

PROJECT DATA

PROJECT DESCRIPTION: CONSTRUCTION OF 4 NEW TWO-STORY SINGLE FAMILY RESIDENCE'S , WITH ATTACHED ADU'S
PROJECT ADDRESS: 2762, 2768, 2752, 2756 OAKMONT ST. SACRAMENTO CA 95815
ASSESSOR'S PARCEL NUMBERS: 263-0142-034-000,263-0142-032-0000, 263-0142-024-000,263-0142-025-0000
ZONING: R-1
DESCRIPTION OF USE: SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE: V-B
STORIES: TWO
SPRINKLERS: YES

FLOOR PLAN TABULATIONS:

LOT 32 : APN/ 263-0142-032-0000 - 7240 SQ. FT.
1ST FLOOR SQUARE FOOTAGE : 544 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 809 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1353 SQ. FT.
GARAGE SQUARE FOOTAGE : 506 SQ. FT.

LOT 32 : ACCESSORY DWELLING UNIT

1ST FLOOR SQUARE FOOTAGE : 448 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 544 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 992 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 32 PARKING SPACES = 1- 2 CAR GARAGE, 1- 1 CAR GARAGE -6 ADDITIONAL SPACES. 9 TOTAL SPACES

LOT 34 : APN/ 263-0142-034-0000 - 4290 SQ. FT.

1ST FLOOR SQUARE FOOTAGE : 510 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 604 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1114 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 34 : ACCESSORY DWELLING UNIT

1ST FLOOR SQUARE FOOTAGE : 420 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 538 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 958 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 34 PARKING SPACES = 2- 1 CAR GARAGES -4 ADDITIONAL SPACES. 6 TOTAL SPACES

LOT 24 : APN/ 263-0142-024-0000 - 7456 SQ. FT.

1ST FLOOR SQUARE FOOTAGE : 544 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 809 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1353 SQ. FT.
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LOT 24 PARKING SPACES = 1- 2 CAR GARAGE, 1- 1 CAR GARAGE -6 ADDITIONAL SPACES. 9 TOTAL SPACES

LOT 25 : APN/ 263-0142-025-0000 - 5435 SQ. FT.

1ST FLOOR SQUARE FOOTAGE : 510 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 604 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1114 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 25 : ACCESSORY DWELLING UNIT

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TOTAL FLOOR SQUARE FOOTAGE : 958 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 25 PARKING SPACES = 2- 1 CAR GARAGES -4 ADDITIONAL SPACES. 6 TOTAL SPACES

TOTAL LIVING AREA SQUARE FOOTAGE : 8834 SQ. FT.
TOTAL GARAGE SQUARE FOOTAGE : 2728 SQ. FT.
TOTAL PARKING SPACES : 30 - SPACES.

MINIMUM SETBACKS: MINIMUM SETBACKS ADU:
FRONT: 20 FT. FRONT: 20 FT.
REAR: 15 FT. REAR: 3 FT.
SIDES: 5 FT. SIDES: 3 FT.
MAXIMUM ROOF HEIGHT : = 30'

BUILDING DATA

CONSTRUCTION TYPE: V-B
OCCUPANCY: R-1
ROOF DEAD LOAD: 20PSF
ROOF LIVE SNOW LOAD: 20PSF
EXPOSURE: D
CLIMATE ZONE: CZ-11
BUILDING USE: SINGLE FAMILY DWELLING
SOIL BEARING: 1500 PSF PER RDP CLASS D

DESIGN CRITERIA

OCCUPANCY CATEGORY: II
IMPORTANCE FACTOR: 1.0
ROOF DEAD LOAD: 12psf
ROOF LIVE LOAD: 18psf
SNOW LOAD (Ps): 20psf
FLOOR LIVE LOAD: 40psf
WALL DEAD LOAD: 15psf
LATITUDE: 38.732
LONGITUDE: -121.076
SS: 4936
SI: 2373
R: 6.5
CS: .0711
SITE CLASS: D
MIN. MWFRS LAT. FORCE METHOD: 3.43K
SEISMIC BASE SHEAR: 3.43K
SDC: D
WIND SPEED Vult: 110mph
WIND SPEED Vasd: 85mph
WIND EXPOSURE: C

SOIL BEARING CAPACITY = 1500 PSF
ALL CONCRETE SLABS TO BE (in. min.):
- 4" THICK OF 2500PSI CONCRETE OVER,
- 6"x6" #10 MESH WELDED WIRE FABRIC OR #3 BAR @ 24"OC EA. WAY OVER,
- 10 MIL VISQUEEN VAPOR BARRIER (joints lapped not less than 6") SEE CONCRETE NOTE #19
- 4" OF 1/2" OR LARGER OF CLEAN AGGREGATE - ON UNDISTURBED OR ENGINEERED SOIL

CONTRACTOR: FIELD VERIFY ALL DIMENSIONS AND CONFIRM THAT STRUCTURAL MEMBERS AND CONNECTORS ADHERE TO CALIFORNIA BUILDING CODE SPAN TABLES AND SELECTION/INSTALLATION SPECIFICATIONS. CONTACT DESIGNER IF ANY DISCREPANCIES OCCUR.

DESIGNER NOTES

- 1 CONSTRUCTION/PROJECT SHALL BE OF THE HIGHEST QUALITY OF WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE MADE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PRACTICES OR AS SPECIFIED HERE IN OR AS PER THE CURRENT UNIFORMED BUILDING CODE.
2 THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENT WITH COMPLIANCE TO LOCAL CODES OR ORDINANCES.
3 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES APPARENT OR SUSPECTED SHALL BE REPORTED TO DESIGNER.
4 THIS DESIGNER WILL NOT BE OBSERVING CONSTRUCTION OF THIS PARTICULAR PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND STANDARDS FOR THIS PROJECT.
5 ALL CONSTRUCTION SHALL MEET OR EXCEED THE EDITION OF CODES ACCEPTED BY THE LOCAL GOVERNING AGENCIES, AND ALL OTHER HEALTH AND SAFETY CODES, ORDINANCES, AND REQUIREMENTS ADOPTED BY THE GOVERNING AGENCIES.
6 THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS, OMISSIONS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL.
7 OWNER IS TO NOTIFY THIS DESIGNER AFTER PLAN CHECK HAS BEEN PERFORMED BY BUILDING DEPARTMENT. THIS DESIGNER WILL NOT BE RESPONSIBLE FOR ANY BUILDING DEPARTMENT REVISIONS IF OWNER DOES NOT FURNISH (MARKED UP) SET OF PLANS TO DESIGNER FOR SPECIAL BUILDING DEPARTMENT REQUIREMENTS.
8 ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED, USED, CLEANED AND CONDITIONED IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
9 ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
10 ALL DIMENSIONS ARE TO BE ROUGH FRAMING UNLESS NOTED.
11 CEILING HEIGHT DIMENSIONS ARE FROM SUBFLOOR TO ROUGH FRAME.

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE (C.B.C.)
2022 CALIFORNIA RESIDENTIAL CODE C.R.C.)
2022 CALIFORNIA MECHANICAL CODE (C.M.C.)
2022 CALIFORNIA PLUMBING CODE (C.P.C.)
2022 CALIFORNIA ELECTRICAL CODE (C.E.C.)
2022 CALIFORNIA ENERGY CODE (CAL ENERGY)(2019 BUILDING ENERGY EFFICIENCY STANDARDS)
2022 CALIFORNIA FIRE CODE (C.F.C.)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
2022 RESIDENTIAL GENERAL NOTES SHEET
2022 RESIDENTIAL PLAN REVIEW CHECKLIST

PROJECT PRINCIPALS

OWNER: SCOTT L. WILLIAMS, 3017 DOUGLAS BLVD. #300, ROSEVILLE CA 95661, PH #: 916 786-3177, scottwilliams@surewest.net
DESIGNER: DESIGNS BY FOSTER, DON FOSTER / PHONE # (530) 559-2684, 21946 ANGELI PL GRASS VALLEY CA. 95949, EMAIL: _designsbydonfoster@gmail.com
STRUCTURAL ENGINEER: BTS ENGINEERING, BRIAN T. SUTLIFF/, PHONE # (916) 96-0370, EMAIL: _brian.sutliff@sbcglobal.net
FIRE SPRINKLER DESIGN: ACCURATE FIRE PROTECTION, JOEL MYERS / PHONE # (916) 381-4101, 8980 BRADSHAW RD ELK GROVE CA. 95624, EMAIL: _jmyers@accuratefire.net
TITLE 24: RESIDENTIAL COMMERCIAL ENERGY ENGINEERING, RESCOM/ PHONE # (916) 373-1383 (888) 372-2263, 3166 SUISUN BAY RD WEST SACRAMENTO CA. 95691, EMAIL: _Larry@Rescomee.com

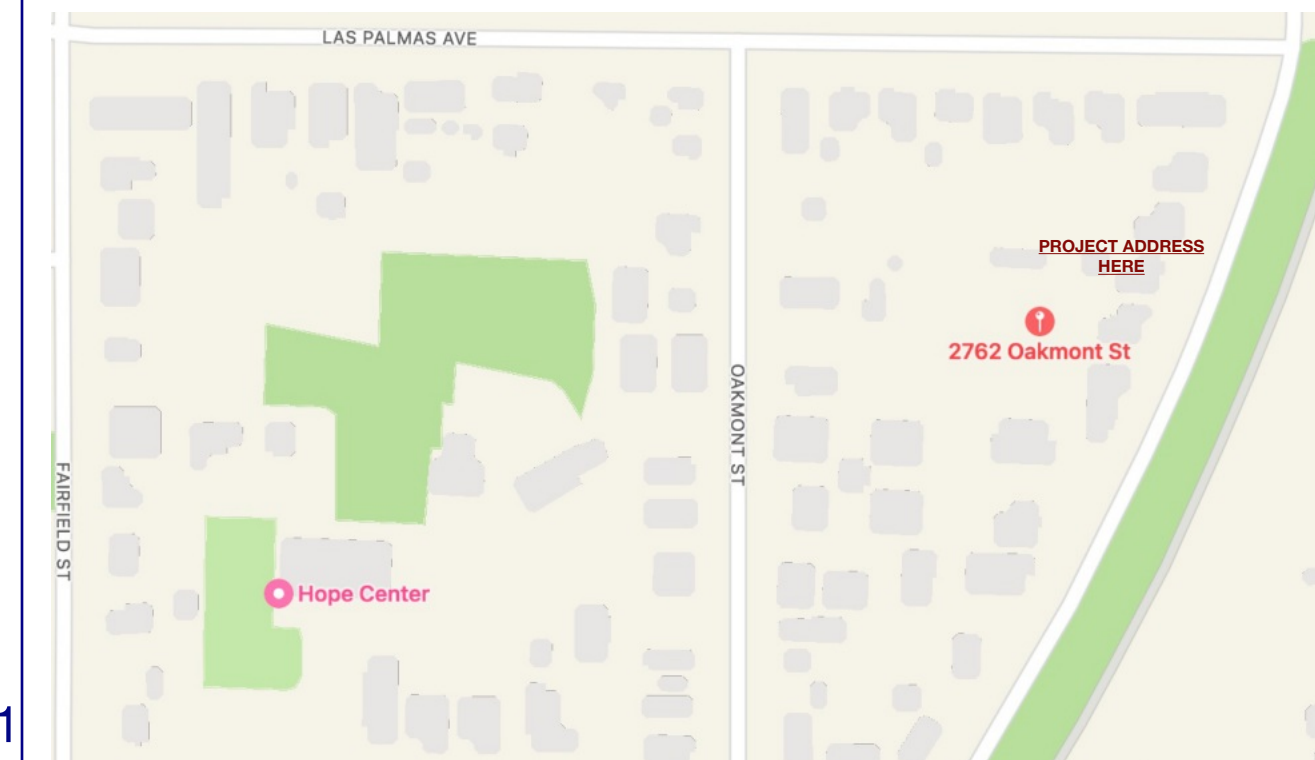
HIDDEN OAKS

2762,2768,2752,2756 OAKMONT ST. SACRAMENTO CA 95818

ACCESSORS PARCEL NUMBERS 263-0142-034-0000, 263-0142-032-0000, 263-0142-024-0000, 263-0142-025-0000



RENDERING ONLY (NOT TO SCALE)



VICINITY MAP

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SHEET: 1

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OAKMONT HOMES 2762, 2768, 2752, 2756 OAKMONT ST. SACRAMENTO CA 95815

DRAWINGS PROVIDED BY DESIGNS BY FOSTER 25946 ANGELI PL. GRASS VALLEY CA 95949 designsbydonfoster@gmail.com (530) 559-2684

TITLE SHEET

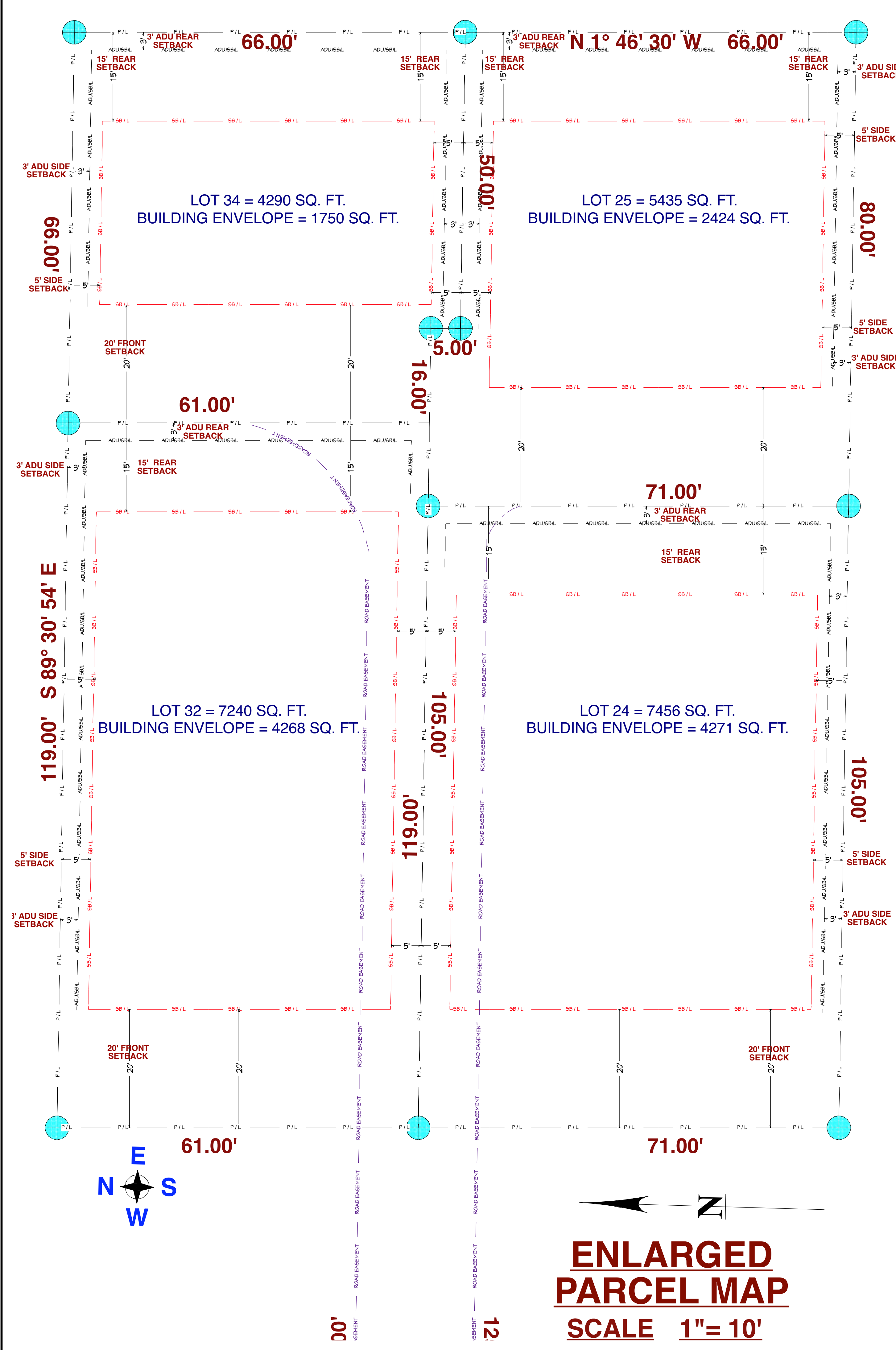
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SCALE:

DATE: 6/20/23

SHEET: 1

T-1



**ENLARGED
PARCEL MAP**
SCALE 1" = 10'

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TOTAL GARAGE SQUARE FOOTAGE :	2728 SQ. FT.		
TOTAL PARKING SPACES :	30 - SPACES.		
MINIMUM SETBACKS:		MINIMUM SETBACKS ADU:	
FRONT:	20 FT.	FRONT:	20 FT.
REAR:	15 FT.	REAR:	3 FT.
SIDES:	5 FT.	SIDES:	3 FT.
MAXIMUM ROOF HEIGHT : = 30'			

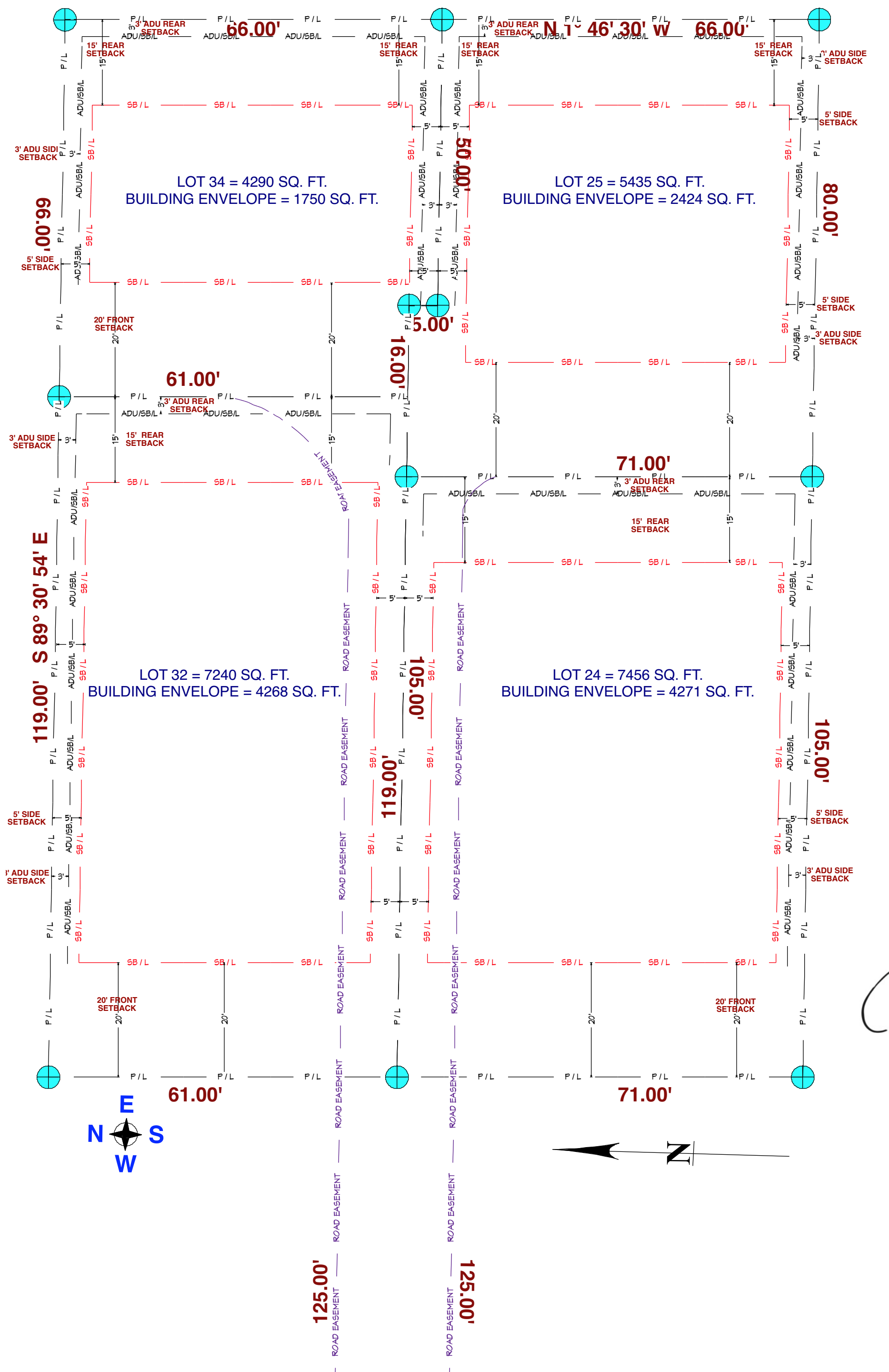


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TITLE 24/ENERGY CALCS-3	23	N-5	
CALIFORNIA GREEN NOTES	24	N-6	
CALIFORNIA GREEN NOTES-2	25	N-7	

PARCEL MAP
SCALE 1/16" = 1'

SHEET : 2

P-1

OAKMONT HOMES
2762, 2768, 2752, 2756
OAKMONT ST.
SACRAMENTO CA 95815

DRAWINGS PROVIDED BY
DESIGNS BY FOSTER
25946 ANGELI PL.
GRASS VALLEY CA 95949
designsbydfoster@gmail.com
(530) 559-2684

PARCEL MAP

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SCALE:

DATE:
6/20/23

SHEET: 2

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SITE PLAN & GRADING NOTES 6/20/23

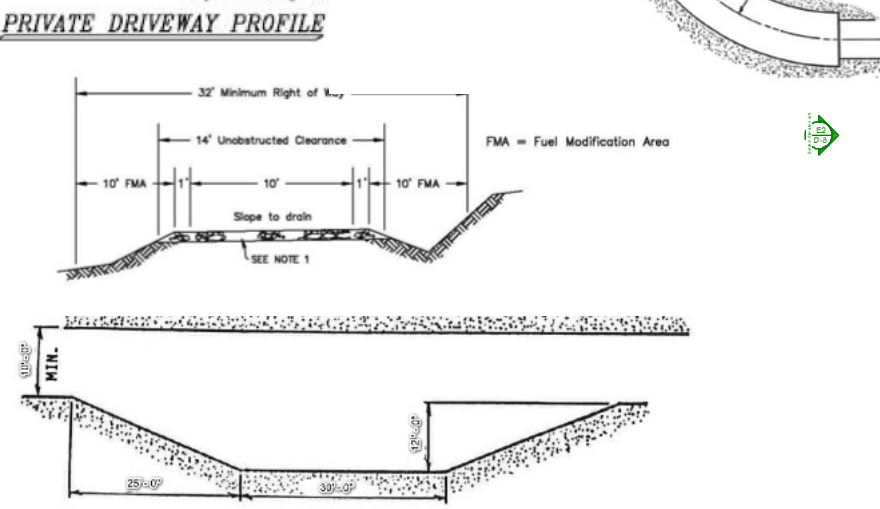
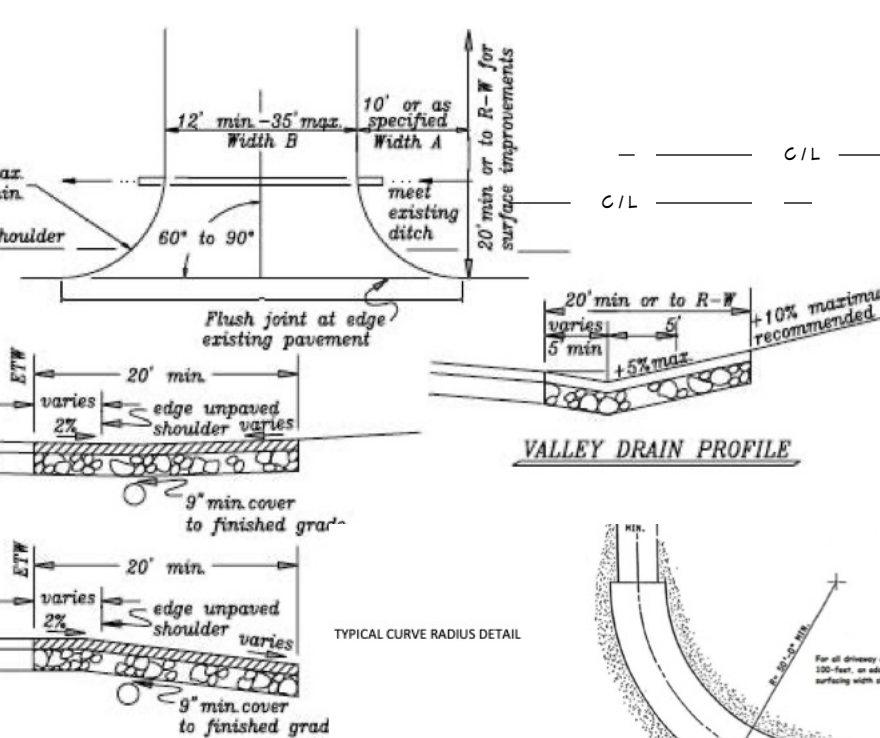
- 1 SITE SURVEY TO BE COMPLETED TO VERIFY PROPERTY PIN LOCATIONS, BUILDINGS, AND SETBACKS PRIOR TO CONSTRUCTION.
2 CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. (CALL BEFORE YOU DIG 800 428-4950)
3 APPROVAL SHALL BE OBTAINED FROM BUILDING OFFICIAL PRIOR TO ANY GRADING ACTIVITY BETWEEN OCTOBER 15TH AND APRIL 15TH.
4 DRAINAGE AND RETENTION DURING CONSTRUCTION FOR PROJECTS DISTURBING LESS THAN 1 ACRE OF SOIL, AND NOT PART OF A LARGER COMMON PLAN OVER 1 ACRE.
5 GRADING SHALL NOT BE COMPLETED AS TO INCREASE THE AMOUNT OF DRAINAGE/RUNOFF ONTO NEIGHBORING PROPERTIES. (L.V. 19.12)
6 STORM WATER TO BE DIVERTED TO VEGETATION AREA.
7 AVOID ANY CONSTRUCTION OR TRENCHING WHEN THE SOIL IS WET FOLLOWING A HEAVY RAINFALL EVENT.
8 COMPLIANCE WITH VEGETATION CLEARANCE REQUIREMENT PER LOCAL CODE.
9 EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN EVENT.
10 ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING AND PRIOR TO ANY RAIN EVENT.
11 SILT FENCING OR FIBER ROLLS SHALL BE PLACED AT POINT OF CONCENTRATED DRAINAGE
12 ALL AREAS OF LAND DISTURBANCE SHALL BE MULCHED WITH 4" MIN. STRAW.
13 ALL CUTS AND FILLS ARE TO BE 2:1 MAXIMUM UNLESS OTHERWISE STATED. CUTS AND/OR FILLS STEEPER THAN 2:1 REQUIRE APPROVAL FROM A LICENSED GEOTECHNICAL ENGINEER.
14 AREAS OF LAND DISTURBANCE GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MATTING IN ADDITION TO MULCHING AS FOLLOWS: ALL AREAS OF LAND DISTURBANCE SHALL BE MULCHED 4" MINIMUM STRAW. SILT FENCING OR FIBER ROLLS SHALL BE IN PLACE AT POINT OF CONCENTRATED DRAINAGE. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING OR PRIOR TO ANY RAIN EVENT. EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN EVENT.
15 ALL FOOTINGS TO BE SUPPORTED BY UNDISTURBED SOIL, NATIVE SOIL UNLESS OTHERWISE NOTED.
16 PRIOR TO SCHEDULING A FOUNDATION INSPECTION PRELIMINARY GRADING AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT IF REQUIRED BY CODE. ANY REVISIONS FROM SOILS REPORT SHALL BE INCORPORATED INTO THE PLANS AND SPECIFICATIONS.
17 MINIMUM 6" FALL FROM WITHIN 10' OF STRUCTURE.
18 SOIL FROM FOOTINGS TO BE USED TO PROVIDE SLOPE AWAY FROM BUILDING.
19 SPOILS TO BE DISTRIBUTED EVENLY NOT TO CAUSE SETTLING.
20 NO SOIL WILL BE REMOVED FROM PROPERTY.
21 EXCAVATION LESS THAN 250 CUBIC YARDS

