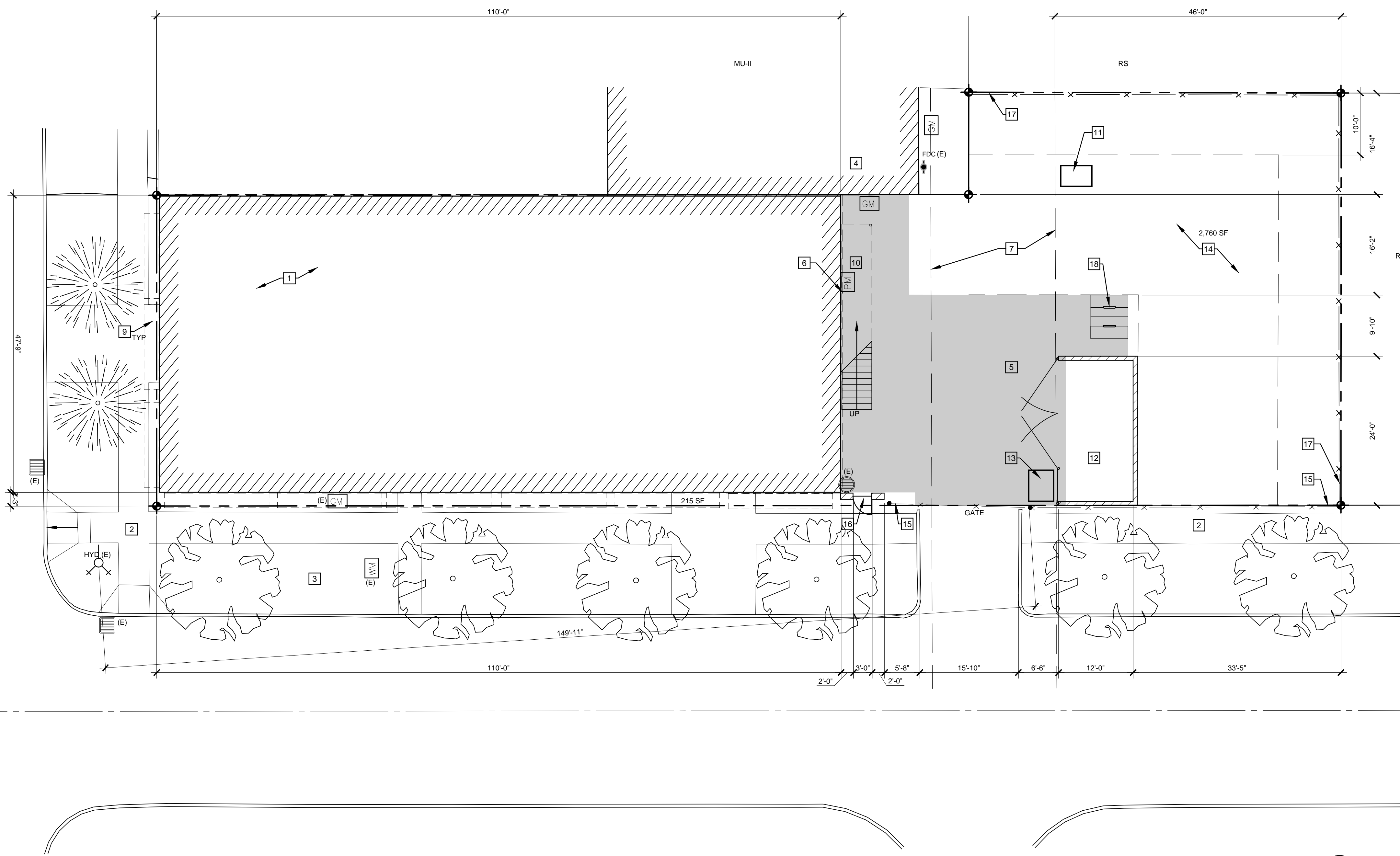


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A0.1



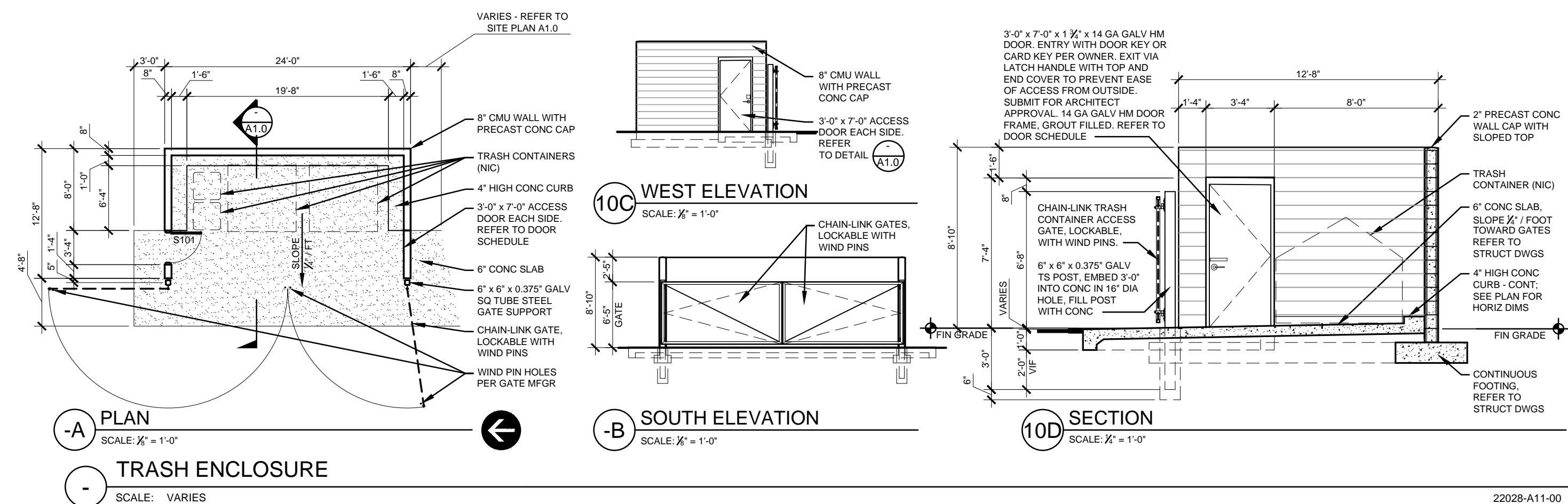


- GENERAL NOTES:**
- GENERAL NOTES APPLY TO ALL DRAWINGS.
  - DIMENSIONS ARE TO EXISTING FACE OF STUDS, FACE OF MASONRY AND FACE OF CONCRETE, UNLESS OTHERWISE NOTED. ("CLEAR" DIMENSION IS TO FACE OF FINISHED SURFACE).
  - DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS FOR CLARIFICATION PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.
  - IN CASE OF ANY CONFLICTS IN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR IS REQUIRED TO INCLUDE THE BETTER QUALITY AND LARGER QUANTITY OF THE WORK.
  - CONTRACTOR AND BIDDERS SHALL USE COMPLETE SETS OF CONTRACT DOCUMENTS; NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF CONTRACT DOCUMENTS.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
  - THIS SURVEY HAS BEEN PROVIDED BY THE OWNER. INFORMATION SHOWN HEREIN IS INCLUDED FOR CONTRACTOR'S REFERENCE ONLY. AC+CO ARCHITECTURE DOES NOT WARRANT INFORMATION SHOWN HEREON AS NECESSARILY COMPLETE OR ACCURATE.

- SYMBOL LEGEND:**
- NEW CONCRETE, REFER TO CIVIL DRAWINGS
