PROJECT DESCRIPTION:

ASSESSOR'S PARCEL NUMBERS:

1ST FLOOR SQUARE FOOTAGE: 2ND FLOOR SQUARE FOOTAGE: TOTAL FLOOR SQUARE FOOTAGE:

1ST FLOOR SQUARE FOOTAGE: 2ND FLOOR SQUARE FOOTAGE: TOTAL FLOOR SQUARE FOOTAGE:

1ST FLOOR SQUARE FOOTAGE:

1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE

TOTAL FLOOR SQUARE FOOTAGE

GARAGE SQUARE FOOTAGE

GARAGE SQUARE FOOTAGE

2ND FLOOR SQUARE FOOTAGE : TOTAL FLOOR SQUARE FOOTAGE :

GARAGE SQUARE FOOTAGE

GARAGE SQUARE FOOTAGE

PROJECT ADDRESS:

DESCRIPTION OF USE:

CONSTRUCTION TYPE:

ZONING:

STORIES:

SPRINKLERS:

PROJECT DATA

FLOOR PLAN TABULATIONS:

LOT 32: APN/ 263-0142-032-0000 - 7240 SQ. FT.

LOT 32: ACCESSORY DWELLING UNIT

LOT 32 PARKING SPACES = 1-2 CAR GARAGE, 1-1 CAR

GARAGE -6 ADDITIONAL SPACES. 9 TOTAL SPACES

LOT 34: APN/ 263-0142-034-0000 - 4290 SQ. FT.

LOT 34 : ACCESSORY DWELLING UNIT

LOT 34 PARKING SPACES = 2-1 CAR GARAGES

-4 ADDITIONAL SPACES. 6 TOTAL SPACES

CONSTRUCTION OF 4 NEW TWO-STORY

SINGLE FAMILY RESIDENCE'S, WITH

ATTACHED ADU'S

2762, 2768, 2752, 2756 OAKMONT ST.

SACRAMENTO CA 95815

263-0142-034-000,263-0142-032-0000,

263-0142-024-000,263-0142-025-0000

SINGLE FAMILY RESIDENCE

544 SQ. FT. 809 SQ. FT.

1353 SQ. FT

506 SQ. FT

448 SQ. FT. 544 SQ. FT.

992 SQ. FT 286 SQ. FT

510 SQ. FT.

604 SQ. FT. 1114 SQ. FT.

286 SQ. FT.

420 SQ. FT. 538 SQ. FT.

958 SQ. FT.

286 SQ. FT.

DESIGNER NOTES 6/20/23

T-1

6/20/23 SHEET: 1

HIDDEN OAKS 2762,2768,2752,2756 OAKMONT ST.

SACRAMENTO CA 95818 ACCESSORS PARCEL NUMBERS 263-0142-034-0000, 263-0142-032-0000,



6/20/23

VICINITY MAP

ROOF DEAD LOAD: SEISMIC ZONE: CLIMATE ZONE: CZ-11 BUILDING USE: SINGLE FAMILY DWELLING SOIL BEARING: 1500 PSF PER RDP CLASS I **DESIGN CRITERIA**

IMPORTANCE FACTOR 1.0 FLOOR LIVE LOAD WALL DEAD LOAD ONGITURDE SITE CLASS D MIN. MWFRS LAT. FORCE METHOD SEISMIC BASE SHEAR 3.43K

CONSTRUCTION TYPE: V-B

ALL CONCRETE SLABS TO BE (u.n.o.):

- 4" THICK OF 2500PSI CONCRETE OVER,

- 6"x6", #10 MESH WELDED WIRE FABRIC OR #3

- 10 MIL VISQUEEN VAPOR BARRIER (joints lapped not less than 6") SEE CONCRETE NOTE #13 - 4" OF 1/2" OR LARGER OF CLEAN AGGREGA - ON UNDISTURBED OR ENGINEERED SOIL

APPLICABLE CODES

6/20/23

2022 CALIFORNIA BUILDING CODE (C.B.C.) 2022 CALIFORNIA RESIDENTIAL CODE C.R.C) 2022 CALIFORNIA MECHANICAL CODE (C.M.C.)

ENERGY EFFICIENCY STANDARDS) 2022 CALIFORNIA FIRE CODE (C.F.C.)

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)

2022 RESIDENTIAL PLAN REVIEW CHECKLIST

2022 CALIFORNIA PLUMBING CODE (C.P.C.) 2022 CALIFORNIA ELECTRICAL CODÈ (C.E.C. 2022 CALIFORNIA ENERGY CODE (CAL ENERGY)(2019 BUILDING

2022 RESIDENTIAL GENERAL NOTES SHEET

LOT 24: APN/ 263-0142-024-0000 - 7456 SQ. FT.

544 SQ. FT. 1ST FLOOR SQUARE FOOTAGE: 2ND FLOOR SQUARE FOOTAGE 809 SQ. FT. TOTAL FLOOR SQUARE FOOTAGE: 1353 SQ. FT. 506 SQ. FT. GARAGE SQUARE FOOTAGE

LOT 24: ACCESSORY DWELLING UNIT

1ST FLOOR SQUARE FOOTAGE 448 SQ. FT. 2ND FLOOR SQUARE FOOTAGE 544 SQ. FT. TOTAL FLOOR SQUARE FOOTAGE 992 SQ. FT. GARAGE SQUARE FOOTAGE 286 SQ. FT.

LOT 24 PARKING SPACES = 1-2 CAR GARAGE, 1-1 CAR GARAGE -6 ADDITIONAL SPACES. 9 TOTAL SPACES

LOT 25: APN/ 263-0142-025-0000 - 5435 SQ. FT.

1ST FLOOR SQUARE FOOTAGE: 510 SQ. FT. 604 SQ. FT. 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTAGE 1114 SQ. FT. GARAGE SQUARE FOOTAGE 286 SQ. FT.

LOT 25: ACCESSORY DWELLING UNIT

420 SQ. FT. 1ST FLOOR SQUARE FOOTAGE: 2ND FLOOR SQUARE FOOTAGE 538 SQ. FT. 958 SQ. FT. TOTAL FLOOR SQUARE FOOTAGE: GARAGE SQUARE FOOTAGE 286 SQ. FT.

LOT 25 PARKING SPACES = 2-1 CAR GARAGES -4 ADDITIONAL SPACES. 6 TOTAL SPACES

8834 SQ. FT. TOTAL LIVING AREA SQUARE FOOTAGE: 2728 SQ. FT. 30 - SPACES. TOTAL GARAGE SQUARE FOOTAGE: TOTAL PARKING SPACES

MINIMUM SETBACKS ADU: | MINIMUM SETBACKS:

FRONT: 20 FT. FRONT: **REAR: REAR:** 15 FT. 3 FT SIDES: SIDES: 3 FT. 5 FT. MAXIMUM ROOF HEIGHT: = 30'

PROJECT PRINCIPALS

OWNER

SCOTT L. WILLIAMS 3017 DOUGLAS BLVD. #300 **ROSEVILLE CA 95661** PH #: 916 786-3177 scottlwilliams@surewest.net

DESIGNER

DESIGNS BY FOSTER DON FOSTER / PHONE # (530) 559-2684 21946 ANGELI PL GRASS VALLEY CA. 95949 EMAIL: <u>designsbydonfoster@gmail.com</u>

FIRE SPRINKLER DESIGN

ACCURATE FIRE PROTECTION JOEL MYERS / PHONE # (916) 381-4101 8980 BRADSHAW RD ELK GROVE CA. 95624 EMAIL: <u>imyers@accuratefire.net</u>

STRUCTURAL ENGINEER

BTS ENGINEERING BRIAN T. SUTLIFF/ PHONE # (916) 96-0370 EMAIL: brian.sutliff@sbcglobal.net

TITLE 24

RESIDENTIAL COMMERCIAL ENERGY ENGINEERING RESCOM/ PHONE # (916) 373-1383 (888) 372-2263 3166 SUISUN BAY RD WEST SACRAMENTO CA. 95691 EMAIL: Larry@Rescomee.com

PRELIMINARY PLANS SCALE ACCURATE @ PAPER SIZE 24X36

SCALE ACCURATE @ PAPER SIZE 24X36

TABLE OF CONTENTS

TITLE SHEET PARCEL MAP

FLOOR PLAN

ENLARGED SITE PLAN

LANDSCAPE PLAN

SITE PLAN

LABEL

2 P-1

3 D-1

4 D-2

5 L-1

6 D-3

7 D-4

8 D-5

9 D-6

11 D-8

12 D-9

13 D-10

14 D-11

15 F-1

16 S-1

17 S-2

18 S-3

19 N-1

20 N-2

21 N-3

22 N-4

23 N-5

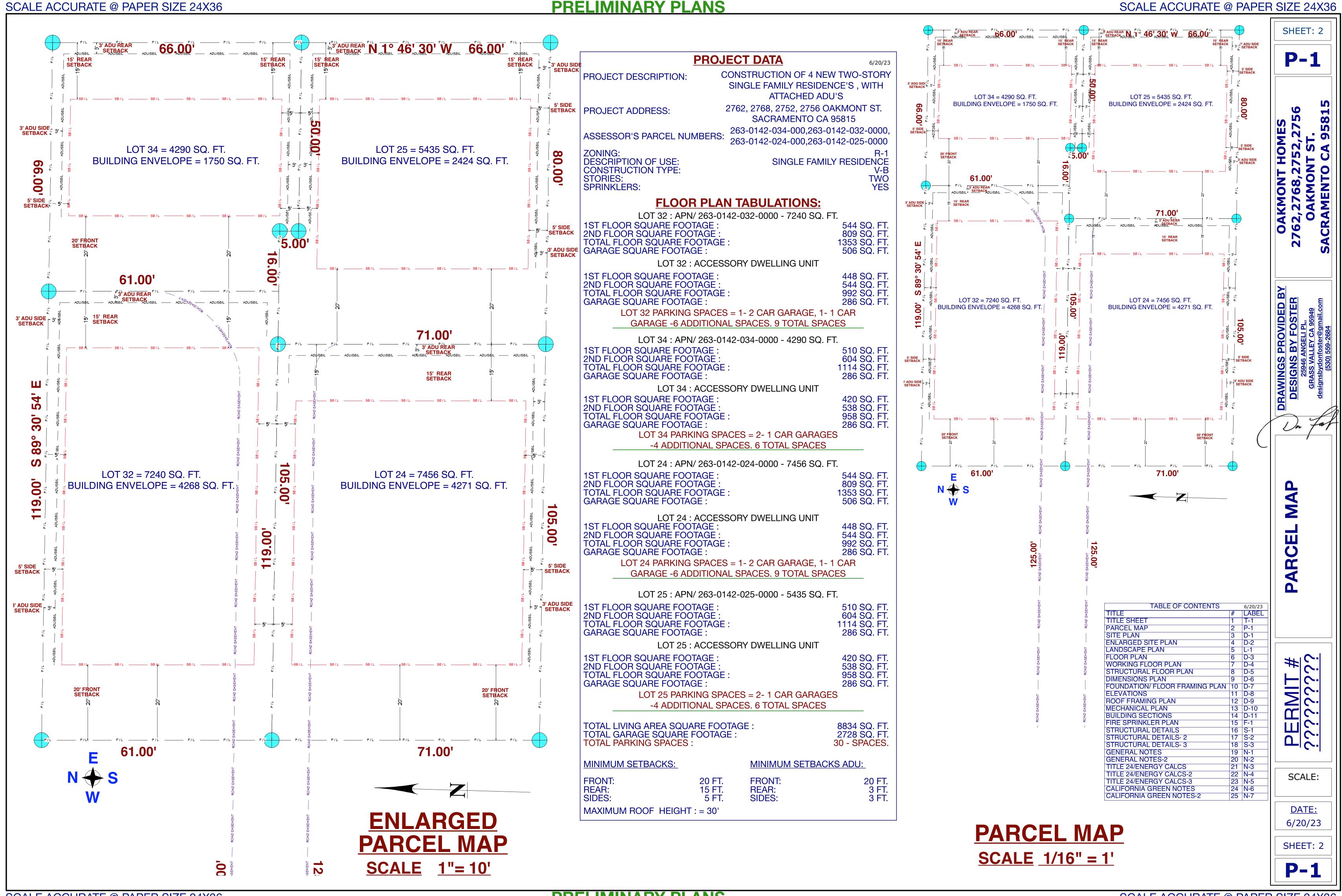
24 N-6

25 N-7

263-0142-024-0000, 263-0142-025-0000

RENDERING ONLY (NOT TO SCALE)

> **WORKING FLOOR PLAN** STRUCTURAL FLOOR PLAN DIMENSIONS PLAN FOUNDATION/ FLOOR FRAMING PLAN 10 D-7 **ELEVATIONS** ROOF FRAMING PLAN MECHANICAL PLAN **BUILDING SECTIONS** FIRE SPRINKLER PLAN STRUCTURAL DETAILS STRUCTURAL DETAILS- 2 STRUCTURAL DETAILS- 3 **GENERAL NOTES** GENERAL NOTES-TITLE 24/ENERGY CALCS TITLE 24/ENERGY CALCS-3 **CALIFORNIA GREEN NOTES CALIFORNIA GREEN NOTES-2**



REAR:

SIDES:

15 FT.

REAR:

MAXIMUM ROOF HEIGHT: = 30'

JOEL MYERS / PHONE # (916) 381-4101

EMAIL: jmyers@accuratefire.net

8980 BRADSHAW RD ELK GROVE CA. 95624

RESCOM/ PHONE # (916) 373-1383 (888) 372-2263

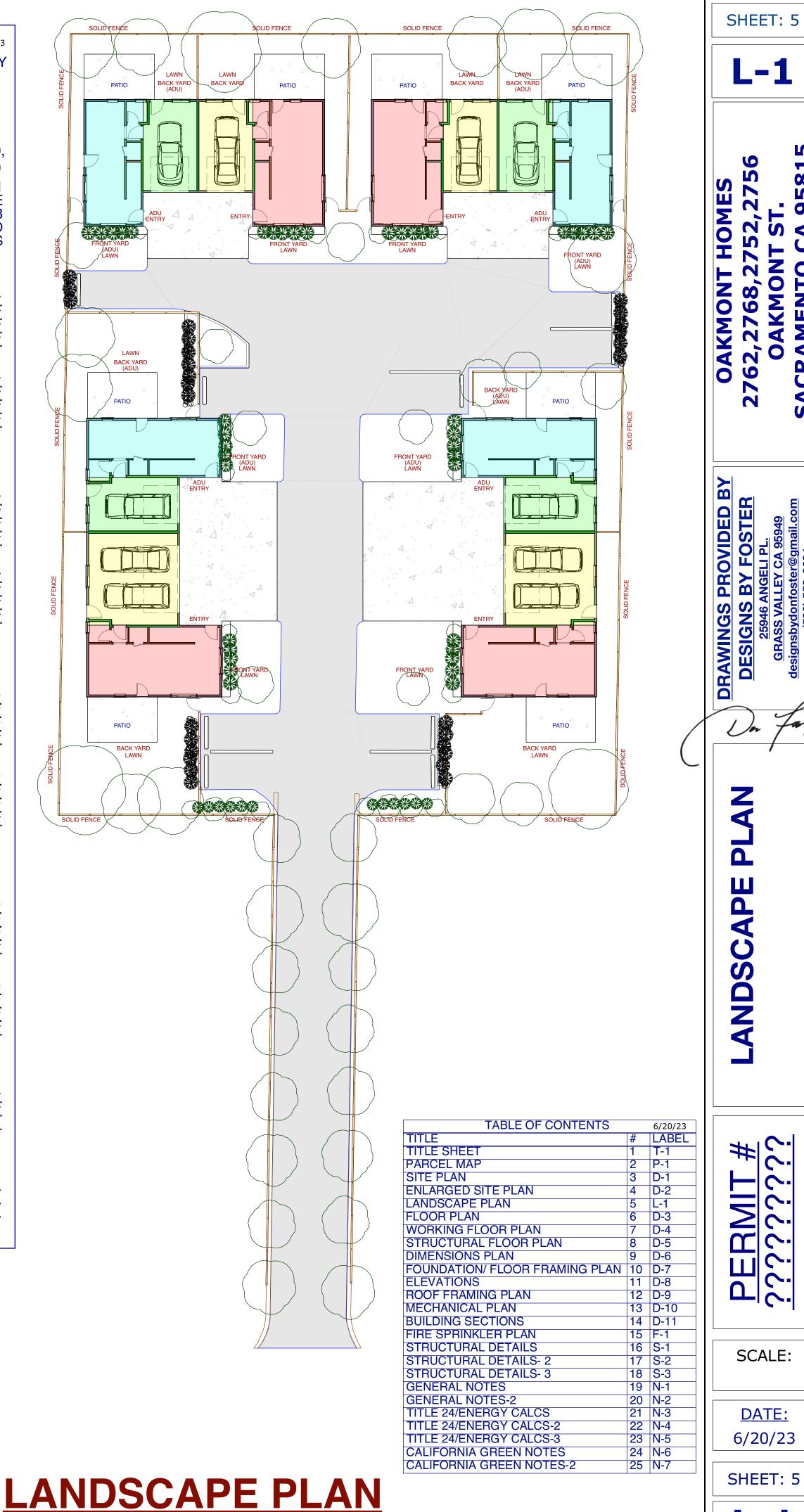
EMAIL: Larry@Rescomee.com

3166 SUISUN BAY RD WEST SACRAMENTO CA. 95691

D-1



PRO	JECT DATA	6/20/2
PROJECT DESCRIPTION:	SINGLE FAN	ON OF 4 NEW TWO-STOR
PROJECT ADDRESS:	2762, 2768, 2	TACHED ADU'S 2752, 2756 OAKMONT ST. AMENTO CA 95815
ASSESSOR'S PARCEL NUMBER	S'	34-000,263-0142-032-0000 24-000,263-0142-025-0000
ZONING: DESCRIPTION OF USE: CONSTRUCTION TYPE: STORIES: SPRINKLERS:	S	R-INGLE FAMILY RESIDENCI V-E TWO YES
FLOOR PL	AN TABULA	ATIONS:
LOT 32 : APN/ 263		•
1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTA GARAGE SQUARE FOOTAGE:	:	544 SQ. FT 809 SQ. FT 1353 SQ. FT 506 SQ. FT
LOT 32 : ACC	ESSORY DWELI	LING UNIT
1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTA GARAGE SQUARE FOOTAGE: LOT 32 PARKING SPACE	:: GE : SES = 1- 2 CAR	•
GARAGE -6 ADDITION OF SALES AD		
LOT 34 : APN/ 263 1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTA GARAGE SQUARE FOOTAGE :	: GE :	510 SQ. FT 604 SQ. FT 1114 SQ. FT 286 SQ. FT
1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTA GARAGE SQUARE FOOTAGE:	i: GE:	420 SQ. FT 538 SQ. FT 958 SQ. FT 286 SQ. FT
LOT 34 PARKING : -4 ADDITIONAL	SPACES. 6 TOT	TAL SPACES
LOT 24 : APN/ 263 1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTA GARAGE SQUARE FOOTAGE :	: :	544 SQ. FT. 544 SQ. FT 809 SQ. FT 1353 SQ. FT 506 SQ. FT
LOT 24 : ACC 1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTA GARAGE SQUARE FOOTAGE : LOT 24 PARKING SPACE	: GE:	448 SQ. F7 544 SQ. F7 992 SQ. F7 286 SQ. F7
GARAGE -6 ADDITION	NAL SPACES. 9	O TOTAL SPACES
LOT 25 : APN/ 263		
1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTA GARAGE SQUARE FOOTAGE:	:	510 SQ. FT 604 SQ. FT 1114 SQ. FT 286 SQ. FT
LOT 25 : ACC 1ST FLOOR SQUARE FOOTAGE 2ND FLOOR SQUARE FOOTAGE TOTAL FLOOR SQUARE FOOTA	•	LING UNIT 420 SQ. FT 538 SQ. FT 958 SQ. FT
GARAGE SQUARE FOOTAGE : LOT 25 PARKING : -4 ADDITIONAL		
TOTAL LIVING AREA SQUARE FOOTOTAL GARAGE SQUARE FOOTOTAL PARKING SPACES:	OOTAGE : AGE :	8834 SQ. F 2728 SQ. F 30 - SPACES
MINIMUM SETBACKS:	MINIM	UM SETBACKS ADU:
REAR: 15	T. FRONT T. REAR: T. SIDES:	3 F7
MAXIMUM ROOF HEIGHT: = 3)'	