DRIVEWAY NOTES 6/20/23

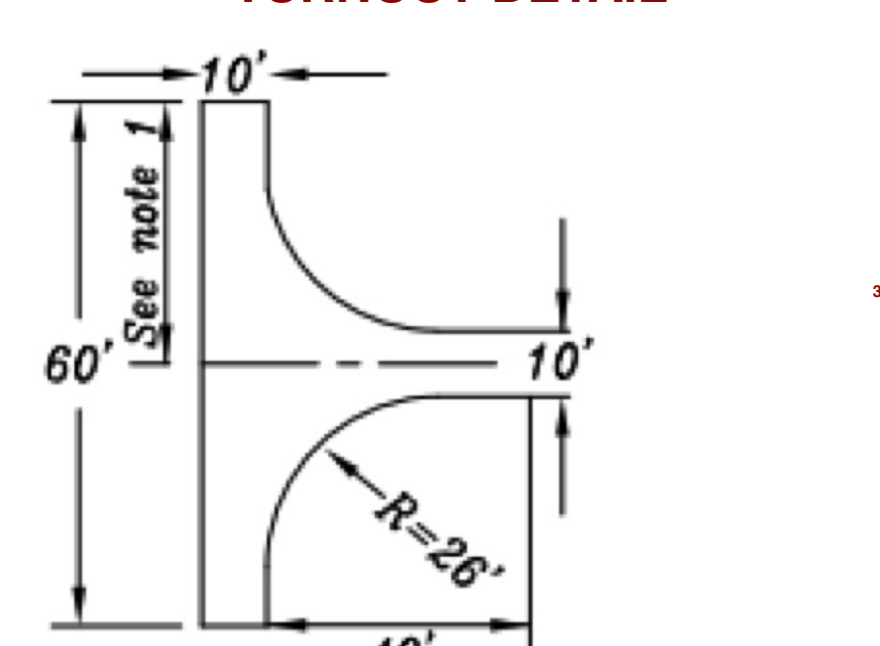
- 1 A PRIVATE DRIVEWAY CONSTRUCTION STANDARDS (SECTION L.V.13.2 LUDC)
2 ALL NEWLY CONSTRUCTED SINGLE FAMILY RESIDENCES SHALL BE SERVED BY A DRIVEWAY. ANY SUBDIVISION PROPOSING THAT TWO (2) LOTS BE SERVED BY A COMMON DRIVEWAY SHALL HAVE THE DRIVEWAY CONSTRUCTED PRIOR TO THE MAP RECORDATION. THE DRIVEWAY SHALL MEET THE FOLLOWING CONSTRUCTION STANDARDS AS ADMINISTERED BY THE BUILDING DEPARTMENT THROUGH A DRIVEWAY PERMIT WHEN A GRADING PERMIT IS NOT APPLICABLE. STANDARDS DO NOT APPLY TO DRIVEWAYS THAT ARE LESS THAN FIFTY (50) FEET IN LENGTH.
3 BELOW 4,000 FEET ELEVATION, DRIVEWAY GRADE SHALL NOT EXCEED TWENTY PERCENT (20%) UNLESS A PETITION FOR THE EXCEPTION IS SUPPORTED BY THE COUNTY FIRE MARSHAL OR HIS OR HER APPOINTED DESIGNEE AND GRANTED BY THE PLANNING AGENCY HAVING JURISDICTION OVER THE LAND USE ENTITLEMENT, NOT WITHSTANDING SECTION L.V.12.2. EXCEPTIONS TO STANDARDS, THERE SHALL BE NO EXCEPTIONS GRANTED FOR GRADES IN EXCESS OF TWENTY PERCENT (20%).
4 AT OR ABOVE 4,000 FEET ELEVATION, DRIVEWAY GRADE SHALL NOT EXCEED SIXTEEN PERCENT (16%) MAXIMUM, NOTWITHSTANDING SECTION L.V.12.2. EXCEPTIONS TO STANDARDS, THERE SHALL BE NO EXCEPTIONS GRANTED FOR GRADES IN EXCESS OF SIXTEEN PERCENT (16%) WHERE ELEVATIONS RANGE ABOVE 4000 FEET.
5 DRIVEWAY SURFACES SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LEGALLY LOADED VEHICLE. DRIVEWAYS AND SEGMENTS THERE OF THAT ARE BETWEEN ZERO (0%) AND SIXTEEN PERCENT (16%) GRADE SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LEGALLY LOADED VEHICLE AS CERTIFIED BY A REGISTERED CIVIL ENGINEER, OR A MINIMUM OF 4" CLASS 11 AGGREGATE BASE.
6 DRIVEWAYS AND SEGMENTS THERE OF THAT ARE SIXTEEN POINT ONE (16.1%) GRADE AND ABOVE, SHALL BE DESIGNED AND CERTIFIED BY A REGISTERED CIVIL ENGINEER. PRIOR TO FOUNDATION INSPECTION THE ENGINEER SHALL PROVIDE STAMPED AND SIGNED WRITTEN VERIFICATION TO THE COUNTY FIRE MARSHAL OR HIS OR HER APPOINTED DESIGNEE THAT THE ROUGH GRADE COMPLIES WITH THE SITE PLAN, PRIOR TO, OR CONCURRENT WITH FINAL INSPECTION. THE ENGINEER SHALL PROVIDE STAMPED AND SIGNED WRITTEN VERIFICATION THAT THE FINAL DRIVEWAY COMPLIES WITH THE SITE PLAN.
7 DRIVEWAYS BETWEEN SIXTEEN POINT ONE PERCENT (16%) AND TWENTY PERCENT (20%) IN LENGTH SHALL BE DESIGNED AND CERTIFIED BY A REGISTERED CIVIL ENGINEER. PRIOR TO FOUNDATION INSPECTION THE ENGINEER SHALL PROVIDE STAMPED AND SIGNED WRITTEN VERIFICATION THAT THE ROUGH GRADE COMPLIES WITH THE SITE PLAN, PRIOR TO, OR CONCURRENT WITH FINAL INSPECTION. THE ENGINEER SHALL PROVIDE STAMPED AND SIGNED WRITTEN VERIFICATION THAT THE FINAL DRIVEWAY COMPLIES WITH THE SITE PLAN.
8 AT LEAST THE FIRST THIRTY (30) FEET OF THE DRIVEWAY ENCRoACHMENT FROM THE EDGE OF PAVEMENT OF THE PRIMARY ROADWAY SHALL CONFORM TO THE DESIGN STANDARDS FOR DRIVEWAY ENCRoACHMENTS AS PER COUNTY STANDARDS, AVAILABLE FROM THE DEPARTMENT OF PUBLIC WORKS.
9 THE DRIVEWAY MUST BE BUILT WITHIN FIFTY (50) FEET OF THE NEAREST POINT OF EACH DWELLING UNIT.
10 SURFACE WIDTH SHALL BE TEN (10) FEET MINIMUM WITH ONE (1) FOOT SHOULDERS FOR DRIVEWAYS UP TO SIXTEEN PERCENT (16%). FOR GRADES BETWEEN SIXTEEN POINT ONE PERCENT (16%) AND TWENTY PERCENT (20%), A TWELVE FOOT MINIMUM SURFACE WIDTH WITH ONE (1) FOOT SHOULDERS IS REQUIRED.
11 VERTICAL CLEARANCE SHALL BE FIFTEEN (15) FEET MINIMUM, MEASURED FROM THE OUTSIDE EDGE OF THE SHOULDER.
12 CURVE RADIUS SHALL BE FIFTY (50) FEET MINIMUM FROM CENTERLINE, FOR ALL DRIVEWAYS RADIUS LESS THAN ONE HUNDRED (100) FEET AN ADDITIONAL FOUR (4) FEET OF SURFACING SHALL BE PROVIDED ON SAID CURVES. ALL DRIVEWAYS SHALL ALSO COMPLY WITH THE LAND USE AND DEVELOPMENT CODE SECTION L.V.11.3.4.F. DESIGN GEOMETRICS.
13 BACK-OUT MANEUVERING AREA IN FRONT OF PARKING GARAGES AND OPEN PARKING STALLS SHALL BE TWENTY FOUR (24) FEET.
14 FOR DRIVEWAYS THAT ARE THREE HUNDRED (300) FEET OR MORE IN LENGTH, A TURNAROUND OR HAMMERHEAD WITH A MAXIMUM GRADE OF TWELVE (12) PERCENT SHALL BE PROVIDED WITHIN FIFTY (50) FEET OF DWELLING (SEE HAMMERHEAD DETAILS).
15 DRIVEWAYS EXCEEDING ONE HUNDRED AND FIFTY (150) FEET IN LENGTH, BUT LESS THAN EIGHT HUNDRED (800) FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDDLE OF THE DRIVEWAY.
16 DRIVEWAYS EXCEEDING EIGHT HUNDRED (800) FEET SHALL PROVIDE TURNOUTS NO MORE THAN FOUR HUNDRED (400) FEET APART.
17 TURNAROUND: THE TERMINUS BULL SHALL HAVE A MINIMUM FORTY (40) FOOT RADIUS. HAMMERHEAD T: THE LONG AXIS SHALL BE A MINIMUM OF SIXTY (60) FEET AND THE LEG SHALL BE A MINIMUM OF FORTY (40) FEET (SEE DETAILS).
18 TURNOUTS SHALL BE A MINIMUM OF TEN (10) FEET WIDE AND THIRTY (30) FEET LONG WITH A MINIMUM OF TWENTY FIVE (25) FOOT TAPER ON EACH END.
19 LATERAL SLOPES MUST BE DESIGNED AND INSTALLED TO ACCOMMODATE A MINIMUM TWO PERCENT (2%) AND A MAXIMUM FOUR PERCENT (4%) CROSS SLOPES, TAKING TOPOGRAPHY INTO CONSIDERATION.
21 ROADSIDE VEGETATION: A FUEL MODIFICATION AREA SHALL BE PROVIDED FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE DRIVEWAY.
22 ALL APPROPRIATE GRADING, DRAINAGE AND EROSION CONTROL SHALL BE INCLUDED PURSUANT TO CHAPTER V OF THE LAND USE AND DEVELOPMENT CODE.
23 LATERAL SLOPES MUST BE DESIGNED AND INSTALLED TO ACCOMMODATE A MINIMUM TWO PERCENT (2%) AND A MAXIMUM FOUR PERCENT (4%) CROSS SLOPES, TAKING TOPOGRAPHY INTO CONSIDERATION.

DRIVEWAY DETAILS

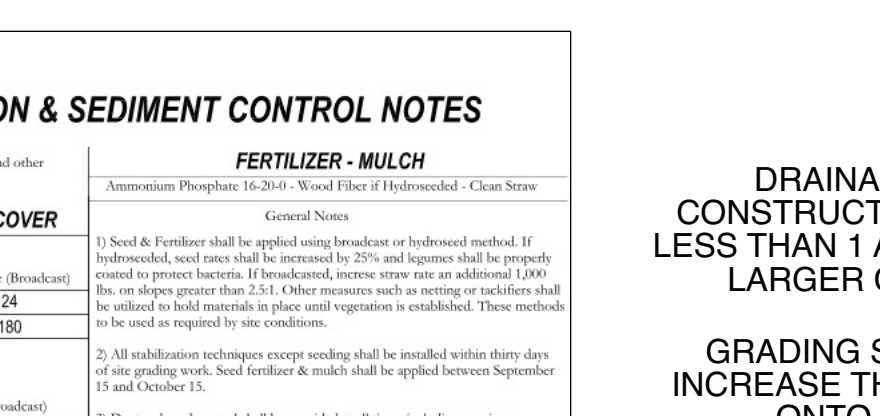
TYPICAL DRIVEWAY ENCRoACHMENT DETAIL



TYPICAL DRIVEWAY HAMMER HEAD TURNAROUND



TYPICAL DRIVEWAY TURNOUT DETAIL



PROJECT DATA 6/20/23

PROJECT DESCRIPTION: CONSTRUCTION OF 4 NEW TWO-STORY SINGLE FAMILY RESIDENCE'S, WITH ATTACHED ADU'S
PROJECT ADDRESS: 2762, 2768, 2752, 2756 OAKMONT ST. SACRAMENTO CA 95815
ASSESSOR'S PARCEL NUMBERS: 263-0142-034-000, 263-0142-032-0000, 263-0142-024-000, 263-0142-025-0000
ZONING: R-1
DESCRIPTION OF USE: SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE: V-B
STORIES: TWO
SPRINKLERS: YES

FLOOR PLAN TABULATIONS:

LOT 32 : APN/ 263-0142-032-0000 - 7240 SQ. FT.
1ST FLOOR SQUARE FOOTAGE : 544 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 809 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1353 SQ. FT.
GARAGE SQUARE FOOTAGE : 506 SQ. FT.

LOT 32 : ACCESSORY DWELLING UNIT
1ST FLOOR SQUARE FOOTAGE : 448 SQ. FT.
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LOT 32 PARKING SPACES = 1- 2 CAR GARAGE, 1- 1 CAR GARAGE - 6 ADDITIONAL SPACES, 9 TOTAL SPACES

LOT 34 : APN/ 263-0142-034-0000 - 4290 SQ. FT.
1ST FLOOR SQUARE FOOTAGE : 510 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 604 SQ. FT.
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LOT 34 PARKING SPACES = 2- 1 CAR GARAGES - 4 ADDITIONAL SPACES, 6 TOTAL SPACES

LOT 24 : APN/ 263-0142-024-0000 - 7456 SQ. FT.
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TOTAL LIVING AREA SQUARE FOOTAGE : 8834 SQ. FT.
TOTAL GARAGE SQUARE FOOTAGE : 2728 SQ. FT.
TOTAL PARKING SPACES : 30 - SPACES.

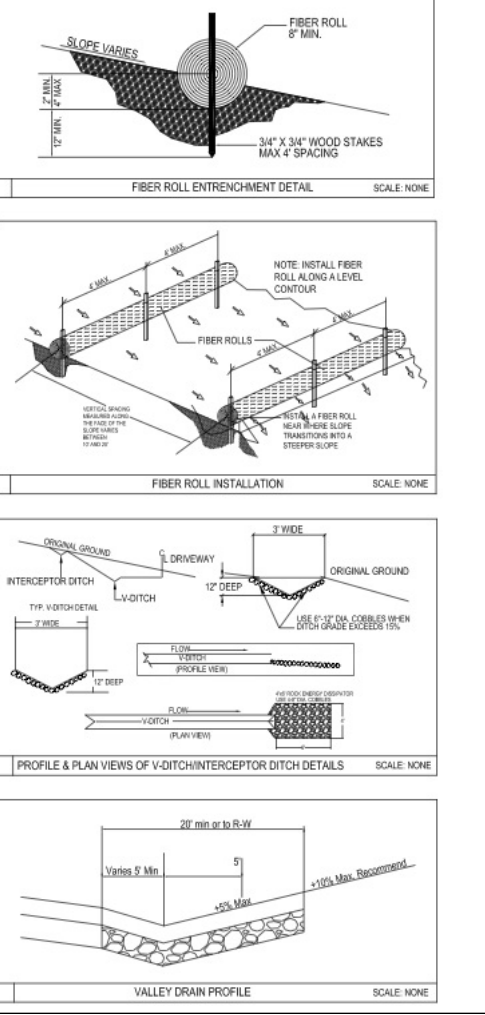
MINIMUM SETBACKS: MINIMUM SETBACKS ADU:
FRONT: 20 FT. REAR: 20 FT.
REAR: 15 FT. REAR: 3 FT.
SIDES: 5 FT. SIDES: 3 FT.
MAXIMUM ROOF HEIGHT : = 30'

PROJECT PRINCIPALS 6/20/23

OWNER: SCOTT L. WILLIAMS, 3017 DOUGLAS BLVD. #300, ROSEVILLE CA 95661, PH 916 788-3177, scottwilliams@surewest.net
DESIGNER: DESIGNS BY FOSTER, DON FOSTER / PHONE # (530) 559-2684, 21946 ANGELI PL GRASS VALLEY CA. 95949, EMAIL: designsbydonfooster@gmail.com
STRUCTURAL ENGINEER: BTS ENGINEERING, BRIAN T. SUTLIFF/, PHONE # (916) 96-0370, EMAIL: brian.sutliff@sbccglobal.net
FIRE SPRINKLER DESIGN: ACCURATE FIRE PROTECTION, JOEL MYERS / PHONE # (916) 381-4101, 8980 BRADSHAW RD ELK GROVE CA. 95624, EMAIL: jmyers@accuratefire.net
TITLE 24: RESIDENTIAL COMMERCIAL ENERGY ENGINEERING, RESCOM/ PHONE # (916) 373-1383 (888) 372-2263, 3166 SUISSUN BAY RD WEST SACRAMENTO CA. 95691, EMAIL: Larry@Rescomee.com

PERMANENT EROSION & SEDIMENT CONTROL NOTES

Table containing seeding mixtures for temporary and permanent cover, and fertilizer/mulch information.



FERTILIZER - MULCH

Ammonium Phosphate 16-20-0. Wood Fiber (Hemlock) Clean Straw
1) Seed & Fertilizer shall be applied using broadcast or subsoiled method. If broadcast, seed rates shall be increased by 25% and fertilizer shall be preapplied to prevent burning. If broadcast, straw rate not an additional 1000 lbs. wet weight greater than 2:1. Other measures such as seeding or mulching shall be used to hold residue in place until vegetation is established. These methods to be used as required by site conditions.
2) All applications and seeding rates shall be applied between September 15 (October 15).
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4) All seeds shall be sown prior to onset of rain.
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10) All seeds shall be sown prior to onset of rain.

DRAINAGE AND RETENTION DURING CONSTRUCTION FOR PROJECTS DISTURBING LESS THAN 1 ACRE OF SOIL, AND NOT PART OF A LARGER COMMON PLAN OVER 1 ACRE.

GRADING SHALL NOT BE COMPLETED AS TO INCREASE THE AMOUNT OF DRAINAGE/RUNOFF ONTO NEIGHBORING PROPERTIES.
EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN EVENT
STORMWATER TO BE DIVERTED TO VEGETATION AREA
AVOID ANY CONSTRUCTION OR TRENCHING WHEN THE SOIL IS WET FOLLOWING A HEAVY RAINFALL EVENT.
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING AND PRIOR TO ANY RAIN EVENT.
SILT FENCING OR FIBER ROLLS SHALL BE PLACED AT POINT OF CONCENTRATED DRAINAGE
ALL AREAS OF LAND DISTURBANCE SHALL BE MULCHED WITH 4" MIN. STRAW.

APPROVAL SHALL BE OBTAINED FROM THE BUILDING OFFICIAL PRIOR TO ANY GRADING ACTIVITY OCCURING BETWEEN OCTOBER 15TH AND APRIL 15TH

EXCAVATION LESS THAN 250 CUBIC YARDS
NO SOIL WILL BE REMOVED FROM PROPERTY
"LIMIT CONSTRUCTION ACTIVITIES TO THE HOURS OF 7:00 AM TO 6:00 PM ON WEEKDAYS AND THE HOURS OF 8:00 AM TO 5:00 PM ON SATURDAY AND SUNDAYS
HOUSE ADDRESS TO BE PROVIDED THROUGH LOCAL FIRE DEPARTMENT TO MEET LOCAL FIRE DEPARTMENT REQUIREMENTS. ADDRESS #'S SHALL BE ARABIC NUMBERS OR LETTERS A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2". TO BE REFLECTIVE AND INSTALLED IN SUCH A WAY TO BE CLEARLY VISIBLE FROM STREET.
COMPLIANCE WITH VEGETATION CLEARANCE REQUIREMENT PER LOCAL CODE
SITE SURVEY TO BE COMPLETED TO VERIFY PROPERTY PIN LOCATIONS, BUILDINGS, AND SETBACKS PRIOR TO CONSTRUCTION.
CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. (CALL BEFORE YOU DIG 800 428-4950)

SITE PLAN SCALE 1/16" = 1'

OAKMONT STREET

TABLE OF CONTENTS 6/20/23 with columns for title, sheet number, and label.

Vertical sidebar containing sheet number (D-1), permit number (????????), scale, date (6/20/23), and sheet number (D-1).

PROJECT DATA 6/20/23

PROJECT DESCRIPTION: CONSTRUCTION OF 4 NEW TWO-STORY SINGLE FAMILY RESIDENCES, WITH ATTACHED ADU'S

PROJECT ADDRESS: 2762, 2768, 2752, 2756 OAKMONT ST. SACRAMENTO CA 95815

ASSESSOR'S PARCEL NUMBERS: 263-0142-034-000, 263-0142-032-0000, 263-0142-024-000, 263-0142-025-0000

ZONING: R-1
 DESCRIPTION OF USE: SINGLE FAMILY RESIDENCE
 CONSTRUCTION TYPE: V-B
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 SPRINKLERS: YES

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 SIDES: 5 FT. SIDES: 3 FT.

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PROJECT PRINCIPALS 6/20/23

OWNER
 SCOTT L. WILLIAMS
 3017 DOUGLAS BLVD. #300
 ROSEVILLE CA 95661
 PH #: 916 786-3177
 scottwilliams@surewest.net

DESIGNER
 DON FOSTER / PHONE # (530) 559-2684
 21946 ANGELI PL GRASS VALLEY CA. 95949
 EMAIL : _designsbydonfoster@gmail.com

STRUCTURAL ENGINEER
 BRIAN T. SUTLIFF/
 PHONE # (916) 96-0370
 EMAIL : _brian.sutliff@sbcglobal.net

FIRE SPRINKLER DESIGN TITLE 24

ACCURATE FIRE PROTECTION
 JOEL MYERS / PHONE # (916) 381-4101
 8980 BRADSHAW RD ELK GROVE CA. 95624
 EMAIL : _jmyers@accuratefire.net

RESIDENTIAL COMMERCIAL ENERGY ENGINEERING
 RESCOM/ PHONE # (916) 373-1383 (888) 372-2263
 3166 SUISUN BAY RD WEST SACRAMENTO CA. 95691
 EMAIL : _Larry@Rescomee.com

SITE PLAN & GRADING NOTES 6/20/23

- SITE SURVEY TO BE COMPLETED TO VERIFY PROPERTY PIN LOCATIONS, BUILDINGS, AND SETBACKS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. (CALL BEFORE YOU DIG 800 428-4950)
- APPROVAL SHALL BE OBTAINED FROM BUILDING OFFICIAL PRIOR TO ANY GRADING ACTIVITY BETWEEN OCTOBER 15TH AND APRIL 15TH
- GRADING SHALL NOT BE COMPLETED AS TO INCREASE THE AMOUNT OF DRAINAGE/RUNOFF ONTO NEIGHBORING PROPERTIES. (L-V 19.12)
- PRIOR TO SCHEDULING A FOUNDATION INSPECTION PRELIMINARY GRADING AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT IF REQUIRED BY CODE. ANY REVISIONS FROM SOILS REPORT SHALL BE INCORPORATED INTO THE PLANS AND SPECIFICATIONS.
- COMPLIANCE WITH VEGETATION CLEARANCE REQUIREMENT PER LOCAL CODE
- AREAS OF LAND DISTURBANCE GREATER THAN 3:1 SHALL BE COVERED WITH EROSION CONTROL MATTING IN ADDITION TO MULCHING AS FOLLOWS: ALL AREAS OF LAND DISTURBANCE SHALL BE MULCHED 4" MINIMUM STRAW, SILT FENCING OR FIBER ROLLS SHALL BE IN PLACE AT POINT OF CONCENTRATED DRAINAGE. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING OR PRIOR TO ANY RAIN EVENT. EROSION CONTROL MEASURE SHALL BE MONITORED AND ADJUSTED DURING EACH RAIN EVENT.
- DRAINAGE AND RETENTION DURING CONSTRUCTION FOR PROJECTS DISTURBING LESS THAN 1 ACRE OF SOIL, AND NOT PART OF A LARGER COMMON PLAN OVER 1 ACRE.

DRIVEWAY NOTES 6/20/23

- A PRIVATE DRIVEWAY CONSTRUCTION STANDARDS (SECTION L-V13.2 LUDC)
- ALL NEWLY CONSTRUCTED SINGLE FAMILY RESIDENCES SHALL BE SERVED BY A DRIVEWAY. ANY SUBDIVISION PROPOSING THAT TWO (2) LOTS BE SERVED BY A COMMON DRIVEWAY SHALL HAVE THE DRIVEWAY CONSTRUCTED PRIOR TO THE MAP RECORDATION. THE DRIVEWAY SHALL MEET THE FOLLOWING CONSTRUCTION STANDARDS AS ADMINISTERED BY THE BUILDING DEPARTMENT THROUGH A DRIVEWAY PERMIT WHEN A GRADING PERMIT IS NOT APPLICABLE. STANDARDS DO NOT APPLY TO DRIVEWAYS THAT ARE LESS THAN FIFTY (50) FEET IN LENGTH.
- BELOW 4,000 FEET ELEVATION, DRIVEWAY GRADE SHALL NOT EXCEED TWENTY PERCENT (20%) UNLESS A PETITION FOR THE EXCEPTION IS SUPPORTED BY THE COUNTY FIRE MARSHAL OR HIS OR HER APPOINTED DESIGNEE AND GRANTED BY THE PLANNING AGENCY HAVING JURISDICTION OVER THE LAND USE ENTITLEMENT. NOT WITHSTANDING SECTION L-VI 2.6, EXCEPTIONS TO STANDARDS, THERE SHALL BE NO EXCEPTIONS GRANTED FOR GRADES IN EXCESS OF TWENTY-FIVE PERCENT (25%).
- AT OR ABOVE 4,000 FEET ELEVATION, DRIVEWAY GRADE SHALL NOT EXCEED SIXTEEN PERCENT (16%) MAXIMUM. NOTWITHSTANDING SECTION L-VI2.6, EXCEPTIONS TO STANDARDS, THERE SHALL BE NO EXCEPTIONS GRANTED FOR GRADES IN EXCESS OF SIXTEEN PERCENT (16%) WHERE ELEVATIONS RANGE ABOVE 4000 FEET.
- DRIVEWAY SURFACES SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LEGALLY LOADED VEHICLE. DRIVEWAYS AND SEGMENTS THAT ARE BETWEEN ZERO (0%) AND SIXTEEN (16%) GRADE SHALL BE CAPABLE OF SUPPORTING A 40,000 POUND LEGALLY LOADED VEHICLE AS CERTIFIED BY A REGISTERED CIVIL ENGINEER, OR A MINIMUM OF 4" CLASS 11 AGGREGATE BASE.
- DRIVEWAYS AND SEGMENTS THEREOF THAT ARE SIXTEEN POINT ONE (16.1%) GRADE AND ABOVE, SHALL BE DESIGNED AND CERTIFIED BY A REGISTERED CIVIL ENGINEER. PRIOR TO FOUNDATION INSPECTION, THE ENGINEER SHALL PROVIDE STAMPED AND SIGNED WRITTEN VERIFICATION TO THE COUNTY FIRE MARSHAL OR HIS OR HER APPOINTED DESIGNEE THAT THE ROUGH GRADE COMPLIES WITH THE SITE PLAN. PRIOR TO, OR CONCURRENT WITH FINAL INSPECTION, THE ENGINEER SHALL PROVIDE STAMPED AND SIGNED WRITTEN VERIFICATION THAT THE FINAL DRIVEWAY COMPLIES WITH THE SITE PLAN.
- DRIVEWAYS BETWEEN SIXTEEN POINT ONE PERCENT (16.1%) AND TWENTY PERCENT (20%) GRADE SHALL BE ENGINEERED WITH AN ALL WEATHER SURFACE.
- AT LEAST THE FIRST THIRTY (30) FEET OF THE DRIVEWAY ENCROACHMENT FROM THE EDGE OF PAVEMENT OF THE PRIMARY ROADWAY SHALL CONFORM TO THE DESIGN STANDARDS FOR DRIVEWAY ENCROACHMENTS AS PER COUNTY STANDARDS, AVAILABLE FROM THE DEPARTMENT OF PUBLIC WORKS.
- THE DRIVEWAY MUST BE BUILT WITHIN FIFTY (50) FEET OF THE NEAREST POINT OF EACH DWELLING UNIT.
- SURFACE WIDTH SHALL BE TEN (10) FEET MINIMUM WITH ONE (1) FOOT SHOULDERS FOR DRIVEWAYS UP TO SIXTEEN PERCENT (16%). FOR GRADES BETWEEN SIXTEEN POINT ONE PERCENT (16.1%) AND TWENTY PERCENT (20%), A TWELVE FOOT MINIMUM SURFACE WIDTH WITH ONE (1) FOOT SHOULDERS IS REQUIRED.
- VERTICAL CLEARANCE SHALL BE FIFTEEN (15) FEET MINIMUM, MEASURED FROM THE OUTSIDE EDGE OF THE SHOULDER.
- CURVE RADIUS SHALL BE FIFTY (50) FEET MINIMUM FROM CENTERLINE. FOR ALL DRIVEWAYS RADI LESS THAN ONE HUNDRED FEET (100) FEET: AN ADDITIONAL FOUR (4) FEET OF SURFACING SHALL BE PROVIDED ON SAID CURVES. ALL DRIVEWAYS SHALL ALSO COMPLY WITH THE LAND USE AND DEVELOPMENT CODE SECTION L-XV11 3.4.F. DESIGN GEOMETRICS.
- BACK-OUT MANEUVERING AREA IN FRONT OF PARKING GARAGES AND OPEN PARKING STALLS SHALL BE TWENTY FOUR (24) FEET.
- FOR DRIVEWAYS THAT ARE THREE HUNDRED (300) FEET OR MORE IN LENGTH, A TURNAROUND OR HAMMERHEAD WITH A MAXIMUM GRADE OF TWELVE (12) PERCENT SHALL BE PROVIDED WITHIN FIFTY (50) FEET OF DWELLING. (SEE HAMMERHEAD DETAILS)
- DRIVEWAYS EXCEEDING ONE HUNDRED AND FIFTY (150) FEET IN LENGTH, BUT LESS THAN EIGHT HUNDRED (800) FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDDLE POINT OF THE DRIVEWAY.
- DRIVEWAYS EXCEEDING EIGHT HUNDRED (800) FEET SHALL PROVIDE TURNOUTS NO MORE THAN FOUR HUNDRED (400) FEET APART.
- TURNAROUND: THE TERMINUS BULB SHALL HAVE A MINIMUM FORTY (40) FOOT RADIUS. HAMMERHEAD T: THE LONG AXIS SHALL BE A MINIMUM OF SIXTY (60) FEET AND THE LEG SHALL BE A MINIMUM OF FORTY (40) FEET. (SEE DETAIL)
- TURNOUTS SHALL BE A MINIMUM OF TEN (10) FEET WIDE AND THIRTY (30) FEET LONG WITH A MINIMUM OF TWENTY FIVE (25) FOOT TAPER ON EACH END.
- ALL BRIDGE AND CULVERT PORTIONS SHALL SUPPORT A 40,000 POUND LEGALLY LOADED VEHICLE.
- ROADSIDE VEGETATION: A FUEL MODIFICATION AREA SHALL BE PROVIDED FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE DRIVEWAY.
- ALL APPROPRIATE GRADING, DRAINAGE AND EROSION CONTROL SHALL BE INCLUDED PURSUANT TO CHAPTER V OF THE LAND USE AND DEVELOPMENT CODE.
- LATERAL SLOPES MUST BE DESIGNED AND INSTALLED TO ACCOMMODATE A MINIMUM TWO PERCENT (2%) AND A MAXIMUM FOUR PERCENT (4%) CROSS SLOPES, TAKING TOPOGRAPHY INTO CONSIDERATION.

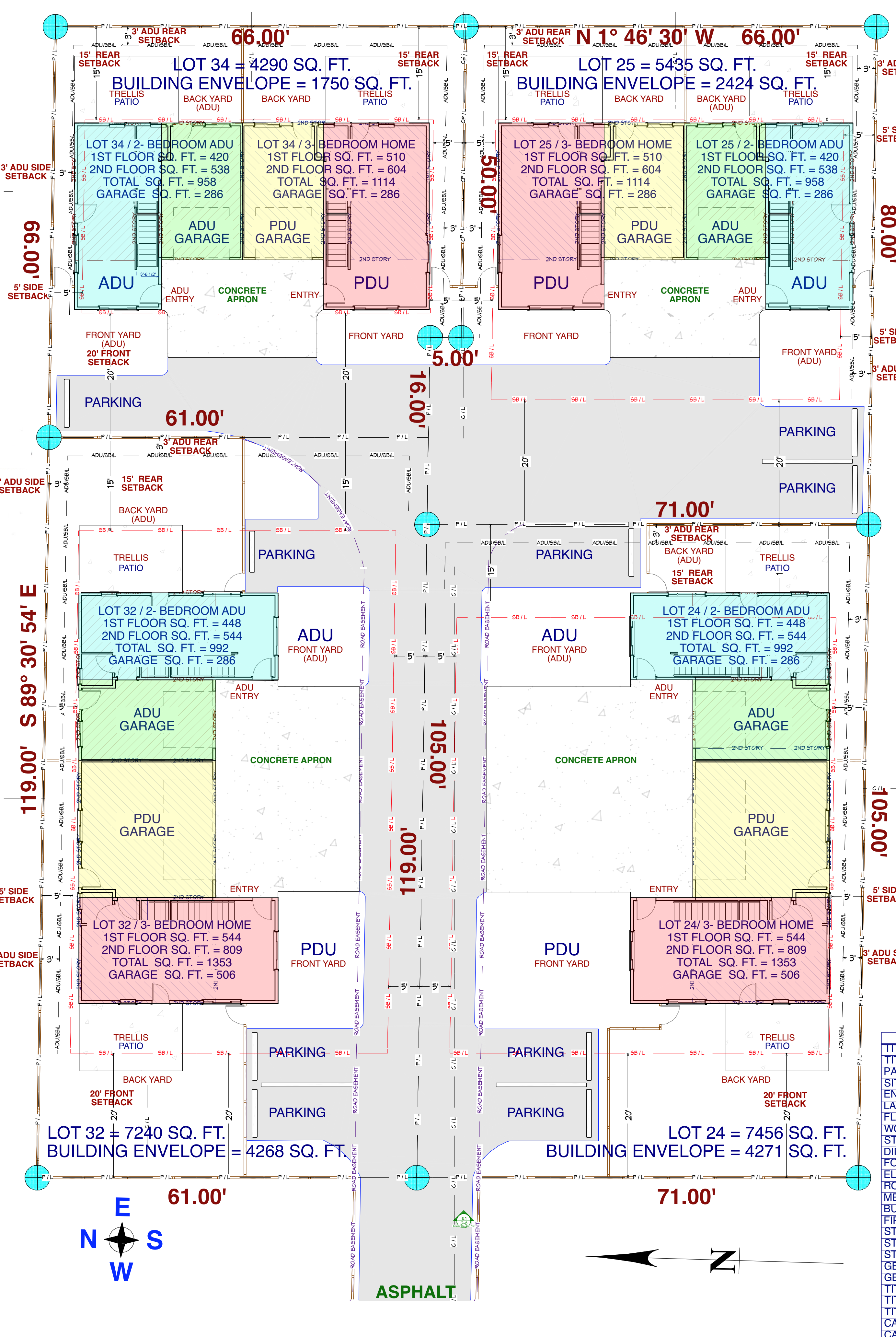


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ENLARGED SITE PLAN
 SCALE 1" = 10'

SHEET: 4

D-2

OAKMONT HOMES
 2762, 2768, 2752, 2756 OAKMONT ST.
 SACRAMENTO CA 95815

DRAWINGS PROVIDED BY
 DESIGNS BY FOSTER
 25946 ANGELI PL.
 GRASS VALLEY CA 95949
 designsbydonfoster@gmail.com
 (530) 559-2684

ENLARGED SITE PLAN

PERMIT #
 ????????

SCALE:

DATE:
 6/20/23

SHEET: 4

D-2



ENLARGED LANDSCAPE PLAN
SCALE 1" = 10'

PROJECT DATA 6/20/23

PROJECT DESCRIPTION: CONSTRUCTION OF 4 NEW TWO-STORY SINGLE FAMILY RESIDENCE'S , WITH ATTACHED ADU'S

PROJECT ADDRESS: 2762, 2768, 2752, 2756 OAKMONT ST. SACRAMENTO CA 95815

ASSESSOR'S PARCEL NUMBERS: 263-0142-034-000,263-0142-032-000, 263-0142-024-000,263-0142-025-0000

ZONING: R-1
DESCRIPTION OF USE: SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE: V-B
STORIES: TWO
SPRINKLERS: YES

FLOOR PLAN TABULATIONS:

LOT 32 : APN/ 263-0142-032-0000 - 7240 SQ. FT.
1ST FLOOR SQUARE FOOTAGE : 544 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 809 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1353 SQ. FT.
GARAGE SQUARE FOOTAGE : 506 SQ. FT.