  - NEW ASPHALT OVER AGGREGATE BASE, REFER TO CIVIL DRAWINGS
  - NEW LANDSCAPING TO MATCH EXISTING
  - PROPERTY LINE
  - PROPERTY SETBACK LINE
  - EASEMENT LINE, REFER TO SURVEY
  - EXISTING CONCRETE CURB TO REMAIN
  - NEW 6" CONCRETE CURB, REFER TO
  - EXISTING TREE TO REMAIN, (N) DESIGNATES NEW, REFER TO LANDSCAPE DRAWINGS
  - EXISTING COLUMN TO REMAIN, (N) DESIGNATES NEW, REFER TO STRUCTURAL DRAWINGS
  - EXISTING DOWNSPOUT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
  - NEW SIGN, (E) DESIGNATES EXISTING TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, (RR) DESIGNATES EXISTING TO BE REMOVED AND REINSTALLED, REFER TO CIVIL DRAWINGS
  - EXISTING FIRE HYDRANT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
  - EXISTING WATER METER/VAULT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
  - EXISTING SIGN TO REMAIN, (D) DESIGNATES TO BE REMOVED, (RR) DESIGNATES REMOVE AND REINSTALL
  - EXISTING FIRE HYDRANT TO REMAIN, REFER TO CIVIL DRAWINGS
  - EXISTING POLE LIGHT TO REMAIN, REFER TO SITE DRAWINGS
  - EXISTING CATCH BASIN TO REMAIN
  - EXISTING STORM DRAIN MANHOLE TO REMAIN