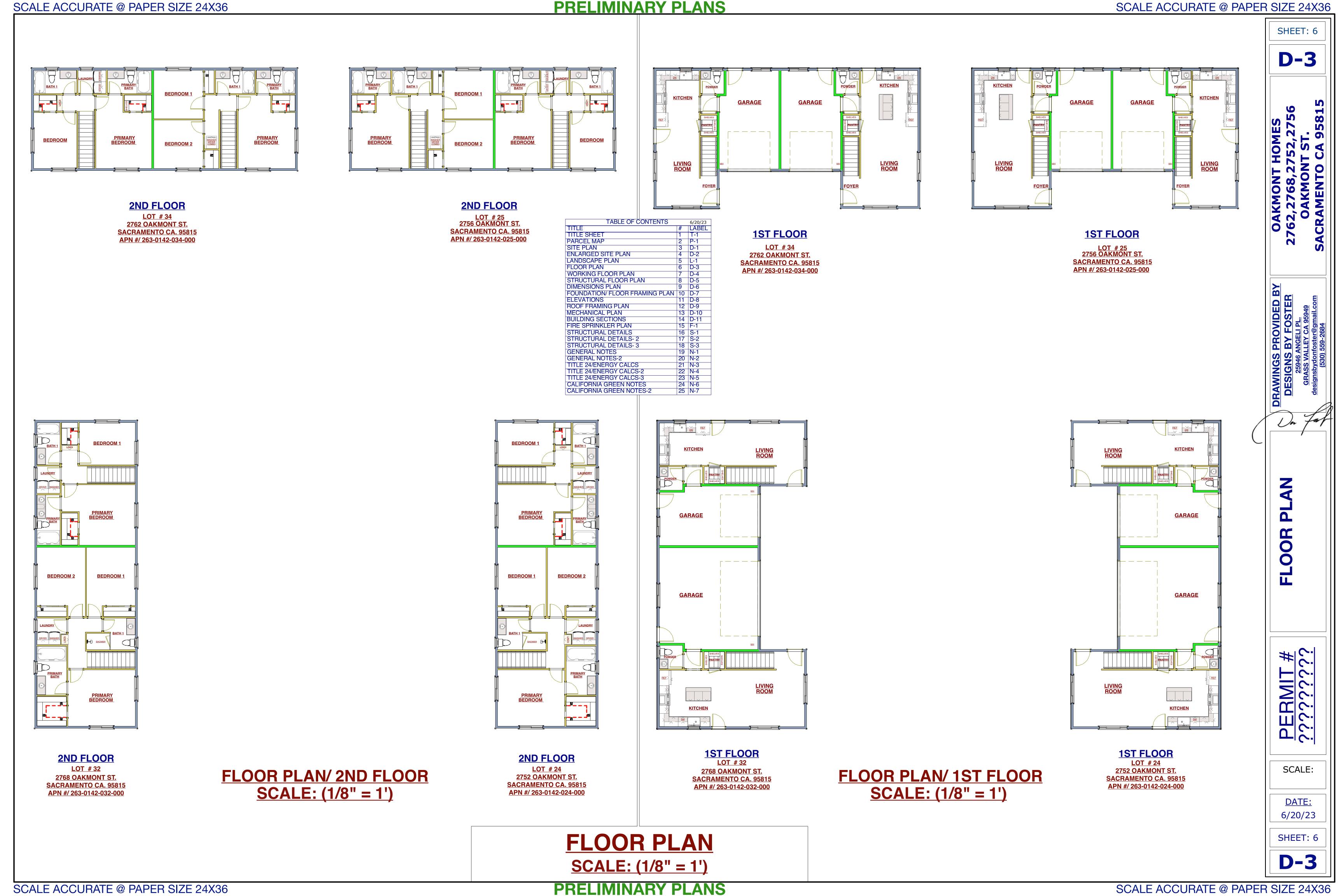


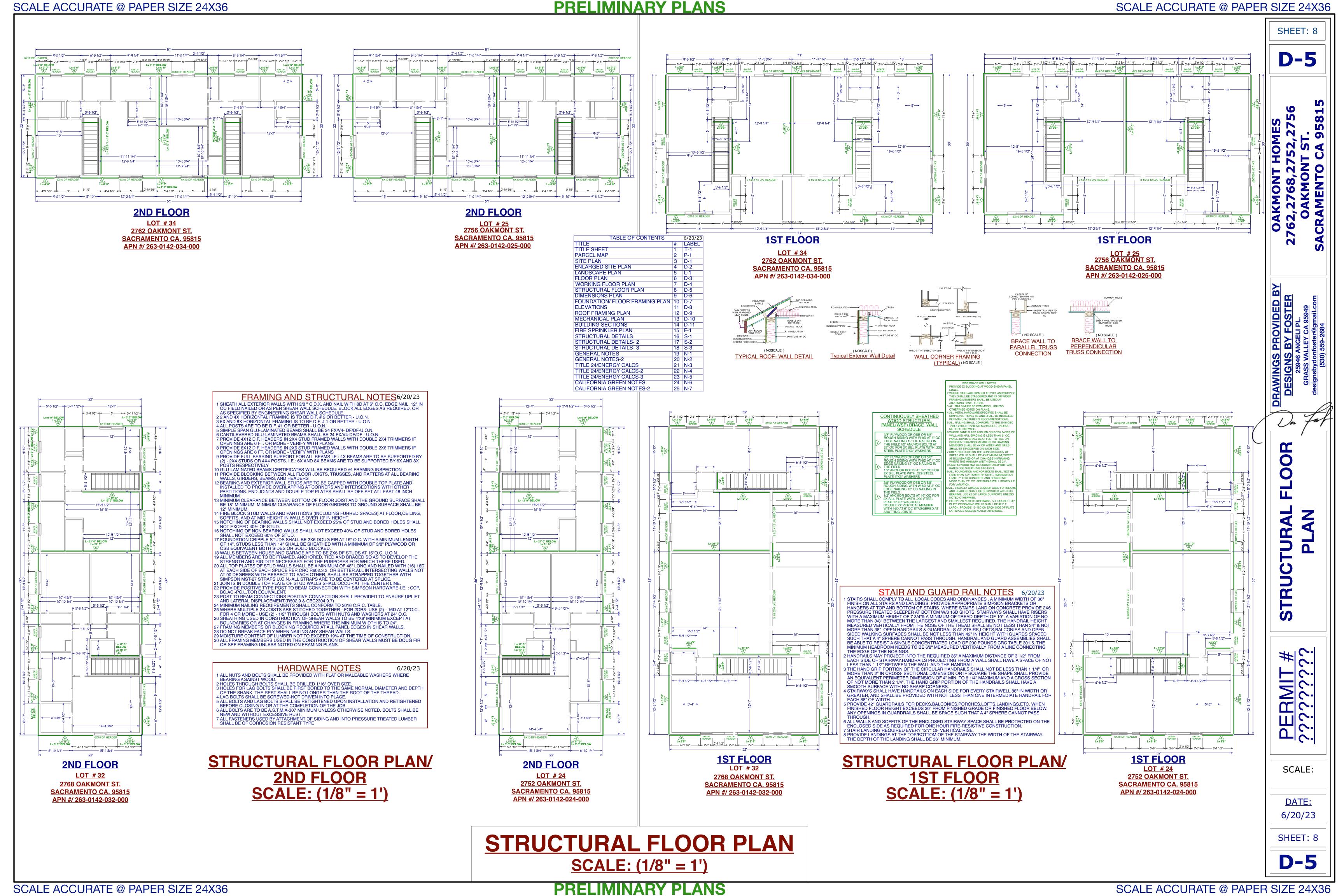
SCALE 1/16" = 1'

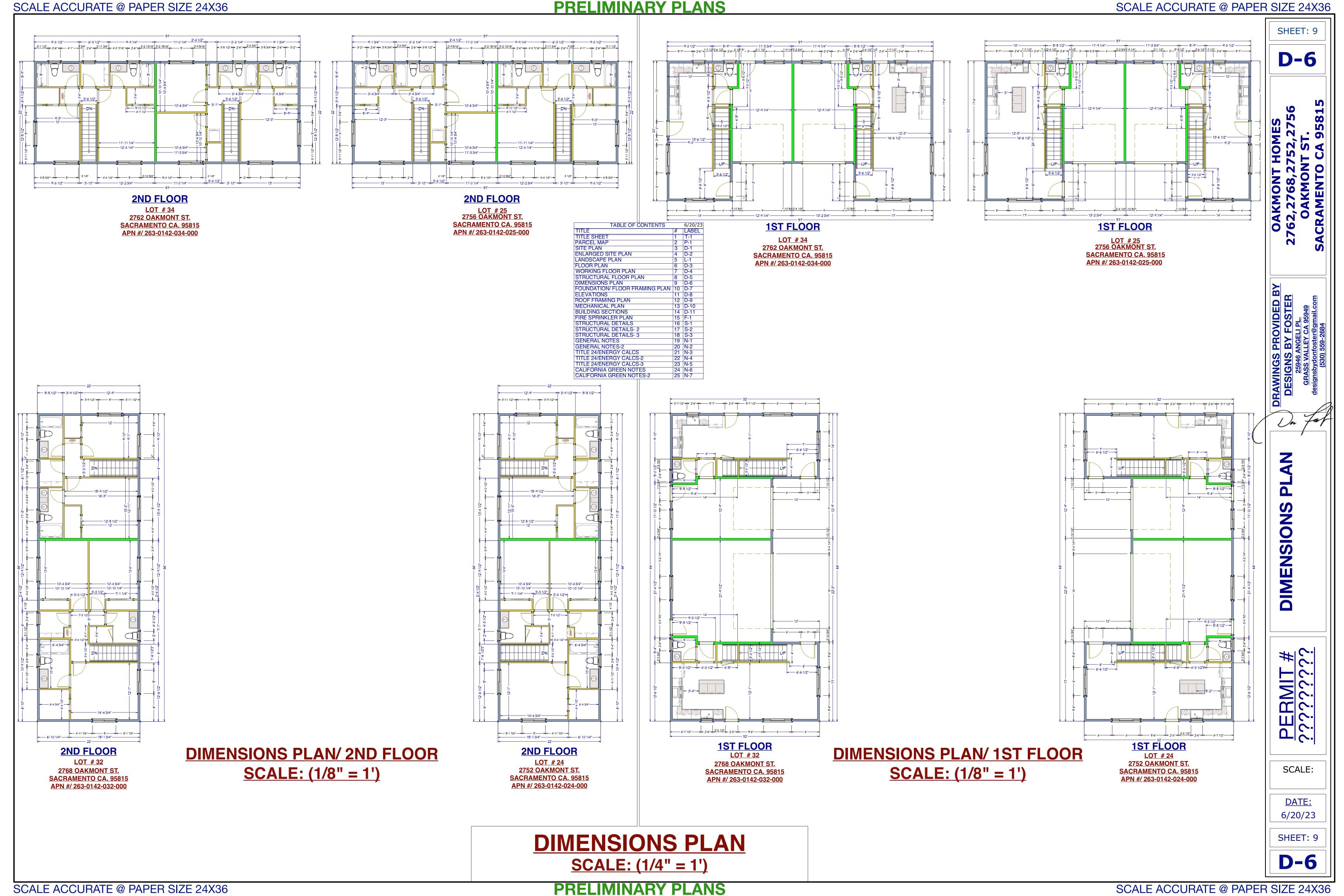
L-1

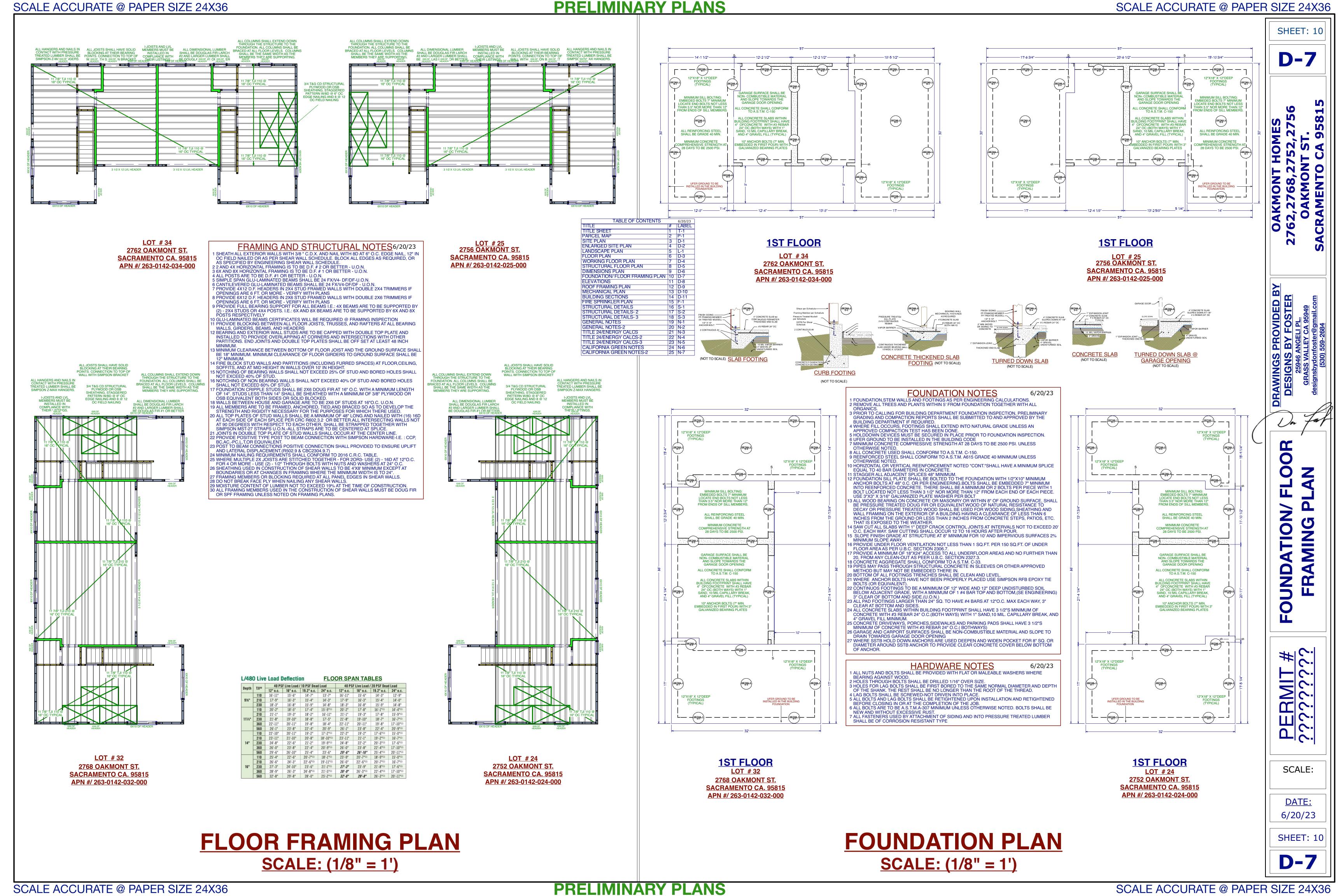
ENLARGED LANDSCAPE PLAN

SCALE 1"= 10'









BUILDING SECTIONS & ELEVATIONS 6/20/23

1 FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION R327. CLASS (A) REQUIREMENT. 2 EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARŔIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.

3 EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS. I WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE LATH
5 OPEN/ ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS. 6 SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909.

7 WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 26AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED

NON PERFORATED CAP SHEET COMPLYING WITH ASTM3909 AND AT LEAST 36 INCHES WIDE 8 VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS.

BUILDING PADS WILL BE GRADED 5% FOR A MINIMUM OF 10' AWAY FROM STRUCTURE 10 CONTINUOUS VENT STRIP IN ALL EAVES. CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND OR EXCEED CRC R806 (TYP).

11 A MINIMUM OF 8" CLEARANCE GRADE TO WOOD FRAMING AND SIDING PER CRC R317 (TYP).

12 FINISH GRADE 6" MINIMUM FALL WITHIN THE FIRST 10 FEET AWAY FROM ALL STRUCTURES.

13 CORROSION RESISTANT WEEP SCREED MINIMUM 4" ABOVE GRADE OR 2" ABOVE PAVED

14 EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTE TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD.

15 ALL WINDOWS U-FACTORS ARE 0.32 SHGC 0.25 6 OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX

17 EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM 18 GARAGE DOOR PERMITER GAP MAXIMUM 1/8". METAL FLASHING, JAMB AND HEADER
OVERLAP, AND WEATHER- STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED.

19 INSULATION VALUES ARE AS FOLLOWS: WALLS R-19 CEILINGS R-38 FLOORS R-19
20 RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD
21 THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10

FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE- RETARDENT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL 22 VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT TE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION 23 UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO

24 A MINIMUMO.019-INCH(NO.26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VEHTICAL ATTACHMENT FLANGE OF 31/2" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED

25 VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION

26 THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE OR PROTECTED BY ONE OF THE FOLLOWING: 27 1. NONCOMBUSTIBLE MATERIAL 2. IGNITION-RESISTANT MATERIAL 3. ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING BEHIND THE EXTERIOR COVER ON THE UNDERSIDE 28 OF THE CEILING .4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE

29 UNDERSIDE OF THE CEILING ASSEMBLY. 5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957.6. PORCH CEILING ASSEMBLIES WITH 30 A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A-

WILDLAND-URBAN INTERFACE . 6/20/23 1 FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH

REQUIREMENTS OF CRC SECTION R327. CLASS (A) REQUIREMENT.

2 EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY
TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARRIERS SHALL
BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED
SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER 3 EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS.

4 WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE LATH OPEN/ ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS.
6 SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-

WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 26 AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM 3909 AND AT LEAST 36 INCHES WIDE RUNNING FULL LENGTH 8 VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION OPENINGS FOR ALTICS, GABLES, AND EAVES ABOVE 12F1. AND ONDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/ APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS.

FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTE TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD. 0 OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX OPENINGS

IT EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-A-1 2 GARAGE DOOR PERMITER GAP MAXIMUM 1/8". METAL FLASHING, JAMB AND HEADER OVERLAP, AND WEATHER- STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED.

4 THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE- RETARDENT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL.. 5 VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT TE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.

16 UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO

THE STANDARD DESIGNATION. 7 A MINIMUM0.019-INCH(NO.26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEF SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP HE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE

ATTACHMENT FLANGE OF THE WEEP SCREED

18 VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER 9 THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE OR PROTECTED BY ONE OF THE FOLLOWING: 20 1. NONCOMBUSTIBLE MATERIAL 2. IGNITION-RESISTANT MATERIAL 3. ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING BEHIND THE

21 EXTERIOR COVER ON THE UNDERSIDE 22 OF THE CEILING .4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE 23 UNDERSIDE OF THE CEILING ASSEMBLY. 5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957.6.

PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A-

STAIR AND GUARD RAIL NOTES 6/20/23 STAIRS SHALL COMPLY TO ALL LOCAL CODES AND ORDINANCES . A MINIMUM WIDTH OF 36" FINISH ON ALL STAIRS AND LANDINGS. PROVIDE APPROPRIATE SIMPSON BRACKETS OR HANGERS AT TOP AND BOTTOM OF STAIRS. WHERE STAIRS LAND ON CONCRETE PROVIDE 2X6 PRESSURE TREATED SLEEPER AT BOTTOM W/3 16D SHOTS. STAIRWAYS SHALL HAVE RISERS WITH A MAXIMUM HEIGHT OF 7 3/4"& A MINIMUM OF TREAD DEPTH OF 10". A VARIATION OF NO MORE THAN 3/8" BETWEEN THE LARGEST AND SMALLEST REQUIRED. THE HANDRAIL HEIGH MORE THAN 3/8" BETWEEN THE LARGEST AND SMALLEST REQUIRED. THE HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE NOSE OF THE TREAD SHALL BE NOT LESS THAN 34" & NOT MORE THAN 38". OPEN HANDRAILS & GUARDRAILS AT STAIRS, LOFTS, BALCONIES, AND OPEN SIDED WALKING SURFACES SHALL BE NOT LESS THAN 42" IN HEIGHT WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. HANDRAIL AND GUARD ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS CRC TABLE 301.5. THE MINIMUM HEADROOM NEEDS TO BE 6'8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. THE EDGE OF THE NOSINGS. PHANDRAILS MAY PROJECT INTO THE REQUIRED 36" A MAXIMUM DISTANCE OF 3 1/2" FROM EACH SIDE OF STAIRWAY.HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION OF THE CIRCULAR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS- SECTIONAL DIMENSION OR IF SQUARE THE SHAPE SHALL PROVIDE AN EQUIVALENT PERIMETER DIMENSION OF 4" MIN. TO 6 1/4" MAXIMUM AND A CROSS SECTION OF NOT MORE THAN 2 1/4". THE HAND GRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. I STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE FOR EVERY STAIRWELL 88" IN WIDTH OR

GREATER, AND SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 88" OF WIDTH. 5 PROVIDE 42" GUARDRAILS FOR DECKS,BALCONIES,PORCHES,LOFTS,LANDINGS,ETC. WHEN FINISHED FLOOR HEIGHT EXCEEDS 30" FROM FINISHED GRADE OR FINISHED FLOOR BELOW. ANY OPENINGS IN GUARDRAILS SHALL BE SPACE SUCH THAT A 4" SPHERE CANNOT PASS

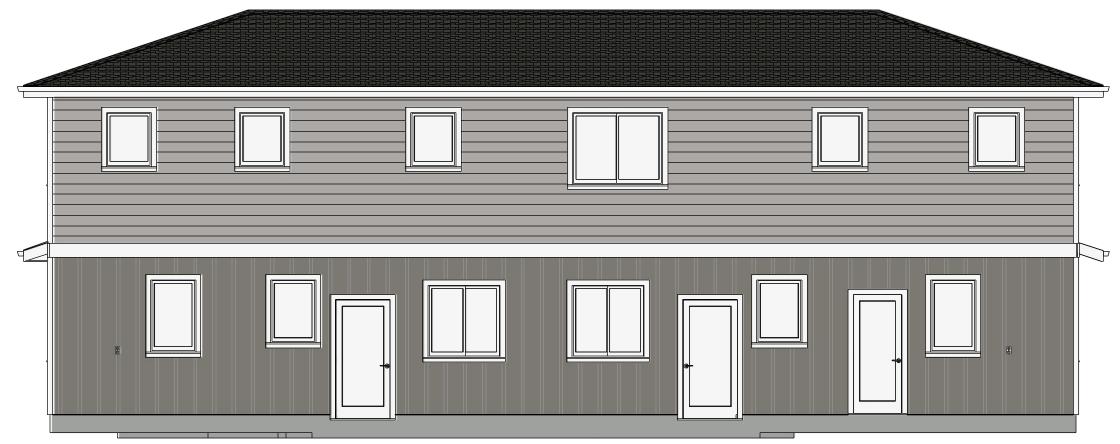
6 ALL WALLS AND SOFFITS OF THE ENCLOSED STAIRWAY SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION.
7 STAIR LANDING REQUIRED EVERY 12'7" OF VERTICAL RISE.
8 PROVIDE LANDINGS AT THE TOP/BOTTOM OF THE STAIRWAY THE WIDTH OF THE STAIRWAY.

THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM.