LOT 32 : ACCESSORY DWELLING UNIT
1ST FLOOR SQUARE FOOTAGE : 448 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 544 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 992 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 32 PARKING SPACES = 1- 2 CAR GARAGE, 1- 1 CAR GARAGE -6 ADDITIONAL SPACES. 9 TOTAL SPACES

LOT 34 : APN/ 263-0142-034-0000 - 4290 SQ. FT.
1ST FLOOR SQUARE FOOTAGE : 510 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 604 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1114 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 34 : ACCESSORY DWELLING UNIT
1ST FLOOR SQUARE FOOTAGE : 420 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 538 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 958 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 34 PARKING SPACES = 2- 1 CAR GARAGES -4 ADDITIONAL SPACES. 6 TOTAL SPACES

LOT 24 : APN/ 263-0142-024-0000 - 7456 SQ. FT.
1ST FLOOR SQUARE FOOTAGE : 544 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 809 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1353 SQ. FT.
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GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 24 PARKING SPACES = 1- 2 CAR GARAGE, 1- 1 CAR GARAGE -6 ADDITIONAL SPACES. 9 TOTAL SPACES

LOT 25 : APN/ 263-0142-025-0000 - 5435 SQ. FT.
1ST FLOOR SQUARE FOOTAGE : 510 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 604 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 1114 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

LOT 25 : ACCESSORY DWELLING UNIT
1ST FLOOR SQUARE FOOTAGE : 420 SQ. FT.
2ND FLOOR SQUARE FOOTAGE : 538 SQ. FT.
TOTAL FLOOR SQUARE FOOTAGE : 958 SQ. FT.
GARAGE SQUARE FOOTAGE : 286 SQ. FT.

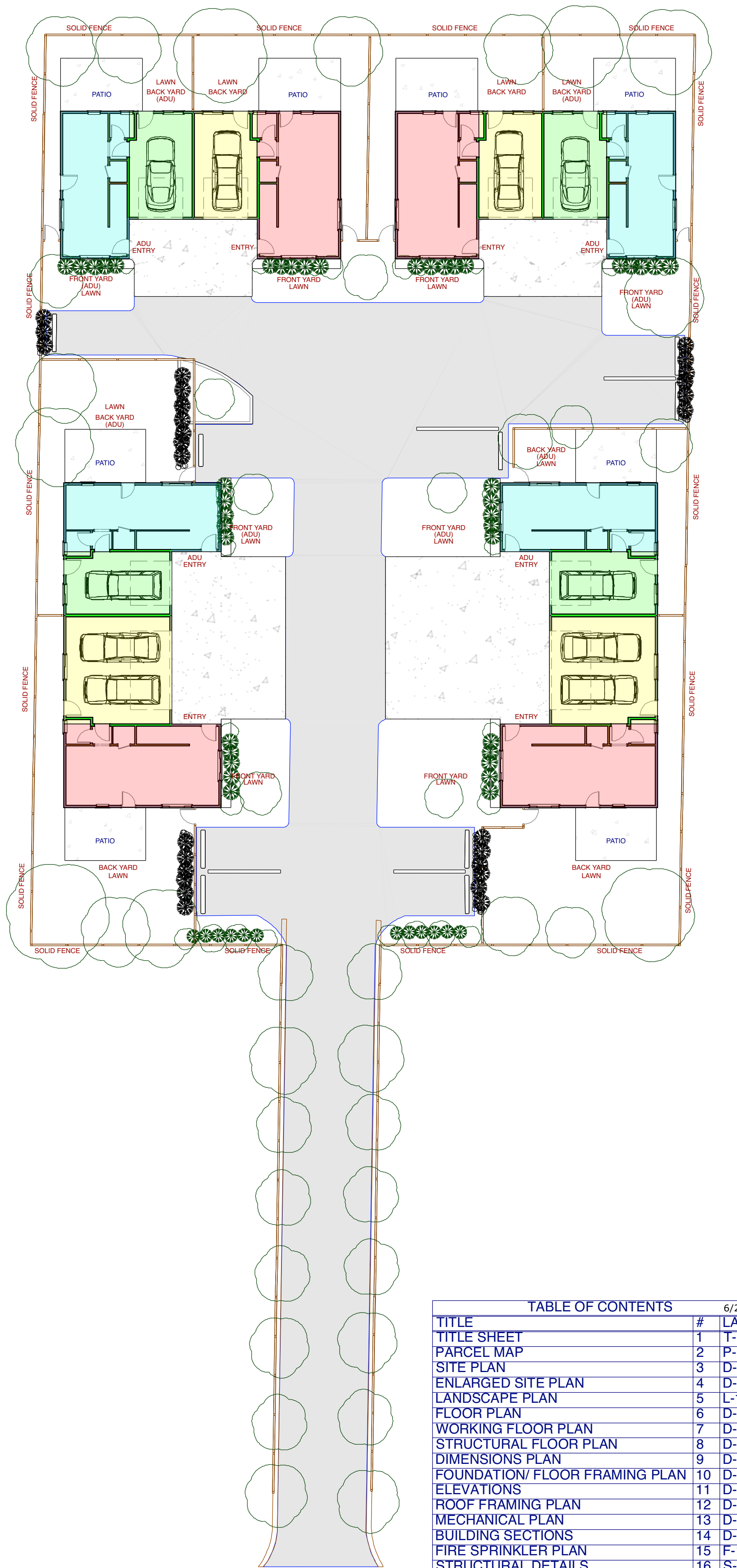
LOT 25 PARKING SPACES = 2- 1 CAR GARAGES -4 ADDITIONAL SPACES. 6 TOTAL SPACES

TOTAL LIVING AREA SQUARE FOOTAGE : 8834 SQ. FT.
TOTAL GARAGE SQUARE FOOTAGE : 2728 SQ. FT.
TOTAL PARKING SPACES : 30 - SPACES.

MINIMUM SETBACKS: **MINIMUM SETBACKS ADU:**

FRONT: 20 FT. FRONT: 20 FT.
REAR: 15 FT. REAR: 3 FT.
SIDES: 5 FT. SIDES: 3 FT.

MAXIMUM ROOF HEIGHT : = 30'



LANDSCAPE PLAN
SCALE 1/16" = 1'

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SHEET: 5

OAKMONT HOMES
2762, 2768, 2752, 2756
OAKMONT ST.
SACRAMENTO CA 95815

DESIGNS BY FOSTER
25946 ANGELI PL.
GRASS VALLEY CA 95949
designsbyfofoster@gmail.com
(530) 559-2684

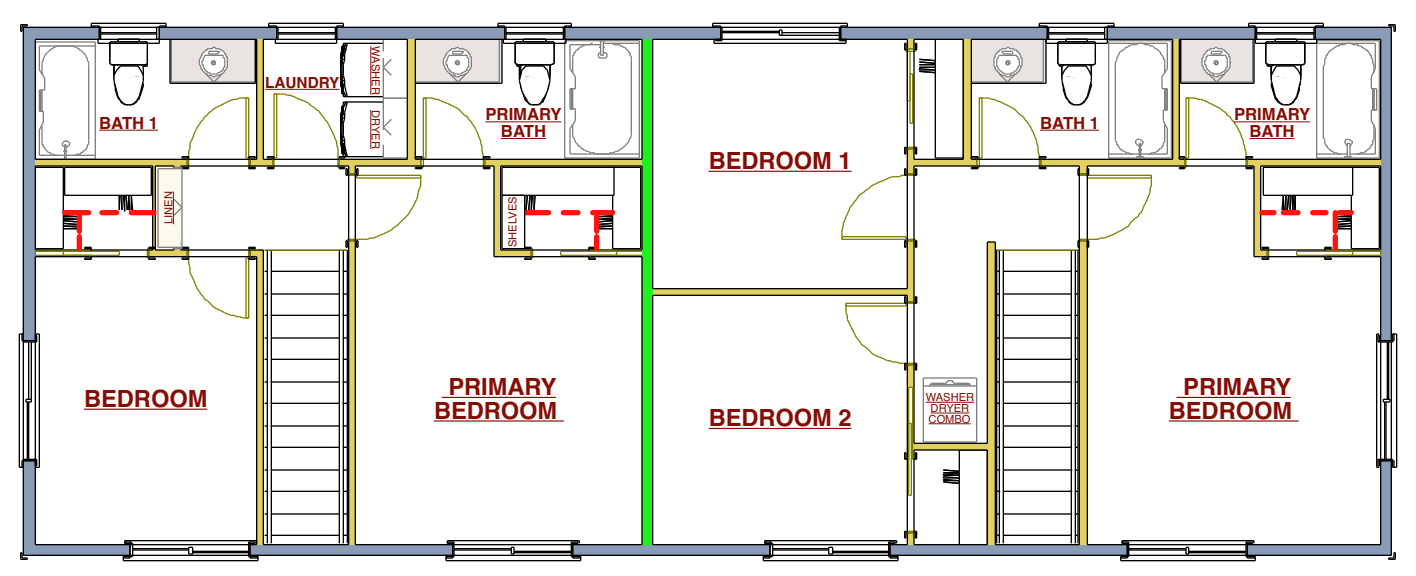
LANDSCAPE PLAN

PERMIT #
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SCALE:

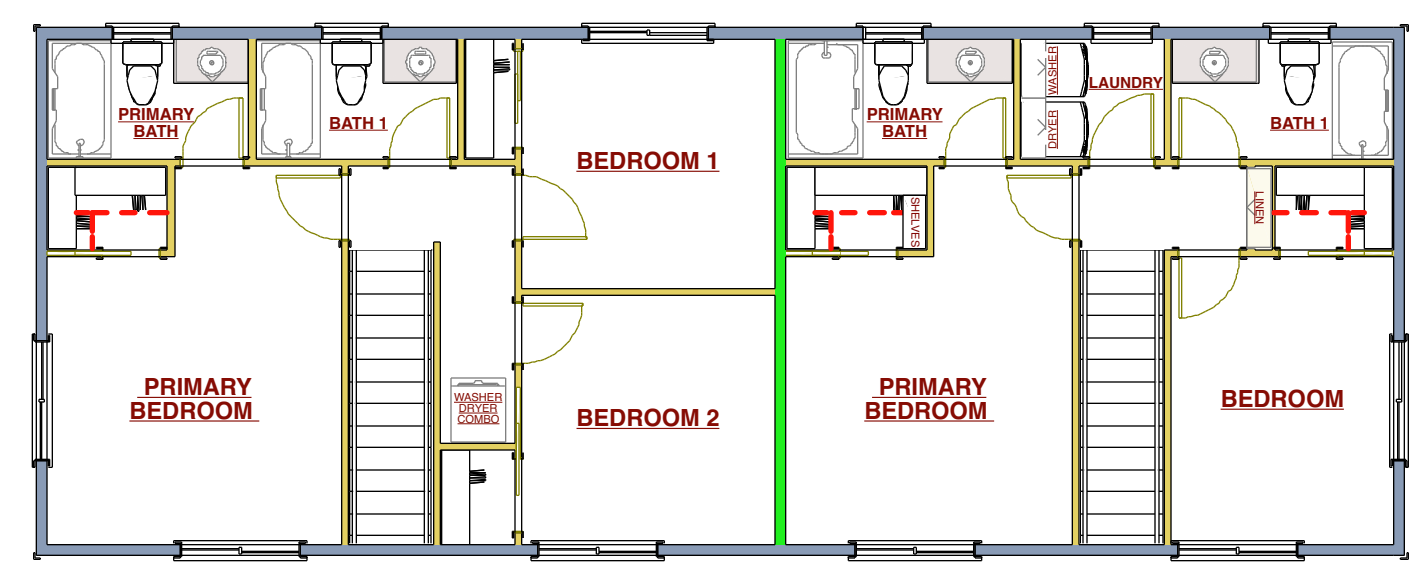
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6/20/23

SHEET: 5



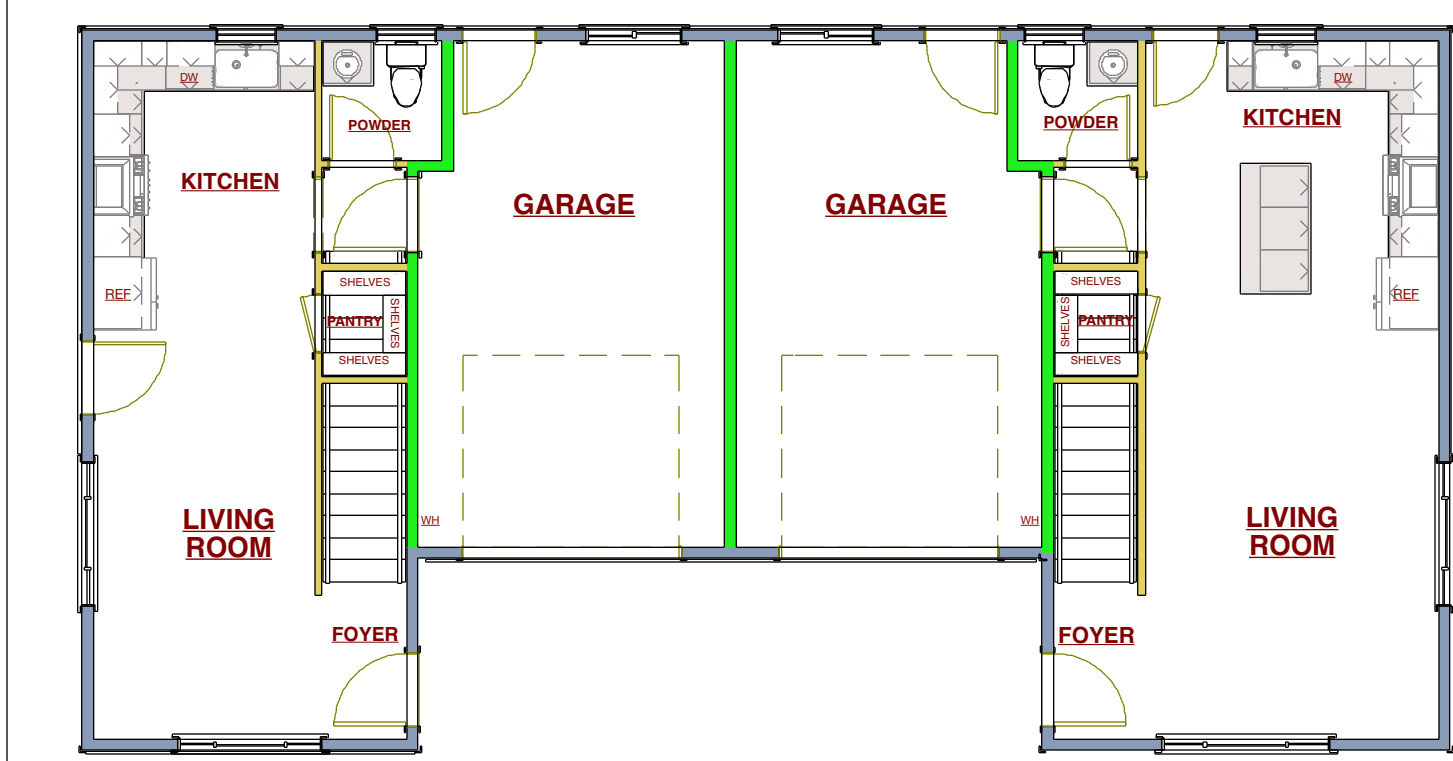
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LOT # 34
2762 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-034-000



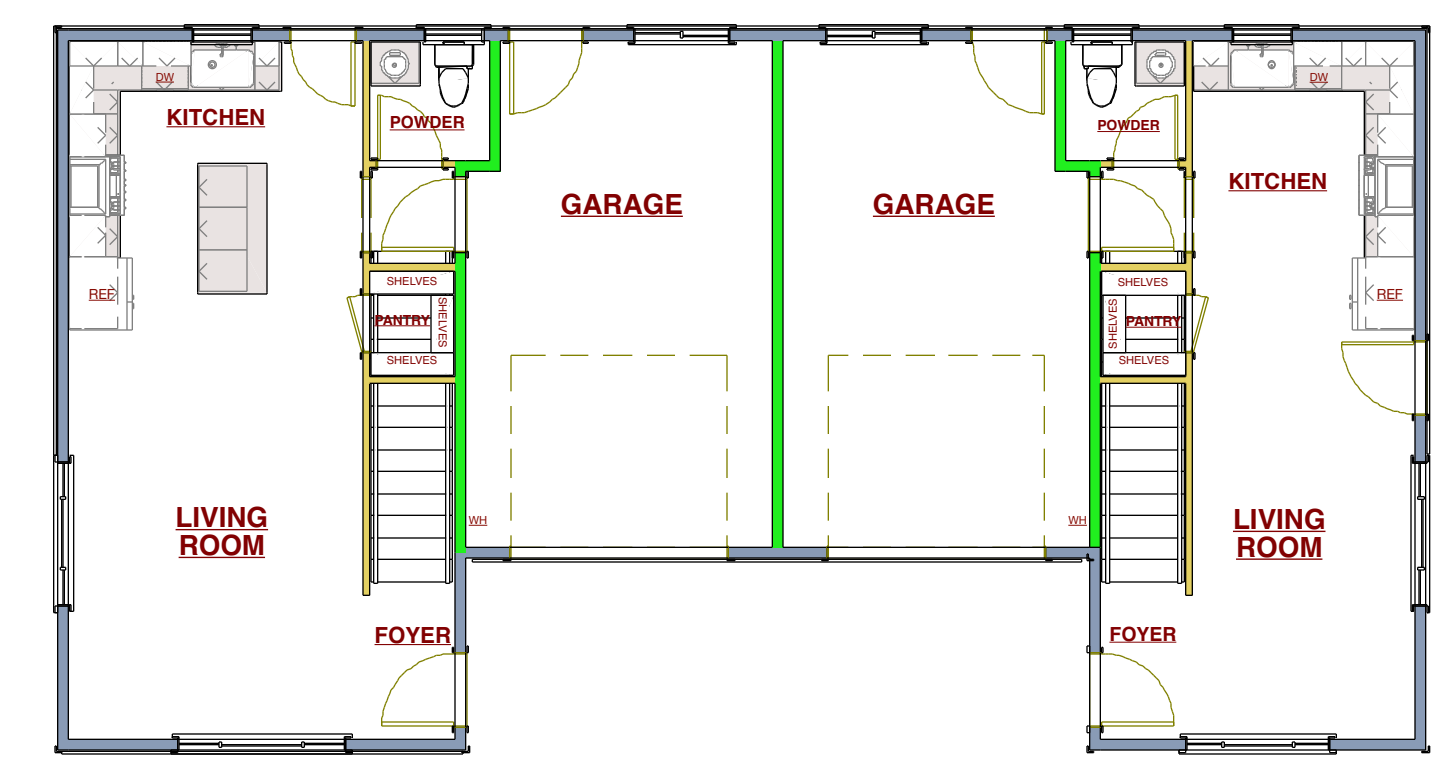
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2756 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-025-000



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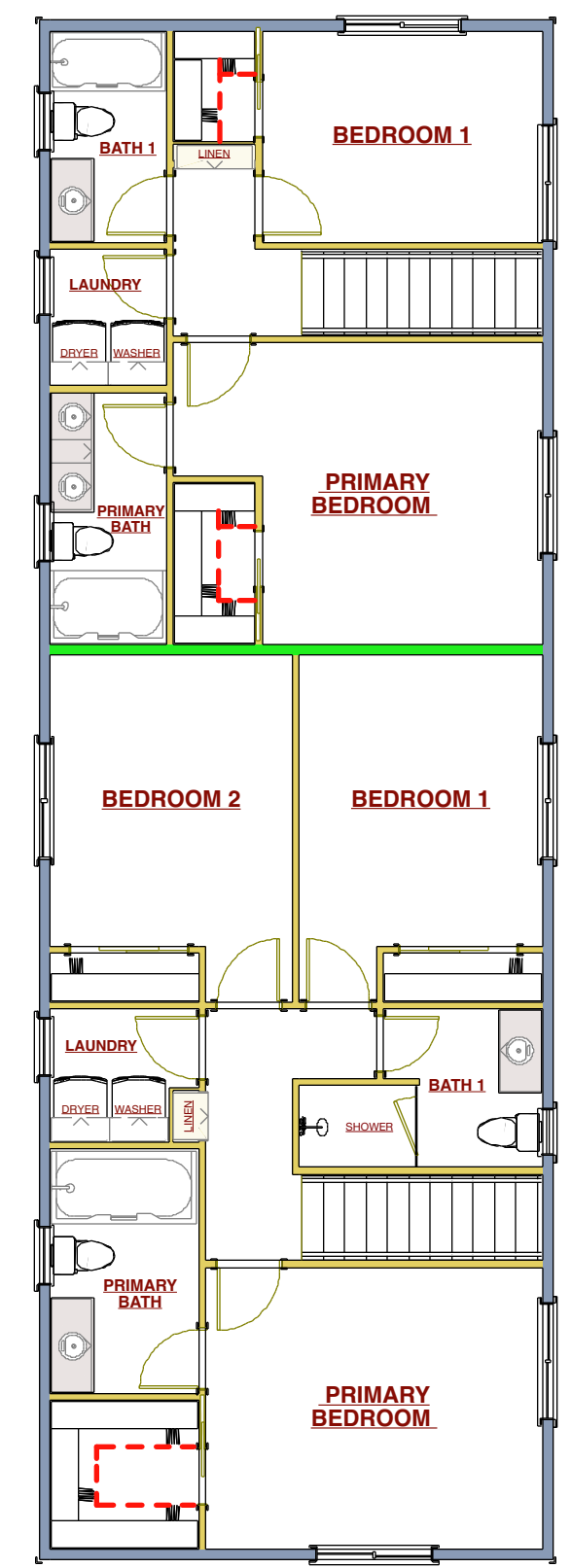
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2762 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-034-000



1ST FLOOR

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2756 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-025-000

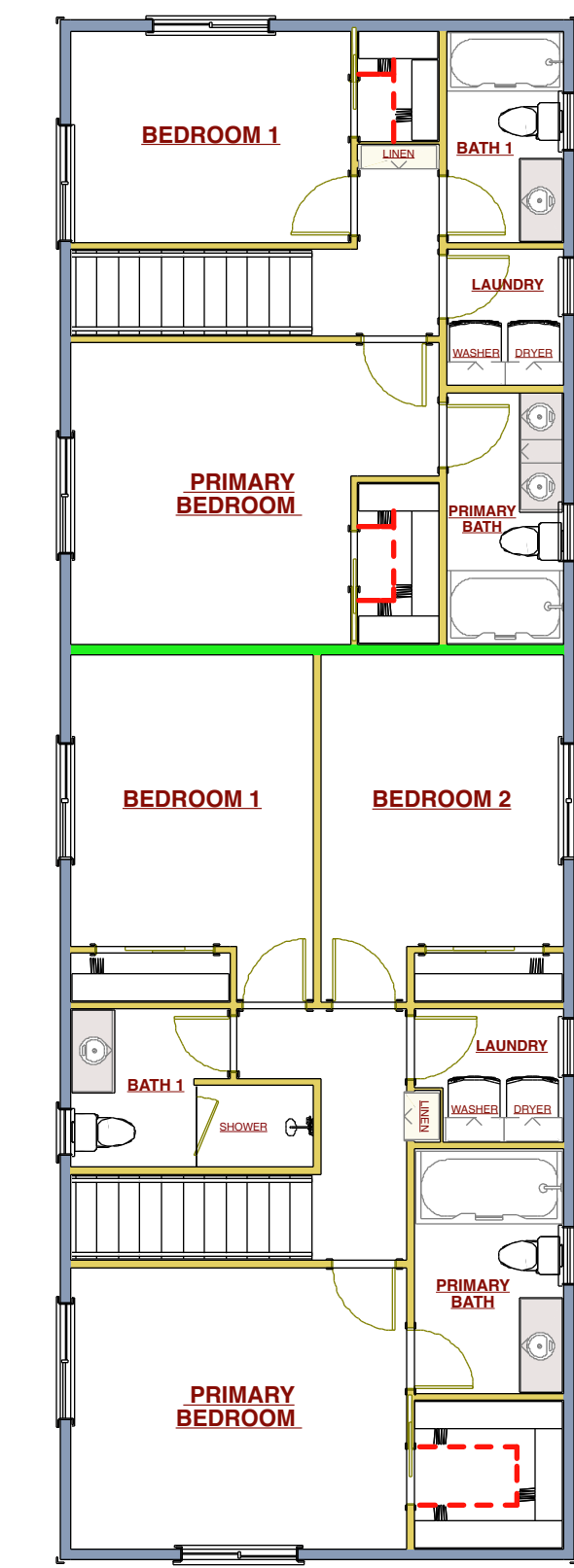
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2ND FLOOR

LOT # 32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-032-000

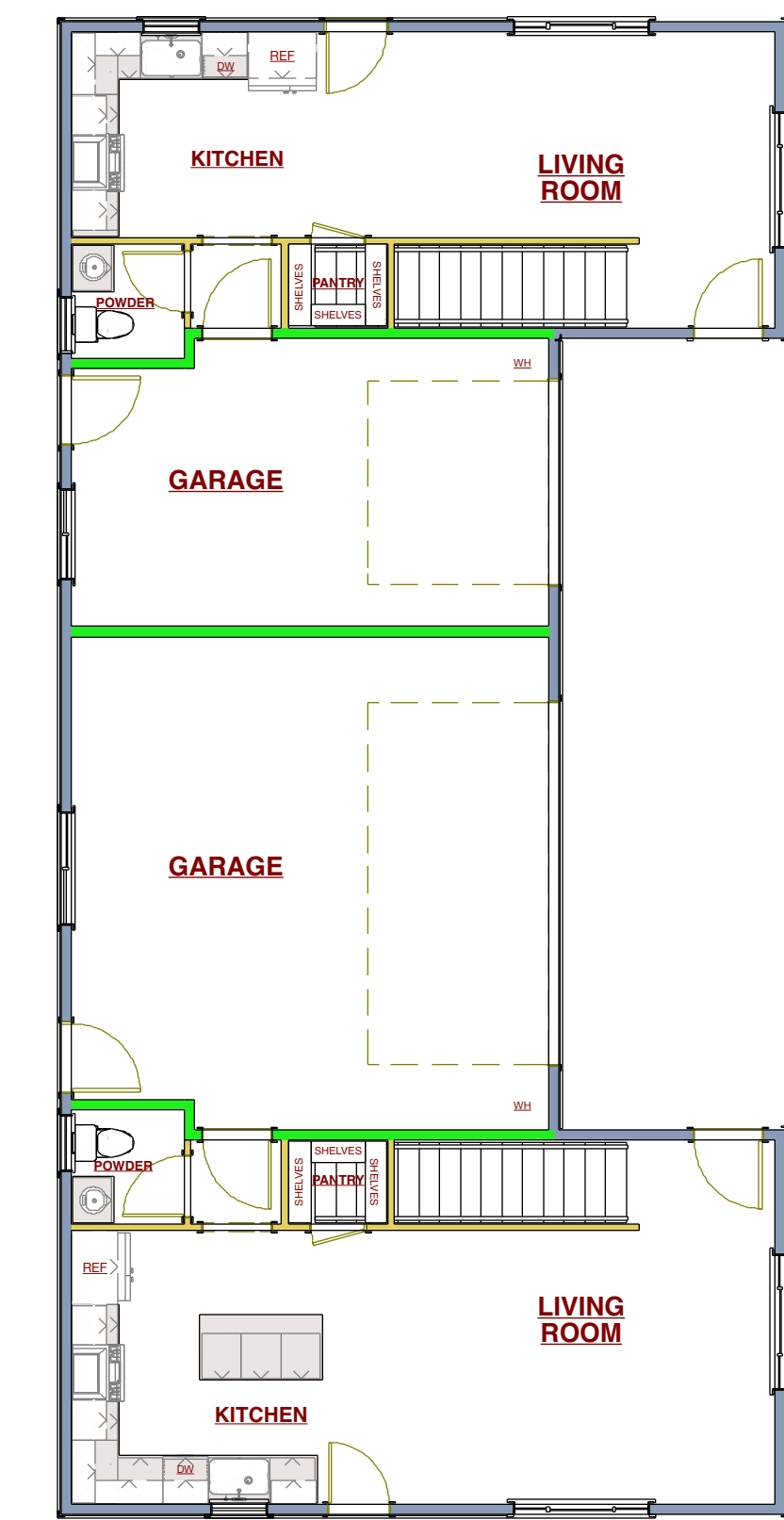
FLOOR PLAN/ 2ND FLOOR
SCALE: (1/8" = 1')



2ND FLOOR

LOT # 24
2752 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-024-000

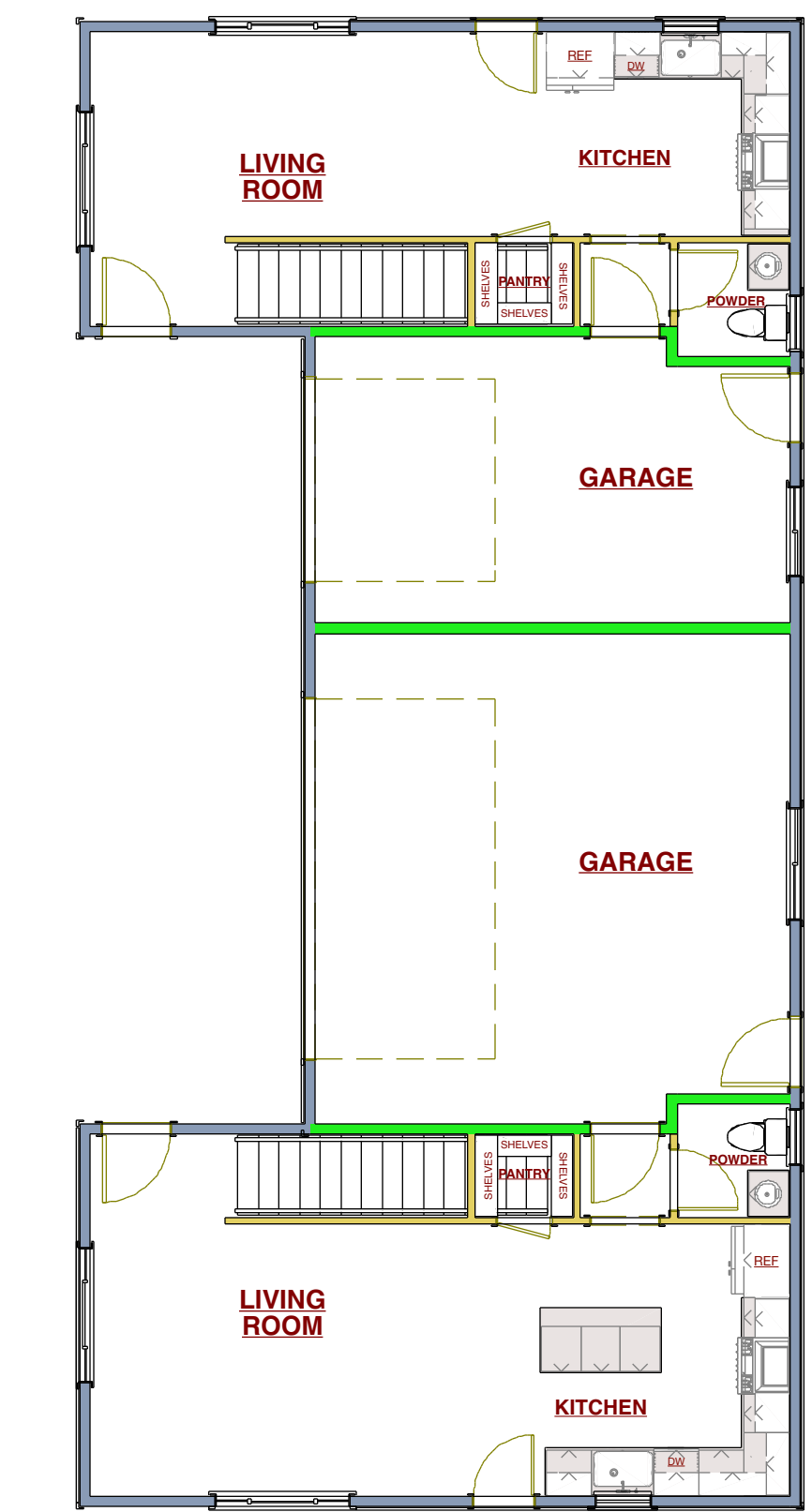
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1ST FLOOR