**1 SITE PLAN**  
SCALE: 1" = 10'-0"

SITE SUMMARY:		NOTES:
ZONING DESIGNATION	= MIXED USE-II	
BUILDING USE	= RES. MULTI-FAMILY	
TOTAL SITE AREA	= 0.24 AC 10,454	
GROSS FLOOR AREA	= 10,952 SF	
GROSS PARKING AREA	= 0	
TOTAL LANDSCAPE AREA	= 2,808 SF	
PERCENTAGE	= 25%	
PARKING LANDSCAPE	= N/A	
PERCENTAGE	=	
TOTAL LOT COVERAGE	=	
PERCENTAGE	=	
BUILDING HEIGHT	= 30' - 9"	
AERIAL FIRE ACCESS	=	
PARKING	NO OFF STREET PARKING PER 806.005(d)	
FULL	=	
COMPACT	=	
HANDICAP	=	
TOTAL	=	
MAX ALLOWABLE	=	
LOADING ZONE	=	
BIKE PARKING	= 4	
FLOOR AREA RATIO (FAR)	=	



- REFERENCE NOTES:**
- EXISTING BUILDING TO REMAIN
  - EXISTING CONCRETE SIDEWALK TO REMAIN, PROTECT AT ALL TIMES, REFER TO CIVIL DRAWINGS
  - EXISTING LANDSCAPED AREA TO REMAIN, PROTECT AT ALL TIMES, REFER TO CIVIL DRAWINGS
  - EXISTING ADJACENT BUILDING, NO WORK
  - NEW ASPHALT AREA, REFER TO CIVIL
  - DEMO SERVICE AND RELOCATE UNDERGROUND TO TRANSFORMER SHOWN
  - EASEMENT 10' EACH SIDE OF SANITARY SEWER
  - NEW 4" PAINTED STRIPE
  - CANOPY
  - NEW EGRESS STAIR
  - NEW PAD MOUNTED TRANSFORMER
  - NEW TRASH ENCLOSURE
  - PROPOSED FIRE VAULT LOCATION (WILL NEED EXCEPTION FROM FIRE DEPT. EXCEEDS 100 FT TO HYDRANT).
  - NEW GARDEN AREA
  - EXISTING CHAINLINK FENCE AND GATE
  - NEW PEDESTRIAN GATE
  - NEW WOOD FENCE, 6'-0" HIGH
  - NEW BIKE RACK