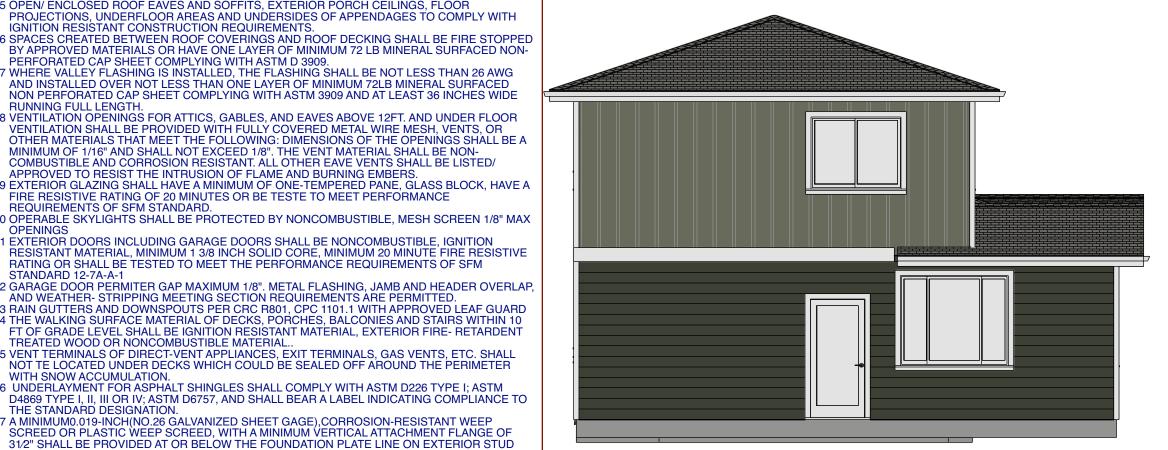
FRONT ELEVATION SCALE: (3/16" = 1')





REAR ELEVATION

SCALE: (3/16" = 1')





LEFT ELEVATION

SCALE: (3/16" = 1')



RIGHT	ELEVATION
SCALE	Ξ : (3/16" = 1')

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SHEET: 11

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DESIGNS BY FOSTER

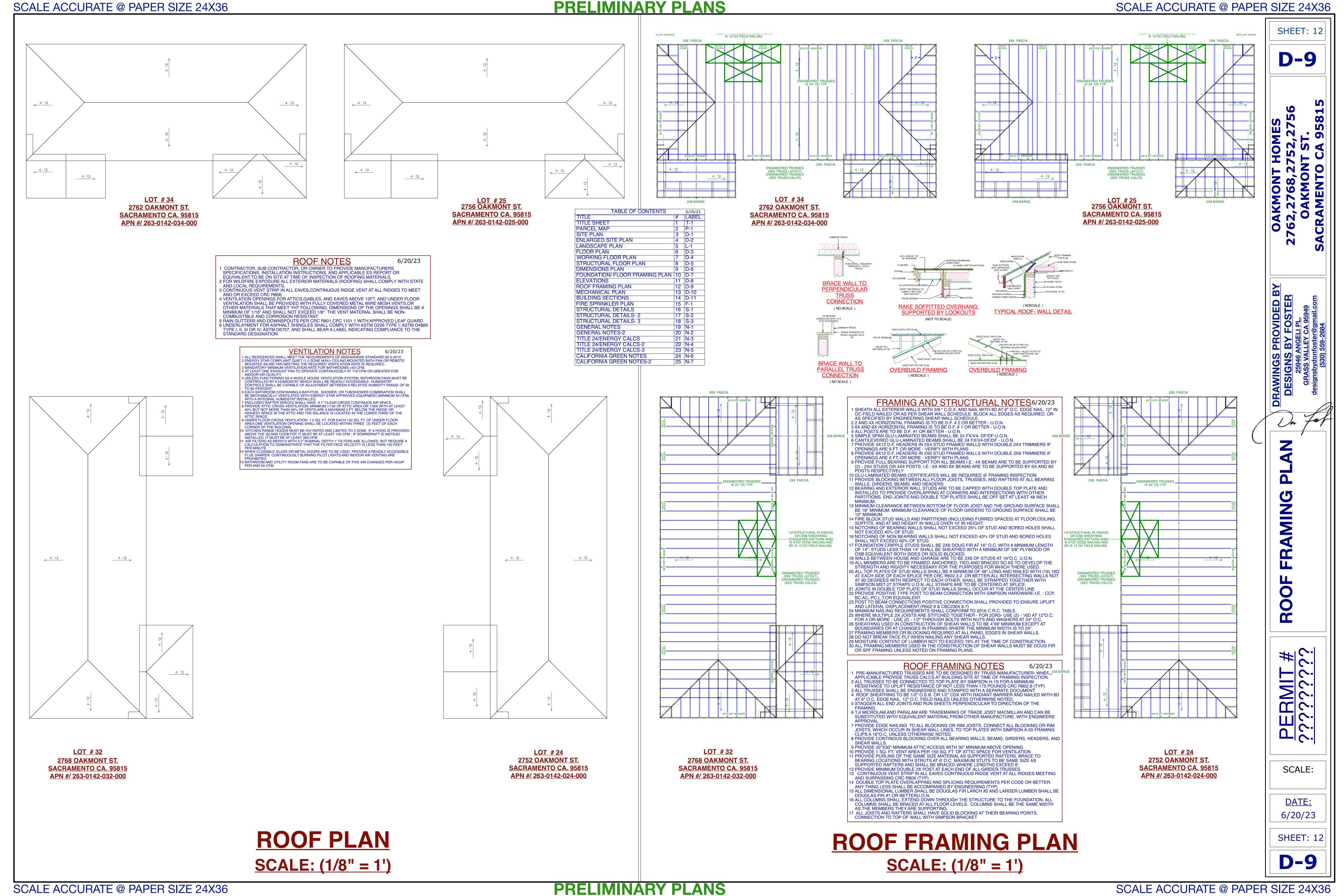
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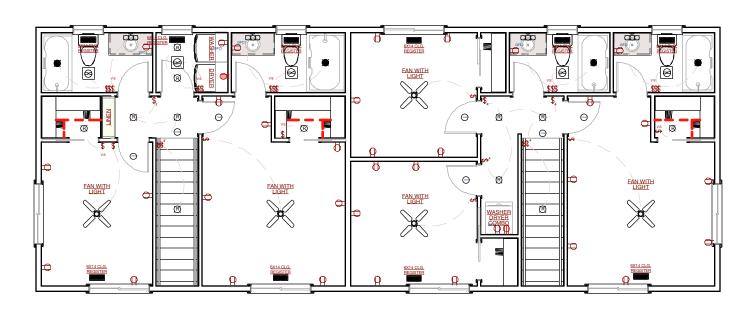
GRASS VALLEY CA 95949

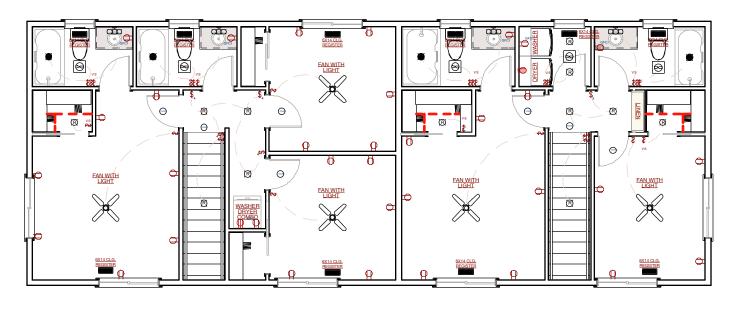
SCALE:

DATE: 6/20/23

SHEET: 11







2ND FLOOR

2762 OAKMONT ST. **SACRAMENTO CA. 95815** APN #/ 263-0142-034-000

MECHANICAL NOTES 1 HERS TEST REQUIRED IN ALL NEW DUCT SYSTEMS.
2 INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
3 HVAC SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER OR A LICENSED HVAC CONTRACTOR. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70 DEGREES F AT LEAST 3' ABOVE FLOOR IN ALL HABITABLE ROOMS. FURNACE PARTS MUST FIT THROUGH ATTIC ACCESS.
4 MECHANICAL EQUIPMENT LOCATED IN AN ATTIC OR BASEMENT ARE REQUIRED TO BE WITHIN 20' OF ACCESS AND SHALL HAVE A LEVEL 30" SQ. X 3/4" THICK WORKING PLATFORM ON THE CONTROL SIDE OF THE UNIT. PROVIDE 24"W X 3/4" THICK CATWALK FROM ATTIC ACCESS TO PLATFORM.
5 HVAC UNIT SHALL HAVA A MINIMUM AFUE OF 90 AND A MIN. SEER OF 14.0. DUCTS SHALL HAVE A MINIMUM R-8 VALUE INSULATION. (SEE ENERGY CALCULATIONS) PLATFORM.

5 HVAC UNIT SHALL HAVA A MINIMUM AFUE OF 90 AND A MIN. SEER OF 14.0. DUCTS SHALL HAVE A MINIMUM R-8 VALUE INSULATION. (SEE ENERGY CALCULATIONS)

6 TERMINATE ALL ENVIRONMENTAL AIR DUCTS A MINIMUM OF 3' FROM ANY PROPERTY LINE OR ANY OPENING INTO THE BUILDING(I.E., DRYER, BATH FANS, UTILITY FANS ETC. MUST BE 3' AWAY FROM DOORS, WINDOWS, OPENABLE SKYLIGHTS OR ATTIC VENTS).

7 A DRYER VENT TO OUTSIDE CAN NOT EXCEED 14 FEET IN ANIECTION (UNLESS CALCULATIONS ARE PROVIDED), AND CAN HAVE A MAXIMUM OF TWO 90- DEGREES ELBOWS. ADDITIONAL ELBOWS MAY BE USED. HOWEVER, THE LENGTH OF VENT MUST BE DECREASED BY 2 FEET FOR EACH ADDITIONAL ELBOW INSTALLED. TERMINATION POINT SHALL BE NO CLOSER THAN 3' FROM ANY WALL OPENING. (2013 C.M.C.)

8 DRYER EXHAUST VENT DUCTING SHALL BE OF SMOOTH METAL AND EXTEND TO OUTSIDE WITH A BACKDRAFT DAMPER

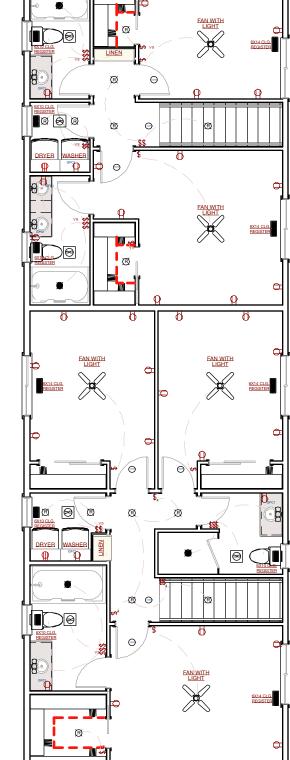
9 HVAC SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER OR A LICENSED HVAC CONTRACTOR. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70° F AT 3' ABOVE THE FLOOR IN ALL HABITABLE ROOMS. FURNACE PARTS MUST FIT THROUGH ATTIC ACCESS.

10 A MECHANICAL FAN FOR VENTILATION 50 CFM EXHAUST CAPABLE OF PROVIDING A MINIMUM OF 5 AIR CHANIGES P/HOUR SHALL BE INSTALLED IN ALL BATHROOM/TOILET ROOMS.CMC TABLE 4:4

11 100 CFM MINIMUM DOMESTIC KITCHEN VENT

12 22 A COMPRESSOR OR PORTION OF A CONDENSING UNIT SUPPORTED FROM THE GROUND SHALL REST OF A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3 INCHES ABOVE THE ADJOINING GROUND LEVEL.

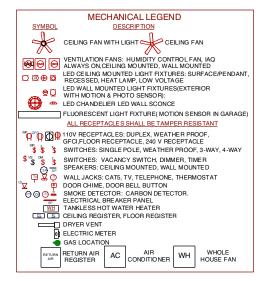
13 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE FAU.

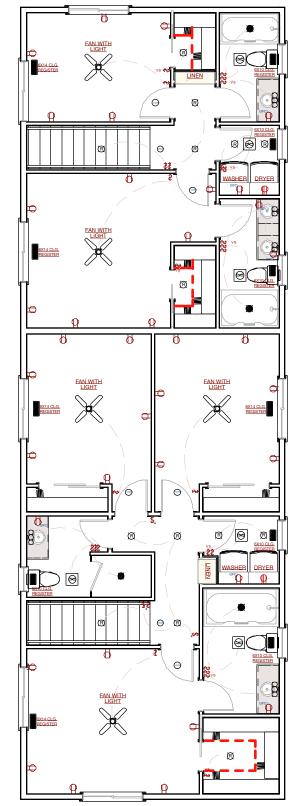


2ND FLOOR LOT #32 2768 OAKMONT ST. SACRAMENTO CA. 95815 APN #/ 263-0142-032-000

2ND FLOOR

<u>LOT # 25</u> 2756 OAKMONT ST. **SACRAMENTO CA. 95815** APN #/ 263-0142-025-000





2ND FLOOR LOT # 24 2752 OAKMONT ST **SACRAMENTO CA. 95815** APN #/ 263-0142-024-000



RESIDENTIAL LIGHTING NOTES 6/20/23 LUMINAIRE REQUIREMENTS LUMINAIRE EFFICACY: STALLED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY OR LOW-EFFICACY FOR **1ST FLOOR** INSTALLED LOWINGHES SHALL BE CLASSIFIED AS HIGH-EFFICACY OR LOW-EFFICACY FOR COMPLIANCE WITH SECTION 150.0(K) IN ACCORDANCE WITH TABLE 150.0-A OR TABLE 150.0-B, AS APPLICABLE.

B. HYBRID LUMINAIRES:
B. HYBRID LUMINAIRES:
B. HIGH EFFICACY AND LOW EFFICACY LIGHTING SYSTEM ARE COMBINED TOGETHER IN A SINGLE LUMINAIRE, THE HIGH EFFICACY AND LOW EFFICACY LIGHTING SYSTEMS SHALL SEPARATELY COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 150.0(K). <u>LOT # 25</u> 2756 OAKMONT ST. SEPARATELY COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 150.0(K).

C. LUMINAIRE WATTAGE AND CLASSIFICATION.

THE WATTAGE AND CLASSIFICATION OF PERMANENTLY INSTALLED LUMINAIRES IN RESIDENTIAL KITCHENS SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 130.0(C). IN RESIDENTIAL KITCHENS, THE WATTAGE OF ELECTRICAL BOXES FINISHED WITH A BLANK COVER OR WHERE NO ELECTRICAL EQUIPMENT HAS BEEN INSTALLED, AND WHERE THE ELECTRICAL BOX CAN BE USED FOR A LUMINAIRE OR A SURFACE MOUNTED CEILING FAN, SHALL BE CALCULATED AS 180 WATTS OF LOW EFFICACY LIGHTING PER ELECTRICAL BOX.

D. ELECTRONIC BALLASTS.

BALLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER SHALL BE ELECTRONIC AND SHALL HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ.

E. NIGHT LIGHTS.

PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS SHALL BE RATED TO CONSUME NO MORE THAN FIVE WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN AS DETERMINED IN ACCORDANCE WITH SECTION 130.0(C). NIGHT LIGHTS SHALL NOT BE REQUIRED TO BE CONTROLLED BY VACANCY SENSORS.

F. LIGHTING INTEGRAL TO EXHAUST FANS.

LIGHTING INTEGRAL TO EXHAUST FANS.

SECTION 150.0(K). SACRAMENTO CA. 95815 APN #/ 263-0142-025-000 150.0(K).

EXCEPTION TO SECTION 150.0(K)1F: LIGHTING INSTALLED BY THE MANUFACTURER IN KITCHEN EXHAUST HOODS.

2. SWITCHING DEVICES AND CONTROLS.

A. HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY DESCRIPTION CEILING FAN WITH LIGHT CEILING FAN 2. SWITCHING DEVICES AND CONTROLS.
A. HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINAIRES.
B. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. EXCEPTION TO SECTION 150.0(K)2B: LIGHTING INTEGRAL TO AN EXHAUST FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED THE LIGHTING CAN BE SWITCHED OFF IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150(K)2 WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.
C. LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
D. LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
E. NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR VACANCY SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION 150.0(K).
F. LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 110.9.
G. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH SECTION 110.9, MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 130.4, THE EMCS REQUIREMENTS IN SECTION 130.5, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A VACANCY SENSOR IN ACCORDANCE WITH SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A VACANCY SENSOR IN ACCORDANCE WITH SECTION 150.0(K) IF AT BUILDING MAY BE USED TO COMPLY WITH VACANCY SENSOR REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN SECTION 130.4, THE EMCS REQUIREMENTS IN SECTION 130.5, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K).

I. A MULTISCENE PROGRAMMABLE CONTROLLER MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K). IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH SECTION 110.9, AND COMPLIES WITH ALL OTHER LED CEILING MOUNTED LIGHT FIXTURES: SURFACE RECESSED, HEAT LAMP, LOW VOLTAGE LED WALL MOUNTED LIGHT FIXTURES(EXTERIOR WITH MOTION & PHOTO SENSOR): △ LED CHANDELIER LED WALL SCONCE FLUORESCENT LIGHT FIXTURE(MOTION SENSOR IN GARA ALL RECEPTACLES SHALL BE TAMPER RESISTANT TO THE PROOF, SINGLE POLE, WEATHER PROOF, GFCI, FLOOR RECEPTACLE, 240 V RECEPTACLE

SWITCHES: SINGLE POLE, WEATHER PROOF, 3-WAY, 4-WAY SWITCHES: VACANCY SWITCH, DIMMER, TIMER
SPEAKERS: CEILING MOUNTED, WALL MOUNTED WALL JACKS: CAT5, TV, TELEPHONE, THERMOSTAT
DOOR CHIME, DOOR BELL BUTTON SMOKE DETECTOR: CARBON DETECTOR.

ELECTRICAL BREAKER PANEL

TANKLESS HOT WATER HEATER

CEILING REGISTER, FLOOR REGISTER DRYER VENT GAS LOCATION A. A MINIMION OF SO PERCENT OF THE TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LIGHTING IN KITCHENS SHALL BE HIGH EFFICACY.

B. FOR THE PURPOSE OF COMPLIANCE WITH SECTION 150.0(K), KITCHEN LIGHTING INCLUDES ALL PERMANENTLY INSTALLED LIGHTING IN THE KITCHEN EXCEPT FOR LIGHTING THAT IS INTERNAL TO CABINETS FOR THE PURPOSE OF ILLUMINATING ONLY THE INSIDE OF THE CABINETS. LIGHTING IN AREAS ADJACENT TO THE KITCHEN, INCLUDING BUT NOT LIMITED TO DINING AND NOOK AREAS, ARE CONSIDERED KITCHEN LIGHTING IF THEY ARE NOT SEPARATELY SWITCHED FROM KITCHEN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0(K)2, AND IS ALSO CONTROLLED BY VACANCY SENSORS OR DIMMERS.

4. LIGHTING INTERNAL TO CABINETS.
PERMANENTLY INSTALLED LIGHTING THAT IS INTERNAL TO CABINETS SHALL USE NO MORE THAN 20 WATTS OF POWER PER LINEAR FOOT OF ILLUMINATED CABINET. THE LENGTH OF AN ILLUMINATED CABINET SHALL BE DETERMINED USING ONE OF THE FOLLOWING MEASUREMENTS, REGARDLESS OF THE NUMBER OF SHELVES OR THE NUMBER OF DOORS PER CABINET SECTION:
A. ONE HORIZONTAL LENGTH OF ILLUMINATED CABINET; OR
B. ONE VERTICAL LENGTH, PER ILLUMINATED CABINET SECTION; OR
C. NO MORE THAN ONE VERTICAL LENGTH PER EVERY 40 HORIZONTAL INCHES OF ILLUMINATED CABINET ADINE I. LIGHTING IN BATHROOMS. GHTING INSTALLED IN BATHROOMS SHALL MEET THE FOLLOWING REQUIREMENTS OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE HIGH EFFICACY OF COMES THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY
ROOMS SHALL BE HIGH FIRE THAN IN KITCHENS, BATHROOMS, AND UTILITY
ROOMS SHALL BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY VACANCY SENSORS.

LIGHTING OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY
ROOMS. LIGHT INING INSTALLED IN HOUMS OH AHEAS OF HEH FHAN IN KITCHENS, BATHHOOMS, GARAGES, AUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY, OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS. EXCEPTION 1 TO SECTION 150.0(K)7: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET. EXCEPTION 2 TO SECTION 150.0(K)7: LIGHTING IN DETACHED STORAGE BUILDINGS LESS THAN 1,000 SQUARE FEET LOCATED ON A RESIDENTIAL SITE. RECESSED LUMINAIRES IN CEILINGS.
JMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:

A. BE LISTED, AS DEFINED IN SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UNDERWRITERS LABORATORIES OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND

B. HAVE A LABEL THAT CERTIFIES THAT THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. AN EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND

C. BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK AND TALL HAVE ALL AIR LEAR PAINS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED ITH A GASKET OR CAULK; AND FOR RECESSED COMPACT FLUORESCENT LUMINAIRES WITH BALLASTS TO QUALIFY AS HIGH FICACY FOR COMPLIANCE WITH SECTION 150.0(K), THE BALLASTS SHALL BE CERTIFIED TO IE COMMISSION TO COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTION 110.9; AND EFFICACY FOR COMPLIANCE WITH SECTION 150.0(K), THE BALLASTS SHALL BE CERTIFIED TO THE COMMISSION TO COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTION 110.9; AND E. ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING.

9. RESIDENTIAL OUTDOOR LIGHTING.
LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE:
A. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY, OR MAY BE LOW EFFICACY IF IT MEETS ALL OF THE FOLLOWING REQUIREMENTS:
I. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW; AND
II. CONTROLLED BY A MOTION SENSOR NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE MOTION SENSOR, OR CONTROLLED BY A MOTION SENSOR HAVING A TEMPORARY OVERRIDE SWITCH WHICH TEMPORARILY BYPASSES THE MOTION SENSING FUNCTION AND AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS
III. CONTROLLED BY ONE OF THE FOLLOWING METHODS:
A. PHOTOCONTROL, OR
B. ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTOCONTROL; OR
B. ASTRONOMICAL TIME CLOCK, AND WHICH IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS; OR REQUIREMENTS:
AT A MINIMUM PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK IN ACCORDANCE
WITH SECTION 110.9; MEETS THE INSTALLATION CERTIFICATION REQUIREMENTS IN SECTION
130.4; MEETS THE REQUIREMENTS FOR AN EMCS IN SECTION 130.5; DOES NOT HAVE AN OVERRIDE
OR BYPASS SWITCH THAT ALLOWS THE LUMINAINE TO BE ALWAYS ON; AND, IS PROGRAMMED TO
AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS. **PLUMBING NOTES** THIS GAS SHUT OFF VALVES REQUIRED WITHIN 6' OF ALL GAS APPLIANCES . CARBON- MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING 2 CARBON- MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES
3 ALL GAS FIRED EQUIPMENT (WHICH GENERATES A GLOW, FLAME OR SPARK) LOCATED IN GARAGE IS TO BE 18" HIGH ABOVE FINISHED SLAB ON A WOOD PLATFORM AND SEISMICALLY BRACED WITH APPROVED STRAPPING.
4 90% EFFICIENT TANKLESS WATER HEATER WITH 120V RECEPTACLE THAT IS WITHIN 3' FROM WATER HEATER WITH NO OBSTRUCTIONS. A CATEGORY III OR IV VENT OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED. A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINAGE WITHOUT PUMP ASSISTANCE. ALSO PROVIDE A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR. BTU/HR.

5 WATER HEATERS SHALL BE STRAPPED FOR LATERAL SUPPORT.

6 INSULATE ALL HOT WATER PIPES.

7 SEDIMENT TRAPS TO PROVIDE DOWNSTREAM OF THE WATER HEATER AND FAU SHUT OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL.

8 WATER HEATER MAXIMUM TEMPERATURE 120 DEGREES F.

9 A WATER- TIGHT CORROSION RESISTANT PAN SHALL BE INSTALLED BENEATH THE WATER HEATER NOT LESS THAN A THREE QUARTER INCH DIAMETER DRAIN TO EXTERIOR LOCATION. IRON, HARD COPPER AND CPVC ARE ALLOWED.

10 WHERE REQUIRED- PROVIDE A 12"X14" PLUMBING ACCESS AT TUBS AND SHOWERS.

11 INSTALL A 18"WIDE X 24" HIGH CRAWL SPACE ACCESS WITHIN 20' OF ANY PLUMBING CLEANOUTS. **1ST FLOOR LOT #24 2752 OAKMONT ST. SACRAMENTO CA. 95815** 11 INSTALL A 18"WIDE X 24" HIGH CRAWL SPACE ACCESS WITHIN 20'O F ANY PLUMBING CLEANOUTS.

12 FOR SHOWER ANDOR TUB-SHOWER COMBINATIONS PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE WATER TEMPERATURE MAXIMUM IS A SETTING OF 120 DEGREES F (49 DEGREES C)

13 PROVIDE WATER RESISTANT GYPSUM BOARD UNDER TUB AND SHOWER TO A HEIGHT OF 70" MINIMUM ABOVE DRAIN INLET.

14 WATER CLOSETS TO BE 1.28 GAL/FLUSH, SINGLE SHOWER HEADS 2 G.P.M. MAXIMUM @ 80 PSI, RESIDENTIAL LAVATORY FAUCETS 1.2 G.P.M. MAXIMUM @ 60 PSI KITCHEN FAUCETS 1.8 G.P.M. @ 60 PSI. TEMPORARY INCREASE TO 2.2 G.P.M. ALLOWED BUT SHALL DEFAULT TO 1.8 G.P.M.

15 A DRYER VENT TO OUTSIDE CAN NOT EXCEED 14 FEET IN ANY DIRECTION (UNLESS CALCULATIONS ARE PROVIDED), AND CAN HAVE A MAXIMUM OF TWO 90- DEGREES ELBOWS. ADDITIONAL ELBOWS MAY BE USED, HOWEVER, THE LENGTH OF VENT MUST BE DECREASED BY 2 FEET FOR EACH ADDITIONAL ELBOW INSTALLED. TERMINATION POINT SHALL BE NO CLOSER THAN 3' FROM ANY WALL OPENING.

16 DRYER EXHAUST VENT DUCTING SHALL BE OF SMOOTH METAL AND EXTEND TO OUTSIDE WITH A BACKDRAFT DAMPER. APN #/ 263-0142-024-000 16 DRYER EXHAUST VENT DUCTING SHALL BE OF SMOOTH METAL AND EXTEND TO OUTSIDE WITH A BACKDRAFT DAMPER.

17 ALL FIREPLACES TO COMPLY WITH LOCAL AIR POLLUTION ORDINANCE REQUIREMENTS.

18 PROVIDE A NON REMOVABLE PREVENTION DEVICE AT ALL HOSE BIBS.SEDIMENT TRAPS TO BE PROVIDED DOWNSTREAM OF THE WATER HEATER AND FAU SHUT-OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL.