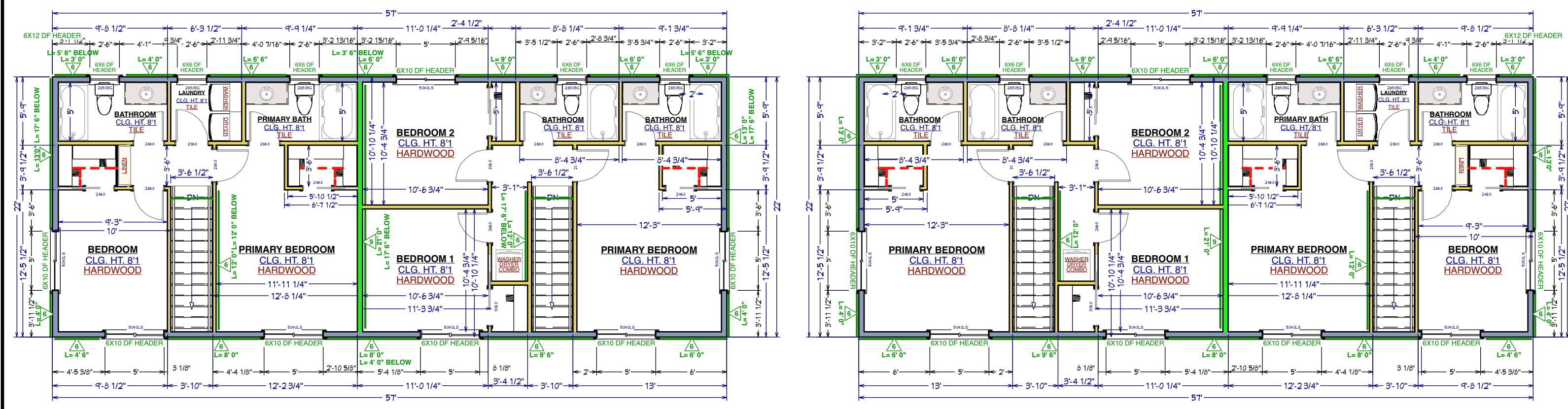
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2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-032-000

FLOOR PLAN/ 1ST FLOOR
SCALE: (1/8" = 1')



1ST FLOOR

LOT # 24
2752 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-024-000



2ND FLOOR

LOT # 34
2762 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-034-000

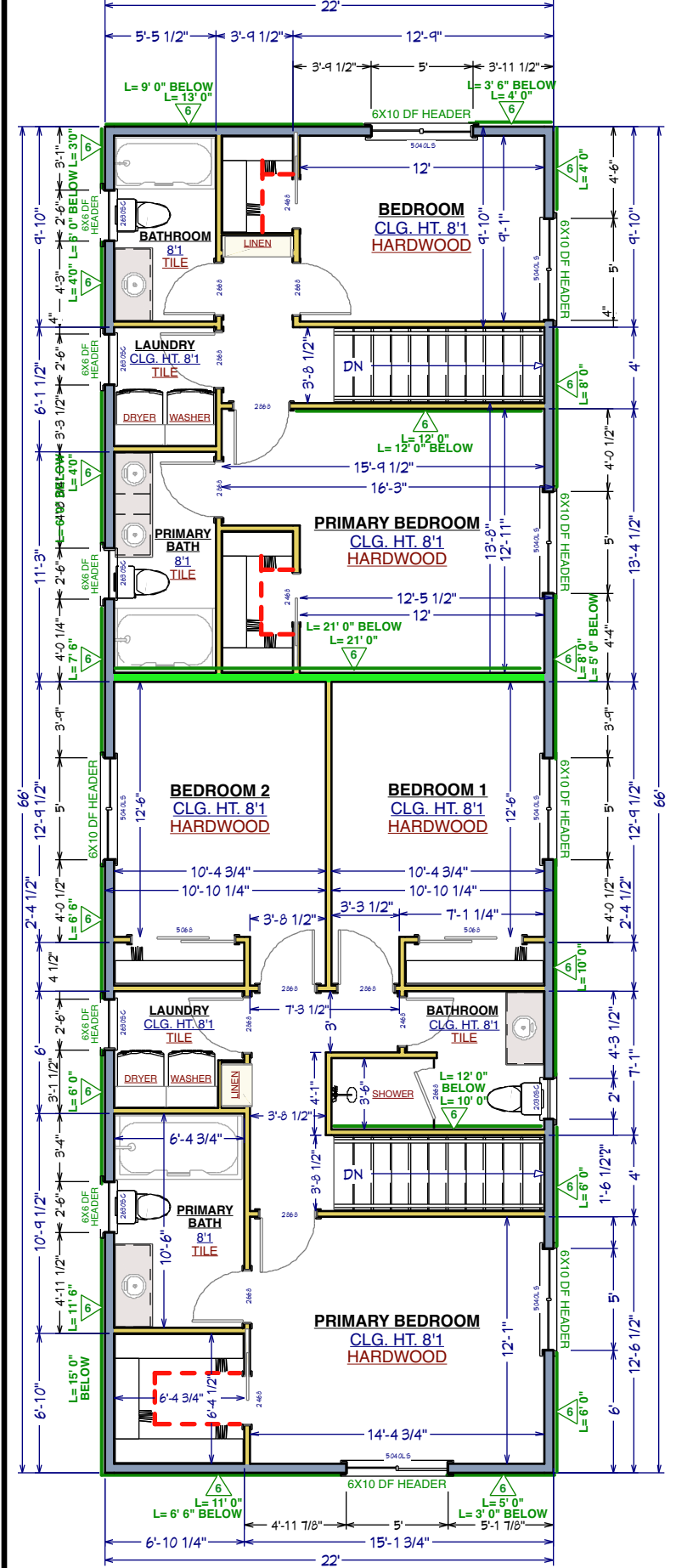
GENERAL NOTES 6/20/23

- 1 THIS HOUSE HAS AN ENGINEERED AUTOMATIC FIRE SPRINKLER SYSTEM.
2 GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT BY 5/8" GYPSUM BOARD APPLIED TO GARAGE SIDE
3 DOORS FROM DWELLING TO GARAGE SHALL BE SELF CLOSING, SELF LATCHING, AND 20 MINUTE FIRE RATED
4 USABLE SPACE UNDERNEATH ENCLOSED STAIRWAYS SHALL BE PROTECTED BY MINIMUM 5/8" GYPSUM BOARD
5 DRYWALLING SHALL BE IN ACCORDANCE WITH C.B.C. REQUIREMENTS.
6 SAFETY GLAZING OR APPROVED SHATTER RESISTANT MATERIALS ARE REQUIRED IN DOORS AND ENCLOSURES FOR BATHTUBS, HOT TUBS, WHIRLPOLLS SAUNAS, STEAM ROOMS, AND SHOWERS. SAFETY GLAZING IS REQUIRED IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET. SAFETY GLAZING IS ALSO REQUIRED IN FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGES OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION OR WHEN THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SAFETY GLAZING IS ALSO REQUIRED FOR GLASS CLOSER THAN 18" ABOVE ADJACENT WALKING SURFACES. A PERMANENT LABEL SHALL IDENTIFY EACH LIGHT OF SAFETY GLAZING TEMPERED GLASS
7 SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE INSIDE OF AN IN-GRESS WALL ENCLOSING TUB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. MATERIALS USED AS BACKERS FOR WALL TILE TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSUM PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED GYPSUM PANELS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
9 ATTIC ACCESS SHALL BE PROVIDED TO ALL ATTIC AREAS (IN BUILDINGS WITH COMBUSTIBLE CEILING OF CONSTRUCTION) THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER. (R907.1) THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 20-INCHES BY 30-INCHES AND BE LOCATED IN A HALLWAY OR OTHER LOCATION WITH READY ACCESS. WHEN LOCATED IN A WALL, THE OPENING SHALL BE A MINIMUM OF 22-INCHES WIDE BY 30-INCHES HIGH
10 ACCESS OPENINGS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18-INCHES BY 24-INCHES.
11 EMERGENCY EGRESS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT 20 INCHES IN WIDTH IN 5 FT IN AREA. SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR.
12 ALL DIMENSIONS ARE TO BE HONOUR SPRINKLER SYSTEM
13 SHOWER AND TUB/SHOWER WALLS TO BE COVERED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT 70" ABOVE THE DRAIN INLET
14 CAULK ALL DOORS, WINDOWS, JOINTS, AND AREAS REQUIRED TO PROVIDE A WEATHER PROOF SEAL.
15 MANUFACTURER SPECIFICATIONS AND INSTALLATION INSTRUCTIONS TO BE PROVIDED AT APPROPRIATE INSPECTION BY CONTRACTOR, SUBCONTRACTOR OR OWNER
16 FACTORY BUILT FIREPLACES SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS. WOOD-BURNING FIREPLACES MUST BE EPA PHASE II CERTIFIED. HEARTH DIMENSIONS AND CLEARANCES TO COMBUSTIBLES SHALL BE PER MANUFACTURERS REQUIREMENTS. WHERE FACTORY-BUILT CHIMNEYS PASS THROUGH INSULATED ASSEMBLIES, AN INSULATION SIELD CONSTRUCTED OF 2" GIBBS STEEL MINIMUM SHALL BE INSTALLED TO PROVIDE CLEARANCE BETWEEN THE CHIMNEY AND INSULATION MATERIAL.
17 THIS DWELLING SHALL MEET THE 2019 CALIFORNIA ENERGY REQUIREMENTS FOR INDOOR AIR QUALITY (I.Q.) INSTALL A CONTINUOUSLY RUNNING BATH AND THAT NEEDS AN IAHRESA STANDARD 62.2. THE SOUND LEVEL CANNOT EXCEED 1.0 SONE, AND THE CFM SHALL MEET TABLE 4-7 OF THE RESIDENTIAL COMPLIANCE MANUAL.
18 FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION R327, CLASS (A) REQUIREMENT
19 VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT, AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/2" AND 3/8" AND 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT
20 BUILDING PADS WILL BE GRADED 5% FOR A MINIMUM OF 10' AWAY FROM STRUCTURE.
21 PROVIDE EROSION CONTROL PER LOCAL JURISDICTION STANDARDS DURING ROUGH AND FINISH GRADING IF REQUIRED. STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION FOR PROJECTS DISTURBING LESS THAN 1 ACRE OF SOIL, AND NOT PART OF A LARGER COMMON PLAN OVER 1 ACRE.
22 PROVIDE A SMOKE DETECTOR ON EACH FLOOR LEVEL AND BASEMENT. INSTALL SMOKE DETECTORS IN ALL SLEEPING AREAS, ADJACENT HALLWAYS TO SLEEPING ROOMS, ON THE CEILING, CLOSE TO THE STAIRWAY OF AN UPPER FLOOR WHERE SLEEPING AREAS OCCUR AND IN THE ADJACENT ROOM (OR AREA) WHERE THE CEILING HEIGHT EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE. DETECTORS SHALL HAVE THEIR PRIMARY POWER SUPPLIED FROM BUILDING WIRING. DETECTORS SHALL BE EQUIPPED WITH A BATTERY BACKUP AND ALARM THAT SHALL BE AUDIBLE IN ALL SLEEPING AREAS.
23 PROVIDE A SMOKE DETECTOR ON EACH FLOOR LEVEL AND BASEMENT. INSTALL SMOKE DETECTORS IN ALL SLEEPING AREAS, ADJACENT HALLWAYS TO SLEEPING ROOMS, ON THE CEILING, CLOSE TO THE STAIRWAY OF AN UPPER FLOOR WHERE SLEEPING AREAS OCCUR AND IN THE ADJACENT ROOM (OR AREA) WHERE THE CEILING HEIGHT EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE. DETECTORS SHALL HAVE THEIR PRIMARY POWER SUPPLIED FROM BUILDING WIRING. DETECTORS SHALL BE EQUIPPED WITH A BATTERY BACKUP AND ALARM THAT SHALL BE AUDIBLE IN ALL SLEEPING AREAS. SEE ELECTRICAL NOTE 25 FOR CARBON MONOXIDE ALARM REQUIREMENTS.
24 FOR ELECTRIC VEHICLE CHARGING STATIONS, INSTALL A MINIMUM 1" CONDUIT CAPABLE OF SUPPLYING A 208V 240V BRANCH CIRCUIT TO A SUITABLE BOX LOCATION FOR ELECTRIC VEHICLE CHARGING. THE OTHER END SHALL TERMINATE TO THE MAIN SERVICE AND/OR SUBPANEL. THE MAIN PANEL AND/OR SUBPANEL SHALL BE OF SUFFICIENT SIZE TO INSTALL A 40-AMPERE DEDICATED BRANCH CIRCUIT. THE DEDICATED OVER CURRENT PROTECTION SHALL BE LABELED 'EV CAPABLE'.
25 DEFERRED SUBMITTAL: MANUFACTURER SPECIFICATIONS AND INSTALLATION INSTRUCTIONS TO BE PROVIDED AT APPROPRIATE INSPECTION.

2ND FLOOR

LOT # 25
2756 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-025-000

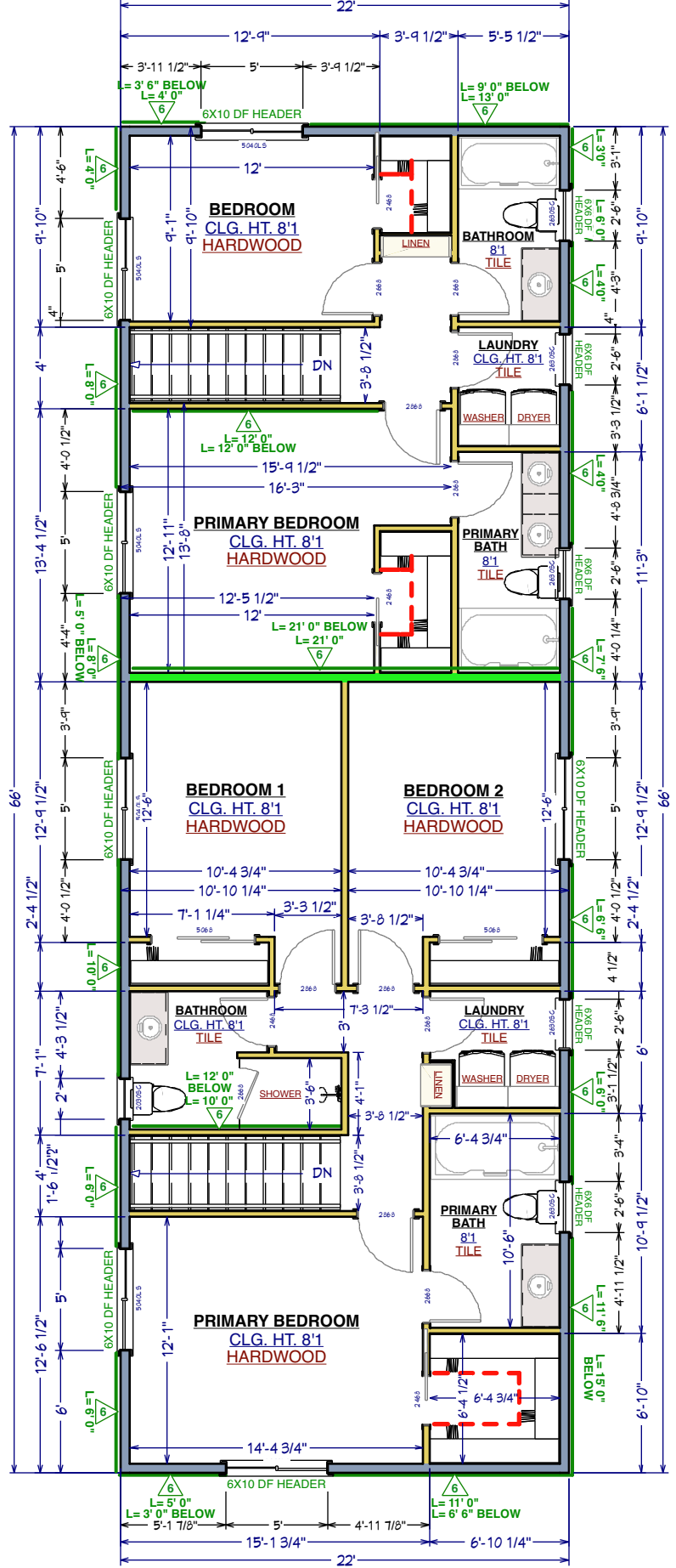
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CALIFORNIA GREEN NOTES-2 25-N-7



2ND FLOOR

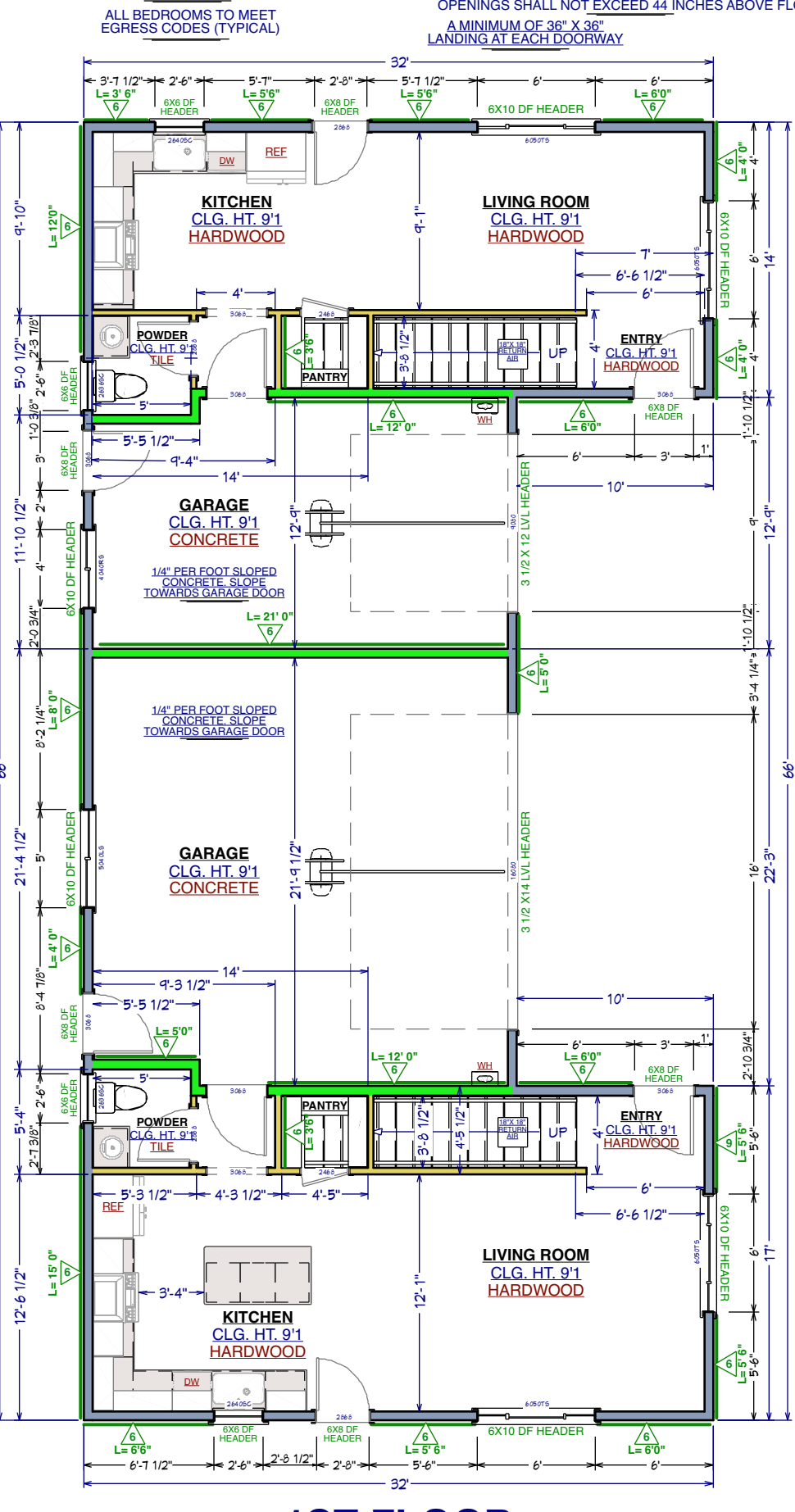
LOT # 32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-032-000

WORKING FLOOR PLAN/
2ND FLOOR
SCALE: (1/8" = 1')



2ND FLOOR

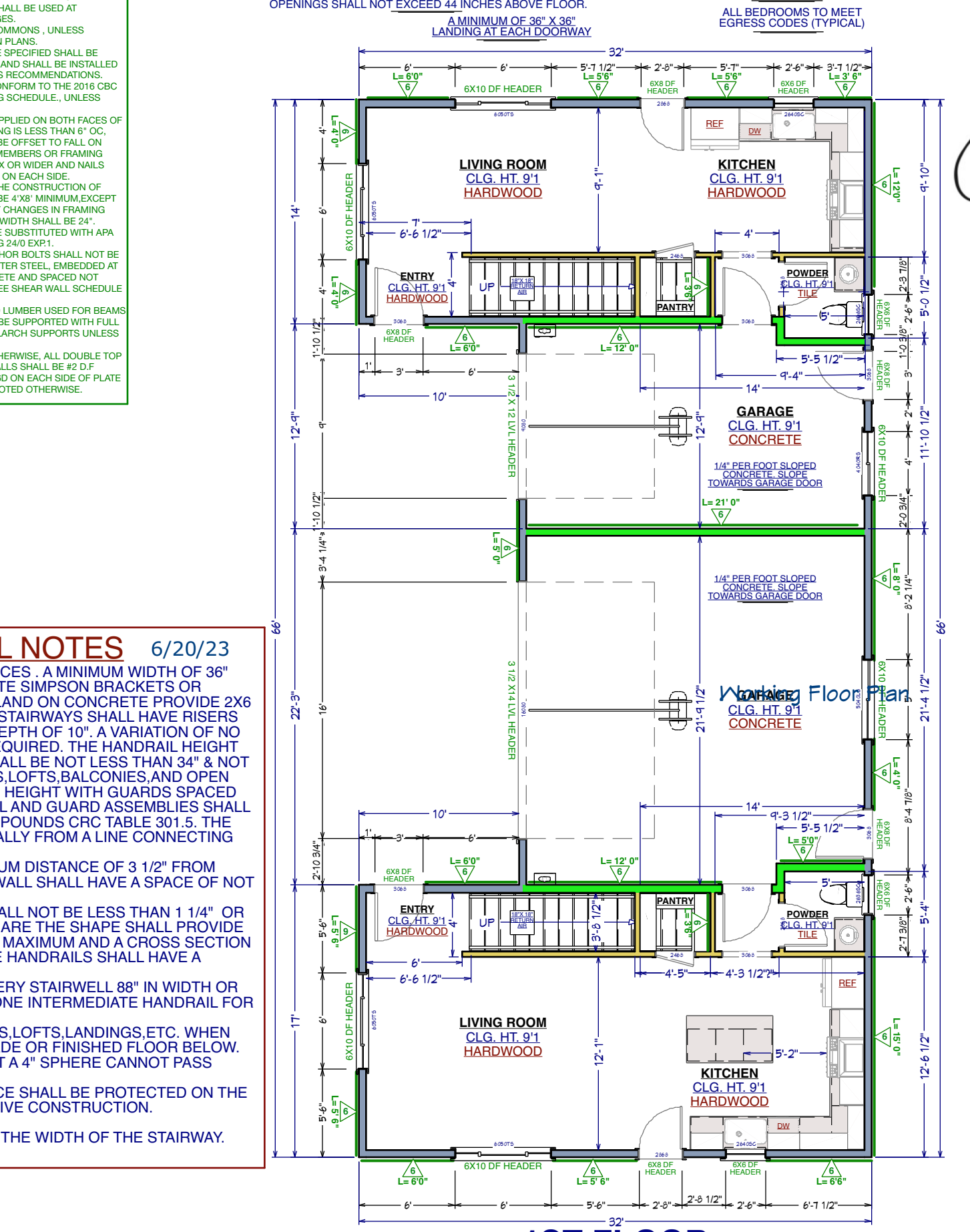
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APN #/ 263-0142-024-000



1ST FLOOR

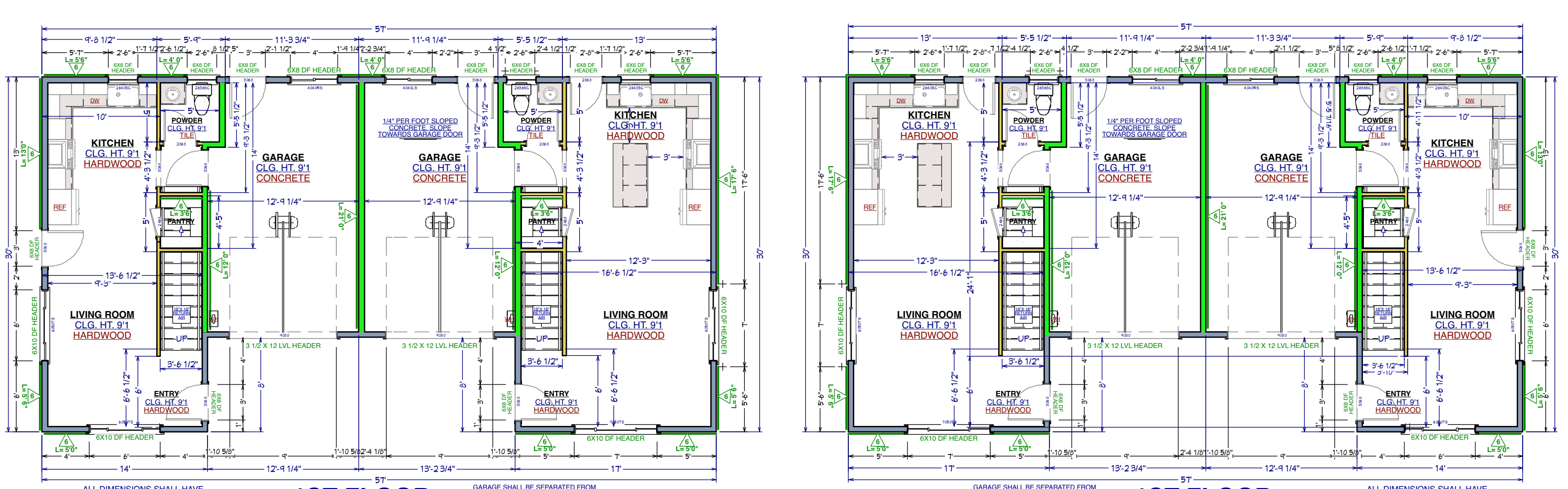
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WORKING FLOOR PLAN/
1ST FLOOR
SCALE: (1/8" = 1')



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2752 OAKMONT ST.
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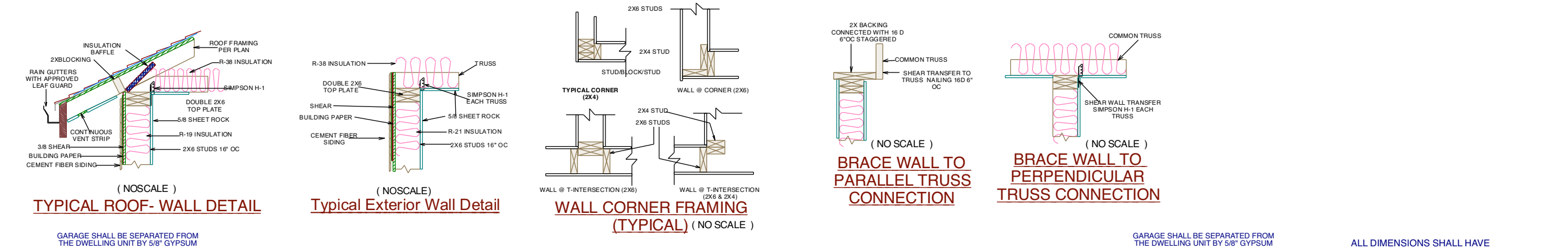


1ST FLOOR

LOT # 34
2762 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-034-000

1ST FLOOR

LOT # 25
2756 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-025-000



ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. CEILING HEIGHT DIMENSIONS ARE FROM SURF TO TOP OF FRAME. ALL DIMENSIONS ARE TO BE HONOUR SPRINKLER SYSTEM. THIS HOUSE HAS AN AUTOMATIC FIRE SPRINKLER SYSTEM. ALL BEDROOMS TO MEET EGRESS CODES (TYPICAL). EMERGENCY EGRESS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT 20 INCHES IN WIDTH IN 5 FT IN AREA. SILL HEIGHTS OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR. A MINIMUM OF 30" X 36" LANDINGS AT EACH DOORWAY. VERTICAL BRACE WALLS NOTED. 1 PROVIDE 2X BRACING AT WOOD SHEAR PANEL EDGES. 2 WHERE WALLS ARE SPACED AT 20C, AND/OR 24C THEY SHALL BE BRACED AND 4X4 WOOD FRAMING MEMBERS SHALL BE USED AT BRACING NOTED OTHERWISE. 3 ALL WALLS MUST BE COMMON, UNLESS NOTED OTHERWISE. 4 ALL METAL HANGERS SPECIFIED SHALL BE BRONZE STRENGTH AND SHALL BE RETIRED. 5 ALL WALLS SHALL CONFORM TO THE 2019 CALIFORNIA GREEN NOTES UNLESS NOTED OTHERWISE. 6 WHERE TRAYS ARE APPLIED ON BOTH SIDES OF WALL AND NAIL SPACING IS LESS THAN 12" OC PANEL JOINTS SHALL BE OFFSET FROM JOINTS IN DIFFERENT FRAMING MEMBERS OR FRAMING MEMBERS SHALL BE 4X4 CONCRETE UNLESS NOTED OTHERWISE. 7 SHEAR WALLS USED IN THE CONSTRUCTION OF SHEAR WALLS SHALL BE 4X4 MINIMUM EXCEPT AT ROOF JOINTS OR AT CHANGES IN FRAMING. 8 ALL FOUNDATION ANCHOR BOLTS SHALL NOT BE LESS THAN 1/2" DIAMETER OVER ALL BRACES AND AT LEAST 1" INTO CONCRETE AND SPACED NOT MORE THAN 12" ON CENTER. 9 ALL FOUNDATION ANCHOR BOLTS SHALL BE 3/8" DIA. UNLESS NOTED OTHERWISE. 10 ALL DOUBLE TOP PLATE OF BEARING WALLS SHALL BE 2" OF LAMBA PROVIDE 10-160 SHOTS. 11 PROVIDE 2X LAMBA UNLESS NOTED OTHERWISE.

STAIR AND GUARD RAIL NOTES 6/20/23

- 1 STAIRS SHALL COMPLY TO ALL LOCAL CODES AND ORDINANCES. A MINIMUM WIDTH OF 36" FINISH ON ALL STAIRS AND LANDINGS. PROVIDE APPROPRIATE SIMPSON BRACKETS OR HANGERS AT TOP AND BOTTOM OF STAIRS. WHERE STAIRS LAND ON CONCRETE PROVIDE 2X6 PRESSURE TREATED SLEEPER AT BOTTOM W/ 160 SHOTS. STAIRWAYS SHALL HAVE RISERS WITH A MAXIMUM HEIGHT OF 7 3/4" & A MINIMUM OF TREAD DEPTH OF 10". A VARIATION OF NO MORE THAN 3/8" BETWEEN THE LARGEST AND SMALLEST REQUIRED. THE HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE NOSE OF THE TREAD SHALL BE NOT LESS THAN 34" & NOT MORE THAN 38". OPEN HANDRAILS & GUARDRAILS AT STAIRS, LOFTS, BALCONIES AND OPEN SIDED WALKING SURFACES SHALL BE NOT LESS THAN 42" IN HEIGHT WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. HANDRAIL AND GUARD ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS CRC TABLE 301.5. THE MINIMUM HEADROOM NEEDS TO BE 8'3" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS.
2 HANDRAILS MAY PROJECT INTO THE REQUIRED 36" A MAXIMUM DISTANCE OF 3 1/2" FROM EACH SIDE OF STAIRWAY HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
3 THE HAND GRIP PORTION OF THE CIRCULAR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION OR IF SQUARE THE SHAPE SHALL PROVIDE AN EQUIVALENT PERIMETER DIMENSION OF 4" MIN. TO 6 1/4" MAXIMUM AND A CROSS SECTION OF NOT MORE THAN 2 1/4". THE HAND GRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.
4 STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE FOR EVERY STAIRWELL 8" IN WIDTH OR GREATER, AND SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 8' OF WIDTH.
5 PROVIDE 42" GUARDRAILS FOR DECKS, BALCONIES PORCHES, LOFTS, LANDINGS, ETC. WHEN FINISHED FLOOR HEIGHT EXCEEDS 30" FROM FINISHED GRADE OR FINISHED FLOOR BELOW. ANY OPENINGS IN GUARDRAILS SHALL BE SPACE SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
6 ALL WALLS AND SOFFITS OF THE ENCLOSED STAIRWAY SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION.
7 STAIR LANDINGS REQUIRED EVERY 127" OF VERTICAL RISE.
8 PROVIDE LANDINGS AT THE BOTTOM/TOP OF THE STAIRWAY THE WIDTH OF THE STAIRWAY. THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM.