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SITE PLAN

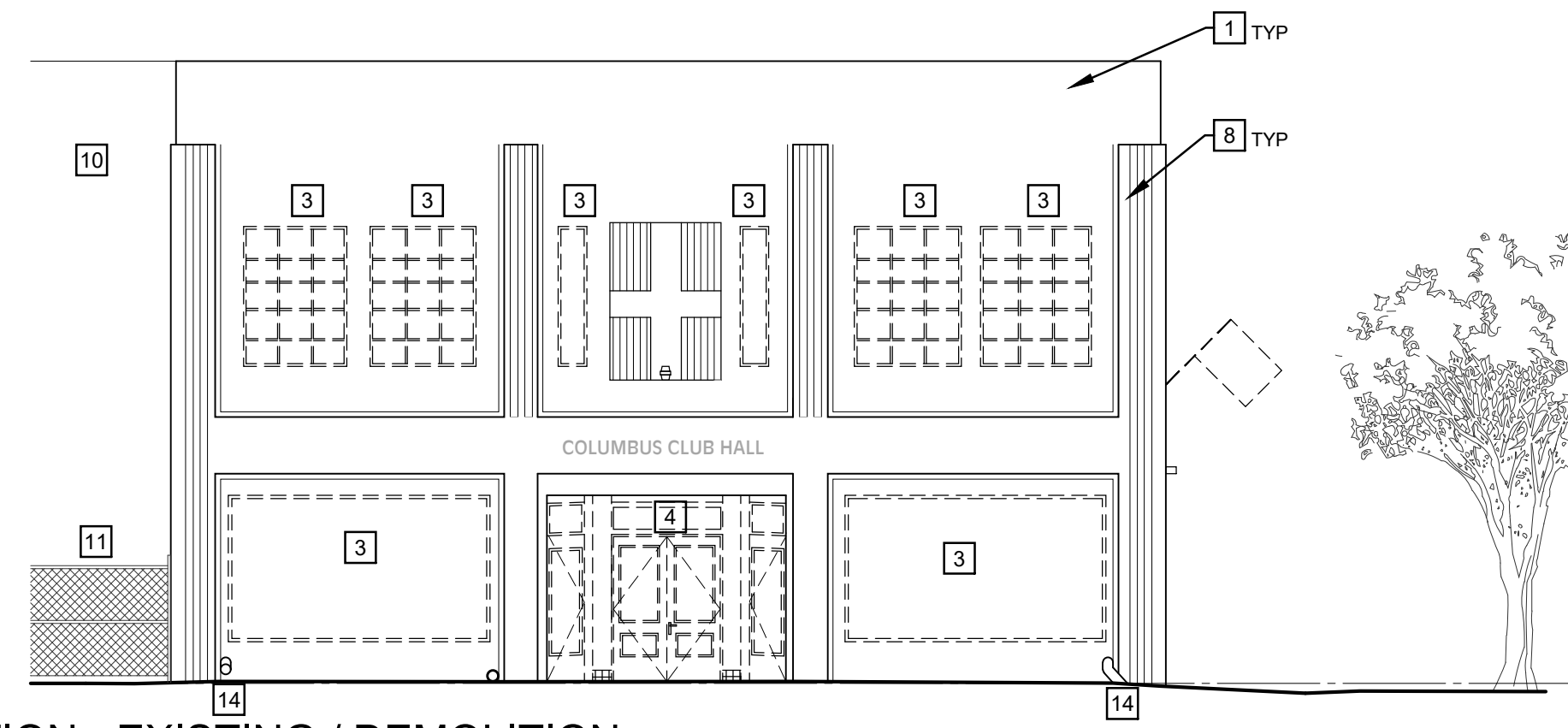
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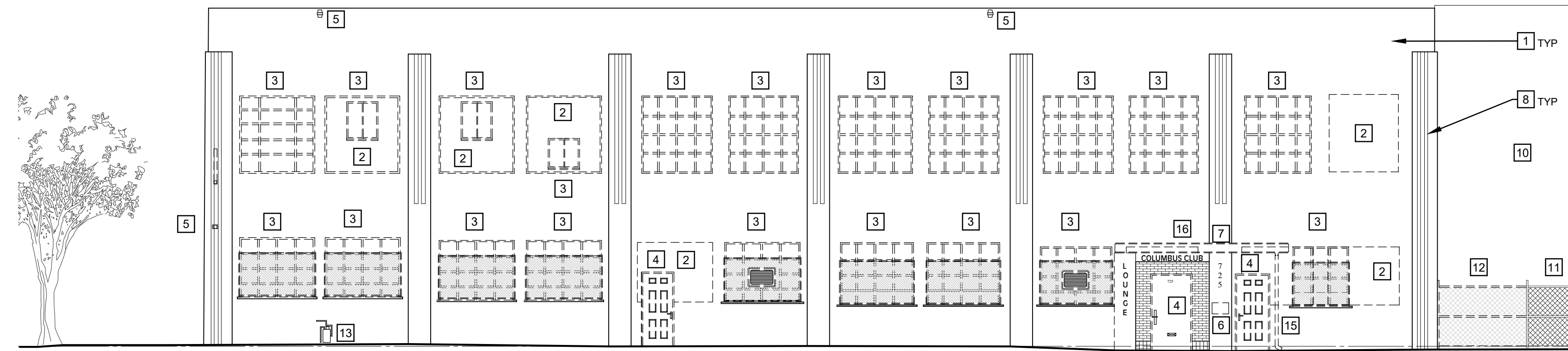
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REFERENCE NOTES - DEMOLITION