19 SEDIMENT TRAPS TO BE PROVIDED DOWNSTREAM OF THE WATER HEATER AND FAU SHUT OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL.

20 GAS METER TO BE PROTECTED PER CODE.

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ANDSCAPE PLAN WORKING FLOOR PLAN STRUCTURAL FLOOR PLAN

ROOF FRAMING PLA

BUILDING SECTIONS FIRE SPRINKLER PLAN

STRUCTURAL DETAIL:

STRUCTURAL DETAILS-

TRUCTURAL DETAILS-

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TITLE 24/ENERGY CALCS-3 CALIFORNIA GREEN NOTES

CALIFORNIA GREEN NOTES-2

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CLEARANCE INSULATION COVER (I.C.) AND AIR TIGHT PER THE 2022 MANDATORY ENERGY REQUIREMENTS.

21 ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL BE HIGH EFFICIENCY LIGHTING IS DEFINED AS FOLLOWS: LUMINARES LESS THAN 15 WATTS = 40 LUMENS PER WATT, LUMINARES 15 - 40 = 50 LUMENS PER WATT, AND LUMINARES GREATER THAN 40 WATTS = 60 LUMENS PER WATT. THE BALLAST IS NOT INCLUDED WHEN DETERMINING LAMP EFFICIENCY. (2022 TITLE 24))

23 WATTAGE OF LUMINAIRES INSTALLED IN BATHROOMS, GARAGES. LAUNDRY ROOMS AND UTILITY ROOMS MUST BE HIGH EFFICIENCY AND CONTROLLED BY PHOTO CONTROL/MOTION SENSOR. (2022 TITLE 24)

24 WATTAGE OF LUMINARIES INSTALLED IN DWELLING UNIT ROOMS OTHER THAN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS MUST BE HIGH EFFICIENCY OR CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS LESS THAN 70 SQUARE FEET ARE EXEMPT FROM THIS REQUIREMENT. (2022 TITLE 24)

25 WATTAGE OF LUMINAIRES MOUNTED TO A BUILDING OR OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICIENCY AND CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR OR A ASTRONOMICAL TIME CLOCK. (2022 TITLE 24).

26 THERE SHALL BE NO POINT ALONG A WALL THAT IS MORE THAN 6 FEET FROM AN ELECTRICAL RECEPTACLE (12 FEET MAXIMUM BETWEEN OUTLETS AND ON ANY WALL GREATER THAN 2 RECEPTACLE (12 FEET MAXIMUM BETWEEN OUTLETS AND ON ANY WALL GREATER THAN 2 FEET)
27 COUNTER TOPS GREATER THAN 12" SHALL HAVE ELECTRICAL RECEPTACLE OUTLET SPACING SO THAT NO 2 OUTLETS ARE FURTHER THAN 48" APART.
28 ARC-FAULT INTERRUPTERS REQUIRED IN ALL DWELLING UNIT BEDROOMS.
29 PROVIDE TAMPER RESISTANT RECEPTACLES IN EVERY: KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, LAUNDRY AND OUTDOOR AREA. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT INTERRUPTER (S). C.E.C. 30 OPEN OR PARTIALLY ENCLOSED FIXTURES SHALL NOT BE PERMITTED IN IN CLOSETS. OPEN OR PARTIALLY ENCLOSED FIXTURES SHALL NOT BE PERMITTED IN IN CLOSETS.
ELECTRICAL METER PANELS, SUBPANELS, AND DISCONNECTS REQUIRE A MINIMUM CLEAR 81 ELECTRICAL METER PANELS, SUBPANELS, AND DISCONNECTS REQUIRE A MINIMUM CLEAR WORKING SPACE OF 30"WIDE X 36" DEEP AND 6'6" HIGH.
82 G.F.C.I. OUTLET LOCATED IN FRONT AND REAR OF BUILDING AT GRADE LEVEL WITHIN 6'-6" OF THE GROUND AND MUST HAVE A WEATHERPROOF PROTECTIVE COVER.
83 TWO OR MORE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE EVENLY PROPORTIONED TO SUPPLY THE KITCHEN, PANTRY, DINING ROOM OR SIMILAR AREA. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, LIGHTS, AND OR FANS.
84 BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, LIGHTS, AND OR FANS.
85 GROUNDING ELECTRODE REQUIRED. BOND METALLIC GAS PIPE AND WATER PIPES TO THE SERVICE GROUND. CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, LIGHTS, AND OR FANS.
35 GROUNDING ELECTRODE REQUIRED. BOND METALLIC GAS PIPE AND WATER PIPES TO THE
SERVICE GROUND.
36 A CONCRETE-ENCASED ELECTRODE (UFER) CONSISTING OF 20' OF CONTINUOS #4 REBAR OR
#4 COPPER WIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW
CONSTRUCTION. BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS
SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE.
37 MANUAL CONTROL: LIGHTING MUST BE CONTROLLED BY A MANUAL ON/OFF SWITCH THAT IS
NOT CAPABLE OF TURNING ON ANY LIGHTING THAT HAS BEEN SHUT OFF BY AN AUTOMATIC
LIGHTING CONTROL.
38 CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND 4-PRONG OUTLET ARE REQUIRED FOR
DRYERS AND COOKING UNITS.
39 ALL 120-VOLT, SINGLE PHASE, 15 & 20 AMP. BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED
IN UNIT FAMILY DWELLING ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES,
DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR
ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC FAULT CIRCUIT INTERRUPTER,
COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT END
LISTED AS TAMPER RESISTANT, ALL OUTLETS.
40 LAUNDRY ROOM RECEPTACLES ARE REQUIRED TO HAVE A DEDICATED 20 AMP CIRCUIT THAT
CAN NOT SERVE ANY OTHER RECEPTACLES, LIGHTIS, AND/ OR FANS.
41 USE ELECTRICAL BOXES THAT ARE APPROVED FOR CEILING FANS TCEILING FAN LOCATIONS.
42 SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURES SHALL BE MINIMUM RECESSED
LIGHTING. LIGHTING.

43 ELECTRICAL WITHIN 6' OF ATTIC ACCESS SHALL BE PROTECTED.

44 NON METALLIC SHEATHED CABLE SHALL BE SECURED BY STAPLES, CABLE TIES, STRAPS, HANGERS, OR SIMILAR AT INTERVALS NOT TO EXCEED 54" AND WITHIN 6'6" OF GRADE.

45 HIGH EFFICACY AND CONTROLS: HIGH-EFFICACY LUMINAIRES ARE REQUIRED IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS, AND THES MUST BE CONTROLLED BY A VACANCY SENSOR. SEINSON.
6 SWITCH SEPARATELY: CONTROL LIGHTING THAT IS INTEGRAL TO CEILING FANS SEPARATELY FROM THE VENTILATION. FROM THE VENTILATION.
7 GARAGE DOOR OPENERS: LIGHTING INTEGRAL TO GARAGE DOOR OPENERS DOES NOT HAVE
TO BE HIGH EFFICACY WHEN THERE ARE MORE THAN TWO SCREW-BASE SOCKETS
INTEGRATED BY THE MANUFACTURER AND THE LIGHTS AUTOMATICALLY TURN ON AND OFF.
8 TEMPORARY MOTION SENSOR OVERIDES: MOTION SENSORS MAY HAVE A TEMPORARY
OVERDIDE FUNCTION THAT ALLOWED LIMINIAGES TO STAY SWITCHED ON DECADERS. MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY REACTIVATE WITHIN MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY REACTIVATE WITHIN SIX HOURS.

49 ALL 125- VOLT, SINGLE PHASE, 15 & 20 AMPERE RECEPTACLES INSTALLED IN GARAGE ON FINISHED BASEMENT, CRAWLSPACE, OUTDOOR AREA, BATHROOM, KITCHEN, AND COUNTERTOP SURFACE WITHIN 6" OF A WET BAR, SINK, OR LAUNDRYJUTILITY SINK, SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTOR PROTECTION FOR PERSONNEL.

50 PROVIDE ENCLOSED TYPE WHOLE HOUSE FAN. 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE FAU.

120-VOLT RIGOLT VACE OF THE WATER HEATER SHALL INCIDED A DEDICATED 208/240-VOLT BRANCH CIRCUIT.

152 INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT.

153 THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER).

154 THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES.

153 WHERE A GAS WATER HEATER IS TO BE USED: PROVIDE A SPECIAL RECEPTACLE ADJACENT TO THE WATER HEATER FOR REQUIRED PREWIRING FOR A FUTURE HEAT PUMP WATER HEATER. SYSTEMS USING GAS OR PROPANE WATER HEATERS SHALL INCLUDE A DEDICATED 120V, 20 AMP ELECTRICAL RECEPTACLE, CONNECTED TO THE ELECTRICAL PANEL WITH A 120/240 VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT THAT IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS. BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED WITH THE WORD SPARE AND BE ELECTRICALLY ISOLATED. ALSO PROVIDE A RESERVED SINGLE POLE CIRCUIT ABOVE LABELED WITH THE WORDS ECTRICAL PANEL ADJACENT TO THE BRANCH CIRCUIT ABOVE LABELED WITH THE WORDS

> **MECHANICAL PLAN/ 2ND FLOOR SCALE:** (1/8" = 1')

ELECTRICAL NOTES

2 ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE ON G.F.I. CIRCUIT AND WEATHERPROOF.

3 ALL OUTLETS LOCATED IN GARAGE, LAUNDRY, KITCHEN AND BATHROOMS ARE TO HAVE G.F.I. AND A.F.C.I. RECEPTACLES AND IN KITCHEN AND BATHROOMS SHALL BE INSTALLED ABOVE COUNTERTOPS.

4 TAMPER RESISTANT OUTLETS ARE REQUIRED AT ALL NEW CIRCUITS. PROVIDE TAMPER RESISTANT RECEPTACLES IN EVERY: KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, LAUNDRY AND OUTDOOR AREA.

5 INSTALL AUDIBLE SMOKE DETECTORS ON INTERCONNECTED WIRED 110V CIRCUIT WITH BATTERY BACKUP @ 1) ALL BEDROOMS 2) CENTRALLY LOCATED IN ALL CORRIDORS AND HALLWAYS LEADING TO BEDROOMS 3) ABOVE TOPS OF ALL STAIRS 4) AT LEAST ONE AT EVERY LEVEL WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA 5) A STORY BASEMENT IS SPLIT INTO TWO OR MORE LEVELS, THE SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL 6) AND IN A DWELLING UNIT WHERE THE CEILING HEIGHT OF ANY ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE SMOKE ALARMS SHALL BE INSTALLED IN THE HALLWAY AND THE ADJACENT ROOM. ALL SMOKE ALARMS SHALL BE INSTALLED IN THE HALLWAY AND THE ADJACENT ROOM. ALL SMOKE ALARMS ARE TO BE LOCATED AT THE HIGHEST POINT IN THE AREA SERVED OR AS SPECIFIED BY MANUFACTURER.

6 WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. CARBON MONOXIDE ALARMS MUST ALSO BE INTERCONNECTED.

7 CARBON-MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING ADDITION.

ALARMS MUST ALSO BE INTERCONNECTED.

7 CARBON- MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES.

8 CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A 4-PRONG OUTLET ARE REQUIRED FOR DRYERS AND COOKING UNITS.

9 PROVIDE WIRING FOR RANGE, HOOD W/BACK DRAFT DAMPER, LIGHT AND FAN @ 72"ABOVE FLOOR AS APPLICABLE.

10 PROVIDE 110 G.F.I. VOLT OUTLET FOR WATER HEATER AND HEATING EQUIPMENT.

11 CLOSET LIGHTING SHALL BE 18" FROM COMBUSTIBLES- MEASURED BOTH HORIZONTALLY AND VERTICALLY.

12 PROVIDE TEMPORARY MOTION SENSOR OVERIDES: MOTION SENSORS MAY HAVE A TEMPORARY OVERRIDE FUNCTION THAT ALLOWS LUMINARIES TO STAY SWITCHED ON REGARDLESS OF MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY REACTIVATE WITHIN 6 HOURS.

REACTIVATE WITHIN 6 HOURS.

13 IF BATHROOM HAS NOT NATURAL VENTILATION PROVIDE EXHAUST FAN VENTED TO EXTERIOF AND SWITCH WMOTION SENSOR & HUMIDISTAT SENSOR.

14 LIGHTING FIXTURES IN TUB AND SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".

DAMP LOCATIONS".

15 USE ONLY C.E.C. CERTIFIED APPLIANCES, SHOWER HEADS AND FAUCETS.

16 OWNER TO LOCATE SPECIALIZED OUTLETS & JACKS.

17 PROVIDE A WEATHERPROOF G.F.C.I. ELECTRICAL RECEPTACLE WITH IN 25' OF A.C. UNIT.

18 OUTSIDE SWITCHES SHALL BE WATERPROOF.

19 PROVIDE A RECEPTACLE AT OR NEAR MECHANICAL EQUIPMENT. WHEN EQUIPMENT IS LOCATED IN ATTIC OR BASEMENT A LIGHT SHALL AT OR NEAR WITH SWITCH NEAR ACCESS DOOR.

ALL LIGHTING RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) AND AIR TIGHT PER THE 2022 MANDATORY ENERGY REQUIREMENTS.

ALL WORK SHALL BE IN ACCORDANCE WITHALL CODES, RULES, AND REGULATIONS AND COMPLY WITH THE 2022 C.E.C. CODE REQUIREMENTS.

ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE ON G.F.I.

6/20/23

MECHANICAL PLAN

SCALE: (1/8" = 1')

GENERAL NOTES THIS HOUSE HAS AN ENGINEERED AUTOMATIC FIRE SPRINKLER SYSTEM 3 DOORS FROM DWELLING TO GARAGE SHALL BE SELF CLOSING, SELF LATCHING, AND 20 MINUTE FIRE RATED 4 USEABLE SPACES UNDERNEATH ENCLOSED STAIRWAYS SHALL BE PROTECTED BY MINIMUM DRYWALL NAILING SHALL BE IN ACCORDANCE WITH C.B.C. REQUIREMENT

6 SAFETY GLAZING OR APPROVED SHATTER RESISTANT MATERIALS ARE REQUIRED IN DOOR: AND ENCLOSURES FOR BATHTUBS, HOT TUBS, WHIRLPOOLS SAUNAS, STEAM ROOMS, AND SHOWERS. SAFETY GLAZING IS REQUIRED IN ANY PORTION OF A BUILDING WALL ENCLOSING SE COMPARTMENTS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET. SAFETY GLAZING IS ALSO REQUIRED IN FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGES OF THE GLAZING IS WITHIN A 24" ARC OF FITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION OR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SAFETY GLAZING IS ALSO REQUIRED FOR GLASS CLOSER THAN 18" ABOVE ADJACENT WALKING SURFACES. A PERMANENT LABEL SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING TEMPERED GLASS SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSTION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR. UB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE

SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WAL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSLIM PANEL FIRER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTO FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS 9 ATTIC ACCESS SHALL BE PROVIDED TO ALL ATTIC AREAS (IN BUILDINGS WITH COMBUSTIBLE

CEILING OR ROOF CONSTRUCTION) THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER. [R807.1] THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22-INCHES BY 30- INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER LOCATION WITH READY ACCESS. WHEN LOCATED IN A WALL, THE OPENING SHALL BE A MINIMUM OF 22-INCHES WIDE BY 30-INCHES HIGH ACCESS OPENINGS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS

THROUGH THE FLOOR SHALL BE A MINIMUM OF 18-INCHES BY 24-INCHES. I EMERGENCY EGRESS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENABLI DIMENSION OF 24 INCHES IN HEIGHT 20 INCHES IN WIDTH IN 5.7 FT.² IN AREA. SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR.

A MINIMUM OF 36" X 36" LANDING AT EACH DOORWAY 13 SHOWER AND TUB/SHOWER WALLS TO BE COVERED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT 70" ABOVE THE DRAIN INLET. 14 CAULK ALL DOORS, WINDOWS, JOINTS, AND AREAS REQUIRED TO PROVIDE A WEATHER PROOF

5 MANUFACTURER SPECIFICATIONS AND INSTALLATION INSTRUCTIONS TO BE PROVIDED AT APPROPRIATE INSPECTION BY CONTRACTOR, SUBCONTRACTOR OR OWNER.

16 FACTORY BUILT FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WOOD-BURNING FIREPLACES MUST BE EPA PHASE II CERTIFIED. HEARTH DIMENSIONS AND CLEARANCES TO COMBUSTIBLES SHALL BE PER MANUFACTURE'S REQUIREMENTS. WHERE FACTORY-BUILT CHIMNEYS PASS THROUGH INSULATED ASSEMBLIES, AN INSULATION SHIELI CONSTRUCTED OF 26 GAUGE STEEL MINIMUM SHALL BE INSTALLED TO PROVIDE CLEARANCE BETWEEN THE CHIMNEY AND INSULATION MATERIAL THIS DWELLING SHALL MEET THE 2019 CALIFORNIA ENERGY REQUIREMENTS FOR INDOOR AIR

QUALITY I Q. INSTALL A CONTINUOUSLY RUNNING BATH AND THAT NEEDS ANSI/AHRESA STANDARD 62.2. THE SOUND LEVEL CANNOT EXCEED 1.0 SONE, AND THE CFM SHALL MEET TABLE 4–7 OF THE RESIDENTIAL COMPLIANCE MANUA 8 FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION B327 CLASS (A) REQUIREMENT 9 VENTILATION OPENINGS FOR ATTICS. GABLES. AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A

COMBUSTIBLE AND CORROSION RESISTANT) BUILDING PADS WILL BE GRADED 5% FOR A MINIMUM OF 10' AWAY FROM STRUCTURE PROVIDE EROSION CONTROL PER LOCAL JURISDICTION STANDARDS DURING ROUGH AND FINISH GRADING IF REQUIRED.STORM WATER DRAINAGE AND RETENTION DURIN CONSTRUCTION FOR PROJECTS DISTURBING LESS THAN 1 ACRE OF SOIL, AND NOT PART OF

MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-

LARGER COMMON PLAN OVER 1 ACRE PROVIDE A SMOKE DETECTOR ON EACH FLOOR LEVEL AND BASEMENT. INSTALL SMOKE DETECTORS IN ALL SLEEPING AREAS, ADJACENT HALLWAYS TO SLEEPING ROOMS, ON TH CEILING, CLOSE TO THE STAIRWAY OF AN UPPER FLOOR WHERE SLEEPING AREAS OCCUP AND IN THE ADJACENT ROOM (OR AREA) WHERE THE CEILING HEIGHT EXCEEDS THAT OF THE HALLWAY BY24" OR MORE. DETECTORS SHALL HAVE THEIR PRIMARY POWER SUPPLIED FROM BUILDING WIRING. DETECTORS SHALL BE EQUIPPED WITH A BATTERY BACKUP AND ALARM THAT SHALL BE AUDIBLE IN ALL SLEEPING AREAS.

3 PROVIDE A SMOKE DETECTOR ON EACH FLOOR LEVEL AND BASEMENT. INSTALL SM DETECTORS IN ALL SLEEPING AREAS, ADJACENT HALLWAYS TO SLEEPING ROOMS, ON T CEILING CLOSE TO THE STAIRWAY OF AN UPPER FLOOR WHERE SLEEPING AREAS OCCU AND IN THE ADJACENT ROOM (OR AREA) WHERE THE CEILING HEIGHT EXCEEDS THAT OF HALLWAY BY24" OR MORE. DETECTORS SHALL HAVE THEIR PRIMARY POWER SUPPLIED FROM BUILDING WIRING. DETECTORS SHALL BE EQUIPPED WITH A BATTERY BACKUP AND ALARM THAT SHALL BE AUDIBLE IN ALL SLEEPING AREAS. SEE ELECTRICAL NOTE 25 FOR CARBON MONOXIDE ALARM REQUIREMENTS

4 FOR ELECTRIC VEHICLE CHARGING STATIONS: INSTALL A MINIMUM 1" CONDUIT CAPABLE OF SUPPLYING A 208/ 240V BRANCH CIRCUIT TO A SUITABLE BOX LOCATION FOR ELECTRIC VEHICLE CHARGING. THE OTHER END SHALL TERMINATE TO THE MAIN SERVICE AND /OI SUBPANEL THE MAIN PANEL AND OR SUBPANEL SHALL BE OF SUFFICIENT SIZE TO INSTALL A 40-AMPERE DEDICATED BRANCH CIRCUIT. THE DEDICATED OVER CURRENT PROTECTION SHALL BE LABELED ?EV CAPABLE?.

DEFERRED SUBMITTAL: MANUFACTURER SPECIFICATIONS AND INSTALLATION INSTRUCTIONS TO BE PROVIDED AT APPROPRIATE INSPECTION.

WILDLAND-URBAN INTERFACE . 6/20/23

I FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION R327. CLASS (A) REQUIREMENT 2 EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING. SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.

3 EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANG: 4 WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH CEMENT PLASTER SHALL BE IN

5 OPEN/ ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENT 6 SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909

ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE

APPLIED OVER METAL LATH OR WIRE LATH

WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 26 AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM 3909 AND AT LEAST 36 INCHES WIDE BUNNING FULL I FNGTH 8 VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OF OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A

MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/ APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS. EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTE TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD.

OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX 1 EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-A-1

GARAGE DOOR PERMITER GAP MAXIMUM 1/8". METAL FLASHING, JAMB AND HEADER OVERLAP AND WEATHER- STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED.

3 RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD 4 THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE- RETARDENT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL 5 VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL

NOT TE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER 6 UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.

AMINIMUM0.019-INCH(NO.26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEF SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF $31/2^{\shortparallel}$ SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER O DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAF HE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED

NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER 9 THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE OR PROTECTED BY ONE OF THE FOLLOWING: 20 1. NONCOMBUSTIBLE MATERIAL 2. IGNITION-RESISTANT MATERIAL 3. ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING BEHIND THE

8 VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL

2 OF THE CEILING .4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR 23 UNDERSIDE OF THE CEILING ASSEMBLY. 5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957.6.