WORKING FLOOR PLAN
SCALE: (1/8" = 1')

OAKMONT HOMES
2762, 2768, 2752, 2756
OAKMONT ST.
SACRAMENTO CA 95815

DRAWINGS PROVIDED BY
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25946 ANGELI PL.
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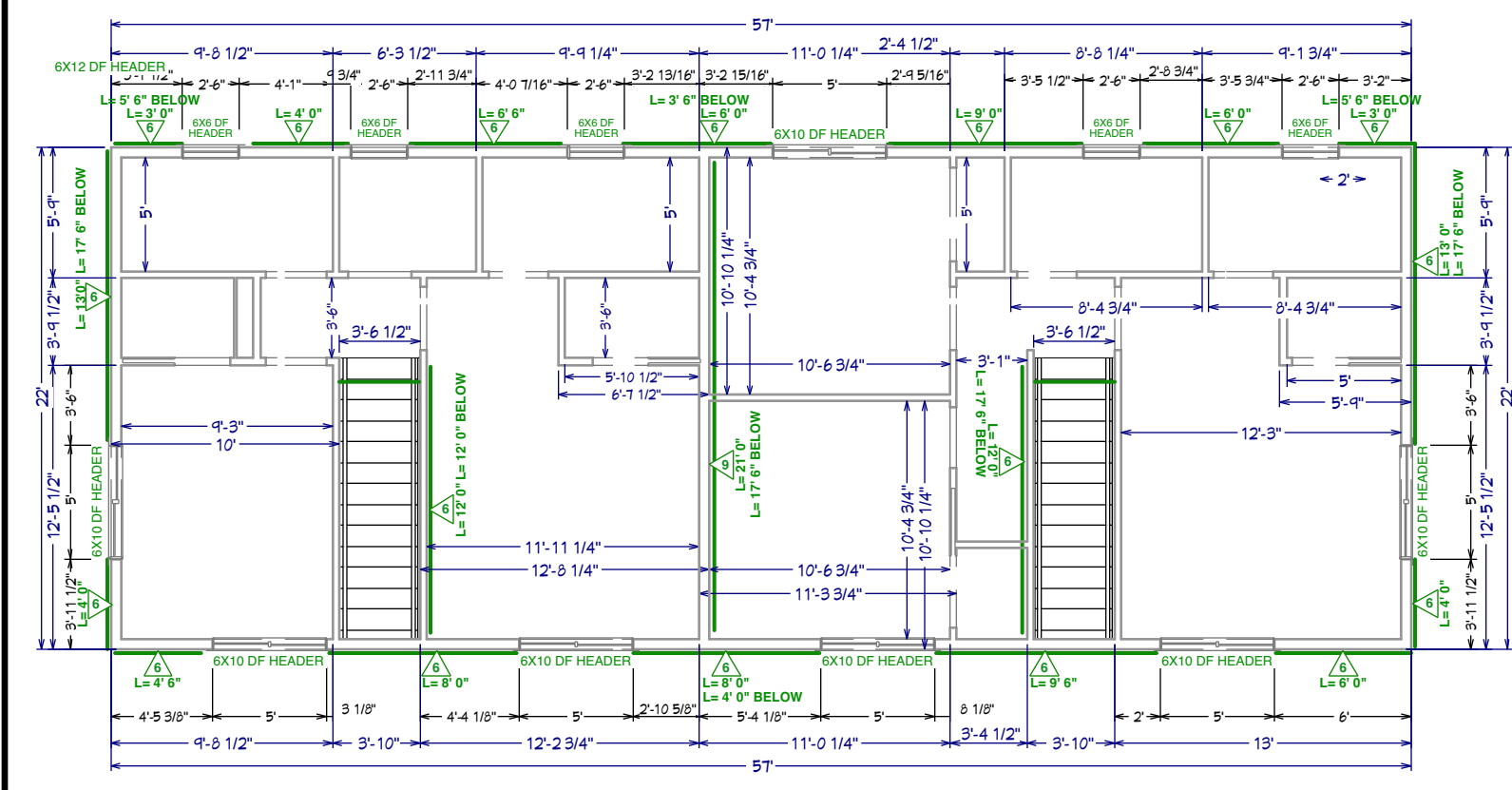
STRUCTURAL FLOOR PLAN

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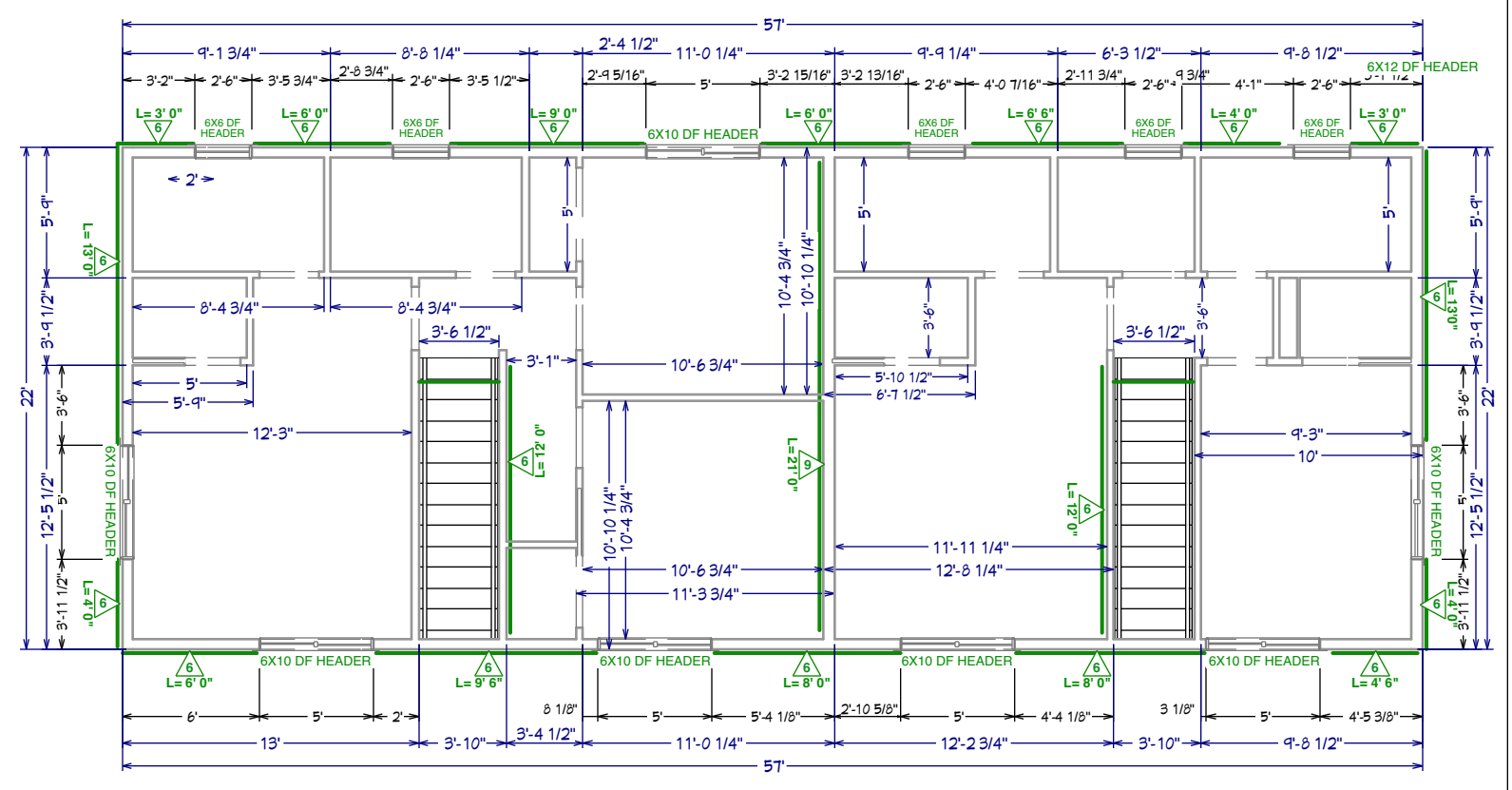
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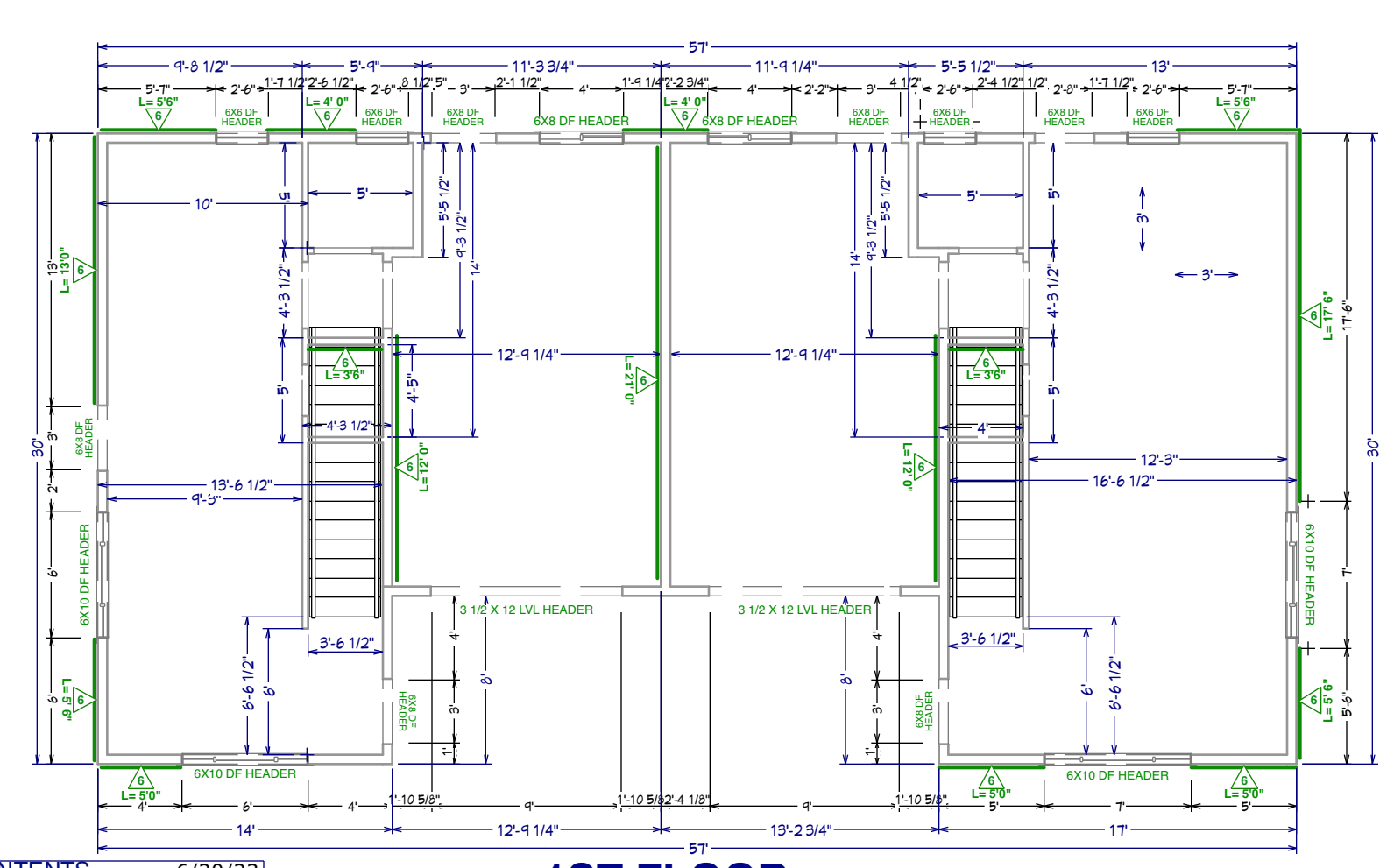
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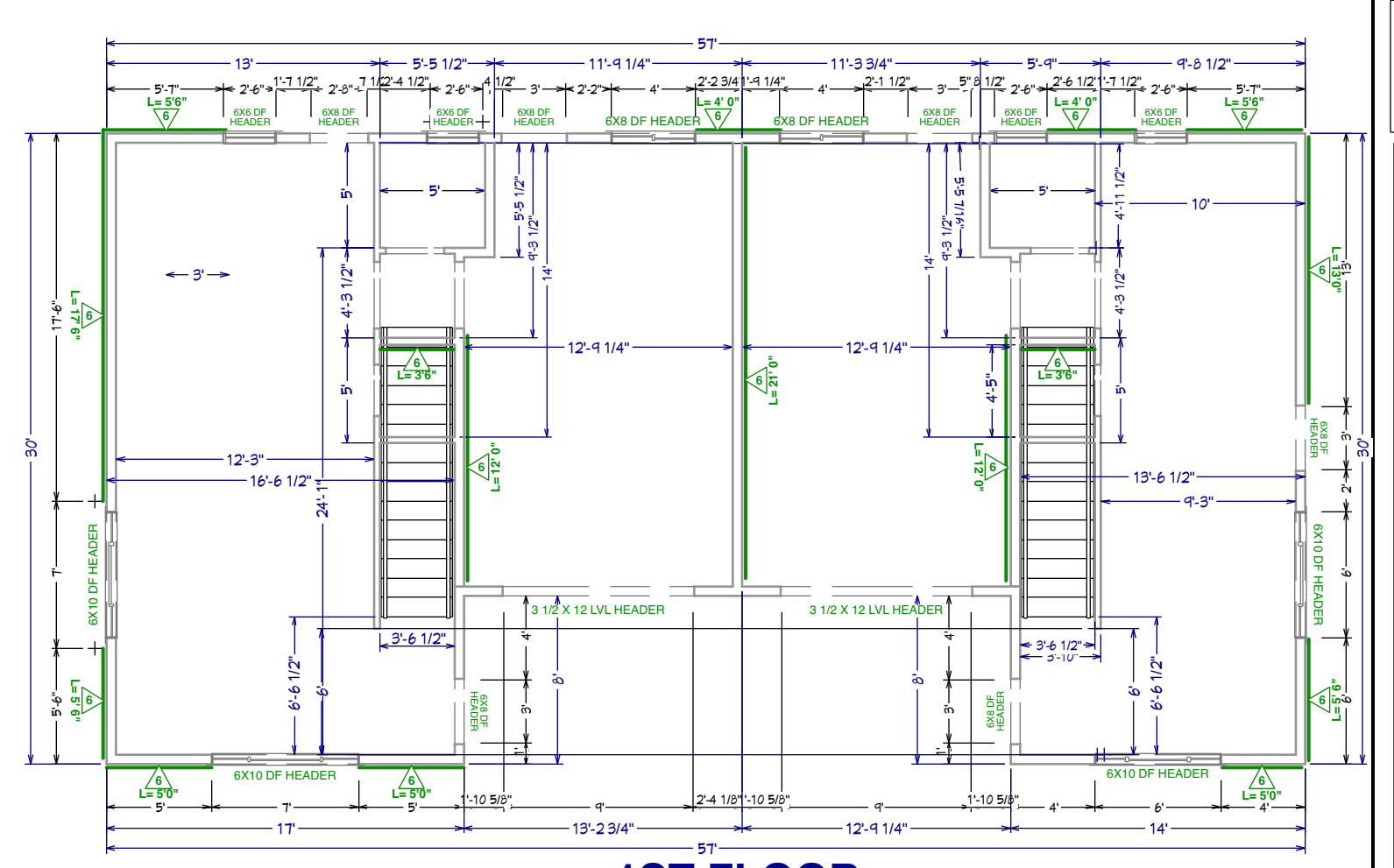
2ND FLOOR
LOT # 34
2762 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-034-000



2ND FLOOR
LOT # 25
2756 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-025-000



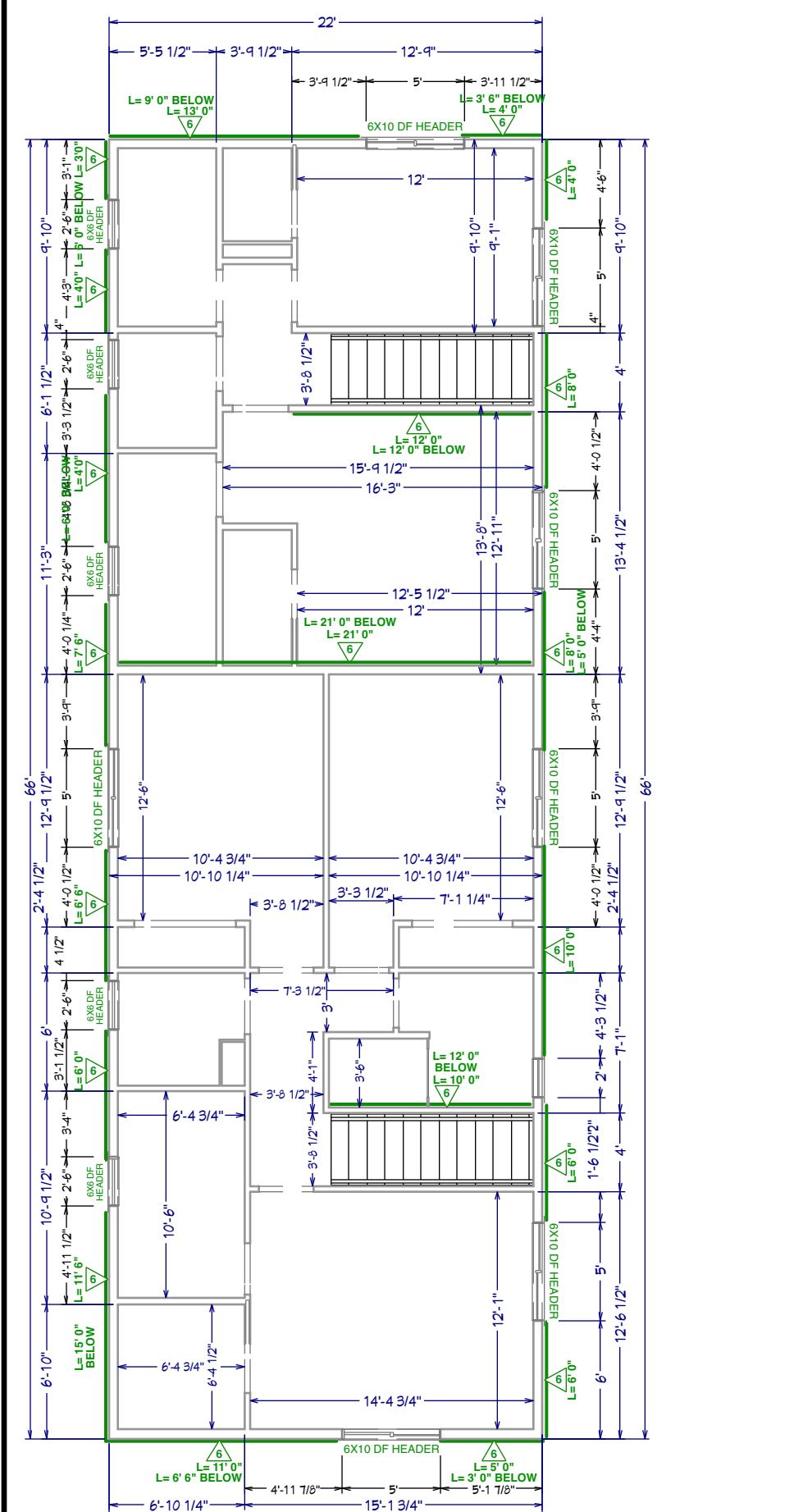
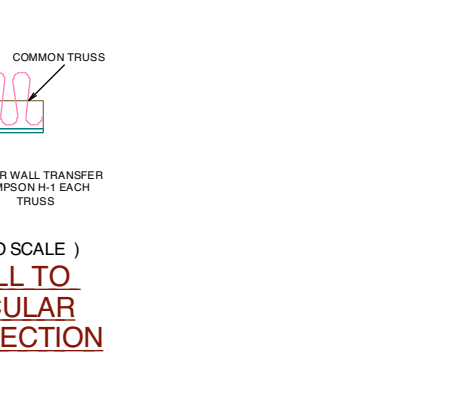
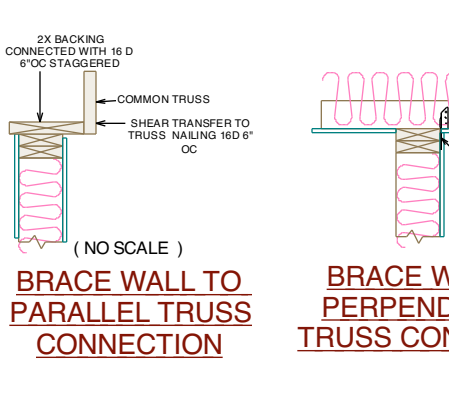
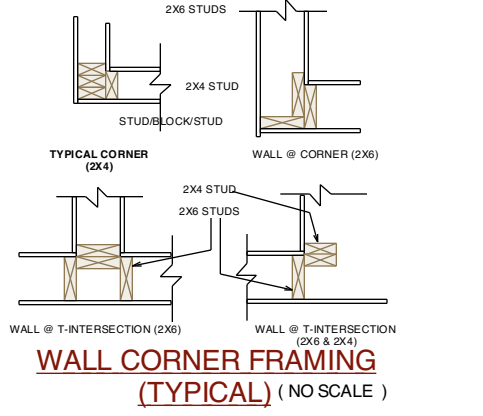
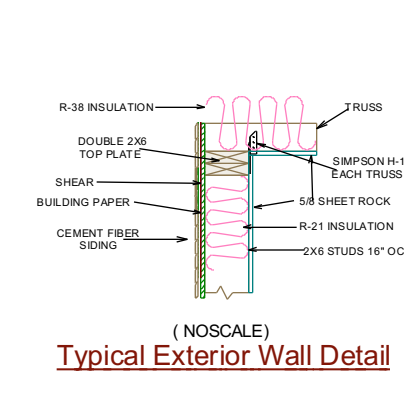
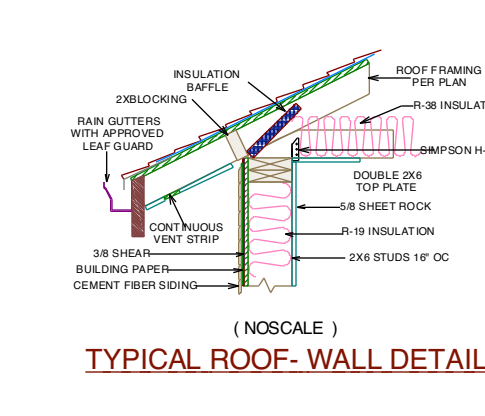
1ST FLOOR
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1ST FLOOR
LOT # 25
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2ND FLOOR
LOT # 32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-032-000

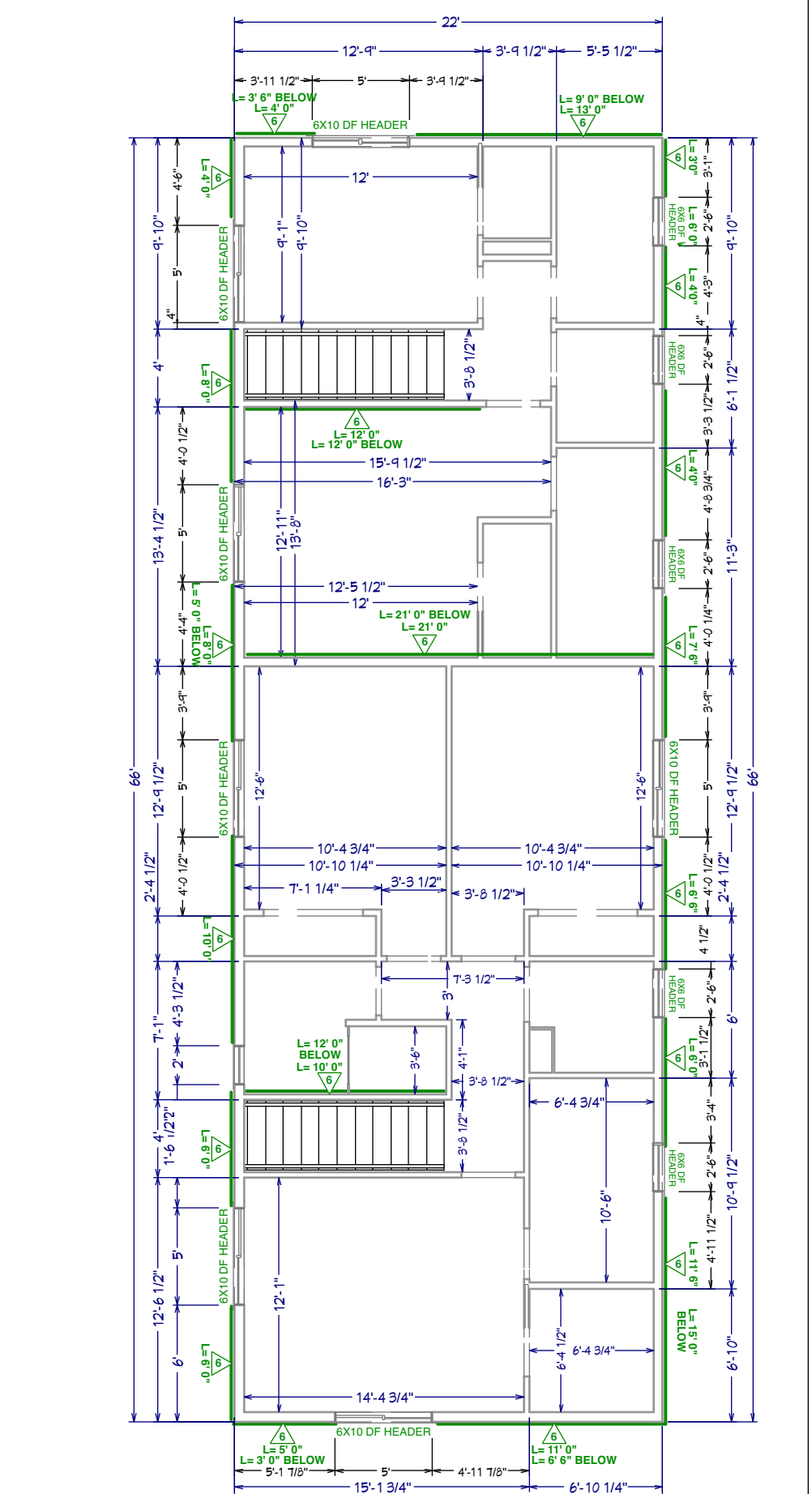
FRAMING AND STRUCTURAL NOTES 6/20/23

- SHEATH ALL EXTERIOR WALLS WITH 3/8" C.D.X. AND NAIL WITH 8D AT 6" O.C. EDGE NAIL, 12" IN OC FIELD NAILED OR AS PER SHEAR WALL SCHEDULE. BLOCK ALL EDGES AS REQUIRED, OR AS SPECIFIED BY ENGINEERING SHEAR WALL SCHEDULE. BLOCK ALL EDGES AS REQUIRED, OR AS SPECIFIED BY ENGINEERING SHEAR WALL SCHEDULE.
- 2 AND 4X HORIZONTAL FRAMING IS TO BE D.F. # 2 OR BETTER - U.O.N.
- 3 6X AND 8X HORIZONTAL FRAMING IS TO BE D.F. # 1 OR BETTER - U.O.N.
- 4 ALL POSTS ARE TO BE D.F. # 1 OR BETTER - U.O.N.
- 5 SIMPLE SPAN GUL-LAMINATED BEAMS SHALL BE 24 FXV4 - DF/DF - U.O.N.
- 6 CANTILEVERED GUL-LAMINATED BEAMS SHALL BE 24 FXV4 - DF/DF - U.O.N.
- 7 PROVIDE 4X12 D.F. HEADERS IN 2X4 STUD FRAMED WALLS WITH DOUBLE 2X4 TRIMMERS IF OPENINGS ARE 6 FT. OR MORE - VERIFY WITH PLANS.
- 8 PROVIDE 4X12 D.F. HEADERS IN 2X6 STUD FRAMED WALLS WITH DOUBLE 2X6 TRIMMERS IF OPENINGS ARE 6 FT. OR MORE - VERIFY WITH PLANS.
- 9 PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS I.E. 4X BEAMS ARE TO BE SUPPORTED BY (2) - 2X4 STUDS OR 4X4 POSTS. I.E. 6X AND 8X BEAMS ARE TO BE SUPPORTED BY 6X AND 8X POSTS RESPECTIVELY.
- 10 GUL-LAMINATED BEAMS CERTIFICATES WILL BE REQUIRED @ FRAMING INSPECTION.
- 11 PROVIDE BLOCKING BETWEEN ALL FLOOR JOISTS, TRUSSES, AND RAFTERS AT ALL BEARING WALLS, GIRDERS, BEAMS, AND HEADERS.
- 12 BEARING AND EXTERIOR WALL STUDS ARE TO BE CAPPED WITH DOUBLE TOP PLATE AND INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS AND DOUBLE TOP PLATES SHALL BE OFF SET AT LEAST 48 INCH MINIMUM.
- 13 MINIMUM CLEARANCE BETWEEN BOTTOM OF FLOOR JOIST AND THE GROUND SURFACE SHALL BE 18" MINIMUM. MINIMUM CLEARANCE OF FLOOR GIRDERS TO GROUND SURFACE SHALL BE 12" MINIMUM.
- 14 FIRE BLOCK STUD WALLS AND PARTITIONS (INCLUDING FURRED SPACES) AT FLOOR, CEILING, SOFFITS, AND AT MID HEIGHT IN WALLS OVER 10' IN HEIGHT.
- 15 NOTCHING OF BEARING WALLS SHALL NOT EXCEED 25% OF STUD AND BORED HOLES SHALL NOT EXCEED 40% OF STUD.
- 16 NOTCHING OF NON BEARING WALLS SHALL NOT EXCEED 40% OF STUD AND BORED HOLES SHALL NOT EXCEED 60% OF STUD.
- 17 FOUNDATION CRIPPLE STUDS SHALL BE 2X6 DOUG FIR AT 16" O.C. WITH A MINIMUM LENGTH OF 14". STUDS LESS THAN 14" SHALL BE SHEATHED WITH A MINIMUM OF 3/8" PLYWOOD OR OSB EQUIVALENT BOTH SIDES OR SOLID BLOCKED.
- 18 WALLS BETWEEN GARAGE ARE TO BE 2X6 OF STUDS AT 16" O.C. U.O.N.
- 19 ALL MEMBERS ARE TO BE FRAMED, ANCHORED, TIED AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THERE USED.
- 20 ALL TOP PLATES OF STUD WALLS SHALL BE A MINIMUM OF 48" LONG AND NAILED WITH (6) 16D AT EACH SIDE OF EACH SPLICE PER CRC 802.3.2 OR BETTER ALL INTERSECTING WALLS NOT AT 90 DEGREES WITH RESPECT TO EACH OTHER SHALL BE STRAPPED TOGETHER WITH SIMPSON MS127 STRAPS U.O.N. ALL STRAPS ARE TO BE CENTERED AT SPLICE.
- 21 JOINTS IN DOUBLE TOP PLATE OF STUD WALLS SHALL OCCUR AT THE CENTER LINE.
- 22 PROVIDE POSITIVE TYPE POST TO BEAM CONNECTION WITH SIMPSON HARDWARE I.E. : CCP, BC.AC, P.C.L, TOR EQUIVALENT.
- 23 POST TO BEAM CONNECTIONS POSITIVE CONNECTION SHALL PROVIDED TO ENSURE UPLIFT AND LATERAL DISPLACEMENT (R029.9 & C02204.3.7)
- 24 MINIMUM NAILING REQUIREMENTS SHALL CONFORM TO 2016 C.R.C. TABLE.
- 25 WHERE MULTIPLE 2X JOISTS ARE STITCHED TOGETHER - FOR 20R8 - USE (2) - 16D AT 12" O.C. FOR 4 OR MORE - USE (2) - 12" THROUGH BOLTS WITH NUTS AND WASHERS AT 24" O.C.
- 26 SHEATHING USED IN CONSTRUCTION OF SHEAR WALLS TO BE 4X8" MINIMUM EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MINIMUM WIDTH IS TO 24".
- 27 FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEAR WALLS.
- 28 DO NOT BREAK FACE PLY WHEN NAILING ANY SHEAR WALLS.
- 29 MOISTURE CONTENT OF LUMBER NOT TO EXCEED 19% AT THE TIME OF CONSTRUCTION.
- 30 ALL FRAMING MEMBERS USED IN THE CONSTRUCTION OF SHEAR WALLS MUST BE DOUG FIR OR SPF FRAMING UNLESS NOTED ON FRAMING PLANS.