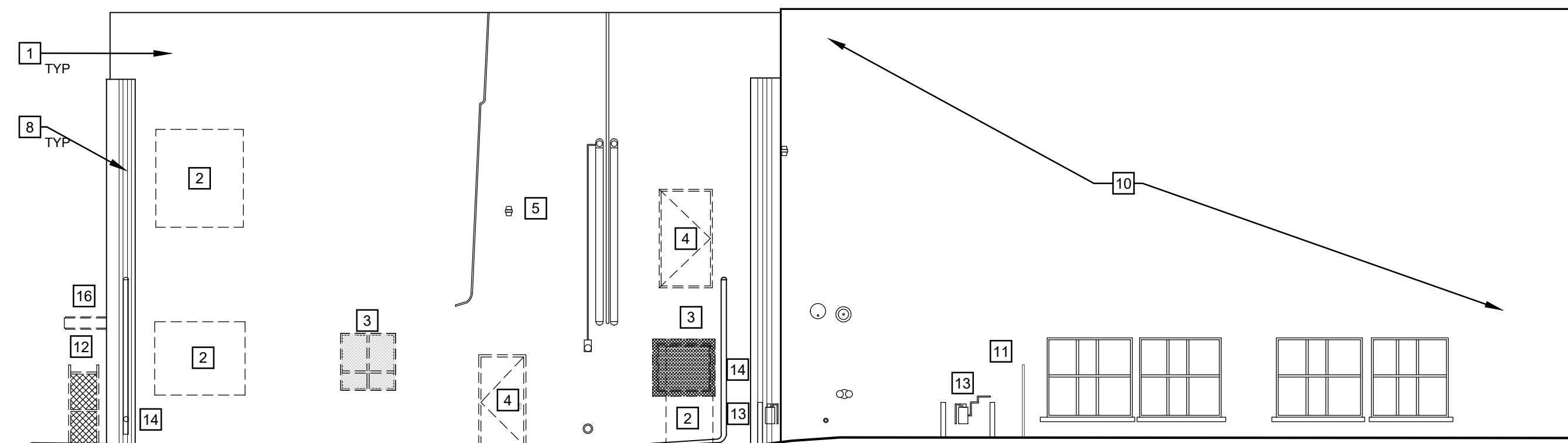
- 1 EXISTING CONCRETE WALL TO REMAIN, PREP FOR NEW FINISH
- 2 AREA OF SELECTIVE WALL REMOVAL
- 3 EXISTING WINDOW TO BE REMOVED, INCLUSIVE OF WIRE PROTECTION SCREEN AS OCCURS
- 4 EXISTING DOOR SYSTEM TO BE REMOVED
- 5 EXISTING LIGHT FIXTURE TO BE REMOVED
- 6 EXISTING BUILDING PLACARD TO BE REMOVED AND RELOCATED
- 7 EXISTING APPLIED STREET NUMBERS TO BE REMOVED
- 8 EXISTING PILASTERS TO REMAIN, PREP FOR NEW FINISH
- 9 EXISTING FULL HEIGHT MURAL FACING ADJACENT PROPERTY TO REMAIN, PROJECT AT ALL TIMES, NO NEW FINISH THIS WALL U.O.M.
- 10 EXISTING ADJACENT BUILDING, NO WORK
- 11 EXISTING FENCE TO REMAIN
- 12 EXISTING FENCE TO BE REMOVED
- 13 EXISTING GAS METER TO REMAIN
- 14 EXISTING DOWN SPOUT TO REMAIN
- 15 EXISTING DOWN SPOUT TO BE REMOVED
- 16 EXISTING AWNING TO BE REMOVED



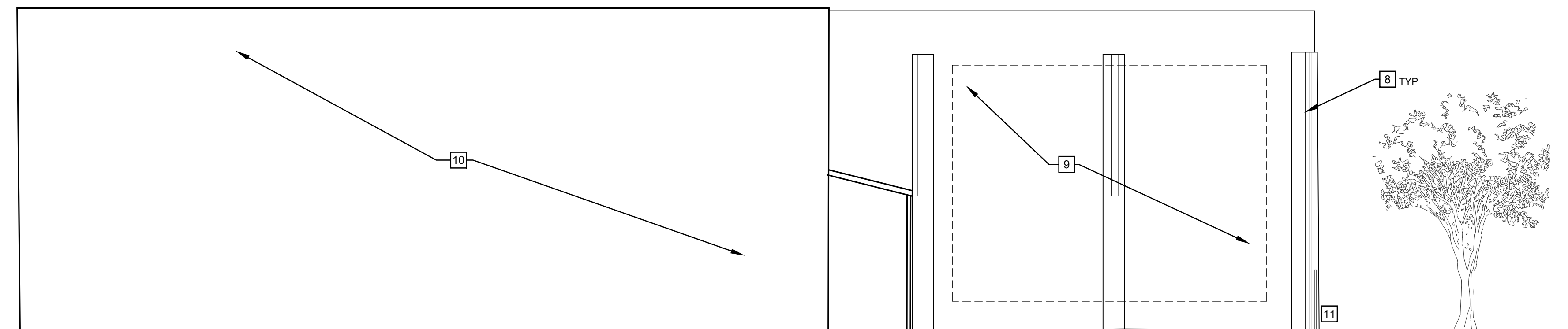
1 WEST ELEVATION - EXISTING / DEMOLITION  
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - EXISTING / DEMOLITION  
SCALE: 1/8"=1'-0"