PORCH CEILING ASSEMBLIES WITH
A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A-

21 EXTERIOR COVER ON THE UNDERSIDE

SITE PLAN & GRADING NOTES 6/20/23

SETBACKS PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.(CALL BEFORE YOU DIG 800 APPROVÁL SHALL BE OBTAINED FROM BUILDING OFFICIAL PRIOR TO ANY GRADING ACTIVITY DRAINAGE AND RETENTION DURING CONSTRUCTION FOR PROJECTS DISTURBING LESS THAI ACRE OF SOIL, AND NOT PART OF A LARGER COMMON PLAN OVER 1 ACRE BRADING SHALL NOT BE COMPLETED AS TO INCREASE THE AMOUNT OF DRAINAGE/ RUNOFF NTO NEIGHBORING PROPERTIES. (L-V 19.12) TORM WATER TO BE DIVERTED TO VEGETATION AREA

AVOID ANY CONSTRUCTION OR TRENCHING WHEN THE SOIL IS WET FOLLOWING A HEAVY RAINFALL EVENT COMPLIANCE WITH VEGETATION CLEARANCE REQUIREMENT PER LOCAL CODE EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING AND PRIOR TO ANY RAIN EVENT. SILT FENCING OR FIBER ROLLS SHALL BE PLACED AT POINT OF CONCENTRATED DRAINAGE ALL CUTS AND FILLS ARE TO BE 2:1 MAXIMUM UNLESS OTHERWISE STATED.CUTS AND/OR FILLS STEEPER THAN 2:1 REQUIRE APPROVAL FROM A LICENSED GEOTECHNICAL ENGINEER. AREAS OF LAND DISTURBANCE GREATER GREATER THAN 3:1 SHALL BE COVERED WITH FROSION CONTROL MATTING IN ADDITION TO MULCHING AS FOLLOWS: ALL AREAS OF LAND DISTURBANCE SHALL BE MULCHED 4" MINIMUM STRAW. SILT FENCING OR FIBER ROLLS SHALL BE IN PLACED AT POINT OF CONCENTRATED DRAINAGE. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING OR PRIOR TO ANY RAIN EVENT. EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH 5 ALL FOOTINGS TO BE SUPPORTED BY UNDISTURBED SOIL, NATIVE SOIL UNLESS OTHERWISE COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE THE BUILDING DEPARTMENT IF REQUIRED BY CODE. ANY REVISIONS FROM SOILS REPORT SHALL BE

NCORPORATED INTO THE PLANS AND SPECIFICATIONS. MINIMUM 6" FALL FROM WITHIN 10' OF STRUCTURE SOIL FROM FOOTINGS TO BE USED TO PROVIDE SLOPE AWAY FROM BUILDING. SPOILS TO BE DISTRIBUTED EVENLY NOT TO CAUSE SETTLING. NO SOIL WILL BE REMOVED FROM PROPERTY I EXCAVATION LESS THAN 250 CUBIC YARDS

DRIVEWAY NOTES

A PRIVATE DRIVEWAY CONSTRUCTION STANDARDS (SECTION L-XV13.2 LUDC ALL NEWLY CONSTRUCTED SINGLE FAMILY RESIDENCES SHALL BE SERVED BY A DRIVEWAY. ANY SUBDIVISION PROPOSING THAT TWO (2) LOTS BE SERVED BY A COMMON DRIVEWAY HALL HAVE THE DRIVEWAY CONSTRUCTED PRIOR TO THE MAP RECORDATION. THE DRIVEWAY SHALL MEET THE FOLLOWING CONSTRUCTION STANDARDS AS ADMINISTERED BY HE BUILDING DEPARTMENT THROUGH A DRIVEWAY PERMIT WHEN A GRADING PERMIT IS NOT APPLICABLE, STANDARDS DO NOT APPLY TO DRIVEWAYS THAT ARE LESS THAN FIFTY (50) FEET BELOW 4,000 FEET ELEVATION, DRIVEWAY GRADE SHALL NOT EXCEED TWENTY PERCENT (201 UNLESS A PETITION FOR THE EXCEPTION IS SUPPORTED BY THE COUNTY FIRE MARSHAL OR HIS OR HER APPOINTED DESIGNEE AND GRANTED BY THE PLANNING AGENCY HAVING JURISDICTION OVER THE LAND USE ENTITLEMENT. NOT WITHSTANDING SECTION L-XVI 6,EXCEPTIONS TO STANDARDS, THERE SHALL BE NO EXCEPTIONS GRANTED FOR GRADES IN EXCESS OF TWENTY-FIVE PERCÉNT(25%)

4 AT OR ABOVE 4,000 FEET ELEVATION, DRIVEWAY GRADE SHALL NOT EXCEED SIXTEEN PERCENT (16%) MAXIMUM. NOTWITHSTANDING SECTION L-XVI2.6. EXCEPTIONS TO STANDARDS, THERE SHALL BE NO EXCEPTIONS GRANTED FOR GRADES IN EXCESS OF IXTEEN PERCENT (16%) WHERE ELEVATIONS RANGE ABOVE 4000 FEET DRIVEWAY SURFACES SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LEGALLY LOADED VEHICLE. DRIVEWAYS AND SEGMENTS THERE OF THAT ARE BETWEEN ZERO (0%) AND SIXTEE (16%) GRADE SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LEGALLY LOADED VEHICL AS CERTIFIED BY A REGISTERED CIVIL ENGINEER, OR A MINIMUM OF 4" CLASS 11 AGGREGATE

DRIVEWAYS AND SEGMENTS THEREOF THAT ARE SIXTEEN POINT ONE (16.1%) GRADE ANI ABOVE, SHALL BE DESIGNED AND CERTIFIED BY A REGISTERED CIVIL ENGINEER. PRIOR TO FOUNDATION INSPECTION, THE ENGINEER SHALL PROVIDE STAMPED AND SIGNED WRITTEN FRIFICATION TO THE COUNTY FIRE MARSHAL OR HIS OR HER APPOINTED DESIGNEE THA HE ROUGH GRADE COMPLIES WITH THE SITE PLAN. PRIOR TO, OR CONCURRENT WITH FINA NSPECTION, THE ENGINEER SHALL PROVIDE STAMPED AND SIGNED WRITTEN VERIFICATION THAT THE FINAL DRIVEWAY COMPLIES WITH THE SITE PLAN. DRIVEWAYS BETWEEN SIXTEEN POINT ONE PERCENT (16%) AND TWENTY PERCENT (20%) GRADE SHALL BE ENGINEERED WITH AN ALL WEATHER SURFACE. AT LEAST THE FIRST THIRTY (30) FEET OF THE DRIVEWAY ENCROACHMENT FROM THE EDGE FPAVEMENT OF THE PRIMARY ROADWAY SHALL CONFORM TO THE DESIGN STANDARDS FOR PRIVEWAY ENCROACHMENTS AS PER COUNTY STANDARDS, AVAILABLE FROM THE

PARTMENT OF PUBLIC WORKS THE DRIVEWAY MUST BE BUILT WITHIN FIFTY (50) FEET OF THE NEAREST POINT OF EACH

SURFACE WIDTH SHALL BE TEN (10) FEET MINIMUM WITH ONE (1) FOOT SHOULDERS FOR ĎŘIVEWAYS UP TO SIXTEEN PERCÉNT (16%). FOR GRADES BETWEEN SIXTEEN POINT ONI PERCENT (16 %) AND TWENTY PERCENT (20%), A TWELVE FOOT MINIMUM SURFACE WIDTH WITH ONE (1) FOOT SHOULDERS IS REQUIRED VERTICAL CLEARANCE SHALL BE FIFTEEN (15) FEET MINIMUM, MEASURED FROM THE OUTSIDE EDGE OF THE SHOULDER. CURVE RADIUS SHALL BE FIFTY (50) FEET MINIMUM FROM CENTERLINE. FOR ALL DRIVEWAYS RADII LESS THAN ONE HUNDRED FÉET(100) FEET. AN ADDITIONAL FOUR (4) FEET O SURFACING SHALL BE PROVIDED ON SAID CURVES. ALL DRIVEWAYS SHALL ALSO COMPLY WITH THE LAND USE AND DEVELOPMENT CODE SECTION L-XV11 3.4.F, DESIGN GEOMETRICS: BACK-OUT MANEUVERING AREA IN FRONT OF PARKING GARAGES AND OPEN PARKING STALLS SHALL BE TWENTY FOUR (24) FEET. 4 FOR DRIVEWAYS THAT ARÈ THREE HUNDRED (300) FEET OR MORE IN LENGTH, A TURNAROUND

OR HAMMERHEAD WITH A MAXIMUM GRADE OF TWELVE (12) PERCNT SHALL BE PROVIDED

WITHIN FIFTY (50) FFFT OF DWFI LING (SFE HAMMERHEAD DETAILS 5 DRIVEWAYS EXCEEDING ONE HUNDRED AND FIFTY (150) FEET IN LENGTH, BUT LESS THAN EIGHT HUNDRED (800) FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF IVEWAYS EXCEEDING EIGHT HUNDRED (800) FEET SHALL PROVIDE TURNOUTS NO MORE THAN FOUR HUNDRED (400) FEET APART TURNAROUND: THE TERMINUS BULB SHALL HAVE A MINIMUM FORTY (40) FOOT RADIUS HAMMERHEAD T: THE LONG AXIS SHALL BE A MINIMUM OF SIXTY (60) FEET AND THE LEG SHALL BE A MINIMUM OF FORTY (40) FEET. (SEE DETAIL 9 TURNOUTS SHALL BE A MINIMUM OF TEN (1`0) FEET WIDÉ AND THIRTY (30) FEET LONG WITH A MINIMUM OF TWENTY FIVE (25) FOOT TAPER ON EACH END. 0 ALL BRIDGE AND CULVERT PORTIONS SHALL SUPPORT A 40,000 POUND LEGALLY LOADED

ROADSIDE VEGETATION: A FUEL MODIFICATION AREA SHALL BE PROVIDED FOR A DISTANCE OF

2 ALL APPROPRIATE GRADING, DRAINAGE AND EROSION CONTROL SHALL BE INCLUDED PURSUANT TO CHAPTER V OF THE LAND USE AND DEVELOPMENT CODE.
3 LATERAL SLOPES MUST BE DESIGNED AND INSTALLED TO ACCOMMODATE A MINIMUM TWO PERCENT(2%) AND A MAXIMUM FOUR PERCENT (4%) CROSS SLOPES, TAKING TOPOGRAPHY INTO CONSIDÉRATION.

10 FEET ON EACH SIDE OF THE DRIVEWA

EQUAL TO 40 BAR DIAMETERS IN CONCRETE

SHALL BE OF CORROSION RESISTANT TYPE

STAGGER ALL ADJACENT SPLICES 48" MINIMUM

FOUNDATION NOTES

FOUNDATION STEM WALLS AND FOOTINGS AS PER ENGINEERING CALCULATIONS $\mathtt{2}$ REMOVE ALL TREES AND PLANTS WITHIN 5' FROM FOUNDATION TOGETHER WITH ALL PRIOR TO CALLING FOR BUILDING DEPARTMENT FOUNDATION INSPECTION, PRELIMINARY GRADING AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT IF REQUIRE 4 WHERE FILL OCCURS, FOOTINGS SHALL EXTEND INTO NATURAL GRADE UNLESS AN APPROVED COMPACTION TEST HAS BEEN DONE HOLDDOWN DEVICES MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION JFER GROUND TO BE INSTALLED IN THE BUILDING CODE MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 2500 PSI. UNLESS

OTHERWISE NOTE ALL CONCRETE USED SHALL CONFORM TO A.S.T.M. C-150. REENFORCED STEEL SHALL CONFORM TO A.S.T.M. A615 GRADE 40 MINIMUM UNLESS

HORIZONTAL OR VERTICAL REENFORCEMENT NOTED "CONT."SHALL HAVE A MINIMUM SPLICE

FOUNDATION SILL PLATE SHALL BE BOLTED TO THE FOUNDATION WITH 1/2"X10" MINIMUN ANCHOR BOLTS AT 48" O.C. OR PER ENGINEERING BOLTS SHALL BE EMBEDDED 7" MINIMUM NTO REENFORCED CONCRETE. THERE SHALL BE A MINIMUM OR 2 BOLTS PER PIECE WITH 1 BOLT LOCATED NOT LESS THAN 3 1/2" NOR MORE THAN 12" FROM EACH END OF EACH PIECE. USE 3"X3" X 3/16" GALVANIZED PLATE WASHER PER BOLT ALL WOOD BEARING ON CONCRETE OR MASONRY OR WITHIN 8" OF GROUND SURFACE, SHAL E PRESSURE TREATED DOUG FIR OR EQUIVALENT. WOOD OF NATURAL RESISTANCE TO DECAY OR PRESSURE TREATED WOOD SHALL BE USED FOR WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND OR LESS THAN 2 INCHES FROM CONCRETE STEPS, PATIOS, ETC. THAT IS EXPOSED TO THE WEATHER. 4 SAW CUT ALL SLABS WITH 1" DEEP CRACK CONTROL JOINTS AT INTERVALS NOT TO EXCEED 20 O.C. EACH WAY. SAW CUTTING SHALL OCCUR 12 TO 16 HOURS AFTER POUR. MINIMUM SLOPE AWAY

SLOPE FINISH GRADE AT STRUCTURE AT 8" MINIMUM FOR 10' AND IMPERVIOUS SURFACES 29 B PROVIDE UNDER FLOOR VENTILATION NOT LESS THAN 1 SQ.FT. PER 150 SQ.FT. OF UNDER FLOOR AREA AS PER U.B.C. SECTION 2306.7. PROVIDE A MINIMUM OF 18"X24" ACCESS TO ALL UNDERFLOOR AREAS AND NO FURTHER THAN 20, FROM ANY CLEAN-OUT AS PEER U.B.C. SECTION 2327.3. 3 CONCRETE AGGREGATE SHALL CONFORM TO A.S.T.M. C-33. 9 PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES OR OTHER APPROVED METHOD BUT MAY NOT BE EMBEDDED THERE IN. BOTTOM OF ALL FOOTINGS TRENCHES SHALL BE CLEAN AND LEVEL

WHERE ANCHOR BOLTS HAVE NOT BEEN PROPERLY PLACED USE SIMPSON RFB EPOXY TIE BOLTS (OR FQUIVALENT CONTINUOS FOOTINGS TO BE A MINIMUM OF 12" WIDE AND 12" DEEP UNDISTURBED SOIL BELOW ADJACENT GRADE, WITH A MINIMUM OF 1 #4 BAR TOP AND BOTTOM, (SE ENGINEERING) " CLEAR OF BOTTOM AND SIDE.(U.O.N.) ALL PAD FOOTINGS LARGER THAN 24" SQ. TO HAVE #4 BARS AT 12"O.C. MAX EACH WAY, 3" CLEAR AT BOTTOM AND SIDES. 24 ALL CONCRETE SLABS WITHIN BUILDING FOOTPRINT SHALL HAVE 3 1/2"S MINIMUM OF CONCRETE WITH #3 REBAR 24" O.C.(BOTH WAYS) WITH 1" SAND,10 MIL. CAPILLARY BREAK, AND

4" GRAVEL FILL MINIMUM. 5 CONCRETE DRIVEWAYS, PORCHES, SIDEWALKS AND PARKING PADS SHALL HAVE 3 1/2"S MINIMUM OF CONCRETE WITH #3 REBAR 24" O.C. (BOTHWAYS) S GARAGE AND CARPORT SURFACES SHALL BE NON-COMBUSTIBLE MATERIAL AND SLOPE TO DRAIN TOWARDS GARAGE DOOR OPENING 7 WHERE SSTB HOLD DOWN ANCHORS ARE USED DEEPEN AND WIDEN POCKET FOR 8" SQ. OR DIAMETER AROUND SSTB ANCHOR TO PROVIDE CLEAR CONCRETE COVER BELOW BOTTOM

HARDWARE NOTES

2 HOLES THROUGH BOLTS SHALL BE DRILLED 1/16" OVER SIZE.
3 HOLES FOR LAG BOLTS SHALL BE FIRST BORED TO THE SAME NORMAL DIAMETER AND DEPTH OF THE SHANK. THE REST SHALL BE NO LONGER THAN THE ROOT OF THE THREAD.
4 LAG BOLTS SHALL BE SCREWED-NOT DRIVEN INTO PLACE. 5 ALL BOLTS AND LAG BOLTS SHALL BE RETIGHTENED UPON INSTALLATION AND RETIGHTENED BEFORE CLOSING IN OR AT THE COMPLETION OF THE JOB. 3 ALL BOLTS ARE TO BE A.S.T.M.A-307 MINIMUM UNLESS OTHERWISE NOTED. BOLTS SHALL BE NEW AND WITHOUT EXCESSIVE RUST.
7 ALL FASTENERS USED BY ATTACHMENT OF SIDING AND INTO PRESSURE TREATED LUMBER

ALL NUTS AND BOLTS SHALL BE PROVIDED WITH FLAT OR MALEABLE WASHERS WHERE

FRAMING AND STRUCTURAL NOTES 6/20/23 SHEATH ALL EXTERIOR WALLS WITH 3/8 " C.D.X. AND NAIL WITH 8D AT 6" O.C. EDGE NAIL, 12" IN OC FIELD NAILED OR AS PER SHEAR WALL SCHEDULE. BLOCK ALL EDGES AS REQUIRED. OR AS SPECIFIED BY ENGINEERING SHEAR WALL SCHEDULE 2 AND 4X HORIZONTAL FRAMING IS TO BE D F # 2 OR BETTER - U O N

3 6X AND 8X HORIZONTAL FRAMING IS TO BE D.F. # 1 OR BETTER - U.O.N.

ALL POSTS ARE TO BE D.F. #1 OR BETTER - U.O.N SIMPLE SPAN GLU-LAMINATED BEAMS SHALL BE 24 FX/V4- DF/DF-U.O.N. CANTILEVERED GLU-LAMINATED BEAMS SHALL BE 24 FX/V4-DF/DF - U.O.N. PROVIDE 4X12 D.F. HEADERS IN 2X4 STUD FRAMED WALLS WITH DOUBLE 2X4 TRIMMERS II OPENINGS ARE 6 FT. OR MORE - VERIEY WITH PLANS PROVIDE 6X12 D.F. HEADERS IN 2X6 STUD FRAMED WALLS WITH DOUBLE 2X6 TRIMMERS IF PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS I.E.: 4X BEAMS ARE TO BE SUPPORTED B' (2) - 2X4 STUDS OR 4X4 POSTS. I.E.: 6X AND 8X BEAMS ARE TO BE SUPPORTED BY 6X AND 8X POSTS RESPECTIVELY GLU-LAMINATED BEAMS CERTIFICATES WILL BE REQUIRED @ FRAMING INSPECTION PROVIDE BLOCKING BETWEEN ALL FLOOR JOISTS, TRUSSES, AND RAFTERS AT ALL BEARING WALLS, GIRDERS, BEAMS, AND HEADERS 2 BEARING AND EXTERIOR WALL STUDS ARE TO BE CAPPED WITH DOUBLE TOP PLATE AND NSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS AND DOUBLE TOP PLATES SHALL BE OFF SET AT LEAST 48 INCH

MINIMUM CLEARANCE BETWEEN BOTTOM OF FLOOR JOIST AND THE GROUND SURFACE SHAL BE 18" MINIMUM. MINIMUM CLEARANCE OF FLOOR GIRDERS TO GROUND SURFACE SHALL BE 2" MINIMUM FIRE BLOCK STUD WALLS AND PARTITIONS (INCLUDING FURRED SPACES) AT FLOOR, CEILING, SOFFITS. AND AT MID HEIGHT IN WALLS OVER 10' IN HEIGHT NOTCHING OF BEARING WALLS SHALL NOT EXCEED 25% OF STUD AND BORED HOLES SHALL NOTCHING OF NON BEARING WALLS SHALL NOT EXCEED 40% OF STUD AND BORED HOLES SHALL NOT EXCEED 60% OF STUD. FOUNDATION CRIPPLE STUDS SHALL BE 2X6 DOUG FIR AT 16" O.C. WITH A MINIMUM LENGTH ". STUDS LESS THAN 14" SHALL BE SHEATHED WITH A MINIMUM OF 3/8" PLYWOOD OR OSB EQUIVALENT BOTH SIDES OR SOLID BLOCKED 8 WALLS BETWEEN HOUSE AND GARAGE ARE TO BE 2X6 DF STUDS AT 16"O.C. U.O.I

9 ALL MEMBERS ARE TO BE FRAMED, ANCHORED, TIFD, AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THERE USED 0 ALL TOP PLATES OF STUD WALLS SHALL BE A MINIMUM OF 48" LONG AND NAILED WITH (16) 1° AT EACH SIDE OF EACH SPLICE PER CRC R602.3.2 OR BETTER.ALL INTERSECTING WALLS NOT AT 90 DEGREES WITH RESPECT TO EACH OTHER, SHALL BE STRAPPED TOGETHER WITH SIMPSON MST-27 STRAPS U.O.N.-ALL STRAPS ARE TO BE CENTERED AT SPLICE.

1 JOINTS IN DOUBLE TOP PLATE OF STUD WALLS SHALL OCCUR AT THE CENTER LINE.

2 PROVIDE POSITIVE TYPE POST TO BEAM CONNECTION WITH SIMPSON HARDWARE-I.E.: CCP, C,AC,-PC,L,T,OR EQUIVALENT 3 POST TO BEAM CONNECTIONS POSITIVE CONNECTION SHALL PROVIDED TO ENSURE UPLIFT AND LATERAL DISPLACEMENT.(R502.9 & CBC2304.9.7)

5 WHERE MULTIPLE 2X JOISTS ARE STITCHED TOGETHER - FOR 20R3- USE (2) - 16D AT 12"O.C FOR 4 OR MORE - USE (2) - 1/2" THROUGH BOLTS WITH NUTS AND WASHERS AT 24" O.C SHEATHING USED IN CÒŃSTRUCTION OF SHEAR WALLS TO BE 4'X8' MINIMUM EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MINIMUM WIDTH IS TO 24". FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEAR WALLS B DO NOT BREAK FACE PLY WHEN NAILING ANY SHEAR WALLS) MOISTURE CONTENT OF LUMBER NOT TO EXCEED 19% AT THE TIME OF CONSTRUCTION O ALL FRAMING MEMBERS USED IN THE CONSTRUCTION OF SHEAR WALLS MUST BE DOUG FIF

4 MINIMUM NAILING REQUIREMENTS SHALL CONFORM TO 2016 C.R.C. TABLE

OR SPF FRAMING UNLESS NOTED ON FRAMING PLANS.

ROOF FRAMING NOTES 6/20/23 PRE-MANUFACTURED TRUSSES ARE TO BE DESIGNED BY TRUSS MANUFACTURER- WHERE APPLICABLE PROVIDE TRUSS CALCS AT BUILDING SITE AT TIME OF FRAMING INSPECTION. ALL TRUSSES TO BE CONNECTED TO TOP PLATE BY SIMPSON H-1S FOR A MINIMUM RESISTANCE TO UPLIFT RESISTANCE OF NOT LESS THAN 175 POUNDS CRC R802.8 (TYP) L TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE DOCUMENT 4 ROOF SHEATHING TO BE 1/2" O.S.B. OR 1/2" CDX WITH RADIANT BARRIER AND NAILED WITH 8D AT 6" O.C. EDGE NAIL. 12" O.C. FIELD NAILED UNLESS OTHERWISE NOTED. 5 STAGGER ALL END JOINTS AND RUN SHEETS PERPENDICULAR TO DIRECTION OF THE

TJI MICROLAM AND PARALAM ARE TRADEMARKS OF TRADE JOIST MACMILLAN AND CAN BE SUBSTITUTED WITH EQUIVALENT MATERIAL FROM OTHER MANUFACTURE, WITH ENGINEERS PROVIDE EDGE NAILING TO ALL BLOCKING OR RIM JOISTS. CONNECT ALL BLOCKING OR RIM IOISTS, WHICH OCCUR IN SHEAR WALL LINES, TO TOP PLATES WITH SIMPSON A-35 FRAMING CLIPS A 16"O.C. UNLESS OTHERWISE NOTED PROVIDE CONTINOUS BLOCKING OVER ALL BEARING WALLS, BEAMS, GIRDERS, HEADERS, ANI

PROVIDE 1 SQ. FT. VENT AREA PER 150 SQ. FT. OF ATTIC SPACE FOR VENTILATION PROVIDE PURLINS OF THE SAME SIZE MATERIAL AS SUPPORTED RAFTERS. BRACE TO BEARING LOCATIONS WITH STRUTS AT 6' O.C. MAXIMUM STUTS TO BE SAME SIZE AS SUPPORTED RAFTERS AND SHALL BE BRACED WHERE LENGTHS EXCEED 6' PROVIDE MINIMUM DOUBLE 2X POST AT EACH END OF ALL GIRDER TRUSSE CONTINUOUS VENT STRIP IN ALL EAVES CONTINUOUS RIDGE VENT AT ALL RIDGES MEETING AND SURPASSING CRC R806 (TYP) DOUBLE TOP PLATE OVERLAPPING AND SPLICING REQUIREMENTS PER CODE OR BETTER ANY THING LESS SHALL BE ACCOMPANIED BY ENGINEERING (1 ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH #2 AND LARGER LUMBER SHALL BE DOUGLAS FIR #1 OR BETTERU.O.N 6 ALL COLUMNS SHALL EXTEND DOWN THROUGH THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THEY ARE SUPPORTING

ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS

CONNECTION TO TOP OF WALL WITH SIMPSON BRACKET

PROVIDE 22"X30" MINIMUM ATTIC ACCESS WITH 30" MINIMUM ABOVE OPENING

CONTRACTOR, SUB CONTRACTOR, OR OWNER TO PROVIDE MANUFACTURERS. SPECIFICATIONS, INSTALLATION INSTRUCTIONS, AND APPLICABLE ES REPORT OR EQUIVALENT.TO BE ON SITE AT TIME OF INSPECTION OF ROOFING MATERIA FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH STATE AND LOCAL REQUIREMENTS 3 CONTINUOUS VENT STRIP IN ALL EAVES, CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND OR EXCEED CRC R806 4 VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTALATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OF OTHER MATERIALS THAT MEET YHT FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT RAIN GUTTERS AND DOWNSPOUTS PER CRC R801,CPC 1101.1 WITH APPROVED LEAF GUARD.

S UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION

VENTILATION NOTES 6/20/23 ALL RESIDENCES SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 62:2-2010. PENERGY STAR COMPLIANT QUIET (1.0 SONE MAX> CEILING MOUNTED BATH FAN OR REMOTE MOUNTED INLINE FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED. 3 MANDATORY MINIMUM VENTILATION RATE FOR BATHROOMS =50 CFM. 4 AT LEAST ONE EXHAUST FAN TO OPERATE CONTINUOUSLY AT 118 CFM OR GREATER FOR

INDOOR AIR QUALITY. 5 UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST E CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSABLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 6 EACH BATHROOM CONTAINING A BATHTUB,SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH ENERGY STAR APPROVED EQUIPMENT. (MINIMUM 50 CFM

7 ENCLOSED RAFTER SPACES SHALL HAVE A 1" CLEAR CROSS CONTINUOS AIR SPACE 8 PROVIDE ATTIC CROSS VENTILATION: MINIMUM 1/150 OF ATTIC AREA OR 1/300 WITH AT LEAST 40% BUT NOT MORE THAN 50% OF VENTS ARE A MAXIMUM 3 FT. BELOW THE RIDGE OR HIGHEST SPACE IN THE ATTIC AND THE BALANCE IS LOCATED IN THE LOWER THIRD OF THE) UNDER FLOOR CROSS VENTILATION: 1.0 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR

AREA.ONE VENTILATION OPENING SHALL BE LOCATED WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING KITCHEN RANGE HOODS MUST BE HVI RATED AND LIMITED TO 3 SONE IF A HOOD IS PROVIDED ABOVE THE ISLAND COOKTOP, IT MUST BE AT LEAST 100 CFM; IF DOWNDRAFT IS INSTEAD AIR FILTERS AS MERV13 WITH A 2" NOMINAL DEPTH.1" FILTERS ARE ALLOWED, BUT REQUIRE A CALCULATION TO DEMONSTRATE THAT THE FILTER FACE VELOCITY IS LESS THAN 150 FEET 2 WHEN CLOSABLE GLASS OR METAL DOORS ARE TO BE USED, PROVIDE A READILY ACCESSIBLE FLUE DAMPER. CONTINUOUSLY BURNING PILOT LIGHTS AND INDOOR AIR VENTING ARE B BATHROOM AND UTILITY ROOM FANS ARE TO BE CAPABLE OF FIVE AIR CHANGES PER HOUR

STAIR AND GUARD RAIL NOTES 6/20/23 STAIRS SHALL COMPLY TO ALL LOCAL CODES AND ORDINANCES . A MINIMUM WIDTH OF 36" FINISH ON ALL STAIRS AND LANDINGS. PROVIDE APPROPRIATE SIMPSON BRACKETS OR

HANGERS AT TOP AND BOTTOM OF STAIRS. WHERE STAIRS LAND ON CONCRETE PROVIDE 2X6 PRESSURE TREATED SLEEPER AT BOTTOM W/3 16D SHOTS. STAIRWAYS SHALL HAVE RISERS WITH A MAXIMUM HEIGHT OF 7 3/4"& A MINIMUM OF TREAD DEPTH OF 10". A VARIATION OF NO MORE THAN 3/8" BETWEEN THE LARGEST AND SMALLEST REQUIRED. THE HANDRAIL HEIGH MEASURED VERTICALLY FROM THE NOSE OF THE TREAD SHALL BE NOT LESS THAN 34" & NOT MORE THAN 38". OPEN HANDRAILS & GUARDRAILS AT STAIRS, LOFTS, BALCONIES, AND OPEN SIDED WALKING SURFACES SHALL BE NOT LESS THAN 42" IN HEIGHT WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. HANDRAIL AND GUARD ASSEMBLIES SHALI BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS CRC TABLE 301.5. THE MINIMUM HEADRÓOM NEEDS TO BE 6'8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. PAGE OF THE NOSINGS.

2 HANDRAILS MAY PROJECT INTO THE REQUIRED 36" A MAXIMUM DISTANCE OF 3 1/2" FROM EACH SIDE OF STAIRWAY.HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION OF THE CIRCULAR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS- SECTIONAL DIMENSION OR IF SQUARE THE SHAPE SHALL PROVIDE AN EQUIVALENT PERIMETER DIMENSION OF 4" MIN. TO 6 1/4" MAXIMUM AND A CROSS SECTION OF NOT MORE THAN 2 1/4". THE HAND GRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE FOR EVERY STAIRWELL 88" IN WIDTH OR GREATER, AND SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR FACH 88" OF WIDTH 5 PROVIDE 42" GUARDRAILS FOR DECKS,BALCONIES,PORCHES,LOFTS,LANDINGS,ETC. WHEN FINISHED FLOOR HEIGHT EXCEEDS 30" FROM FINISHED GRADE OR FINISHED FLOOR BELOW.

6 ALL WALLS AND SOFFITS OF THE ENCLOSED STAIRWAY SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION. 7 STAIR LANDING REQUIRED EVERY 12'7" OF VERTICAL RISE. 8 PROVIDE LANDINGS AT THE TOP/BOTTOM OF THE STAIRWAY THE WIDTH OF THE STAIRWAY. THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM.

ANY OPENINGS IN GUARDRAILS SHALL BE SPACE SUCH THAT A 4" SPHERE CANNOT PASS

BUILDING SECTIONS & ELEVATIONS 6/20/23

FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION R327. CLASS (A) REQUIREMENT EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARRIERS SHA BE INSTALLED AS REQUIRED IN SECTION B703.2 AND, WHERE APPLIED OVER WOOD-BASEL SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS. 4 WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE LATH OPEN/ ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS. SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIR STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL

AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM3909 AND AT LEAST 36 INCHES WIDE RUNNING FULL LENGTH. B VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOF VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR THER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/ APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS. BUILDING PADS WILL BE GRADED 5% FOR A MINIMUM OF 10' AWAY FROM STRUCTUF CONTINUOUS VENT STRIP IN ALL EAVES. CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND OR EXCEED CRC R806 (TYP)

WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 26AWG

SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909.

1 A MINIMUM OF 8" CLEARANCE GRADE TO WOOD FRAMING AND SIDING PER CRC R317 (TYP 2 FINISH GRADE 6" MINIMUM FALL WITHIN THE FIRST 10 FEET AWAY FROM ALL STRUCTURES CORROSION RESISTANT WEEP SCREED MINIMUM 4" ABOVE GRADE OR 2" ABOVE PAVED EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE, GLASS BLOCK, HAVE FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTE TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD

5 ALL WINDOWS U-FACTORS ARE 0.32 SHGC 0.25 6 OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX 7 EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVI RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM GARAGE DOOR PERMITER GAP MAXIMUM 1/8". METAL FLASHING, JAMB AND HEADER

OVERLAP, AND WEATHER- STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED. 9 INSULATION VALUES ARE AS FOLLOWS: WALLS R-19 CEILINGS R-38 FLOORS R-19 0 RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 1 FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE- RETARDENT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL... VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT TE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION. UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM 04869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. A MINIMUMO 019-INCH(NO 26 GAI VANIZED SHEET GAGE) CORROSION-RESISTANT WEEF SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH O

.P THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHAL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE C PROTECTED BY ONE OF THE FOLLOWING: 27 1. NONCOMBUSTIBLE MATERIAL 2. IGNITION-RESISTANT MATERIAL 3. ONE LAYER OF 5/8 INCH TYPE X GYPSUM SHEATHING BEHIND THE EXTERIOR COVER ON THE UNDERSIDE $28\,$ OF THE CEILING .4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR

2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER

TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALI

UNDERSIDE OF THE CEILING ASSEMBLY. 5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957.6. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A-

MECHANICAL NOTES

I HERS TEST REQUIRED IN ALL NEW DUCT SYSTEMS 2 INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIFLD INSPECTOR AT TIME OF INSPECTION B HVAC SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER OR A LICENSED HVAC CONTRACTOR. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A ROOM EMPERATURE OF 70 DEGREES FAT LEAST 3' ABOVE FLOOR IN ALL HABITABLE ROOMS

FURNACE PARTS MUST FIT THROUGH ATTIC ACCESS 4 MECHANICAL EQUIPMENT LOCATED IN AN ATTIC OR BASEMENT ARE REQUIRED TO BE WITH 20' OF ACCESS AND SHALL HAVE A LEVEL 30" SQ. X 3/4" THICK WORKING PLATFORM ON THE CONTROL SIDE OF THE UNIT. PROVIDE 24"W X 3/4" THICK CATWALK FROM ATTIC ACCESS TO 5 HVAC UNIT SHALL HAVA A MINIMUM AFUE OF 90 AND A MIN. SEER OF 14.0. DUCTS SHALL HAV A MINIMUM R-8 VALUE INSULATION. (SEE ENERGY CALCULATIONS) 3 TERMINATE ALL ENVIRONMENTAL AIR DUCTS A MINIMUM OF 3' FROM ANY PROPERTY LINE OF ANY OPENING INTO THE BUILDING(I.E., DRYER, BATH FANS, UTILITY FANS ETC. MUST BE 3' AWAY FROM DOORS, WINDOWS, OPENABLE SKYLIGHTS OR ATTIC VENTS) 7 A DRYER VENT TO OUTSIDE CAN NOT EXCEED 14 FEET IN ANY DIRECTION (UNLESS

ADDITIONAL ELBOWS MAY BE USED, HOWEVER, THE LENGTH OF VENT MUST BE DECREASED BY 2 FEET FOR EACH ADDITIONAL ELBOW INSTALLED. TERMINATION POINT SHALL BE NO LOSER THAN 3' FROM ANY WALL OPENING.(2013 C.M.C.) 3 DRYER EXHAUST VENT DUCTING SHALL BE OF SMOOTH METAL AND EXTEND TO OUTSIDE 9 HVAC SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER OR A LICENSED HVAC CONTRACTOR. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70° F AT 3' ABOVE THE FLOOR IN ALL HABITABLE ROOMS. FURNACE PARTS

MUST FIT THROUGH ATTIC ACCESS A MECHANICAL FAN FOR VENTILATION 50 CFM EXHAUST CAPABLE OF PROVIDING A MINIMUM OF 5 AIR CHANGES P/HOUR SHALL BE INSTALLED IN ALL BATHROOM/TOILET ROOMS.CMC 1 100 CEM MINIMUM DOMESTIC KITCHEN VENT

2 22 A COMPRESSOR OR PORTION OF A CONDENSING UNIT SUPPORTED FROM THE GROUND SHALL REST OF A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3 INCHES ABOVE THE ADJOINING GROUND LEVEL 3 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE

PLUMBING NOTES

THIS GAS SHUT OFF VALVES REQUIRED WITHIN 6' OF ALL GAS APPLIANCES CARBON- MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES ALL GAS FIRED EQUIPMENT (WHICH GENERATES A GLOW, FLAME OR SPARK) LOCATED IN GARAGE IS TO BE 18" HIGH ABOVE FINISHED SLAB ON A WOOD PLATFORM AND SEISMICALLY BRACED WITH APPROVED STRAPPING 4 90% EFFICIENT TANKLESS WATER HEATER WITH 120V RECEPTACLE THAT IS WITHIN 3' FROM WATER HEATER WITH NO OBSTRUCTIONS. A CATEGORY III OR IV VENT OR A TYPE B VENT WITI TRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED. A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN

WATER HEATERS SHALL BE STRAPPED FOR LATERAL SUPPORT. INSULATE ALL HOT WATER PIPES. SEDIMENT TRAPS TO PROVIDE DOWNSTREAM OF THE WATER HEATER AND FAU SHUT OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL. 8 WATER HEATER MAXIMUM TEMPERATURE 120 DEGREES F.

THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINAGE WITHOUT

PUMP ASSISTANCE. ALSO PROVIDE A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000

9 A WATER- TIGHT CORROSION RESISTANT PAN SHALL BE INSTALLED BENEATH THE WATER HEATER NOT LESS THAN A THREE QUARTER INCH DIAMETER DRAIN TO EXTERIOR LOCATION. IRON, HARD COPPER AND CPVC ARE ALLOWED. WHERE REQUIRED- PROVIDE A 12"X14" PLUMBING ACCESS AT TUBS AND SHOWERS INSTALL A 18"WIDE X 24" HIGH CRAWL SPACE ACCESS WITHIN 20' OF ANY PLUMBING

PEOR SHOWER ANDOR TUB-SHOWER COMBINATIONS PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE WATER TEMPERATURE MAXIMUM IS A SETTING OF 120 DEGREES F (49 DEGREES C I PROVIDE WATER RESISTANT GYPSUM BOARD UNDER TUB AND SHOWER TO A HEIGHT OF 70 MINIMUM ABOVE DRAIN INLET WATER CLOSETS TO BE 1.28 GAL/FLUSH, SINGLE SHOWER HEADS 2 G.P.M. MAXIMUM @ 80 P. RESIDENTIAL LAVATORY FAUCETS 1.2 G.P.M. MAXIMUM @ 60 PSI KITCHEN FAUCETS 1.8 G.P.M @60 PSI. TEMPORARY INCREASE TO 2.2 G.P.M. ALLOWED BUT SHALL DEFAULT TO 1.8 G.P.M. 5 A DRYER VENT TO OUTSIDE CAN NOT EXCEED 14 FEET IN ANY DIRECTION (UNLESS CALCULATIONS ARE PROVIDED), AND CAN HAVE A MAXIMUM OF TWO 90- DEGREES ELBOWS ADDITIONAL ELBOWS MAY BE USED, HOWEVER, THE LENGTH OF VENT MUST BE DECREASED BY 2 FEET FOR EACH ADDITIONAL ELBOW INSTALLED. TERMINATION POINT SHALL BE NO LOSER THAN 3' FROM ANY WALL OPENING DRYER EXHAUST VENT DUCTING SHALL BE OF SMOOTH METAL AND EXTEND TO OUTSIDE WITH A BACKDRAFT DAMPER ALL FIREPLACES TO COMPLY WITH LOCAL AIR POLLUTION ORDINANCE REQUIREMENTS. PROVIDE A NON REMOVABLE PREVENTION DEVICE AT ALL HOSE BIBS. SEDIMENT TRAPS TO BI PROVIDED DOWNSTREAM OF THE WATER HEATER AND FAU SHUT-OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL
9 SEDIMENT TRAPS TO BE PROVIDED DOWNSTREAM OF THE WATER HEATER AND FAU SHUT OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL

ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT VENTED SEALED-COMBUSTION TYPE VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION

ALL WORK SHALL BE IN ACCORDANCE WITHALL CODES, RULES, AND REGULATIONS AND COMPLY WITH THE 2022 C.E.C. CODE REQUIREMENTS ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE ON G.F.I CIRCUIT AND WEATHERPROOF 3 ALL OUTLETS LOCATED IN GARAGE, LAUNDRY, KITCHEN AND BATHROOMS ARE TO HAVE G.F.I AND A.F.C.I. RECEPTACLES AND IN KITCHEN AND BATHROOMS SHALL BE INSTALLED ABOVE TAMPER RESISTANT OUTLETS ARE REQUIRED AT ALL NEW CIRCUITS. PROVIDE TAMPE RESISTANT RECEPTACLES IN EVERY: KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, LAUNDRY AND OUTDOOR AREA. INSTALL AUDIBLE SMOKE DETECTORS ON INTERCONNECTED WIRED 110V CIRCUIT WITH BATTERY BACKUP @ 1) ALL BEDROOMS 2) CENTRALLY LOCATED IN ALL CORRIDORS AND HALLWAYS LEADING TO BEDROOMS 3) ABOVE TOPS OF ALL STAIRS 4) AT LEAST ONE AT EVERY EVEL WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA 5) A STORY BASEMENT IS SPLI NTO TWO OR MORE LEVELS. THE SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL i) AND IN A DWELLING UNIT WHERE THE CEILING HEIGHT OF ANY ROOM OPEN TO THI ÍALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE SMOKE ALARMS SHALL BE INSTALLED IN THE HALLWAY AND THE ADJACENT ROOM. ALL SMOKE

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN NDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTEI I SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARM N THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. CARBON MONOXIDE ALARMS MUST ALSO BE INTERCONNECTED CARBON- MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES. CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A 4 -PRONG OUTLET ARE REQUIRED OR DRYFRS AND COOKING UNITS PROVIDE WIRING FOR RANGE, HOOD W/BACK DRAFT DAMPER, LIGHT AND FAN @ 72"ABOVE LOOR AS APPLICABLE

ALARMS ARE TO BE LOCATED AT THE HIGHEST POINT IN THE AREA SERVED OR AS SPECIFIED

BY MANUFACTURER.

PROVIDE 110 G.F.I. VOLT OUTLET FOR WATER HEATER AND HEATING EQUIPMENT CLOSET LIGHTING SHALL BE 18" FROM COMBUSTIBLES- MEASURED BOTH HORIZONTALLY AN **VERTICALLY** PROVIDE TEMPORARY MOTION SENSOR OVERIDES: MOTION SENSORS MAY HAVE A TEMPORARY OVERRIDE FUNCTION THAT ALLOWS LUMINARIES TO STAY SWITCHED ON REGARDLESS OF MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY

REACTIVATE WITHIN 6 HOURS 3 IF BATHROOM HAS NOT NATURAL VENTILATION PROVIDE EXHAUST FAN VENTED TO EXTERIOR AND SWITCH W/MOTION SENSOR & HUMIDISTAT SENSOR 4 LIGHTING FIXTURES IN TUB AND SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR USE ONLY C.E.C. CERTIFIED APPLIANCES, SHOWER HEADS AND FAUCETS OWNER TO LOCATE SPECIALIZED OUTLETS & JACKS.
PROVIDE A WEATHERPROOF G.F.C.I. ELECTRICAL RECEPTACLE WITH IN 25' OF A.C. UNIT.

COUTSIDE SWITCHES SHALL BE WATERPROOF PROVIDE A RECEPTACLE AT OR NEAR MECHANICAL EQUIPMENT. WHEN EQUIPMENT IS LOCATED IN ATTIC OR BASEMENT A LIGHT SHALL AT OR NEAR WITH SWITCH NEAR ACCESS 20 ALL LIGHTING RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) AND AIR TIGHT PER THE 2022 MANDATORY ENERGY ALL LIGHTS THROUGHOUT THE RESIDENCE, INCLUDING THE GARAGE AND EXTERIOR, SHALL RE HIGH EFFICACY HIGH FFFICIENCY LIGHTING IS DEFINED AS FOLLOWS: LUMINARES LESS THAN 15 WATTS = 40

LUMENS PER WATT, LUMINARES 15 - 40 = 50 LUMENS PER WATT, AND LUMINARES GREATER THAN 40 WATTS = 60 LUMENS PER WATT. THE BALLAST IS NOT INCLUDED WHEN DETERMINING 3 WATTAGE OF LUMINAIRES INSTALLED IN BATHROOMS, GARAGES. LAUNDRY ROOMS AND UTILITY ROOMS MUST BE HIGH EFFICIENCY AND CONTROLLED BY PHOTO CONTROL/ MOTION SENSOR. (2022 TITLE 24) 4 WATTAGE OF LUMINARIÉS INSTALLED IN DWELLING UNIT ROOMS OTHER THAN BATHROOMS. GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS MUST BE HIGH EFFICIENCY OR CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS LESS THAN 70 SQUARE FEI ARE EXEMPT FROM THIS REQUIREMENT.(2022 TITLE 24 5 WATTAGE OF LUMINAIRES MOUNTED TO A BUILDING OR OTHER BUILDINGS ON THE SAME LO MUST BE HIGH EFFICIENCY AND CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR OR A ASTRONOMICAL TIME CLOCK. (2022 TITLE 24) 6 THERE SHALL BE NO POINT ALÒNG A WALL THAT IS MORE THAN 6 FEET FROM AN ELECTRICAL RECEPTACLE (12 FEET MAXIMUM BETWEEN OUTLETS AND ON ANY WALL GREATER THAN 2

COUNTER TOPS GREATER THAN 12" SHALL HAVE ELECTRICAL RECEPTACLE OUTLET SPACING O THAT NO 2 OUTLETS ARE FURTHER THAN 48" APART B ARC-FAULT INTERRUPTERS REQUIRED IN ALL DWELLING UNIT BEDROON 9 PROVIDE TAMPER RESISTANT RECEPTACLES IN EVERY : KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, LAUNDRY AND OUTDOOR AREA. ALL BRANCH CIRCUITS HAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT INTERRUPTER (S). C.E) OPEN OR PARTIALLY ENCLOSED FIXTURES SHALL NOT BE PERMITTED IN IN CLOSETS ELECTRICAL METER PANELS, SUBPANELS, AND DISCONNECTS REQUIRE A MINIMUM CLEAR WORKING SPACE OF 30"WIDE X 36" DEEP AND 6'6" HIGH 32 G.F.C.I. OUTLET LOCATED IN FRONT AND REAR OF BUILDING AT GRADE LEVEL WITHIN 6'-6" OI

THE GROUND AND MUST HAVE A WEATHERPROOF PROTECTIVE COVER TWO OR MORE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE EVENL PROPORTIONED TO SUPPLY THE KITCHEN, PANTRY, DINING ROOM OR SIMILAR AREA. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, LIGHTS, AND OR FANS. 34 BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, LIGHTS, AND OR FANS. GROUNDING ELECTRODE REQUIRED. BOND METALLIC GAS PIPE AND WATER PIPES TO THE 6 A CONCRETE-ENCASED ELECTRODE (UFER) CONSISTING OF 20' OF CONTINUOS #4 REBAR OF #4 COPPER WIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW CONSTRUCTION. BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE 7 MANUAL CONTROL: LIGHTING MUST BE CONTROLLED BY A MANUAL ON/OFF SWITCH THAT IS

NOT CAPABLE OF TURNING ON ANY LIGHTING THAT HAS BEEN SHUT OFF BY AN AUTOMATIC LIGHTING CONTROL. 38 CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND 4-PRONG OUTLET ARE REQUIRED FOR DRYERS AND COOKING UNITS. 39 ALL 120-VOLT, SINGLE PHASE, 15 & 20 AMP. BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLEI IN UNIT FAMILY DWELLING ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC FAULT CIRCUIT INTERRUPTER

LISTED AS TAMPER RESISTANT, ALL OUTLETS 0 LAUNDRY ROOM RECEPTACLES ARE REQUIRED TO HAVE A DEDICATED 20 AMP CIRCUIT THAT CAN NOT SERVE ANY OTHER RECEPTACLES, LIGHTS, AND/ OR FANS.