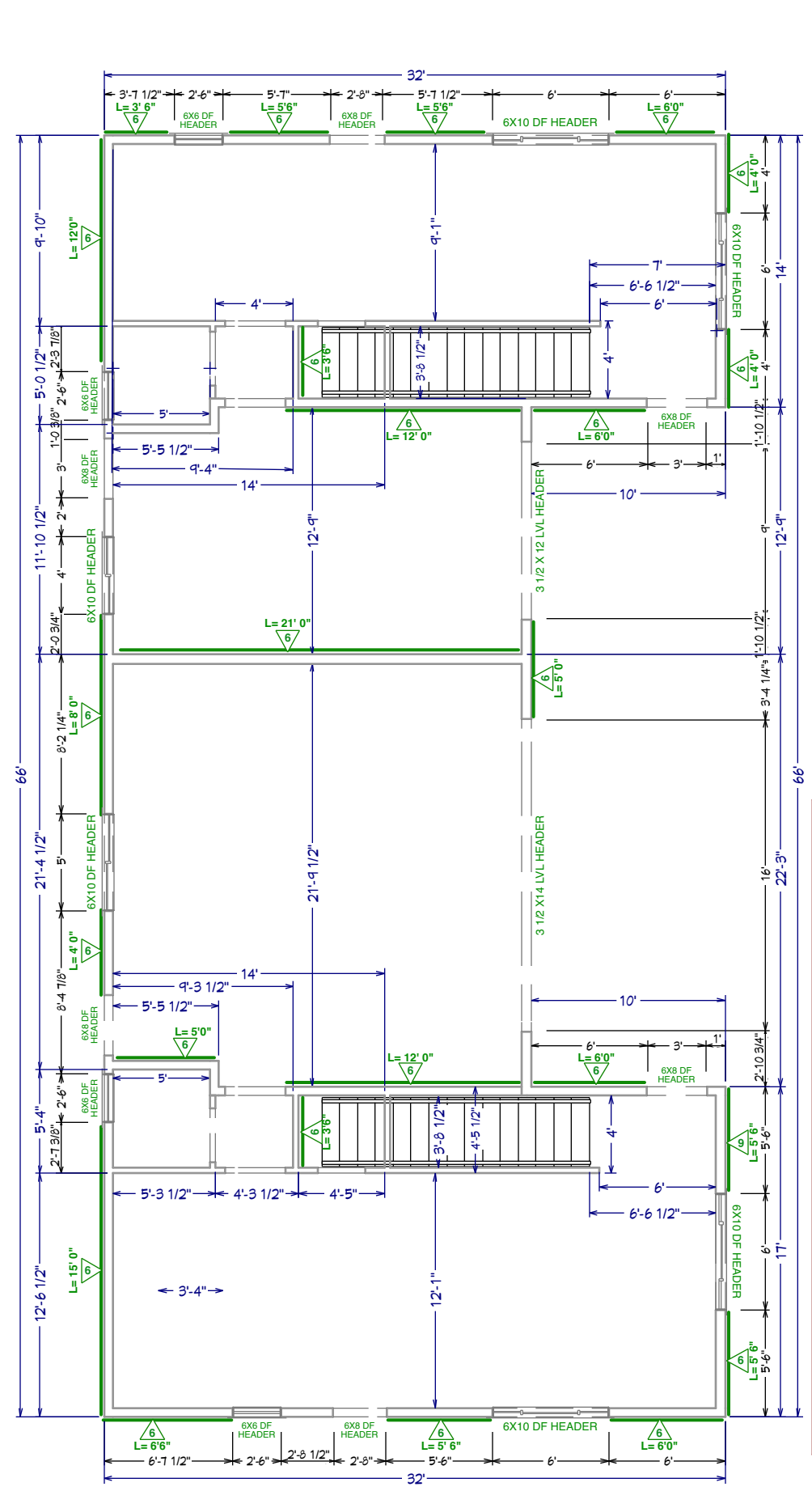
HARDWARE NOTES 6/20/23

- ALL NUTS AND BOLTS SHALL BE PROVIDED WITH FLAT OR MALEABLE WASHERS WHERE BEARING IS REQUIRED.
- HOLES THROUGH BOLTS SHALL BE DRILLED 1/16" OVER SIZE.
- HOLES FOR LAG BOLTS SHALL BE FIRST BORED TO THE SAME NORMAL DIAMETER AND DEPTH OF THE SHANK. THE REST SHALL BE NO LONGER THAN THE ROOT OF THE THREAD.
- LAG BOLTS SHALL BE SCREWED-NOT DRIVEN INTO PLACE.
- ALL BOLTS AND LAG BOLTS SHALL BE RETIGHTENED UPON INSTALLATION AND RETIGHTENED BEFORE CLOSING IN AT THE COMPLETION OF THE JOB.
- ALL BOLTS ARE TO BE A S.T.M.A-307 MINIMUM UNLESS OTHERWISE NOTED. BOLTS SHALL BE NEXAD AND WITHOUT PASSIVE RUST.
- ALL FASTENERS USED BY ATTACHMENT OF SIDING AND INTO PRESSURE TREATED LUMBER SHALL BE OF CORROSION RESISTANT TYPE.

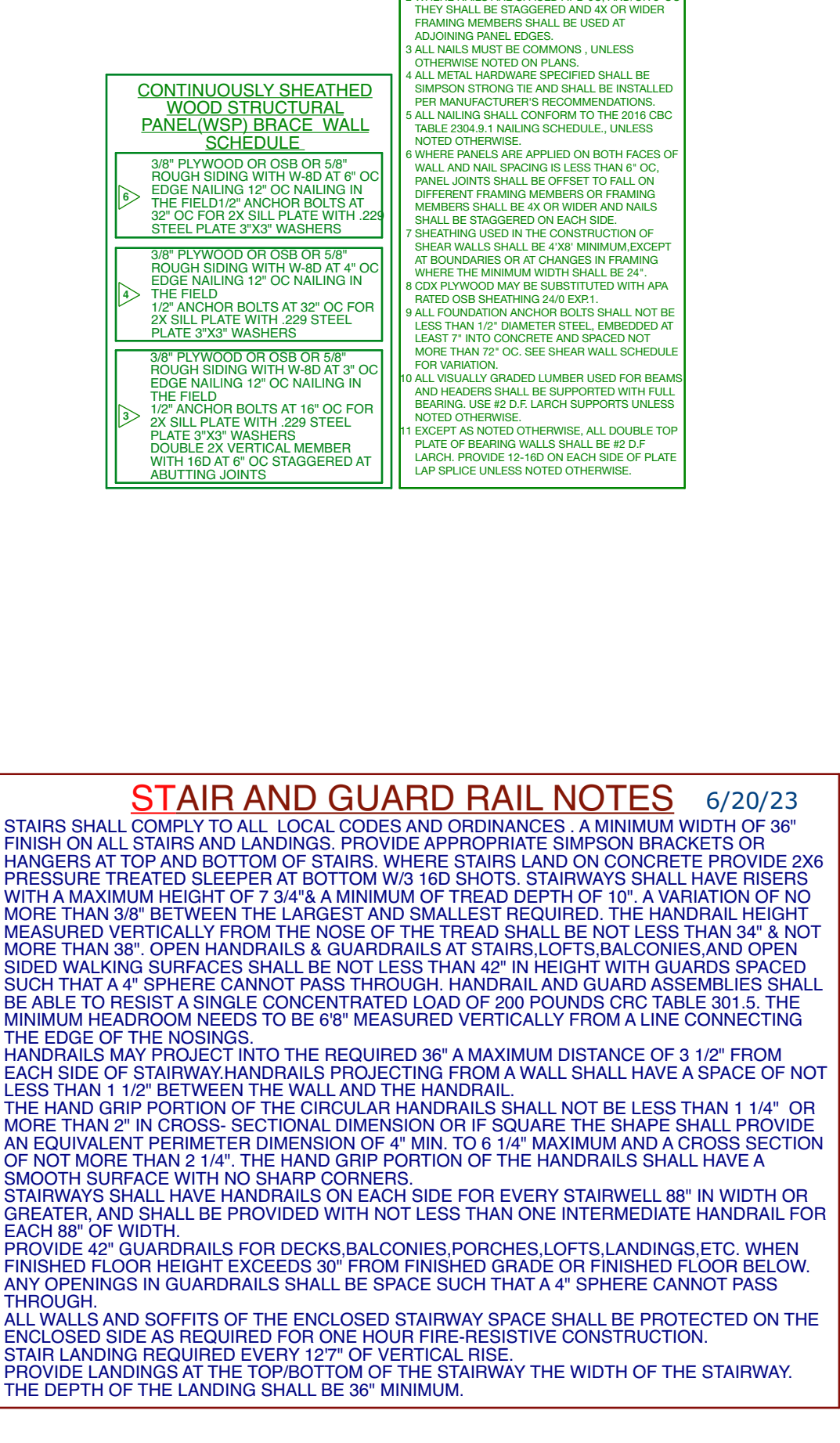
STRUCTURAL FLOOR PLAN/
2ND FLOOR
SCALE: (1/8" = 1')



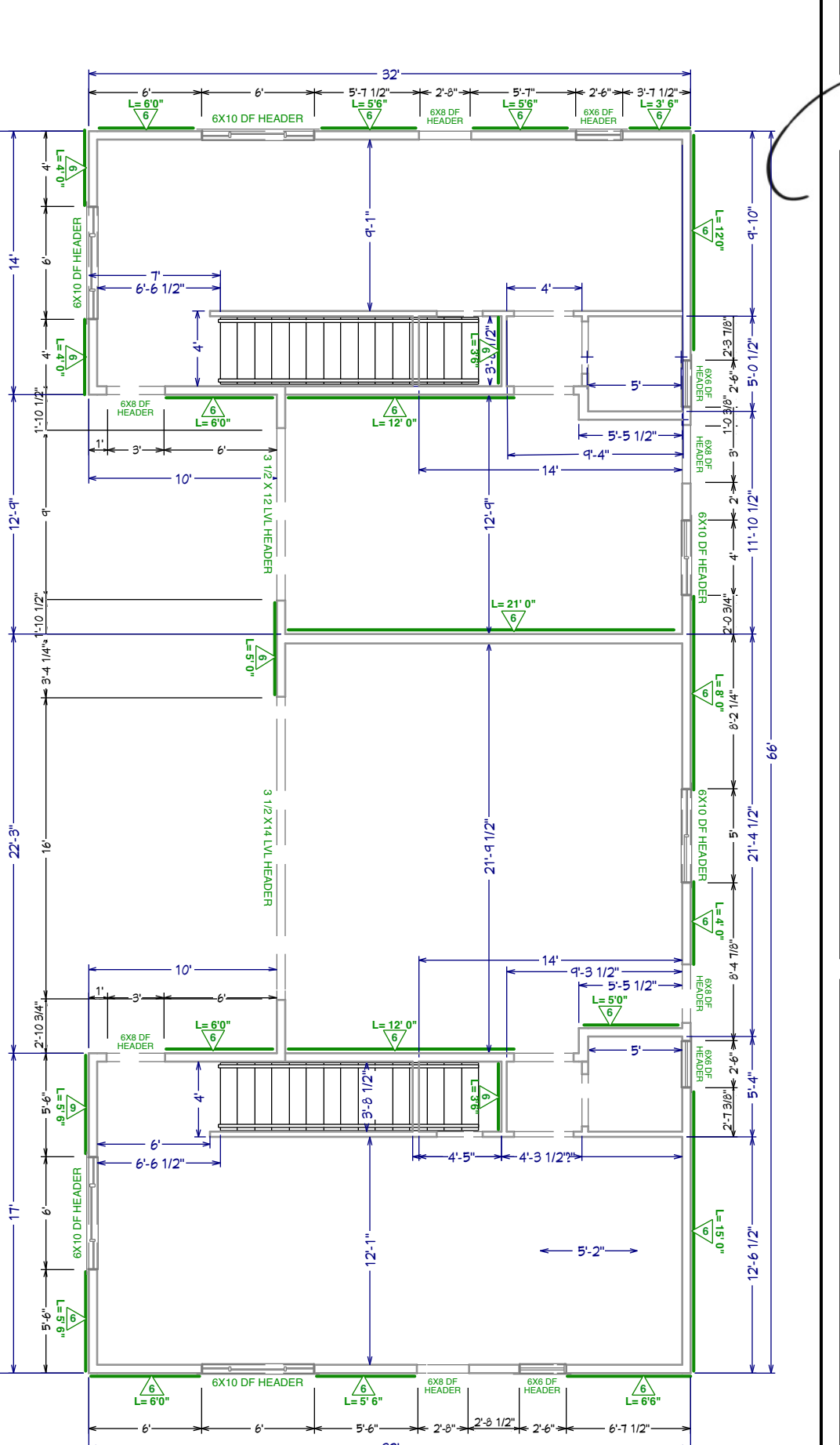
2ND FLOOR
LOT # 24
2752 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-024-000



1ST FLOOR
LOT # 32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-032-000

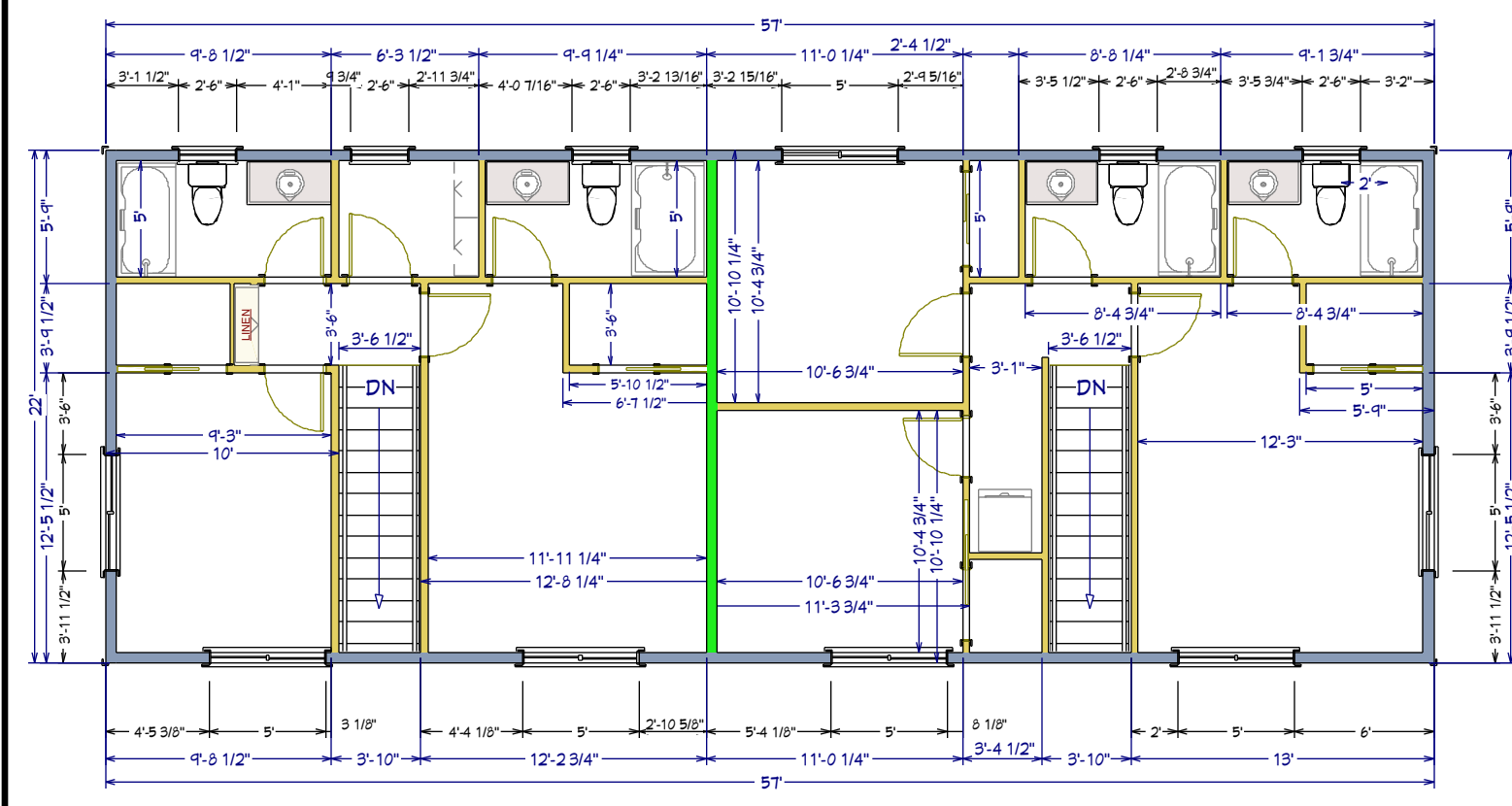


STRUCTURAL FLOOR PLAN/
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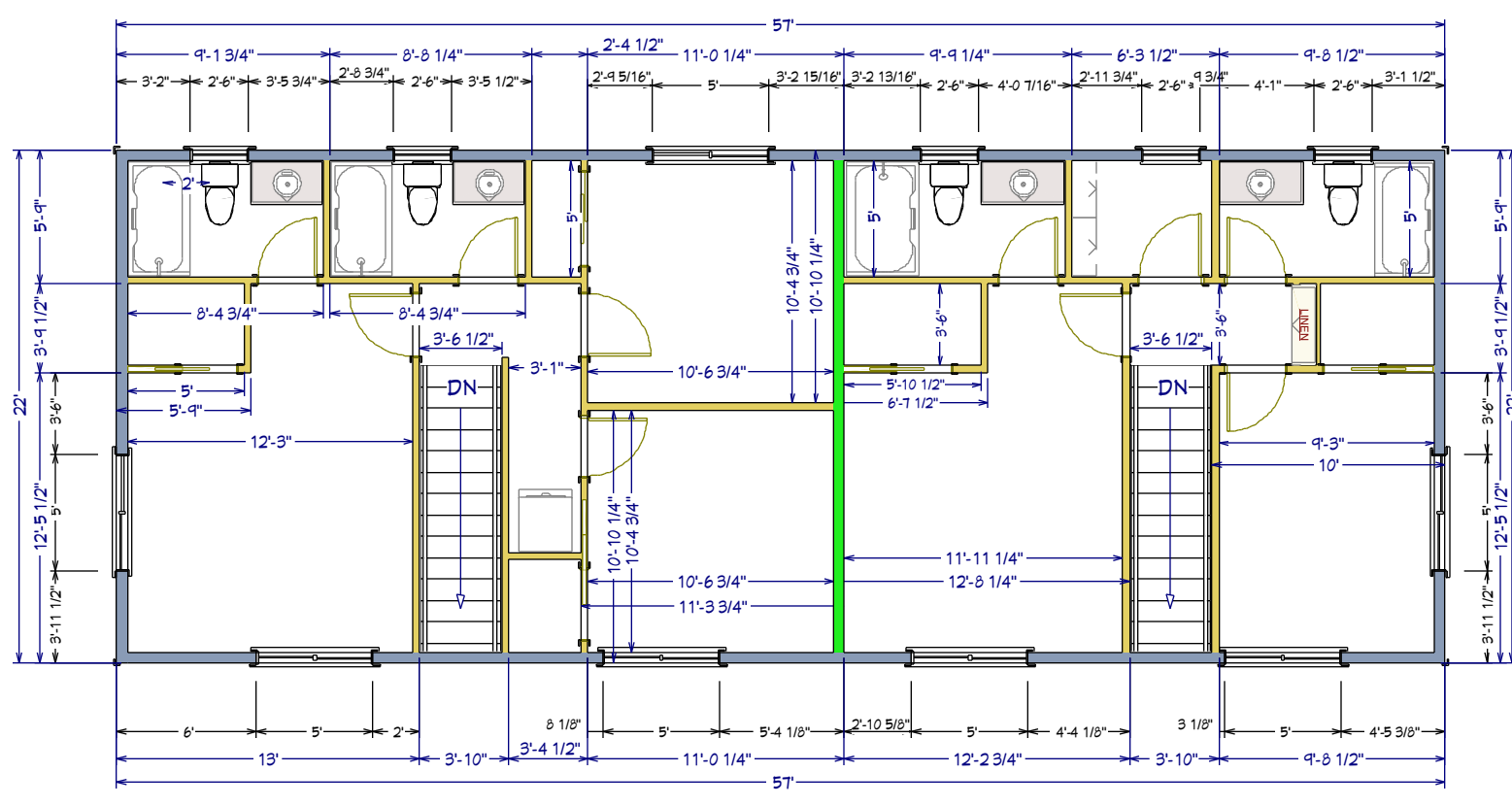


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SACRAMENTO CA. 95815
APN #/ 263-0142-024-000

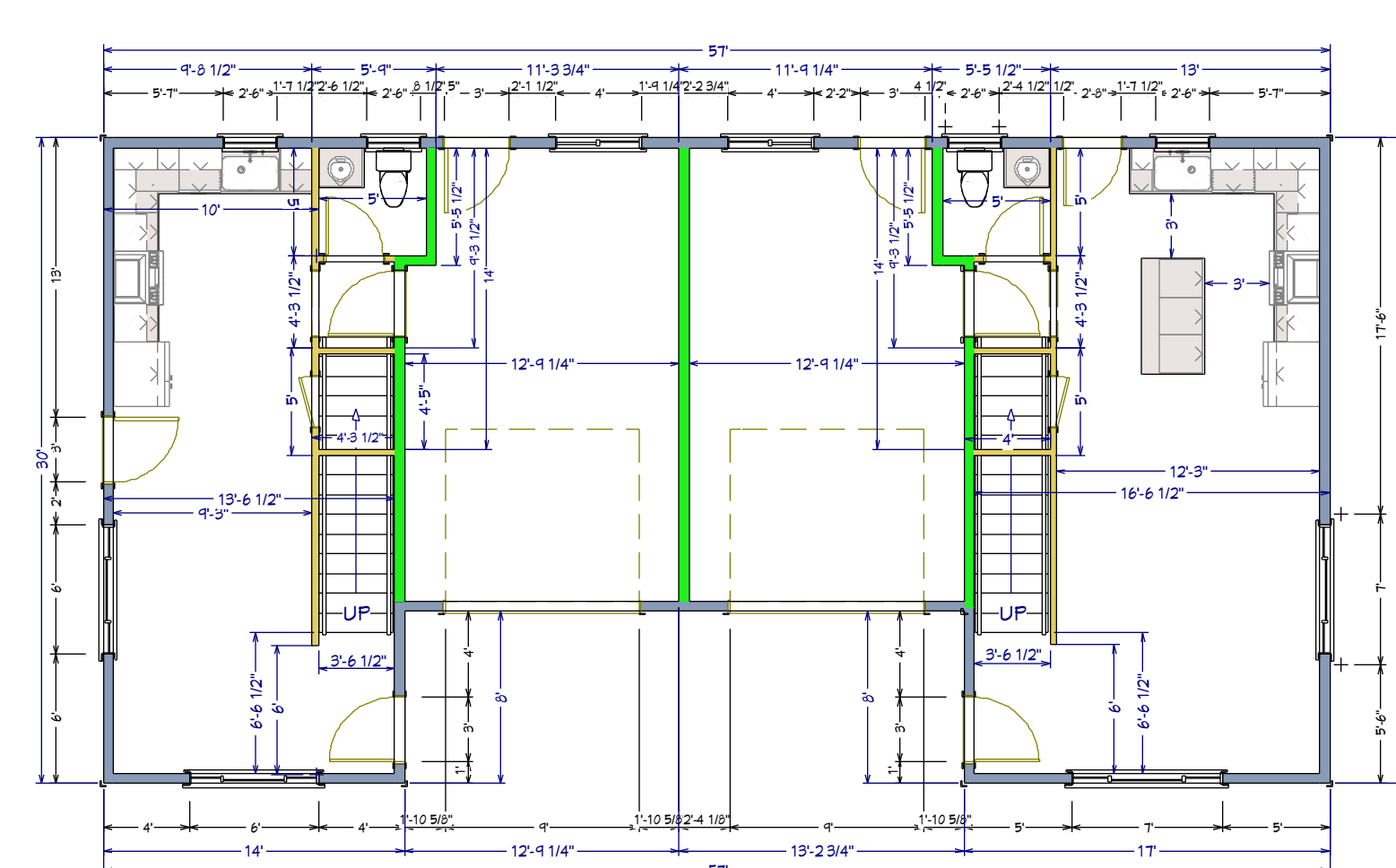
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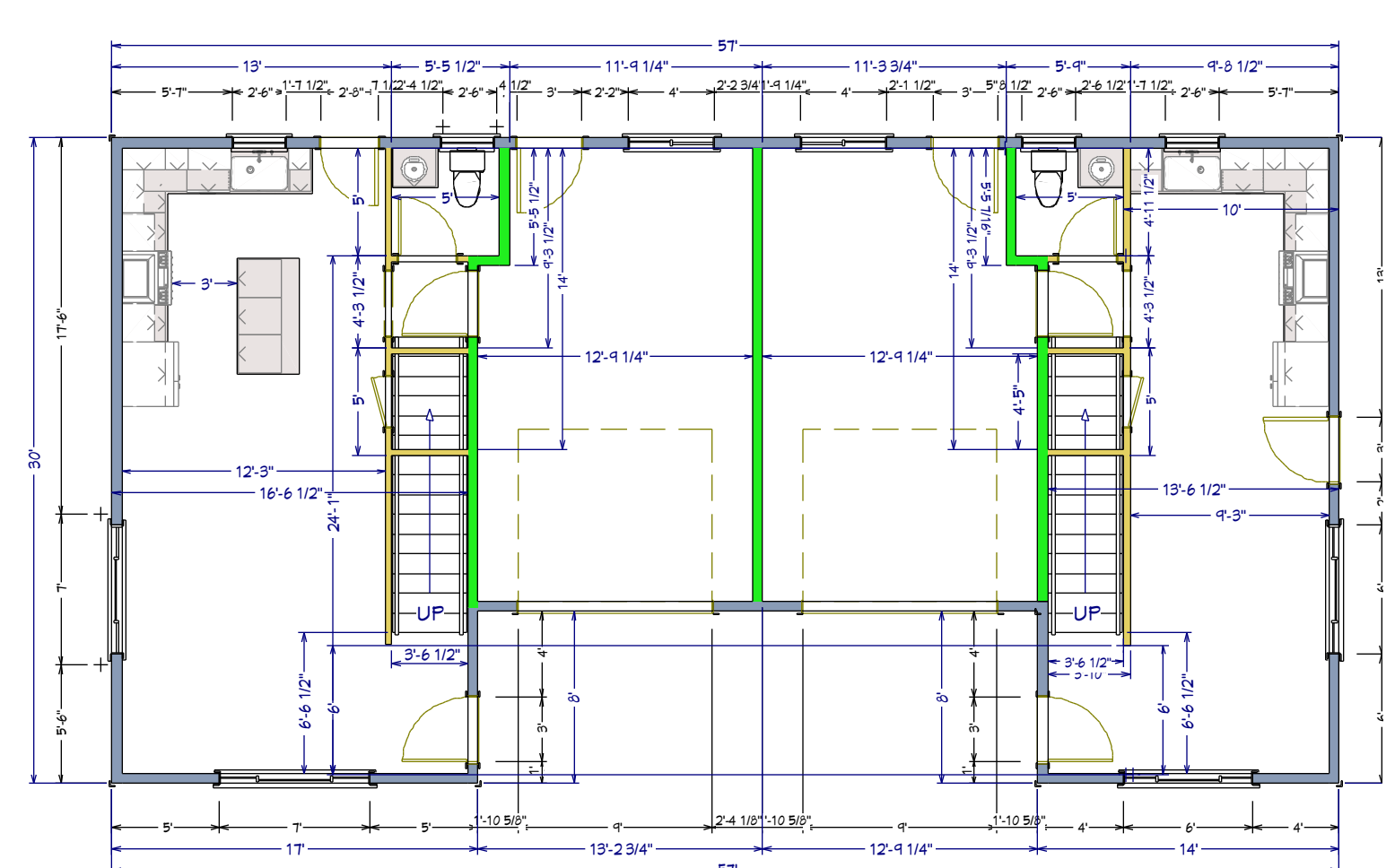
2ND FLOOR
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2ND FLOOR
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2756 OAKMONT ST.
SACRAMENTO CA. 95815
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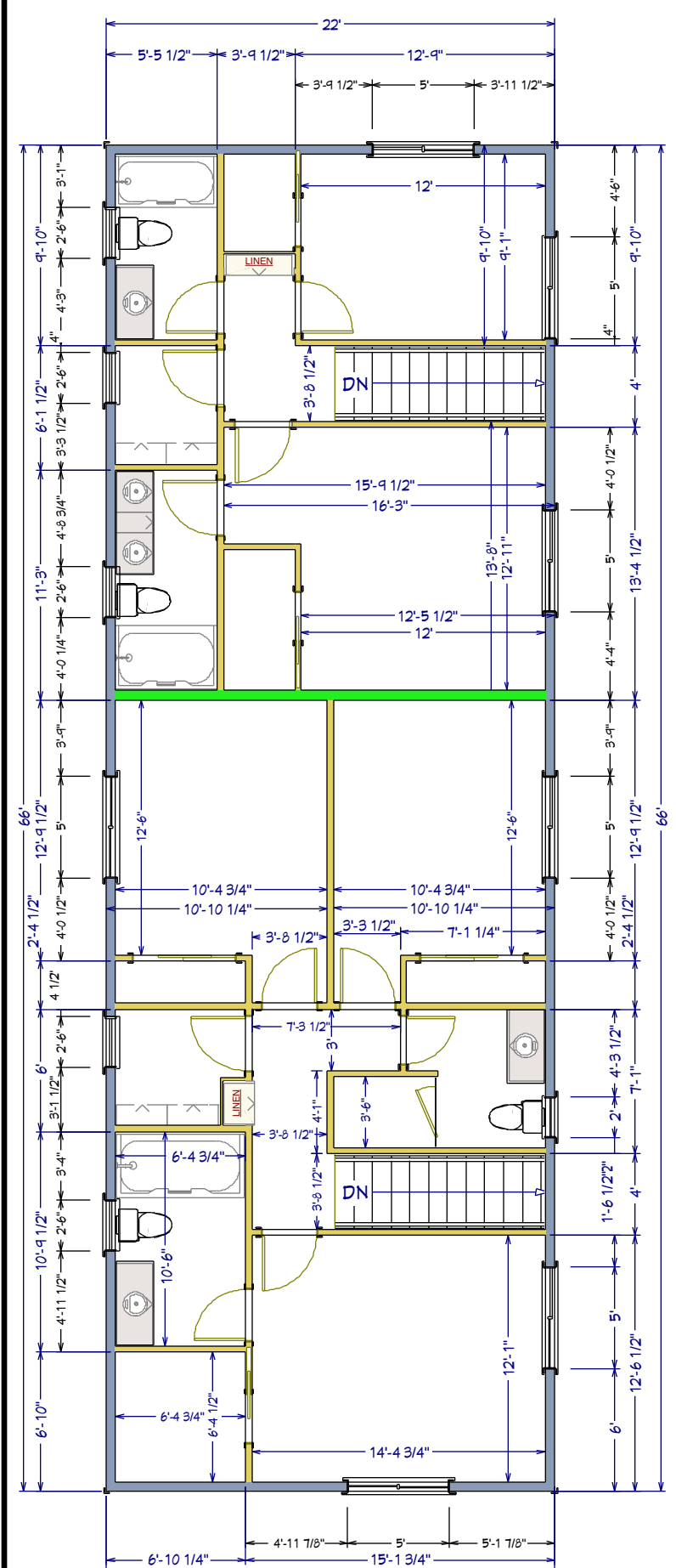