3 EAST ELEVATION - EXISTING / DEMOLITION  
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION - EXISTING / DEMOLITION  
SCALE: 1/8"=1'-0"

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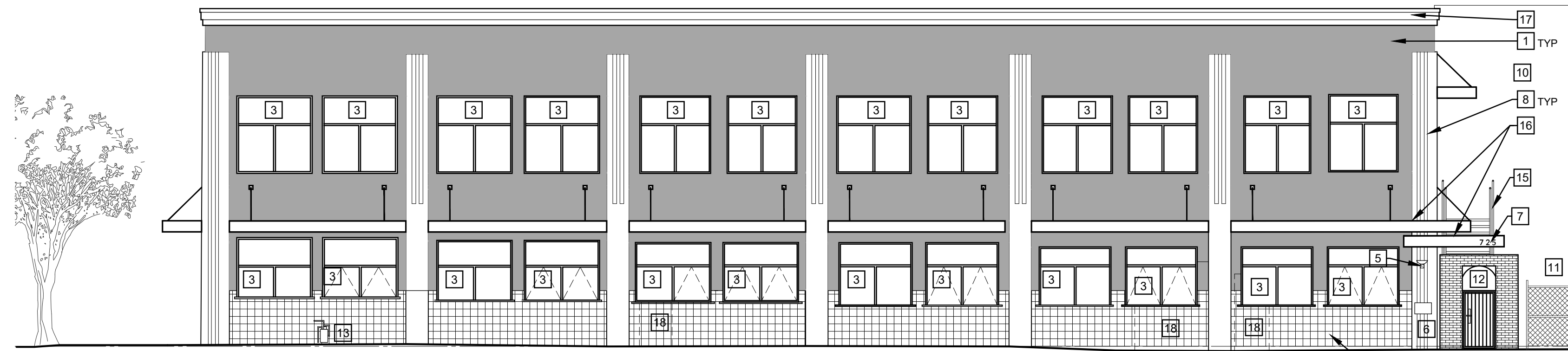
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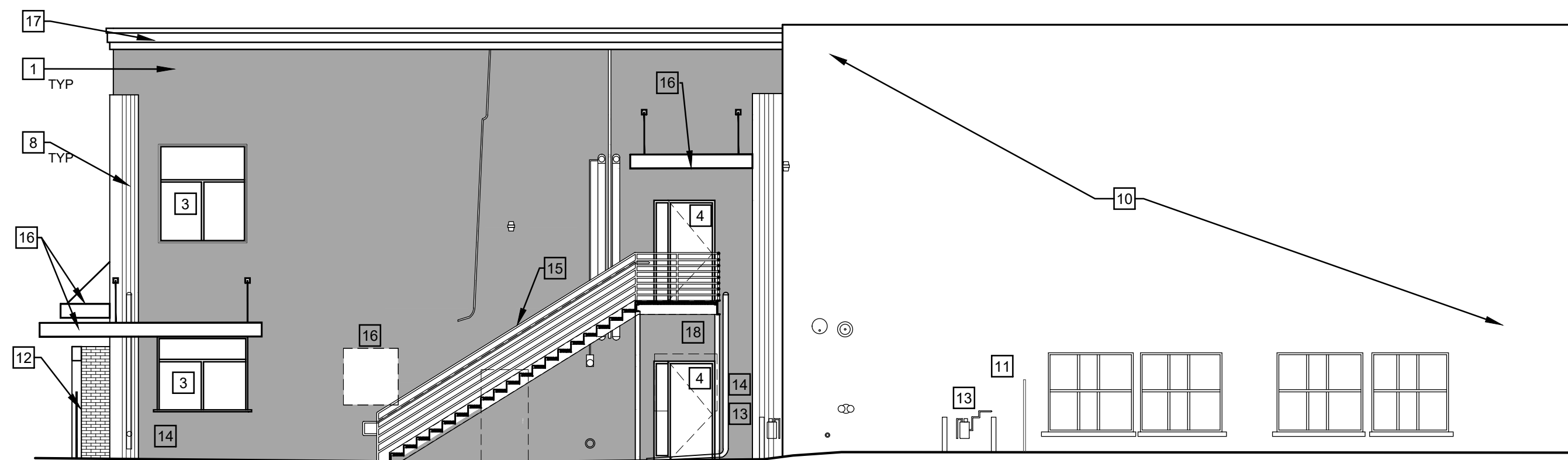
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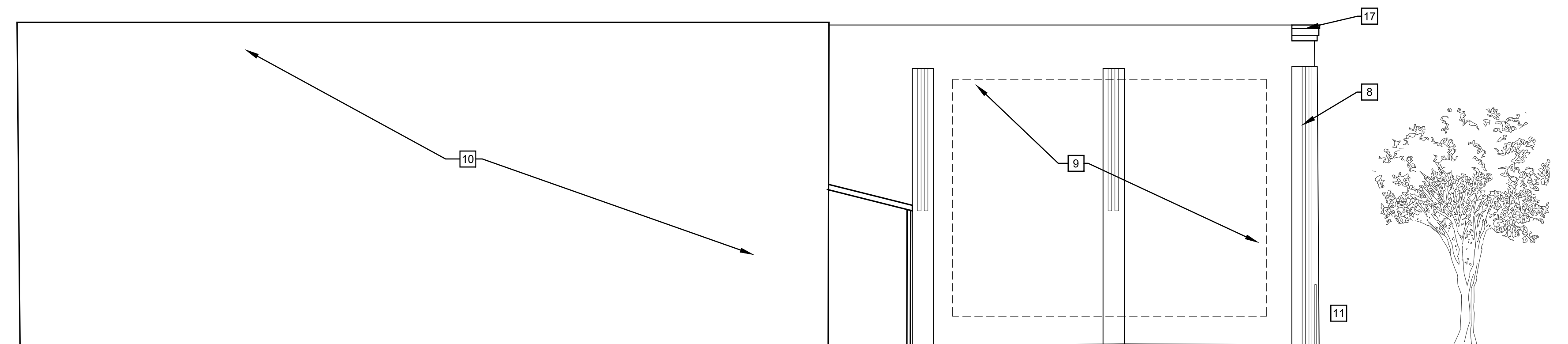
1 WEST ELEVATION - REMODEL  
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - REMODEL  
SCALE: 1/8"=1'-0"