1 USE ELECTRICAL BOXES THAT ARE APPROVED FOR CEILING FANS AT CEILING FAN LOCATIONS 42 SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURES IN CLOSETS SHALL BE 12" MINIMUM FROM STORAGE AREAS (SHELVES) FLORESCENT FIXTURES SHALL BE MINIMUM RECESSED

COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT END

BELECTRICAL WITHIN 6' OF ATTIC ACCESS SHALL BE PROTECTED

44 NON METALLIC SHEATHED CABLE SHALL BE SECURED BY STAPLES, CABLE TIES, STRAPS, HANGERS, OR SIMILAR AT INTERVALS NOT TO EXCEED 54" AND WITHIN 6'6" OF GRADE. 15 HIGH EFFICACY AND CONTROLS: HIGH-EFFICACY LUMINAIRES ARE REQUIRED IN GARAGES LAUNDRY ROOMS AND UTILITY ROOMS, AND THES MUST BE CONTROLLED BY A VACANCY 6 SWITCH SEPARATELY: CONTROL LIGHTING THAT IS INTEGRAL TO CEILING FANS SEPARATELY FROM THE VENTILATION.
7 GARAGE DOOR OPENERS: LIGHTING INTEGRAL TO GARAGE DOOR OPENERS DOES NOT HAVE TO BE HIGH EFFICACY WHEN THERE ARE MORE THAN TWO SCREW-BASE SOCKETS INTEGRATED BY THE MANUFACTURER AND THE LIGHTS AUTOMATICALLY TURN ON AND OFF. ** TEMPORARY MOTION SENSOR OVERIDES: MOTION SENSORS MAY HAVE A TEMPORARY OVERRIDE FUNCTION THAT ALLOWS LUMINAIRES TO STAY SWITCHED ON REGARDLESS OF MOTION DETECTION, BUT THE MOTION SENSOR MUST AUTOMATICALLY REACTIVATE WITHIN

9 ALL 125- VOLT, SINGLE PHASE, 15 & 20 AMPERE RECEPTACLES INSTALLED IN GARAGE ON FINISHED BASEMENT, CRAWLSPACE, OUTDOOR AREA, BATHROOM, KITCHEN, AND COUNTERTOP SURFACE WITHIN 6" OF A WET BAR, SINK, OR LAUNDRY/UTILITY SINK, SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTOR PROTECTION FOR PERSONNEL. PROVIDE ENCLOSED TYPE WHOLE HOUSE FAN. 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE 2 INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE

INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOS LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSE INACCESSIBLE OR CONCEALED AREAS AND SPACES.

3 WHERE A GAS WATER HEATER IS TO BE USED:PROVIDE A SPECIAL RECEPTACLE ADJACENT TO THE WATER HEATER FOR REQUIRED PREWIRING FOR A FUTURE HEAT PUMP WATER HEATER. SYSTEMS USING GAS OR PROPANE WATER HEATERS SHALL INCLUDE A DEDICATED 120V, AMP ELECTRICAL RECEPTACLE, CONNECTED TO THE ELECTRICAL PANEL WITH A 120/240 VOL 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT THAT IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS. BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED WITH THE WORD SPARE AND BE ELECTRICALLY SOLATED. ALSO PROVIDE A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE LECTRICAL PANEL ADJACENT TO THE BRANCH CIRCUIT ABOVE LABELED WITH THE WORDS

RESIDENTIAL LIGHTING NOTES

6/20/23

LUMINAIRE EFFICACY INSTALLED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY OR LOW-EFFICACY FOR COMPLIANCE WITH SECTION 150.0(K) IN ACCORDANCE WITH TABLE 150.0-A OR TABLE 150.0-B, AS APPLICABLE.
B. HYBRID LUMINAIRE

WHEN A HIGH EFFICACY AND LOW EFFICACY LIGHTING SYSTEM ARE COMBINED TOGETHER IN A PARATELY COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 150.0(K). LUMINAIRE WATTAGE AND CLASSIFICATION. WATTAGE AND CLASSIFICATION OF PERMANENTLY INSTALLED LUMINAIRES IN RESIDENTIA TCHENS SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 130.0(C). IN RESIDENTIAL TOHENS, THE WATTAGE OF ELECTRICAL BOXES FINISHED WITH A BLANK COVER OR WHERE NO

ECTRICAL EQUIPMENT HAS BEEN INSTALLED, AND WHERE THE ELECTRICAL BOX CAN BE USED

OR A LUMINAIRE OR A SURFACE MOUNTED CEÍLING FAN, SHALL BE CALCULATED AS 180 WATTS OF OW EFFICACY LIGHTING PER ELECTRICAL BOX. LLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER SHALL BE ELECTRONIC AND SHALL HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ.

PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS SHALL BE RATED TO CONSUME NO MORE THAN FIVE WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN AS DETERMINED IN ACCORDANCE WITH SECTION 130.0(C). NIGHT GHTS SHALL NOT BE REQUIRED TO BE CONTROLLED BY VACANCY SENSORS. LIGHTING INTEGRAL TO EXHAUST FANS. IGHTING INTEGRAL TO EXHAUST FANS SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION

N KITCHEN EXHAUST HOODS SWITCHING DEVICES AND CONTROLS HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY

(CEPTION TO SECTION 150.0(K)1F: LIGHTING INSTALLED BY THE MANUFACTUREF

EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS (CEPTION TO SECTION 150.0(K)2B: LIGHTING INTEGRAL TO AN EXHAUST FAN MAY BE ON THE SAMI WITCH AS THE FAN PROVIDED THE LIGHTING CAN BE SWITCHED OFF IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150(K)2 WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE OR AN EXTENDED PERIOD OF TIME LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE UMINAIRES TO BE MANUALLY SWITCHED ON AND OFF. LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE IANUFACTURER'S INSTRUCTIONS

NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER R VACANCY SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION 150.0(K) F. LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 110.9. G. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A NIMMER IN ACCORDANCE WITH SECTION 110.9, MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 130.4, THE EMCS REQUIREMENTS IN SECTION 130.5, AND COMPLIES VITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150 0(K)? AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH VACANCY SENSOR REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A VACANCY SENSOR IN ACCORDANCE WITH SECTION 110.9, MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 130.4, THE EMCS REQUIREMENTS IN SECTION 130.5, AND COMPLIES /ITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K)2. A MULTISCENE PROGRAMMABLE CONTROLLER MAY BE USED TO COMPLY WITH DIMMER QUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A

MMER IN ACCORDANCE WITH SECTION 110.9, AND COMPLIES WITH ALL OTHER APPLICABLE

REQUIREMENTS IN SECTION 150.0(K)2.

LIGHTING IN KITCHENS

A MINIMUM OF 50 PERCENT OF THE TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED SHTING IN KITCHENS SHALL BE HIGH EFFICACY. FOR THE PURPOSE OF COMPLIANCE WITH SECTION 150.0(K). KITCHEN LIGHTING INCLUDES ALL RMANENTLY INSTALLED LIGHTING IN THE KITCHEN EXCEPT FOR LIGHTING THAT IS INTERNAL 1 CABINETS FOR THE PURPOSE OF ILLUMINATING ONLY THE INSIDE OF THE CABINETS. LIGHTING IN AREAS ADJACENT TO THE KITCHEN, INCLUDING BUT NOT LIMITED TO DINING AND NOOK AREAS, ARE ONSIDERED KITCHEN LIGHTING IF THEY ARE NOT SEPARATELY SWITCHED FROM KITCHEN (CEPTION TO SECTION 150 0(K)3: UP TO 50 WATTS FOR DWELLING UNITS LESS THAN OR FOUAL TO

500 FT2 OR 100 WATTS FOR DWELLING UNITS LARGER THAN 2,500 FT2 MAY BE EXEMPT FROM THE PERCENT HIGH EFFICACY REQUIREMENT WHEN ALL LIGHTING IN THE KITCHEN IS CONTROLLED CORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0(K)2, AND IS ALSO CONTROLLE VACANCY SENSORS OR DIMMERS RMANENTLY INSTALLED LIGHTING THAT IS INTERNAL TO CABINETS SHALL USE NO MORE THAN 20 ATTS OF POWER PER LINEAR FOOT OF ILLUMINATED CABINET. THE LENGTH OF AN ILLUMINATED

ABINET SHALL BE DETERMINED USING ONE OF THE FOLLOWING MEASUREMENTS, REGARDLESS THE NUMBER OF SHELVES OR THE NUMBER OF DOORS PER CABINET SECTION: ONE HORIZONTAL LENGTH OF ILLUMINATED CABINET; OR
ONE VERTICAL LENGTH, PER ILLUMINATED CABINET SECTION; OR NO MORE THAN ONE VERTICAL LENGTH PER EVERY 40 HORIZONTAL INCHES OF ILLUMINATED

LIGHTING IN BATHROOMS. IGHTING INSTALLED IN BATHROOMS SHALL MEET THE FOLLOWING REQUIREMENTS A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM: AND ALL OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE HIGH EFFICACY OR ONTROLLED BY VACANCY SENSORS

LIGHTING IN GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY VACANCY SENSORS. LIGHTING OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY IGHTING INSTALLED IN ROOMS OR AREAS OTHER THAN IN KITCHENS, BATHROOMS, GARAGES AUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY, OR SHALL BE CONTROLLED BY TITHER DIMMERS OR VACANCY SENSORS.

CEPTION 1 TO SECTION 150.0(K)7: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET. CEPTION 2 TO SECTION 150.0(K)7: LIGHTING IN DETACHED STORAGE BUILDINGS LESS THAN 1,000 QUARE FEET LOCATED ON A RÈSIDENTIAL SITE. RECESSED LUMINAIRES IN CEILINGS. UMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
BE LISTED, AS DEFINED IN SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY INDERWRITERS LABORATORIES OR OTHER NATIONALLY RECOGNIZED TESTING/RATING

ABORATORY: AND HAVE A LABEL THAT CERTIFIES THAT THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. AN EXHAUST FAN OUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND ILL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK: AND FOR RECESSED COMPACT FLUORESCENT LUMINAIRES WITH BALLASTS TO QUALIFY AS HIGH

FFICACY FOR COMPLIANCE WITH SECTION 150.0(K), THE BALLASTS SHALL BE CERTIFIED TO THE COMMISSION TO COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTION 110.9; AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CELLING RESIDENTIAL OUTDOOR LIGHTIN IMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS. AS APPLICABLE FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED T

A RESIDENTIAL BUILDING OR OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY, OR MAY BE LOW EFFICACY IF IT MEETS ALL OF THE FOLLOWING REQUIREMENTS:

I. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW; AND

II. CONTROLLED BY A MOTION SENSOR NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE MOTION SENSOR DO CONTROLLED BY A MOTION SENSOR DO CONTROLLED BY A MOTION SENSOR DESCRIPTION OF THE PROPERTY. SABLES THE MOTION SENSOR, OR CONTROLLED BY A MOTION SENSOR HAVING A TEMPORARY VERRIDE SWITCH WHICH TEMPORARILY BYPASSES THE MOTION SENSING FUNCTION AND TOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS CONTROLLED BY ONE OF THE FOLLOWING METHODS:
PHOTOCONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE

. ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE STRONOMICAL TIME CLOCK, AND WHICH IS PROGRAMMED TO AUTOMATICALLY TURN THE UTDOOR LIGHTING OFF DURING DAYLIGHT HOURS; OR ENERGY MANAGEMENT CONTROL SYSTEM WHICH MEETS ALL OF THE FOLLOWING T A MINIMUM PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK IN ACCORDANCE

H SECTION 110.9; MEETS THE INSTALLATION CERTIFICATION REQUIREMENTS IN SECTION 30.4; MEETS THE REQUIREMENTS FOR AN EMCS IN SECTION 130.5; DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON; AND, IS PROGRAMMED TO NUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS.

> |# |LABEL TITLE SHEET 1 T-1 2 P-1 PARCEL MAP 3 D-1 SITE PLAN ENLARGED SITE PLAN 4 D-2 LANDSCAPE PLAN 5 L-1 FLOOR PLAN 6 D-3 **WORKING FLOOR PLAN** 7 D-4 8 D-5 STRUCTURAL FLOOR PLAN DIMENSIONS PLAN 9 D-6 FOUNDATION/FLOOR 10 D-7 FRAMING PLAN 11 D-8 **ELEVATIONS ROOF FRAMING PLAN** 12 D-9 13 D-10 MECHANICAL PLAN **BUILDING SECTIONS** 14 D-11 FIRE SPRINKLER PLAN 15 F-1 16 S-1 STRUCTURAL DETAILS STRUCTURAL DETAILS- 2 17 S-2 STRUCTURAL DETAILS- 3 18 S-3 **GENERAL NOTES** 19 N-1 **GENERAL NOTES-2** 20 N-2 TITLE 24/ENERGY CALCS 21 N-3 22 N-4 TITLE 24/ENERGY CALCS-2 TITLE 24/ENERGY CALCS-3 23 N-5 CALIFORNIA GREEN NOTES 24 N-6 CALIFORNIA GREEN NOTES-2 25 N-7

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GENERAL NOTES

AGING-IN-PLACE DESIGN AND FALL PROTECTION

At least one bathroom on the entry level shall be provided with grab bar reinforcement. Reinforcement shall be nominal 2x8 lumber and shall be located between 32 inches and 39.5 inches above the finished floor. Water closet reinforcement shall be installed on both side walls of the fixture, or on the side wall and the back wall. Shower reinforcement shall be continuous where wall framing is provided. Bathtub and combination bathtub/shower reinforcement shall be continuous on each ed of the bathtub and the back wall. Back wall reinforcement for a lower grab bar shall be provided with the bottom edge located no more than 6 inches above the bathtub rim. Information identifying the location of the reinforcement shall be placed in the operations and maintenance manual. (CRC R327.1.1)

Electrical receptacles outlets, switches and controls shall be located not more than 48 inches measured from the top of the outlet box and not less than 15 inches measured from the bottom of the outlet box above the finished floor. (CRC R327.1.2)

Effective July 1st, 2024, at least one bathroom and one bedroom on the entry level shall provide a doorway with a net clear opening of not less than 32 inches measured with the door open at a 90-degree angle. (CRC R327.1.3)

Doorbell buttons shall be installed not more than 48" above the finished floor measured to the top of the button. (CRC R327.1.4)

Provide each bedroom, basement, and habitable attics with a minimum of one exterior window with a 44" maximum clear opening height, 5.7 sq. ft. minimum clear openable area (minimum 5.0 sq. ft. at grade floor openings), 24" minimum clear openable height and 20" minimum clear width, or an openable exterior exit door. (CRC R310.2.1 and CRC R310.2.2) Window wells, ladders, and steps shall comply with CRC R310.2.3. Bars, grilles, covers, ands screens shall be releasable or removable from the inside without the use of a key, tool, special knowledge, or force greater than 15lbs to operate the emergency escape and rescue openings. (CRC R310.4.4) Photovoltaic panels & modules shall not be below an emergency escape and rescue opening within 36". (R324.6.3)

Each bathroom containing a bathtub, shower or tub/shower combination shall be mechanically ventilated with Energy Star approved equipment (minimum 50cfm) with an integral humidistat installed. (CRC R303.3.1)

Provide attic cross ventilation: 1/150 of attic area or 1/300 with at least 40% but not more than 50% of vents are a maximum 3 ft. below the ridge or highest space in the attic and the balance is provided in the lower third of the attic space (not limited to eaves or cornice vents). As an alternative in Climate Zone 16 (Truckee region), the net area may be reduced to 1/300 when a Class I or II vapor barrier is installed on the warm-in-winter side of the ceiling. Baffles are required at vents for insulation. Provide minimum of 1" inch of air space between insulation and roof sheathing. (CRC

Enclosed rafter spaces shall have a 1-inch clear cross ventilation. (Properly sized rafters for insulation) (CRC R806.3)

Under floor cross ventilation: minimum 1.0 sq. ft. for each 150 sq. ft. of under floor area. When a class 1 vapor retarder is installed on the ground surface the minimum area of ventilation may be limited to 1sq.ft for each 1,500 square feet of under-floor space. One ventilation opening shall be within three (3) feet of each corner of the building (CRC R408.1). Unvented crawl spaces shall comply with CRC R408.2. Unvented crawl space added option for dehumidification of 70 pints moisture per day per 1,000 sf to requirement for exemption. (R408.3)

Exterior balconies and elevated walking surfaces exposed to water, where structural framing is protected by an impervious moisture barrier require construction documents with manufacturer's installation instructions. (R106.1.5) Must be inspected and approved before concealing barrier. (R109.1.5.3)

Enclosed framing in exterior balconies and elevated walking surfaces exposed to rain, snow or drainage from irrigation shall be provided with cross-ventilation area of at least 1/150. (R317.1.3)

Provide landings and a porch light at all exterior doors. Landings are to be minimum 3 ft deep x width of door. Landings at required egress doors may step down a maximum of 7.75 inches when the door does not swing over the landing and 1.5 inches when door swings onto the landing. Other than required exterior exit doors may have a threshold of 7.75 inches maximum; a landing is not required if a stair with two or fewer risers is located on the exterior side and the door does not swing over the stairway. (CRC R311.3-R311.3.2)

Mezzanines shall not be greater than 1/3 of the story unless fire sprinklers are installed then the area can be ½ of the story. (R325.3)

At least one egress door shall be provided for each dwelling unit, the egress door shall be side hinged with a minimum openable width of 32 inches; the minimum clear openable height shall be 78 inches minimum (other doors shall not be required to comply with these dimensions). Egress doors shall be readily openable from the inside without the use of a key, special knowledge, or effort. (CRC R311.2)

Operable windows more than 72" above finish grade with a clear opening height less than 24" shall have openings not more than 4" apart or needs a compliant guard. (R312.2)

FOUNDATIONS & CONCRETE SLABS

Slope drainage 6" within the first 10ft. from the foundation wall. If physical obstructions or lot lines prohibit the 10ft distance, a 2-5 percent slope shall be provided to an approved alternative method of diverting the water away from the foundation. Impervious surfaces shall also be sloped a minimum of 2 percent for 10ft away from structures to an approved drainage way. (CRC R401.3)

Footings shall extend at least 12 inches into the undisturbed ground surface. (CRC R403.1.4) Unless erected on solid rock, to protect against frost and freezing, the minimum foundation depth is 18 inches below grade if between 4,000-7,000 foot elevation and 24 inches below grade for 7,000 foot elevation and above. Exception: Interior footings shall be a minimum of 12 inches below grade. (L-V 3.14)

Stepped footings shall be used when slope of footing bottom is greater than 1 in 10 (V: H). Step footing detail shall be shown on building elevations and foundation plan. (CRC R403.1.5)

Concrete slabs: 3 ½" minimum (CRC R506.1). Slabs under living areas and garages shall be reinforced with wire 6" x 6", 10 gauge x 10 gauge welded mesh or equivalent steel reinforcement and 4" thickness of 3/8 minimum gravel under the concrete slab. Separate from soil with a 6 mil polyethylene vapor retarder with joints lapped not less than 6 inches in living areas. A capillary break shall be installed when a vapor retarder is required.

Site excavation and grading shall comply with Chapter V, Article 13 of the Nevada County Land-Use Code.

A minimum 18" x 24" under-floor access, unobstructed by pipes or ducts and within 5' of each under-floor plumbing cleanout and not located under a door to the residence, is required. Provide a solid cover or screen. (CRC 408.4 & CPC 707.9)

minimum. The anchor bolts shall be placed in the middle third of the width of the plate. Locate

Minimum sill bolting: 1/2" anchor bolts or approved anchors at 6 ft. o.c. maximum for one-story. (CRC R403.1.6) Use anchor bolts at 4 ft. o.c. maximum for three story construction. Embed bolts 7"

end bolts not less than 7 bolt diameters, nor more than 12" from ends of sill members. In SDC DO and above: Provide 3"X3"X0.229 plate washers on each bolt at braced or shear wall locations, standard cut washers shall be permitted for anchor bolts not located in braced/shear wall lines. The hole in the plate washer is permitted to be diagonally slotted with a width of up to 3/16" larger than the bolt diameter; the slot length shall not exceed 1 ¾", provided a standard cut washer is placed between the plate washer and the nut. (CRC R403.1.6.1 & R602.11.1)

CLEARANCES AND TREATMENT FOR WOOD FRAMING

All joists, girders, ledgers, structural blocking and support posts/column shall be wood of natural resistance to decay or pressure-treated lumber when exposed to the weather. (CRC R317.1(8))

Columns in basements when supported on concrete pier or metal pedestals shall be pressure treated or natural resistance to decay unless the pier/pedestals project 1" above concrete or 6" above earth and the earth is covered by an approved impervious moisture barrier. (CRC R317.1

Columns in enclosed crawl spaces or unexcavated areas located within the periphery of the building shall be pressure treated or natural resistance to decay unless the column is supported by a concrete pier or metal pedestal of a height 8" or more and the earth is covered by an impervious moisture barrier. (CRC R317.1(9))

Under-floor areas with storage, fuel-fired equipment or electric-powered equipment with less than 2x10 solid joists shall be protected on the underside by half-inch sheetrock or a sprinkler system. (R302.13)

Balconies must be designed for a minimum live load of 60lbs per square foot. (CRC T-R301.5)

Specify post to beam connections. Positive connection shall be provided to ensure against uplift and lateral displacement. (CRC R502.9 & CBC 2304.10.7)

All fasteners used for attachment of siding & into pressure treated lumber shall be of a corrosion resistant type. (CRC R317.3)

Fire-block in concealed spaces of stud walls/partitions, vertically at ceiling/floor levels, & horizontally at 10ft. intervals. Fire-block at soffits, drop ceilings/similar locations & in concealed spaces at the top/bottom of stair stringers. (CRC R302.11)

Provide approved building paper under the building siding and approved flashing at exterior openings. (CRC R703.2) Specify a minimum of 2 layers of Grade D paper under stucco and 2 layers of 15lb felt (or equivalent) under stone veneer.

Stucco shall have a minimum clearance to earth of 4 inches and 2 inches to paved surfaces with an approved weep screed. (CRC R703.7.2.1) Masonry stone veneer shall be flashed beneath the first course of masonry and provided with weep holes immediately above the flashing. (CRC R703.8.5 and R703.8.6)

Show minimum 22" x 30" access opening to attic (CRC R807); may be required to be 30"x30" to remove the largest piece of mechanical equipment per the California Mechanical Code.

Roof drains/gutters required to be installed per the California Plumbing Code with leaf/debris

Roof construction and coverings shall comply with CRC Chapters 8, 9 and local ordinance. All roofing shall be tested/listed Class A minimum.

Asphalt shingles with sloped roofs 2/12 to <4/12 shall have two layers of underlayment applied per CRC R905.2.2.

GARAGE AND CARPORT

Garage shall be separated from the dwelling unit & attic area by ½ inch gypsum board applied to the garage side. Garage beneath habitable rooms shall be separated by not less than 5/8" type X gypsum board. Structure supporting floor/ceiling assemblies used for required separations shall have ½" gypsum board installed minimum. Door openings from the garage to the dwelling shall be solid wood/steel doors or honeycomb steel doors not less than 1 3/8" thick or a 20-minute rated fire door. Doors shall be self-closing & self-latching. No openings directly into a sleeping room from the garage. When the dwelling and garage have fire sprinklers installed per R309.6 and R313, doors into the dwelling unit from the garage only need to be self-closing and selflatching. (CRC R302.5.1 & T-R302.6)

Ducts penetrating the garage to dwelling separation shall be a minimum of 26 gauge with no openings into the garage. (CRC R302.5.2)

Penetrations through the garage to dwelling separation wall (other than ducts as listed above) shall be fire-blocked per CRC section R302.11, item #4.