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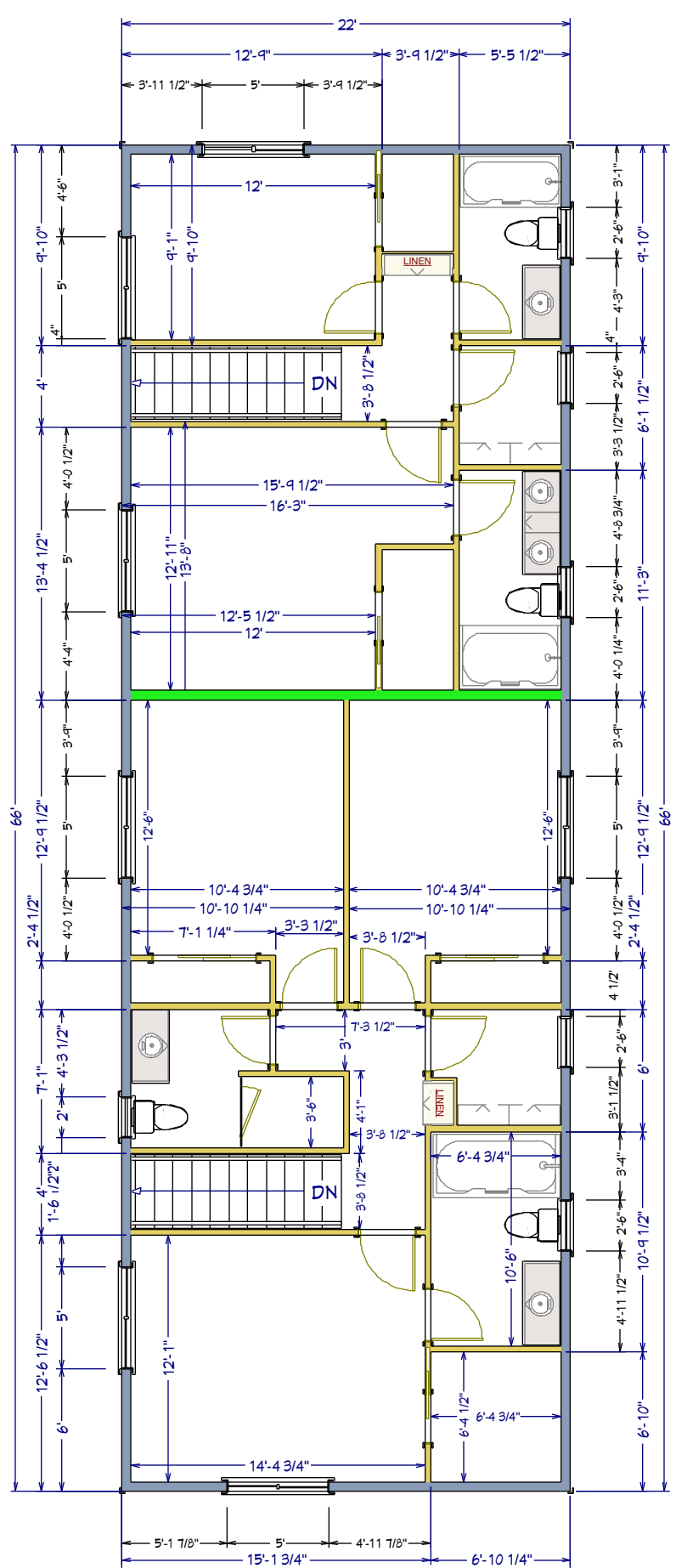
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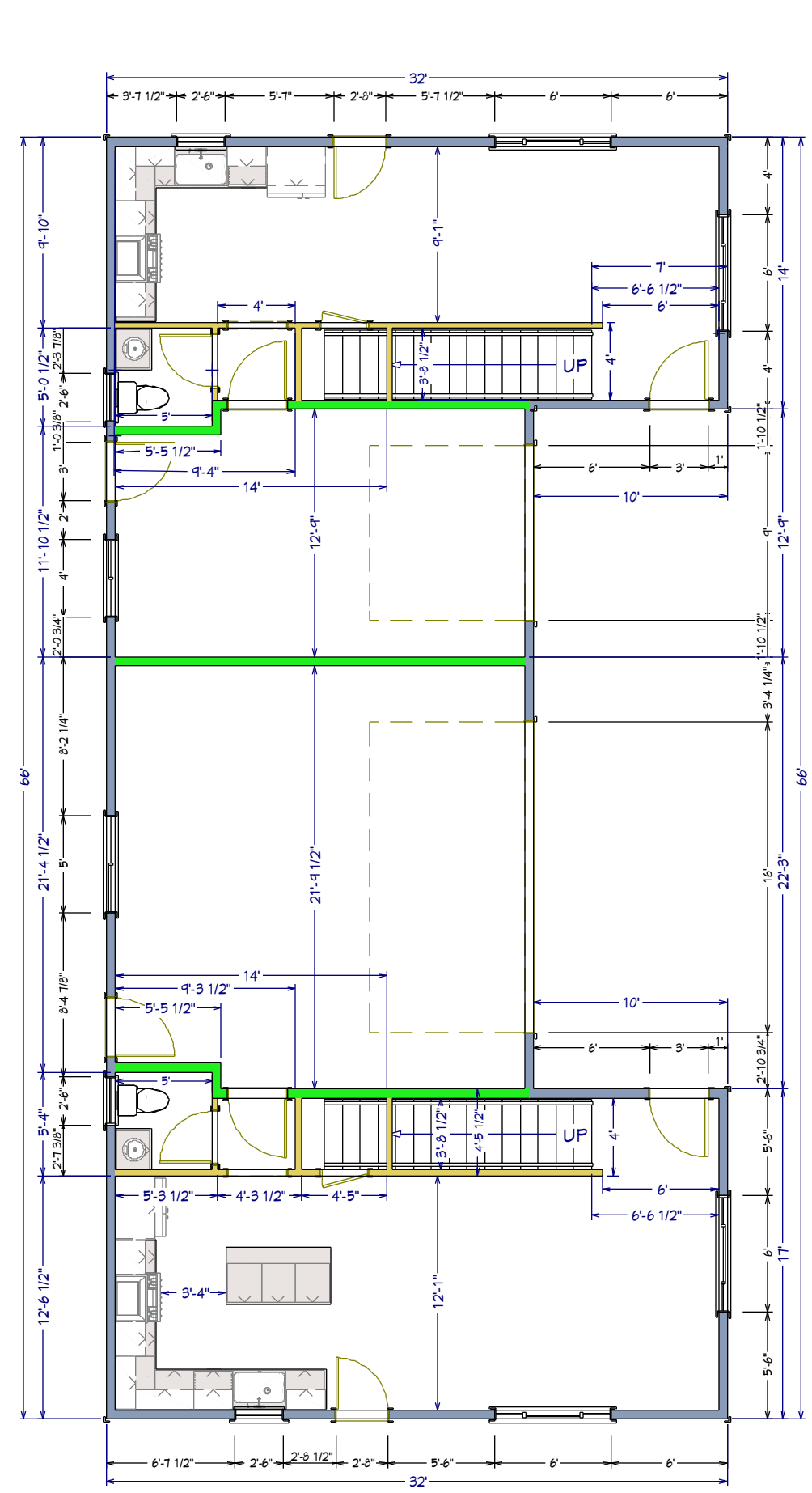


2ND FLOOR
LOT # 32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
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DIMENSIONS PLAN/ 2ND FLOOR
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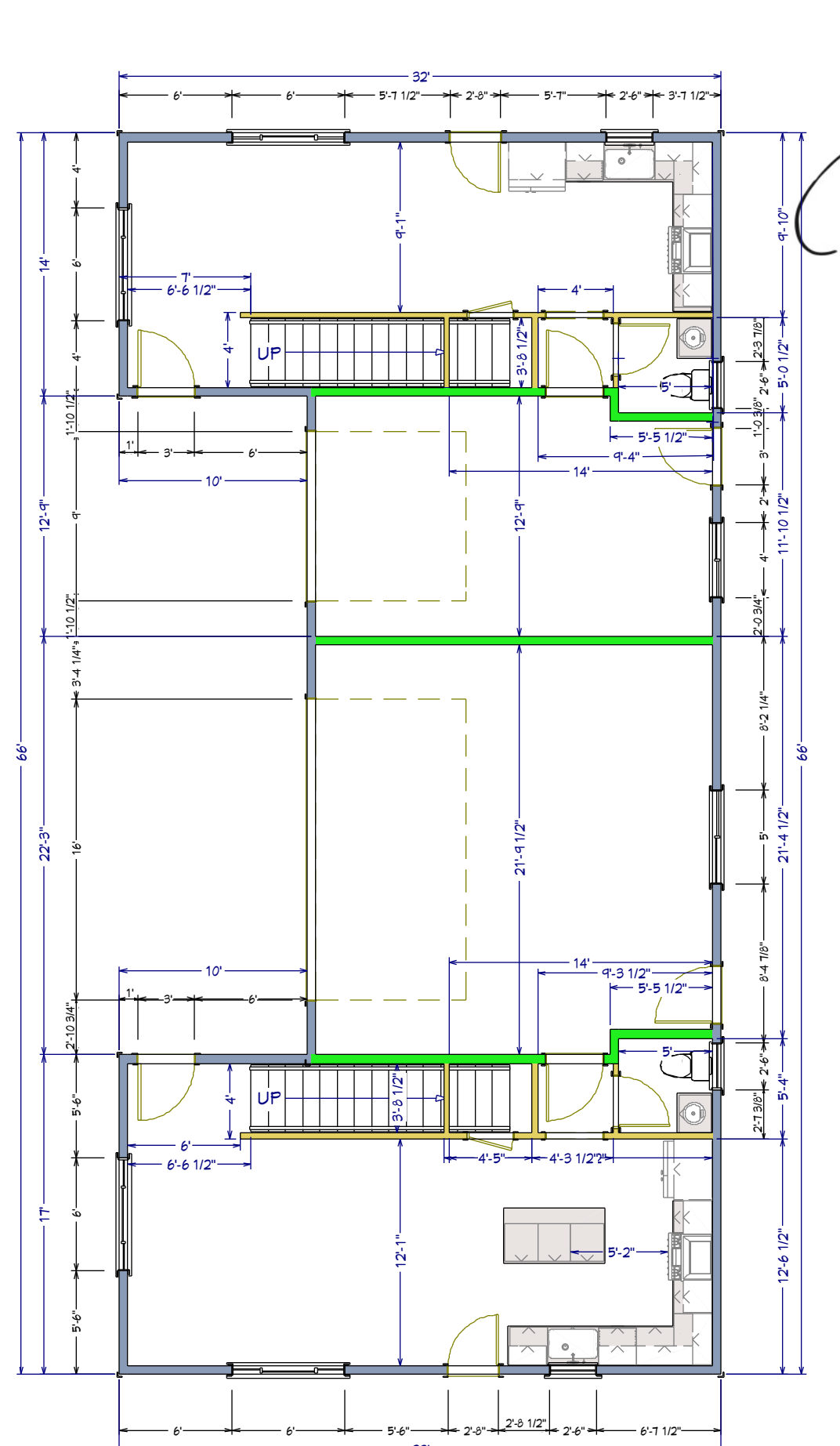


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1ST FLOOR
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DIMENSIONS PLAN/ 1ST FLOOR
SCALE: (1/8" = 1')



1ST FLOOR
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DIMENSIONS PLAN
SCALE: (1/4" = 1')

OAKMONT HOMES
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OAKMONT ST.
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 (530) 559-2684

Dr. Foster

DIMENSIONS PLAN

PERMIT #
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SCALE:

DATE:
 6/20/23

SHEET: 9

BUILDING SECTIONS & ELEVATIONS 6/20/23

- FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF CRC SECTION R027 CLASS (A) REQUIREMENT.
- EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS.
- WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE LATH.
- OPEN/ ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILING, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS.
- SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909.
- WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 26AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM 3909 AND AT LEAST 36 INCHES WIDE RUNNING FULL LENGTH.
- VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/ APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS.
- BUILDING PADS WILL BE GRADED 5% FOR A MINIMUM OF 10' AWAY FROM STRUCTURE.
- CONTINUOUS VENT STRIP IN EAVES, CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND OR EXCEED CRC R806 (TYP).
- A MINIMUM OF 8" CLEARANCE GRADE TO WOOD FRAMING AND SIDING PER CRC R317 (TYP).
- FINISH GRADE 6" MINIMUM FALL WITHIN THE FIRST 10 FEET AWAY FROM ALL STRUCTURES.
- CORROSION RESISTANT WEEP SCREED MINIMUM 4" ABOVE GRADE OR 2" ABOVE PAVED SURFACES.
- EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTE TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD.
- ALL WINDOWS U-FACTORS ARE 0.32 SHGC 0.25
- OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX OPENINGS.
- EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-A-1.
- GARAGE DOOR PERMITTER GAP MAXIMUM 1/8", METAL FLASHING, JAMB AND HEADER OVERLAP, AND WEATHER STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED.
- INSULATION VALUES ARE AS FOLLOWS: WALLS R-19 CEILING R-38 FLOORS R-19
- RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD
- THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE-RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL.
- VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.
- UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I, ASTM D4869 TYPE I, II, III OR IV, ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.
- A MINIMUM 019-INCHING 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/2" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE, THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.
- THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILING SHALL BE NON-COMBUSTIBLE OR PROTECTED BY ONE OF THE FOLLOWING:
 - NONCOMBUSTIBLE MATERIAL
 - IGNITION-RESISTANT MATERIAL
 - ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING BEHIND THE EXTERIOR COVER ON THE UNDERSIDE.
- OF THE CEILING, 4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE
- UNDERSIDE OF THE CEILING ASSEMBLY, 5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957.6, PORCH CEILING ASSEMBLIES WITH
- A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A-

WILDLAND-URBAN INTERFACE 6/20/23

- FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH REQUIREMENTS OF SECTION R027 CLASS (A) REQUIREMENT.
- EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS.
- WHEN STUCCO IS USED ON EXTERIOR, PLASTERING WITH CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE LATH.
- OPEN/ ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILING, FLOOR PROJECTIONS, UNDERFLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS.
- SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909.
- WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 26 AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM 3909 AND AT LEAST 36 INCHES WIDE RUNNING FULL LENGTH.
- VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH, VENTS, OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT. ALL OTHER EAVE VENTS SHALL BE LISTED/ APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING EMBERS.
- EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTE TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD.
- OPERABLE SKYLIGHTS SHALL BE PROTECTED BY NONCOMBUSTIBLE, MESH SCREEN 1/8" MAX OPENINGS.
- EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-A-1.
- GARAGE DOOR PERMITTER GAP MAXIMUM 1/8", METAL FLASHING, JAMB AND HEADER OVERLAP, AND WEATHER STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED.
- RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD
- THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE-RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL.
- VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.
- UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I, ASTM D4869 TYPE I, II, III OR IV, ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.
- A MINIMUM 019-INCHING 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/2" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE, THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- VENT TERMINALS OF DIRECT-VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC. SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION.
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- OF THE CEILING, 4. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE
- UNDERSIDE OF THE CEILING ASSEMBLY, 5. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE TESTED TO ASTM E2957.6
- PORCH CEILING ASSEMBLIES WITH
- A HORIZONTAL UNDERSIDE TESTED PER SFM STANDARD 12-7A-

STAIR AND GUARD RAIL NOTES 6/20/23

- STAIRS SHALL COMPLY TO ALL LOCAL CODES AND ORDINANCES. A MINIMUM WIDTH OF 36" FINISH ON ALL STAIRS AND LANDINGS. PROVIDE APPROPRIATE SIMPSON BRACKETS OR HANGERS AT TOP AND BOTTOM OF STAIRS. WHERE STAIRS LAND ON CONCRETE PROVIDE 2X6 PRESSURE TREATED SLEEPER AT BOTTOM W/3 1/2" SHOTS. STAIRWAYS SHALL HAVE RISERS WITH MAXIMUM HEIGHT OF 7 3/4" & A MINIMUM OF TREAD DEPTH OF 10". A VARIATION OF NO MORE THAN 3/8" BETWEEN THE LARGEST & SMALLEST REQUIRED. THE HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE NOSE OF THE TREAD SHALL BE NOT LESS THAN 34" & NOT MORE THAN 38". OPEN HANDRAILS & GUARDRAILS AT STAIRS, LOFTS, BALCONIES AND OPEN SIDED WALKING SURFACES SHALL BE NOT LESS THAN 42" IN HEIGHT WITH GUARDS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. HANDRAIL AND GUARD ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS. CRC TABLE 301.5. MINIMUM HEADROOM NEEDS TO BE 6'8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS.
- HANDRAILS MAY PROJECT INTO THE REQUIRED 36" A MAXIMUM DISTANCE OF 3 1/2" FROM EACH SIDE OF STAIRWAY. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- THE HAND GRIP PORTION OF THE CIRCULAR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR IF SQUARE THE SHAPE SHALL PROVIDE AN EQUIVALENT PERMITTED DIMENSION OF 4" MIN. TO 6 1/4" MAXIMUM AND A CROSS SECTION OF NOT MORE THAN 2 1/4". THE HAND GRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.
- STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE FOR EVERY STAIRWELL 88" IN WIDTH OR GREATER, AND SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 88" OF WIDTH.
- PROVIDE 42" GUARDRAILS FOR DECKS, BALCONIES, PORCHES, LOFTS, LANDINGS, ETC. WHEN FINISHED FLOOR HEIGHT EXCEEDS 30" FROM FINISHED GRADE OR FINISHED FLOOR BELOW. ANY OPENINGS IN GUARDRAILS SHALL BE SPACE SUCH THAT A 4" SPHERE CANNOT THROUGH.
- ALL WALLS AND SOFFITS OF THE ENCLOSED STAIRWAY SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE HOUR FIRE-RESISTIVE CONSTRUCTION.
- STAIR LANDINGS REQUIRED EVERY 127" OF VERTICAL RISE.
- PROVIDE LANDINGS AT THE TOP/BOTTOM OF THE STAIRWAY THE WIDTH OF THE STAIRWAY. THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM.



FRONT ELEVATION
SCALE: (3/16" = 1')



REAR ELEVATION
SCALE: (3/16" = 1')



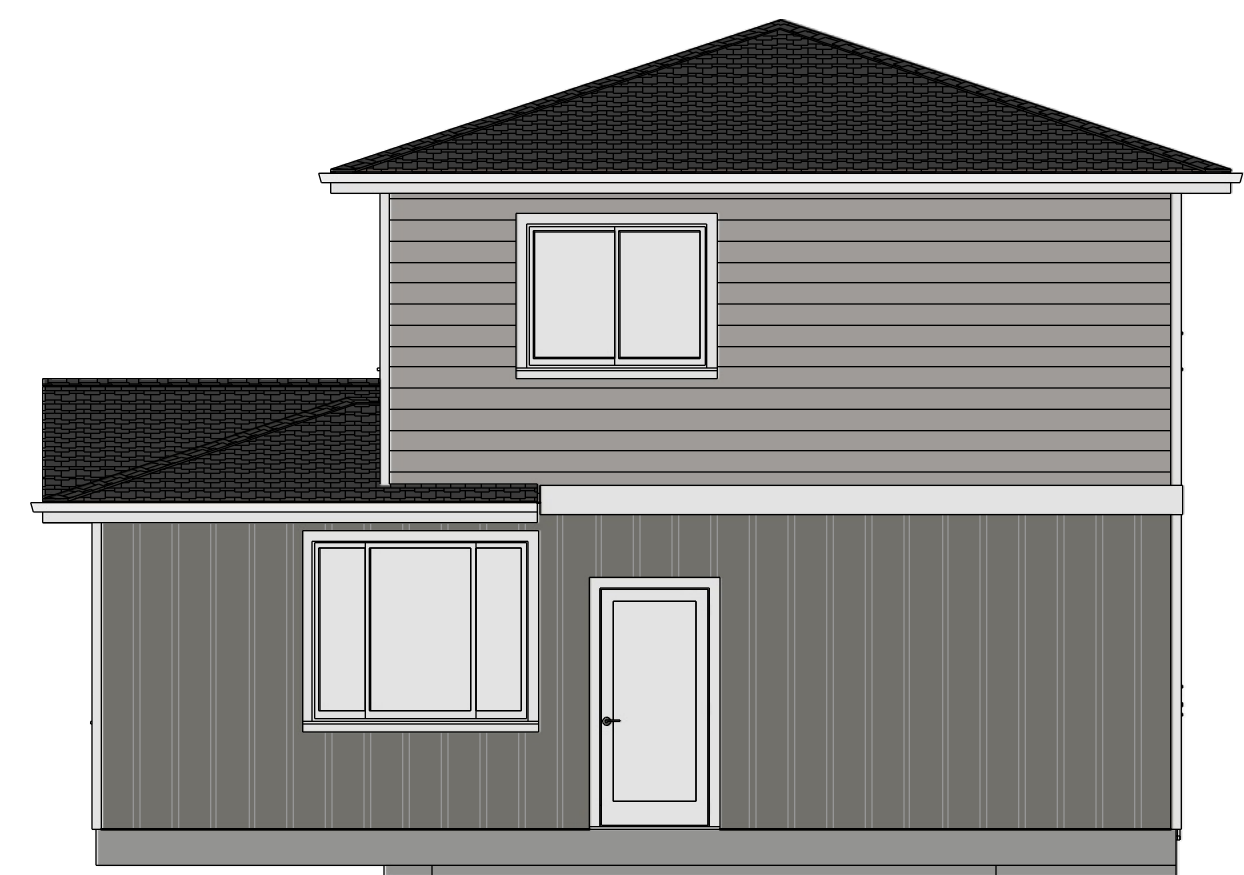
LEFT ELEVATION
SCALE: (3/16" = 1')



RIGHT ELEVATION
SCALE: (3/16" = 1')

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SHEET: 11

D-8

OAKMONT HOMES
2762, 2768, 2752, 2756
OAKMONT ST.
SACRAMENTO CA 95815

DRAWINGS PROVIDED BY
DESIGNS BY FOSTER
25946 ANGELI PL.
GRASS VALLEY CA 95949
designsbyfofoster@gmail.com
(530) 959-2684

ELEVATIONS

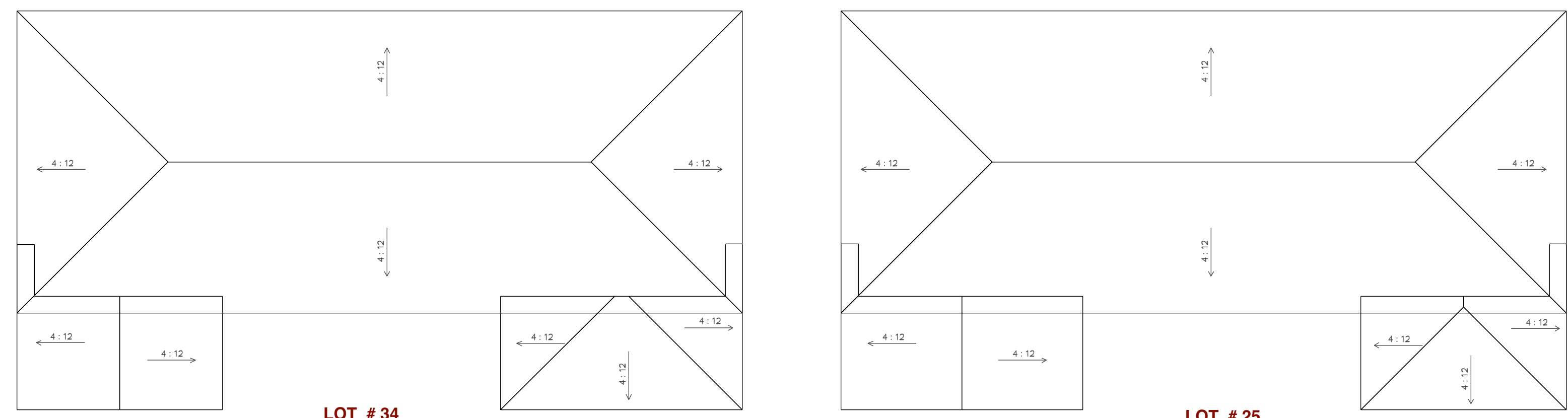
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SCALE:

DATE:
6/20/23

SHEET: 11

D-8



LOT # 34
2762 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-034-000

LOT # 25
2756 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-025-000

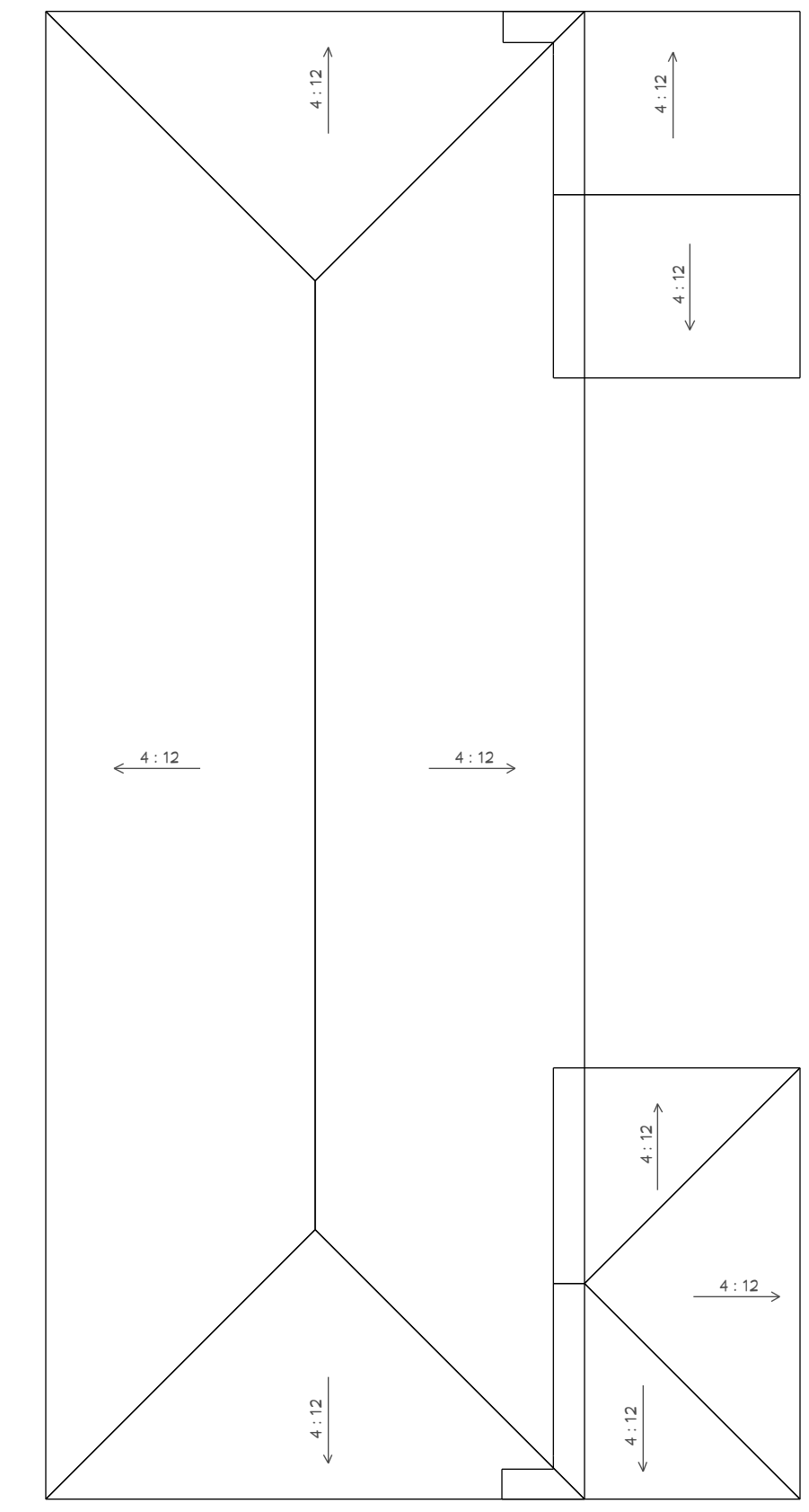
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LANDSCAPE PLAN	5	L-1
FLOOR PLAN	6	D-3
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ROOF NOTES 6/20/23

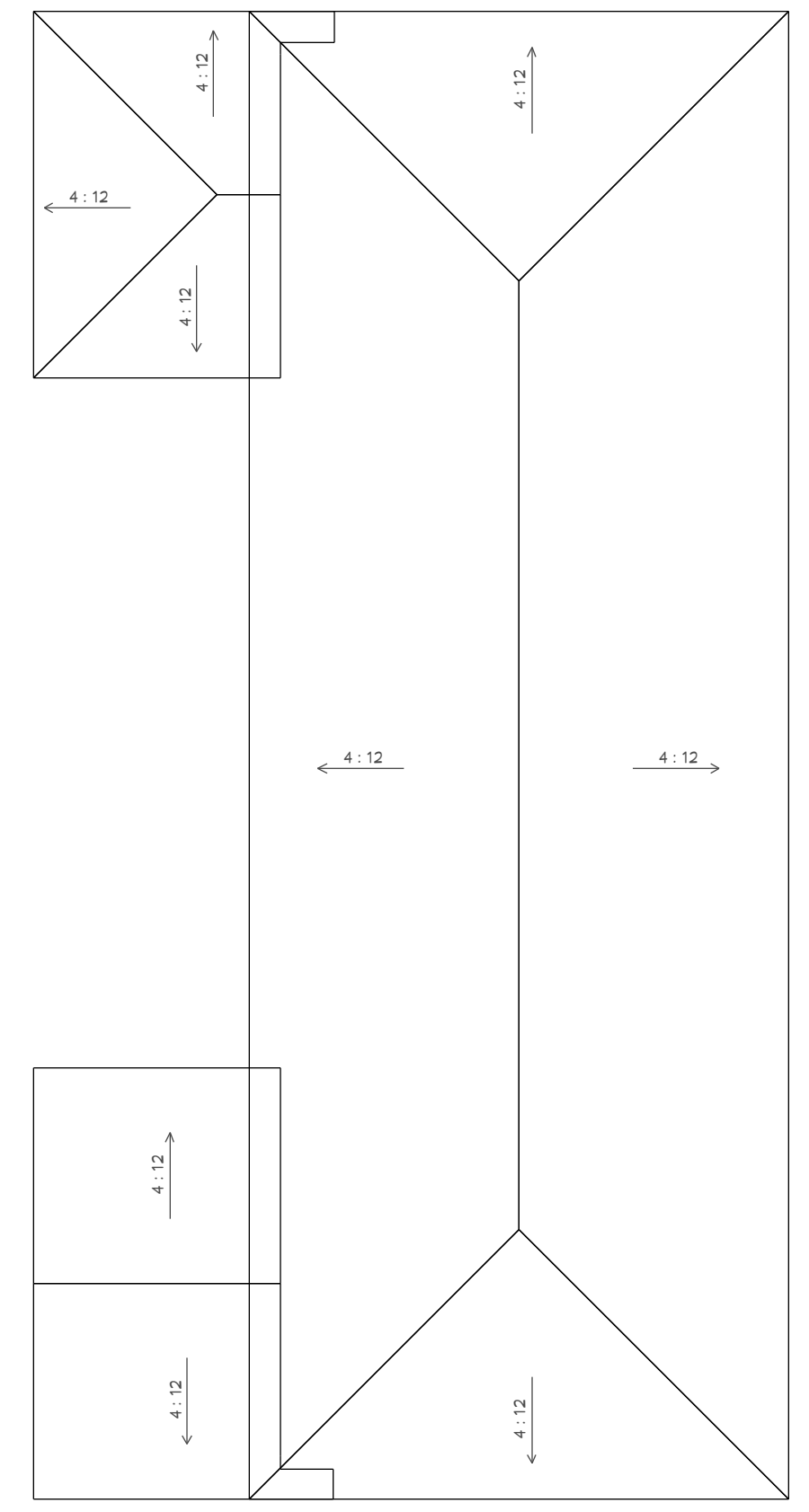
- CONTRACTOR, SUB CONTRACTOR, OR OWNER TO PROVIDE MANUFACTURERS SPECIFICATIONS, INSTALLATION INSTRUCTIONS, AND APPLICABLE ES REPORT OR EQUIVALENT TO BE ON SITE AT TIME OF INSPECTION OF ROOFING MATERIALS.
- FOR WILDFIRE EXPOSURE ALL EXTERIOR MATERIALS (ROOFING) SHALL COMPLY WITH STATE AND LOCAL REQUIREMENTS.
- CONTINUOUS VENT STRIP IN ALL EAVES, CONTINUOUS RIDGE VENT AT ALL RIDGES TO MEET AND EXCEED CRC R806.
- VENTILATION OPENINGS FOR ATTICS, GABLES, AND EAVES ABOVE 12FT. AND UNDER FLOOR VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL WIRE MESH VENTS OR OTHER MATERIALS THAT MEET THE FOLLOWING: DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8". THE VENT MATERIAL SHALL BE NON-COMBUSTIBLE AND CORROSION RESISTANT.
- RAIN GUTTERS AND DOWNSPOUTS PER CRC R801, CPC 1101.1 WITH APPROVED LEAF GUARD.
- UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.