3 EAST ELEVATION - REMODEL  
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION - REMODEL  
SCALE: 1/8"=1'-0"

REFERENCE NOTES - REMODEL

- 1 EXISTING CONCRETE WALL TO REMAIN, PREP FOR NEW FINISH
- 2 NEW GLAZED PORCELAIN TILE WAINSCOT UP TO 60" AFF
- 3 NEW WINDOW, OPERABLE AS SHOWN, MIN. 24x20 IN SIZE
- 4 NEW DOOR SYSTEM
- 5 NEW WALL SCONCE
- 6 LOCATION OF EXISTING BUILDING PLACARD
- 7 NEW APPLIED STREET NUMBERS
- 8 EXISTING PILASTERS TO REMAIN, PREP FOR NEW FINISH
- 9 EXISTING FULL HEIGHT MURAL FACING ADJACENT PROPERTY TO REMAIN, PROJECT AT ALL TIMES, NO NEW FINISH THIS WALL U.O.M.
- 10 EXISTING ADJACENT BUILDING, NO WORK
- 11 EXISTING FENCE TO REMAIN
- 12 NEW BRICK ENTRANCE ARCH, INCLUDING STEEL GATE WITH ELECTRONIC KEY PAD
- 13 EXISTING GAS METER TO REMAIN
- 14 EXISTING DOWN SPOUT TO REMAIN
- 15 NEW EXTERIOR EGRESS STAIR, REFER TO PLANS
- 16 NEW AWNING, MIN OF 8' AFF
- 17 NEW APPLIED DECORATIVE CORNICE, SHOWN AT 12" IN HEIGHT
- 18 AREA OF NEW EXTERIOR WALL INFILL TO MATCH EXISTING ADJACENT

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