Garage and carport floor surfaces shall be non-combustible material and slope to drain towards the garage door opening. (CRC R309.1)

Appliances and receptacles installed in garage generating a glow, spark or flame shall be located 18" above floor unless it is listed as flammable vapor ignition resistant. (CMC 305.1) Provide protective post or other impact barrier from vehicles. (CMC 305.1.1)

Appliances in private garages and carports shall be installed with a minimum clearance of 6ft above the floor unless they are protected from vehicular impact. (CBC 406.2.9.3)

STAIRWAYS & RAMPS

Stair landings required every 12'7" of vertical rise. (CRC R311.7.3)

Exterior stair stringers must be naturally resistant to decay or pressure treated. (CRC R317.1)

Rise shall be maximum 7.75"; Run shall be 10" minimum; headroom 6'-8" minimum; width 36" minimum, 31.5" between a handrail on one side and 27" with handrails on two sides. Variation between riser heights 3/8" maximum. A nosing not less than .75 inches but not more than 1.25 nches shall be provided on stairways with solid risers where the tread depth is less than 11 inches. The leading edge of treads shall project not more than 1.25 inches beyond the tread below. Open risers are permitted, provided the opening between the treads does not permit the passage of a 4" sphere. (Openings are not limited when the stair has a rise of 30" or less). (CRC

Stairways with 4 or more risers shall have a handrail on one side 34" to 38" above the tread nosing. Circular handrails shall have an outside diameter of 1.25"-2"; if not circular, it shall have a perimeter dimension of 4"-6.25" with a maximum cross-sectional dimension of 2.25". See R311.7.8.3 item# 2 for type II handrails with a parameter over 6.25". A minimum clearance of 1.5" shall be maintained from the wall or other surface. Handrails shall be returned, terminate in newel posts, or safety terminals. (CRC R311.7.8.2)

Guards shall be 42" minimum height (unless acting as a handrail/guard for a stairway; the guard height may be 34"-38" in height), with openings less than 4" inches clear (guards on the open sides of stairs may have 4 3/8" openings). (CRC R312)

Provide landings at the top/bottom of the stairway the width of the stairway. The depth of the landing shall be 36" minimum. (CRC R311.7.6)

Usable spaces underneath enclosed/unenclosed stairways shall be protected by a minimum of ½" gypsum board. (CRC R302.7)

Ramps serving the egress door shall have a slope of not more than 1 unit vertical in 12 units horizontal (8.3-percent slope). All other ramps shall have a maximum slope of 1 unit vertical in 8 units horizontal (12.5-percent slope). Exception: Where it is technically infeasible to comply because of site constraints, ramps shall have a slope of not more than 1 unit vertical in 8 units horizontal (12.5-percent slope) (CRC R311.8.1). Provide 3'X3' landings at the top and bottom of ramps, where doors open onto ramps, and where ramps change directions. (CRC R311.8.2)

Guards are required if deck or floor is over 30" above grade, minimum 42" high, with openings less than 4". (CRC R312) Guardrails shall be designed and detailed for lateral forces according to CRC Table 301.5.

Provide deck lateral load connections at each end of the deck and at deck intersections per CRC R507.9.2. Specify connectors with a minimum allowable stress design capacity of 1,500lbs and install with 24" of the end of the deck. 750lb rated devices are allowed (DTT1Z as example) if located at 4 points along the deck.

Posts/columns shall be retrained at the bottom end to prevent lateral displacement; clearly show approved post bases, straps, etc to achieve this per CRC R407.3

Joists, girders, structural blocking and support posts shall be wood of natural resistance to decay or pressure-treated lumber when exposed to the weather. (CRC R317.1(8))

Never install electrical panels in closets of bathrooms. Maintain a clearance of 36" inches in front of panels, 30" wide or width of equipment and 6'-6" high for headroom. (CEC 110.26)

Provide a minimum 3 lug intersystem bonding busbar at the main electrical service. (CEC

Provide a four-wire feed (two ungrounded conductors, one grounded conductor and an equipment grounding conductor) to all detached structures.

Provide electrical service load calculations for dwellings over 3,000 sq. ft, services 400 amperes or greater or as determined by the Plans Examiner.

All automatic garage door openers that are installed in a residence shall have a battery backup function that is designed to operate when activated because of an electrical outage. (CBC

A concrete-encased electrode (ufer) consisting of 20' of rebar or #4 copper wire placed in the bottom of a footing is required for all new construction. (CEC 250.52(A)(3)) Bond all metal gas and water pipes to ground. All ground clamps shall be accessible and of an approved type. (CEC 250.104)

All 15/20 ampere receptacles installed per CEC 210.52 including attached and detached garages and accessory buildings shall be listed tamper-resistant receptacles. (CEC 406.12)

All branch circuits supplying 15/20 ampere outlets in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, kitchens, laundry room or similar rooms/areas shall be protected by a listed combination type arc-fault circuit interrupter. (CEC 210.12)

Provide a minimum of one 20A circuit to be used for the laundry receptacle. (CEC 210.11(C)(2))

Provide a minimum of one 20A circuit for bathroom receptacle outlets. (CEC 210.11(C)(3)

Provide at least 1 outlet in basements, garages, laundry rooms, decks, balconies, porches and within 3' of the outside of each bathroom basin. (CEC 210.52 (D), (F) & (G))

Furnaces installed in attics and crawl spaces shall have an access platform (catwalk in attics), light switch and receptacle in the space. Provide a service receptacle for the furnace. (CEC 210.63)

All dwellings must have one exterior outlet at the front and the back of the dwelling. (CEC

Provide a minimum of one 20A circuit for attached and detached garage outlets. The circuit shall supply no other receptacle outlet. Exception: Garage circuit may serve readily accessible outdoor receptacle outlets. ((CEC 210.11 (C)(4))

A minimum of 1 receptacle shall be provided for each car space. (210.52(G)(1))

At least one wall switched lighting outlet or fixture shall be installed in every habitable room, bathroom, hallways, stairways, attached garages and detached garages with electrical power, equipment spaces (attics, basements, etc). (CEC 210.70).

Kitchens, dining rooms, pantries, breakfast nooks, and similar areas must have a minimum of two 20A circuits. Kitchen, pantry, breakfast nooks, dining rooms, work surfaces and similar areas counter outlets must be installed in every counter space 12" inches or wider, not greater than 4' o.c., within 24" inches of the end of any counter space and not higher than 20" above counter. (CEC 210.52 (C)) A minimum of 1 receptacle is required at each kitchen island as follows: one receptacle is required for first 9 ft² two receptacles required from 10 ft² – 27 ft² three receptacles required for 28 ft² – 47 ft² and four receptacles required for 48 ft² or more. (CEC 210.52(C)(1)) Island counter spaces shall have at least 1 receptacle outlet unless a range top or sink is installed than 2 receptacles may be required. 1 receptacle is required for peninsular counter spaces. Receptacles shall be located behind kitchen sinks if the counter area depth behind the sink is more than 12" for straight counters and 18" for corner installations. (CEC Figure 210.52(C)(1))

Receptacles shall be installed at 12' o.c. maximum in walls starting at 6' maximum from the wall end. Walls longer than two feet shall have a receptacle. Hallway walls longer than 10 ft shall have a receptacle in hallways. (CEC 210.52(A))

Stairways with 6 or more risers shall have wall switch at each floor level at the stair landings. (CEC 210.70(A)(2))

Receptacles shall not be installed within or directly over a bathtub or shower stall. (CEC 406.9 (C)) Light pendants, ceiling fans, lighting tracks, etc shall not be located within 3ft horizontally and 8ft vertically above a shower and/or bathtub threshold. (CEC 410.10(D))

All lighting/fan fixtures located in wet or damp locations shall be rated for the application. (CEC

GFCI outlets are required: for all kitchen receptacles that are designed to serve countertop surfaces, dishwashers, bathrooms, in under-floor spaces or below grade level, in unfinished basements, crawl space lighting outlets, in exterior outlets, within 6' of a laundry/utility/wet bar sinks, indoor damp locations, mud rooms, finished basements, laundry areas, and in all garage outlets including outlets dedicated to a single device or garage door opener. (CEC 210.8).

Carbon-monoxide alarms shall be installed in dwelling units with fuel-burning appliances or with attached garages (CRC R315):

- Outside of each separate sleeping area in the immediate vicinity of bedrooms
- Alterations, repairs, or additions exceeding 1,000 dollars (May be battery operated)

Smoke alarms shall be installed (CRC R314):

On every level of a dwelling unit including basements

- In each room used for sleeping purposes.
- Outside of each separate sleeping area in the immediate vicinity of bedrooms.
- In each story, including basements.

this would prevent placement of a smoke detector (R314.3(4)).

- At the top of stairways between habitable floors where an intervening door or obstruction
- prevents smoke from reaching the smoke detector. Shall not be installed within 20ft horizontally of cooking appliances and no closer than 3ft to mechanical registers, ceiling fans and bathroom doors with a bathtub or shower unless
- Alterations, repairs, or additions exceeding 1,000 dollars. (May be battery operated.)
- All smoke and carbon-monoxide alarms shall be hardwired with a battery backup (smoke alarms shall have a 10-year sealed battery). (CRC R314.4 & R315.1.2)
- Smoke detectors within 10 feet to 20 feet of the stove shall be ionization type with alarm silencing switch. (CRC R314.3.3)

All 15/20 ampere receptacles in wet locations shall have in-use (bubble) covers installed. A receptacles in wet locations shall also be listed weather-resistant type. (CEC 406.9(B)(1))

ENERGY STORAGE SYSTEMS

Energy storage systems shall only be installed in detached garages and accessory structures, attached garages, outdoor not less than 3' from door and windows and enclosed utility closets, basements, storage or utility closets within dwelling units with finished or noncombustible walls and ceiling. (CRC R328.4)

Individual ESS units shall have a maximum rating of 20 kWh. The aggregate rating of the ESS shall not exceed 40 kWh within utility closets, basements and storage or utility spaces, 80 kWh in attached or detached garages or detached accessory structures, 80 kWh on exterior walls and 80 kWh outdoors on the ground. (CRC R328.5)

Rooms and areas within structures in which ESS are installed shall be protected by smoke alarms. A heat detector shall be installed in locations within structures where smoke alarms cannot be installed based on their listing. (CRC R328.7)

ESS installed in locations subject to vehicle damage shall be provided with impact protection. (CRC R328.8)

Underfloor cleanouts shall not be more than 5' from an underfloor access, access door or trap door. (CPC 707.9)

Kitchen sinks require a cleanout above the floor level of the lowest floor of the building.

ABS piping shall not be exposed to direct sunlight unless protected by water based synthetic latex paints. (CPC 312.13)

PVC piping shall not be exposed to direct sunlight unless protected by water based synthetic

Underground water supply lines shall have a 14 awg blue tracer wire. (CPC 604.10.1)

The entire floor space in a room containing a shower without thresholds shall be considered a "wet location" when using the CRC, CBC, and the CEC. (CPC 408.5)

Shower compartments, regardless of shape, shall have a minimum finished interior of 1024 square inches (32" by 32") and shall also be capable of encompassing a 30" circle. The required area and dimensions shall be measured at a height equal to the top of the threshold and shall be maintained to a point of not less than 70" above the shower drain outlet. (CPC 408.6) Provide curtain rod or door a minimum of 22" in width (CPC 408.5). Showers and tubs with showers require a non-absorbent surface up to 6' above the floor. (CRC R307.2) Minimum shower receptor slope is 1/8" per foot. (CPC 408.5)

Show location and size of the water heater on plans. Provide pressure relief valve with drain to outside for water heater. (CPC 504.6) Provide seismic strapping in the upper & lower third of the water heater a minimum of 4" above controls. (CPC 507.2)

Water heaters using gas or propane shall designate a space 2.5 feet by 2.5 feet and 7 feet tall suitable for future installation of a heat pump water heater. Additional features are required. (California Energy Code 150.0(n))

Domestic hot water lines shall be insulated. Insulation shall be the thickness of the pipe diameter up to 2" in size and minimum 2" thickness for pipes larger than 2" in diameter. (CPC 609.12)

A 3-inch gravity drain shall be provided at the low point of the space, installed which provides 1/4-inch per foot grade and terminate at an exterior point of the building protected from blockage. The opening shall be screened with a corrosion-resistant wire mesh with mesh openings of 1/4-inch in dimension. Lengths of the gravity drains over 10 feet in length shall be first approved by the Building Official. (L-V 8.8)

ter-tight corrosion resistant minimum 1 1/2" deep pan under the water heater with a minimum ¾ inch drain to the exterior of the building. (CPC 507.5)

Water heaters located in attics, ceiling assemblies and raised floor assemblies shall show a wa-

Water closets shall be located in a space not less than 30" in width (15" on each side) and 24" minimum clearance in front. (CPC 402.5)

Indicate on the plans that the maximum hot water temperature discharging from a bathtub or whirlpool bathtub filler shall not exceed 120 degrees F. (CPC 408.3.2)

Provide anti-siphon valves on all hose bibs. (CPC 603.5.7)

Floor drains shall be provided with a trap primer. (CPC 1007)

Clearly label on the plans the maximum water flow rates per the (CGBSC 4.303.1):

- Water Closets: 1.28gpf
- Urinals: .125gpf
- Kitchen Faucets: 1.8gpm @ 60psi

Lavatory Faucets: 1.2gpm @ 60psi

Showerheads: 1.8gpm

MECHANICAL

(CMC 802.5.4)

All newly installed gas fireplaces shall be direct vent and sealed-combustion type. (CMC 912.2)

Any installed wood stove or pellet stove shall meet the U.S. EPA New Source Performance Standard emission limits and shall have a permanent label certifying emission limits.

Top of chimney must extend a minimum of 2 ft. above any part of the building within 10 ft

Fireplaces shall have closable metal or glass doors, have combustion air intake drawn from the outside and have a readily accessible flue dampener control. Continuous burning pilot lights

Provide combustion air for all gas fired appliances per CMC Chapter 7.

are prohibited. (California Energy Code 150.0(e))

Roof top equipment on roofs with over 4/12 slope shall have a level 30"x30" working platform. (CMC 304.2)

Exhaust openings terminating to the outdoors shall be covered with a corrosion resistant screen ¼"-1/2" in opening size (not required for clothes dryers). (CMC 502.1)

Vent dryer to outside of building (not to under-floor area). Vent length shall be 14 ft. maximum. Shall terminate a minimum of 3' from the property line and any opening into the building. (CMC 504.4.2)

Environmental Air Ducts shall not terminate less than 3' to a property line, 10' to a forced air inlet, 3' to openings into the building and shall not discharge on to a public way. (CMC 502.2.1)

Provide minimum 100 square inches make-up air for clothes dryers installed in closets. (CMC 504.4.1(1))

Heating system is required to maintain 68 degrees at 3 ft. above floor level and 2ft from exterior walls in all habitable rooms. (CRC R303.10)

TITLE 24 ENERGY

Provide compliance documentation for mandatory measures to shown throughout the plans. All ducts in conditioned spaces must include R-4.2 insulation. (California Energy Code 150.1(c)9) Minimum heating and cooling filter ratings shall be MRV 13. (California Energy Code 150.0(m)

Isolation water valves required for instantaneous water heaters 6.8kBTU/hr and above. Valves shall be installed on both cold and hot water lines. Each valve will need a hose bib or other fitting allowing for flushing the water heater when the valves are closed. (California Energy Code 110.3(c)6)

Energy storage system (ESS) ready. At least one of the following shall be provided:

system isolation equipment to allow the connection of backup power source.

as "For future 240V use". (California Energy Code 150.0(t))

ESS ready interconnection equipment with a minimum backed-up capacity of 60 amps and a minimum of four ESS-supplied branch circuits, or

A dedicated raceway from the main service panel to a panelboard (subpanel) that sup-

plies the following branch circuits: refrigerator, lighting circuit near primary egress door, sleeping room receptacle and one additional. The main panelboard shall have a minimum busbar rating of 225 amps. Space shall be re-

Heat pump space heater ready. Systems using a gas or propane furnace shall include a dedicated 240 volt branch circuit with 3 feet of the furnace. The branch circuit shall be rated at 30 amps minimum. The main electrical service shall have a reserved space to allow for the installation of a double pole circuit breaker. The reserved space shall be permanently marked

Electric cooktop ready. Systems using a gas or propane cooktop shall include a dedicated 240 volt branch circuit with 3 feet of the cooktop. The branch circuit shall be rated at 50 amps minimum. The main electrical service shall have a reserved space to allow for the installation of a double pole circuit breaker. The reserved space shall be permanently marked as "For future 240V use". (California Energy Code 150.0(u))

Electrical clothes dryer ready. Systems using a gas or propane dryer shall include a dedicated 240 volt branch circuit with 3 feet of the clothes dryer. The branch circuit shall be rated at 30 amps minimum. The main electrical service shall have a reserved space to allow for the installation of a double pole circuit breaker. The reserved space shall be permanently marked as "For future 240V use". (California Energy Code 150.0(v))

ALL luminaires must be high efficacy. (California Energy Code 150.0(k)1A)

uminaries recessed in insulated ceilings must meet five requirements (California Energy Code

- They must be rated for direct insulation contact (IC).
- They must be certified as airtight (AT) construction. They must have a sealed gasket or caulking between the housing and ceiling to prevent
- flow of heated or cooled air out of living areas and into the ceiling cavity. They may not contain a screw base sockets
- They shall contain a JA8 compliant light source

n bathrooms, garages, walk-in closet, laundry rooms, and utility rooms, at least on luminaire in each of these spaces shall be controlled by a vacancy sensor or occupant sensor provided the occupant sensor is initially programmed like a vacancy sensor (manual-on operation). (California Energy Code 150.0(k)2I)

Lighting in habitable spaces, including but not limited to living rooms, dining rooms, kitchens and bedrooms, shall have readily accessible dimming controls. (California Energy Code 150(k)

All exterior lighting shall be high efficacy, be controlled by a manual on/off switch and have one of the following controls (the manual switch shall not override the automatic control device) (150.0(k)3A):

Photo-control and motion sensor

Energy Commission.

Photo-control and automatic time switch control

Astronomical time clock control turning lights off during the day

All high efficacy light fixtures shall be certified as "high-efficacy" light fixtures by the California

Contractor shall provide the homeowner with a luminaire schedule giving the lamps used in the luminaires installed. (CGBSC 10-103(b))

The number of blank electrical boxes more than 5 feet above the finished floor shall not be

General notes based on the 2022 California Building Standard Codes. This is not an all inclusive list of code requirements specific to the project. Reference applicable sheets and specific areas of the plans for locations of fixtures/equipment, structural components structural design criteria, building finishes and other components specific to the project construction.

greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor, or fan speed control. (California Energy Code 150(k)1B) Radiant barrier shall be installed, and it shall also be installed on all gable ends per the manufac-

WILDLAND URBAN INTERFACE (WUI)

ture's specifications.

Exterior wall coverings shall be noncombustible, ignition resistant, heavy timber, log wall or fire resistive construction. (CRC R337.7)

Exterior wall coverings shall extend from the foundation to the roof and terminate at 2 inch nominal solid blocking between rafters and overhangs. (CRC R337.7.3.2)

Open/enclosed roof eaves and soffits, exterior porch ceilings, floor projections, under-floor areas and undersides of appendages to comply with ignition resistant construction requirements. (CRC

Spaces created between roof coverings and roof decking shall be fire stopped by approved materials or have one layer of minimum 72lb mineral surfaced non-perforated cap sheet complying with ASTM D 3909. (CRC R337.5.2)

complying with ASTM D 3909 and at least 36 inches wide running the full length. (CRC R337.5.3) All vents are required to resist building ignition from the intrusion of flame and burning embers

through the ventilation openings including crawlspace vents, gable end vents, eave vents, etc.

Indicate on the plans where valley flashing is installed, the flashing shall be not less than 26awg and

installed over not less than one layer of minimum 72lb mineral surfaced non-perforated cap sheet

Indicate on plans exterior glazing shall have a minimum of one-tempered pane, glass block, have a fire resistive rating of 20 minutes or be tested to meet performance requirements of SFM Standard

Exception: Ridge vents and vents installed in a sloped roof.

mance requirements of SFM Standard 12-7A-1. (CRC R337.8.3)

stripping meeting section requirements are permitted. (R337.8.4)

(R337.8.2.2) Exterior doors including garage doors shall be noncombustible, ignition resistant material, minimum

Operable skylights shall be protected by a noncombustible mesh screen 1/8" max openings

1 3/8 inch solid core, minimum 20 minute fire resistive rating or shall be tested to meet the perfor-

Garage door perimeter gap maximum 1/8". Metal flashing, jamb and header overlap, and weather-

The walking surface material of decks, porches, balconies and stairs within 10ft of grade level shall erved to allow future installation of a system isolation equipment/transfer switch within 3 be ignition resistant material, exterior fire-retardant treated wood or noncombustible material. feet of the main panelboard. Raceways shall be installed between the panelboard and the (CRC R337.9)

GREEN BUILDING

12-7A-2. (CRC R337.8.2)

opment which in total disturbs one acre or more, shall manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site (CGBSC 4.106.2): Retention basins of sufficient size shall be utilized to retain storm water on site

Projects which disturb less than one acre of soil and are not part of a larger common plan of devel-

posal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.

Where storm water is conveyed to a public drainage system, collection point, gutter, or similar dis-

- All new residential construction with attached private garages shall have the following for electric vehicle (EV) charging stations (CGBSC 4.106.4): Install a minimum 1-inch conduit capable of supplying a 208/240V branch circuit to a suitable
- box location for EV charging. The other end shall terminate to the main service and/or subpan-The main panel and/or subpanel shall be of sufficient size to install a 40-ampere dedicated

branch circuit. The dedicated overcurrent protection space shall be labeled "EV CAPABLE".

Multiple shower heads serving a single shower shall have a combined flow rate of 1.8 gpm or the shower shall be designed to allow only one shower outlet to be in operation at a time. (CGBSC 4.303.1.3.2)

Residential projects with an aggregate landscape area equal to or greater than 500 square feet shall comply with either a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. Automatic irrigation system controllers installed at time of final inspection shall have weather or soil based controllers and/or weather based controllers with rain sensors. Soil moisture

Recycle and/or reuse a minimum of 65 percent of nonhazardous construction and demolition waste. (CGBSC 4.408.2)

At time of final inspection, a building operation and maintenance manual, compact disc, etc shall be

provided containing the following: (CGBSC 4.410)

Information from local utility, water and waste recovery providers

based controllers are not required to have rain sensor input. (CGBSC 4.304)

- Directions that manual shall remain onsite for the life of the building Operation and maintenance instructions for equipment, appliances, roof/yard drainage, irrigation systems, etc
- Public transportation and carpool options
- Information regarding routine maintenance procedures

State solar energy incentive program information A copy of any required special inspection verifications that were required (if any)

Material regarding importance of keeping humidity levels between 30-60 percent

adhesives, sealants, caulks, paints, carpet, resilient flooring systems, etc. (CGBSC 4.504) Duct openings related to HVAC systems shall be covered with tape, plastic, sheet metal or other

Clearly note on the plans how the project will meet minimum pollutant control requirements for

methods to reduce the amount of water, dust and debris which may enter the system. (CGBSC

GENERAL NOTES 2

DATE: 6/20/23 NO SCALE: **SHEET 21** N-2