VENTILATION NOTES 6/20/23

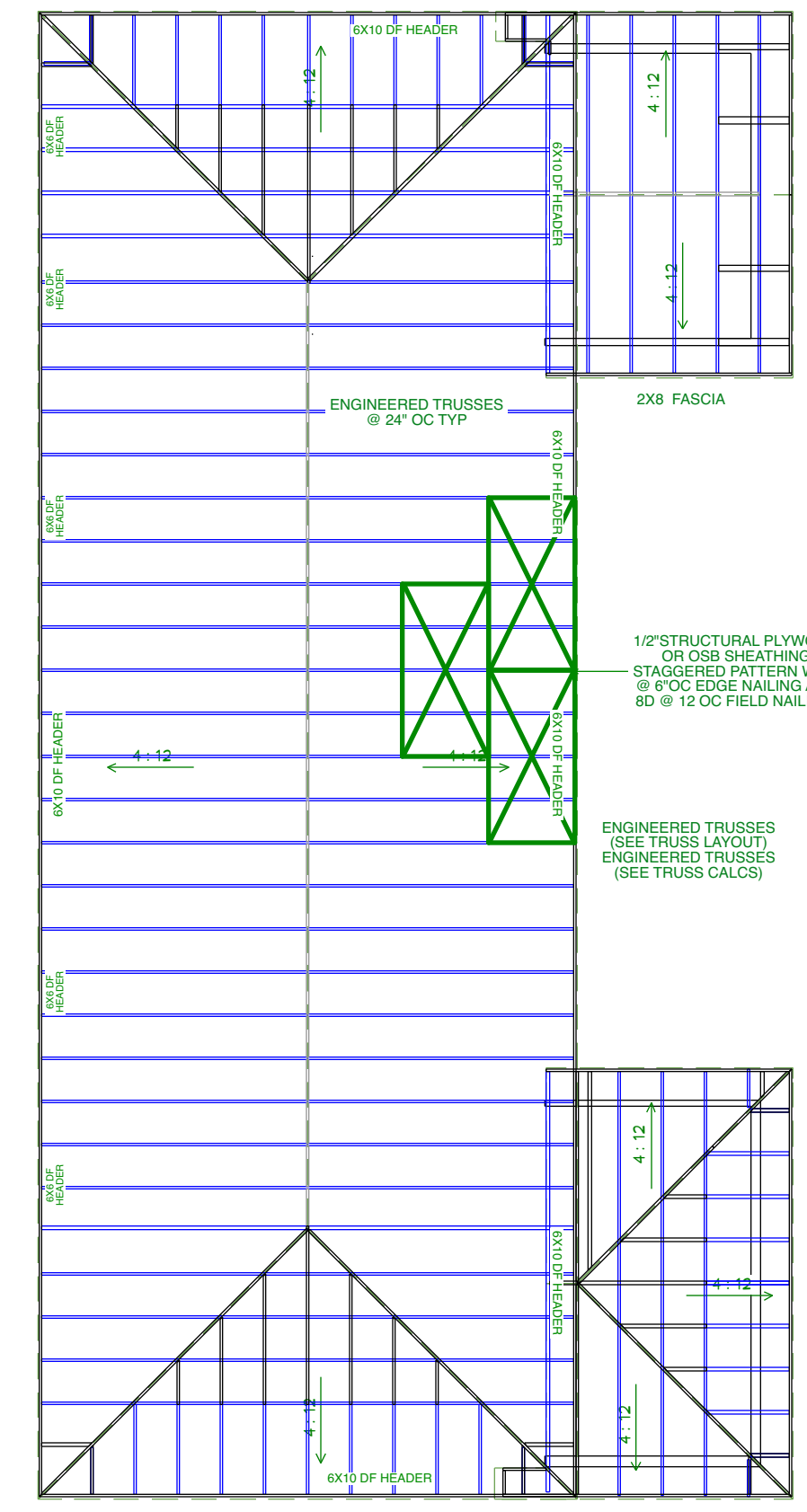
- ALL RESIDENCES SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 62.2-2010.
- ENERGY STAR COMPLIANT QUIET (1.0 SONE MAX.) CEILING MOUNTED BATH FAN OR REMOTE MOUNTED BATH FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.
- MANDATORY MINIMUM VENTILATION RATE FOR BATHROOMS = 50 CFM.
- AT LEAST ONE EXHAUST FAN TO OPERATE CONTINUOUSLY AT 1/8 CFM OR GREATER FOR INDOOR AIR QUALITY.
- UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
- EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH ENERGY STAR APPROVED EQUIPMENT (MINIMUM 50 CFM) WITH A HUMIDISTAT.
- ENCLOSED RAFTER SPACES SHALL HAVE A 1" CLEAR CROSS CONTINUOUS AIR SPACE.
- PROVIDE ATTIC CROSS VENTILATION: MINIMUM 1/8" OF ATTIC AREA OR 1/8" WITH AT LEAST 40% BUT NOT MORE THAN 50% OF VENTS ARE A MAXIMUM 3 FT. BELOW THE RIDGE OR HIGHEST SPACE IN THE ATTIC AND THE BALANCE IS LOCATED IN THE LOWER THIRD OF THE ATTIC SPACE.
- UNDER FLOOR CROSS VENTILATION: 1.0 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. ONE VENTILATION OPENING SHALL BE LOCATED WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING.
- KITCHEN RANGE HOODS MUST BE HVJ RATED AND LIMITED TO 3 SONE IF A HOOD IS PROVIDED ABOVE THE ISLAND COOKTOP IT MUST BE AT LEAST 100 CFM. IF DOWNDRAFT IS INSTALLED, IT MUST BE AT LEAST 300 CFM.
- AIR FILTERS AS PER 17" WITH 2" NOMINAL DEPTH 1" FILTERS ARE ALLOWED, BUT REQUIRE A CALCULATION TO DEMONSTRATE THAT THE FILTER FACE VELOCITY IS LESS THAN 150 FEET PER MINUTE.
- WHEN CLOSABLE GLASS OR METAL DOORS ARE TO BE USED, PROVIDE A READILY ACCESSIBLE FLUE DAMPER CONTROLS; BURNING PILOT LIGHTS AND INDOOR AIR VENTS ARE PROHIBITED.
- BATH AND UTILITY ROOM FANS ARE TO BE CAPABLE OF FIVE AIR CHANGES PER HOUR PER 55 CFM.



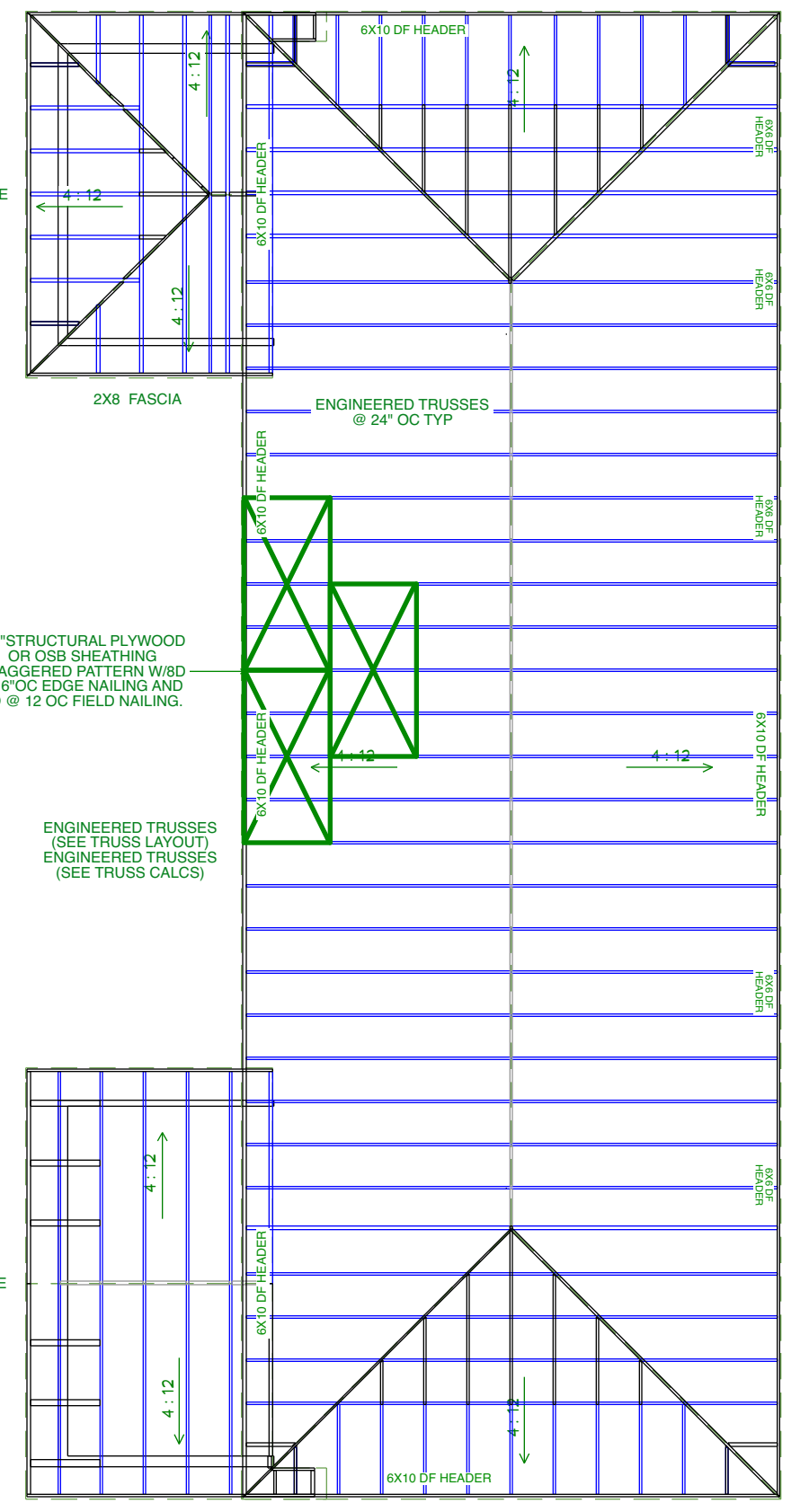
LOT # 32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-032-000



LOT # 24
2752 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-024-000



LOT # 32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-032-000



LOT # 24
2752 OAKMONT ST.
SACRAMENTO CA. 95815
APN #/ 263-0142-024-000

ROOF PLAN
SCALE: (1/8" = 1')

ROOF FRAMING PLAN
SCALE: (1/8" = 1')

OAKMONT HOMES
2762, 2768, 2752, 2756
OAKMONT ST.
SACRAMENTO CA 95815

DRAWINGS PROVIDED BY
DESIGNS BY FOSTER
25946 ANGELI PL.
GRASS VALLEY CA 95949
designsbyfofoster@gmail.com
(530) 959-2684

ROOF FRAMING PLAN

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6/20/23

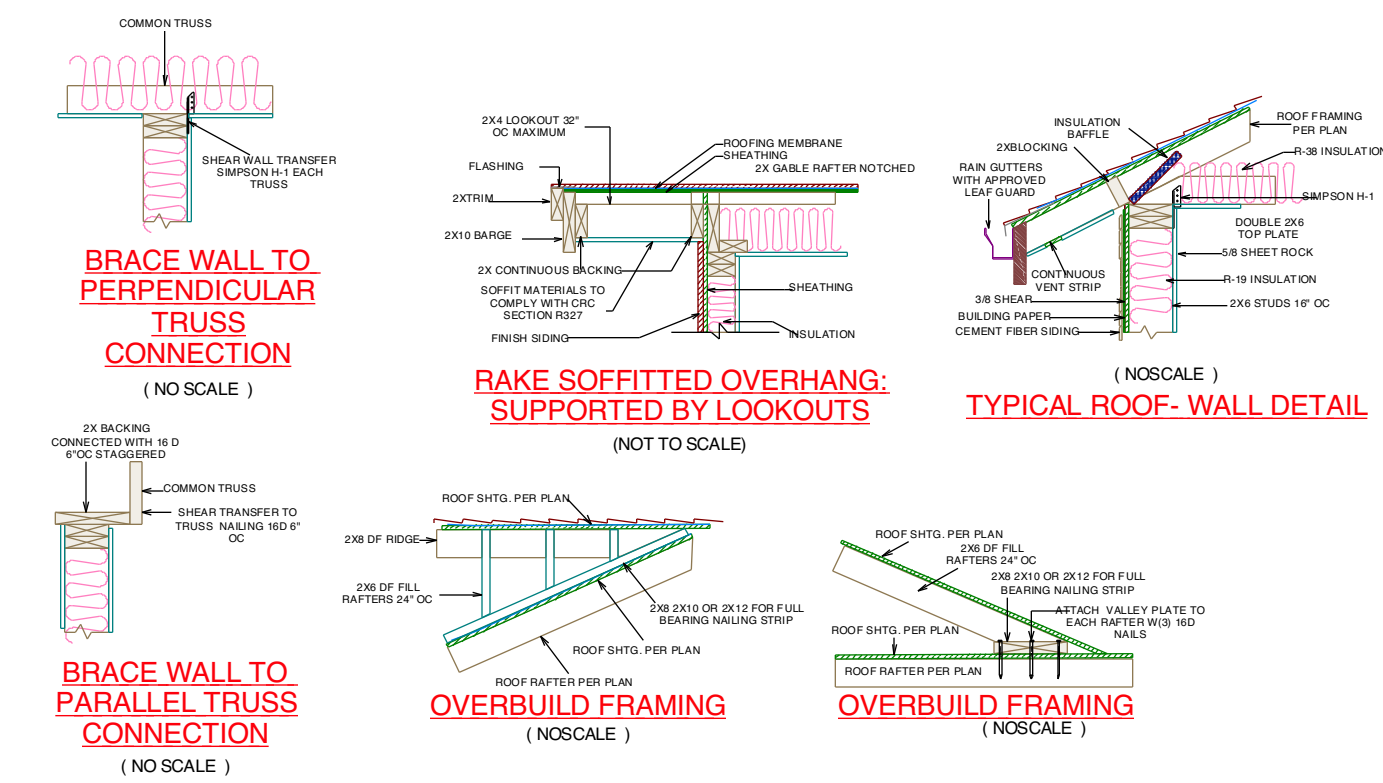
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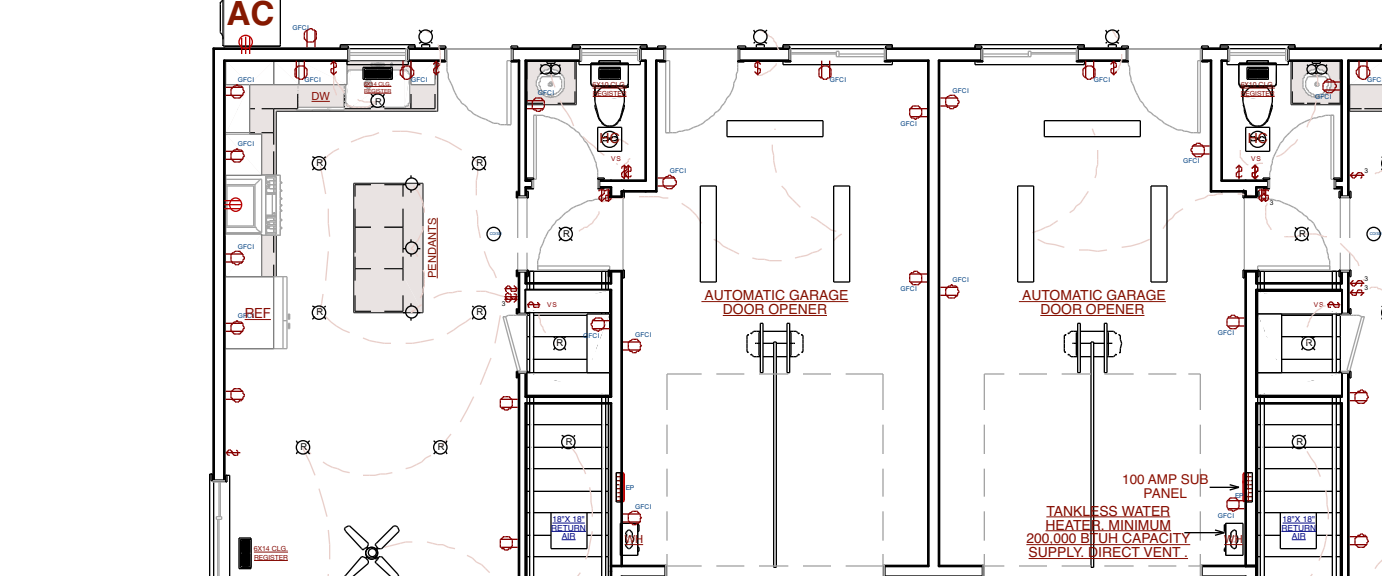
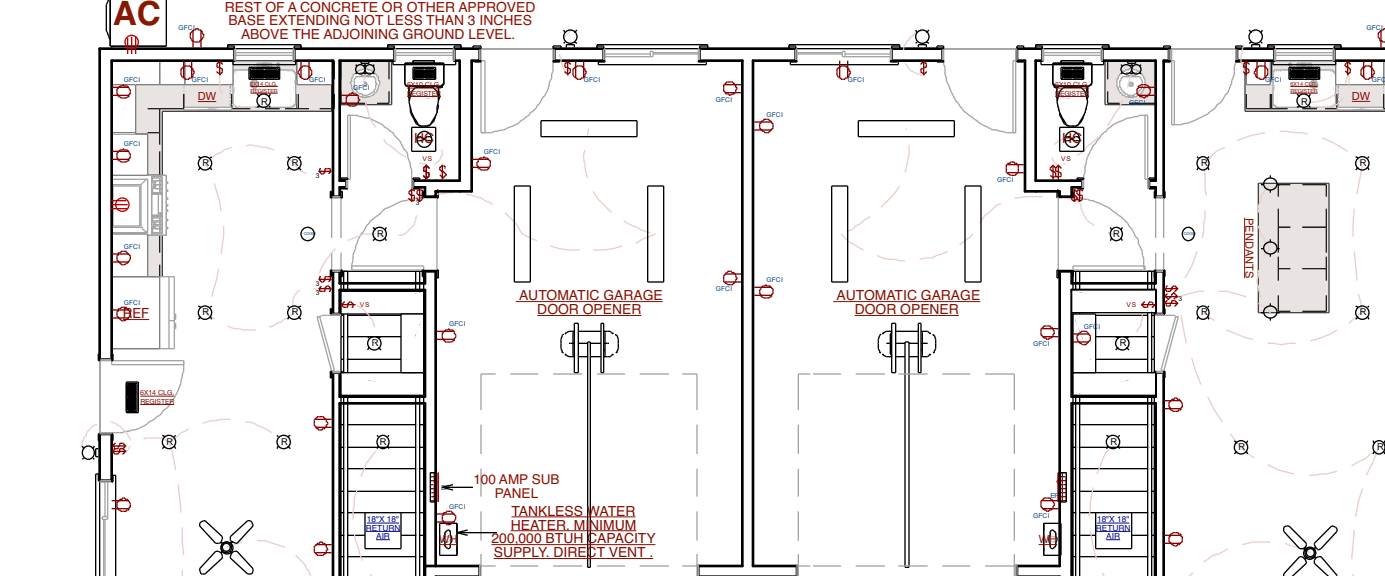
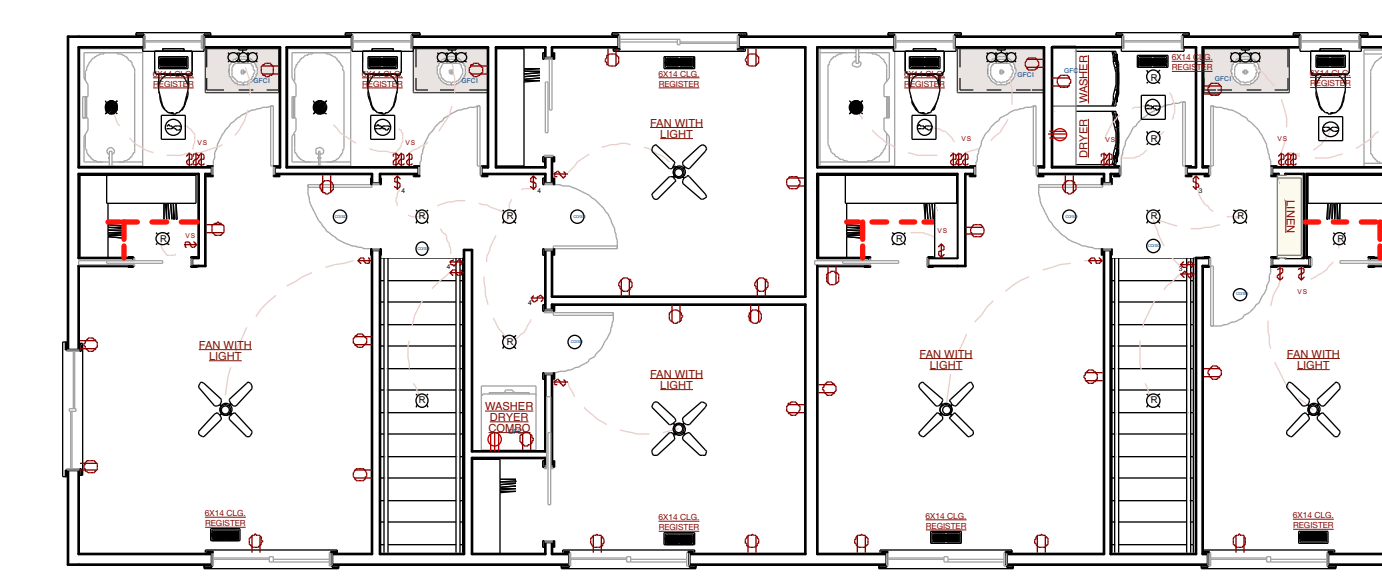
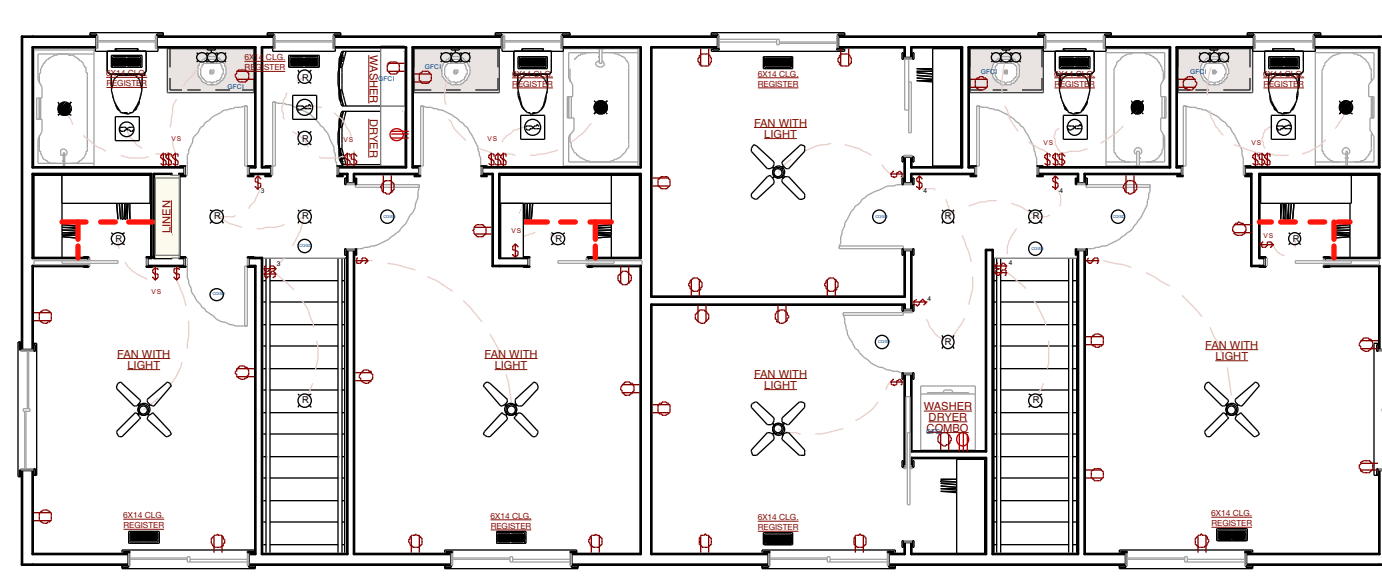
FRAMING AND STRUCTURAL NOTES 6/20/23

- SHEATH ALL EXTERIOR WALLS WITH 3/8" C.D.X. AND NAIL WITH 8D AT 6" O.C. EDGE NAIL, 12" IN O.C. FIELD NAIL OR AS PER SHEAR WALL SCHEDULE. BLOCK ALL EDGES AS REQUIRED, OR AS SPECIFIED BY ENGINEERING SHEAR WALL SCHEDULE.
- 2 AND 4X HORIZONTAL FRAMING IS TO BE D.F. # 2 OR BETTER - U.O.N.
- 3 6X AND 8X HORIZONTAL FRAMING IS TO BE D.F. # 1 OR BETTER - U.O.N.
- 4 ALL POSTS ARE TO BE D.F. # 1 OR BETTER - U.O.N.
- 5 SIMPLE SPAN GLU-LAMINATED BEAMS SHALL BE 24 FXV4-DF/DF-U.O.N.
- 6 CANTILEVERED GLU-LAMINATED BEAMS SHALL BE 24 FXV4DF/DF-U.O.N.
- 7 PROVIDE 4X12 D.F. HEADERS IN 2X4 STUD FRAMED WALLS WITH DOUBLE 2X4 TRIMMERS IF OPENINGS ARE 6 FT. OR MORE - VERIFY WITH PLANS.
- 8 PROVIDE 6X6 D.F. HEADERS IN 2X6 STUD FRAMED WALLS WITH DOUBLE 2X6 TRIMMERS IF OPENINGS ARE 6 FT. OR MORE - VERIFY WITH PLANS.
- 9 PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS I.E.: 4X BEAMS ARE TO BE SUPPORTED BY (2) - 2X4 STUDS OR 4X BEAMS I.E.: 6X AND 8X BEAMS ARE TO BE SUPPORTED BY 6X AND 8X POSTS RESPECTIVELY.
- 10 GLU-LAMINATED BEAMS CERTIFICATES WILL BE REQUIRED @ FRAMING INSPECTION
- 11 PROVIDE BLOCKING BETWEEN ALL FLOOR JOISTS, TRUSSES, AND RAFTERS AT ALL BEARING WALLS, GIRDERS, BEAMS, AND HEADERS.
- 12 BEARING AND EXTERIOR WALL STUDS ARE TO BE CAPPED WITH DOUBLE TOP PLATE AND INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS AND DOUBLE TOP PLATES SHALL BE OFF SET AT LEAST 48 INCH MINIMUM.
- 13 MINIMUM CLEARANCE BETWEEN BOTTOM OF FLOOR JOIST AND THE GROUND SURFACE SHALL BE 18" MINIMUM. MINIMUM CLEARANCE OF FLOOR GIRDERS TO GROUND SURFACE SHALL BE 12" MINIMUM.
- 14 FIRE BLOCK STUD WALLS AND PARTITIONS (INCLUDING FURRED SPACES) AT FLOOR, CEILING, SOFFITS, AND AT MID HEIGHT IN WALLS OVER 10' IN HEIGHT.
- 15 NOTCHING OF BEARING WALLS SHALL NOT EXCEED 25% OF STUD AND BORED HOLES SHALL NOT EXCEED 40% OF STUD.
- 16 NOTCHING OF NON BEARING WALLS SHALL NOT EXCEED 40% OF STUD AND BORED HOLES SHALL NOT EXCEED 60% OF STUD.
- 17 FOUNDATION BEAMS SHALL BE 2X6 DOUG FIR AT 16" O.C. WITH A MINIMUM LENGTH OF 14" STUDS LESS THAN 14" SHALL BE SHEATHED WITH A MINIMUM OF 3/8" PLYWOOD OR OSB EQUIVALENT BOTH SIDES OR SOLID BLOCKERS.
- 18 WALLS BETWEEN HOUSE AND GARAGE ARE TO BE 2X6 DF STUDS AT 16" O.C. U.O.N.
- 19 ALL MEMBERS ARE TO BE FRAMED, ANCHORED, TIED AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THEY ARE USED.
- 20 ALL TOP PLATES OF STUD WALLS SHALL BE A MINIMUM OF 48" LONG AND NAILED WITH (16) 16D AT EACH SIDE OF EACH SPLICE PER CRC R802.3.2 OR BETTER ALL INTERSECTING WALLS NOT AT 90 DEGREES WITH RESPECT TO EACH OTHER, SHALL BE STRAPPED TOGETHER WITH SIMPSON MST-27 STRAPS U.O.N. - ALL STRAPS ARE TO BE CENTERED AT SPLICE.
- 21 JOINTS IN DOUBLE TOP PLATE OF STUD WALLS SHALL OCCUR AT THE CENTER LINE.
- 22 PROVIDE POSITIVE TYPICAL BEAM CONNECTION WITH SIMPSON HARDWARE I.E.: COP, BC AC, PC, L OR EQUIVALENT.
- 23 POST TO BEAM CONNECTIONS POSITIVE CONNECTION SHALL PROVIDED TO ENSURE UPLIFT AND LATERAL DISPLACEMENT (R502.9 & CBC204.9.7).
- 24 MINIMUM NAILING REQUIREMENTS SHALL CONFORM TO 2016 C.R.C. TABLE.
- 25 WHERE MULTIPLE 2X JOISTS ARE STITCHED TOGETHER - FOR 2X USE (2) - 16D AT 12" O.C. FOR 4 OR MORE - USE (2) - 1/2" THROUGH BOLTS WITH NUTS AND WASHERS AT 24" O.C.
- 26 SHEATHINGS USED IN CONSTRUCTION OF SHEAR WALLS TO BE 4X8 MINIMUM EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MINIMUM IS TO BE 2X4.
- 27 FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEAR WALLS.
- 28 DO NOT BREAK FACE PLATE WHEN NAILING ANY SHEAR WALLS.
- 29 MOISTURE CONTENT OF LUMBER NOT TO EXCEED 19% AT THE TIME OF CONSTRUCTION.
- 30 ALL FRAMING MEMBERS USED IN THE CONSTRUCTION OF SHEAR WALLS MUST BE DOUG FIR OR SPF FRAMING UNLESS NOTED ON FRAMING PLANS.

ROOF FRAMING NOTES 6/20/23

- PRE-MANUFACTURED TRUSSES ARE TO BE DESIGNED BY TRUSS MANUFACTURER, WHEN APPLICABLE PROVIDE TRUSSES AT TIME OF FRAMING INSPECTION.
- ALL TRUSSES TO BE CONNECTED TO TOP PLATE BY SIMPSON H-18 FOR A MINIMUM RESISTANCE TO UPLIFT RESISTANCE OF NOT LESS THAN 175 POUNDS CRC R802.8 (TYP)
- ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE DOCUMENT
- ROOF SHEATHING TO BE 1/2" O.S.B. OR 1/2" CDX WITH RADIANT BARRIER AND NAILED WITH 8D AT 6" O.C. EDGE NAIL, 12" O.C. FIELD NAIL UNLESS OTHERWISE NOTED.
- STAGGER ALL END JOINTS AND RUN SHEETS PERPENDICULAR TO DIRECTION OF THE FRAMING.
- 1/4" MICROLAM AND PARALAM ARE TRADEMARKS OF TRADE JOIST MACMILLAN AND CAN BE SUBSTITUTED WITH EQUIVALENT MATERIAL FROM OTHER MANUFACTURE, WITH ENGINEERS APPROVAL.
- PROVIDE EDGE NAILING TO ALL BLOCKING OR RIM JOISTS, CONNECT ALL BLOCKING OR RIM JOISTS, WHICH OCCUR IN SHEAR WALL LINES, TO TOP PLATES WITH SIMPSON A-35 FRAMING CLIPS AT 16" O.C. UNLESS OTHERWISE NOTED.
- PROVIDE CONTINUOUS BLOCKING OVER ALL BEARING WALLS, BEAMS, GIRDERS, HEADERS, AND SHEAR WALLS.
- PROVIDE 2"X30" MINIMUM ATTIC ACCESS WITH 30" MINIMUM ABOVE OPENING
- PROVIDE 1 SQ. FT. VENT AREA PER 150 SQ. FT. OF ATTIC SPACE FOR VENTILATION
- PROVIDE PURLING OF THE SAME SIZE MATERIAL AS SUPPORTED RAFTERS, BRACE TO BEARING LOCATIONS WITH STRUTS AT 6" O.C. MAXIMUM STUDS TO BE SAME SIZE AS SUPPORTED RAFTERS AND SHALL BE BRACED WHERE LENGTHS EXCEED 6'
- PROVIDE MINIMUM DOUBLE 2X POST AT EACH END OF ALL GIRDER TRUSSES
- CONTINUOUS VENT STRIP IN ALL EAVES CONTINUOUS RIDGE VENT AT ALL RIDGES MEETING AND SURPASSING CRC R806 (TYP)
- DOUBLE TOP PLATE OVERLAPPING AND SPLICING REQUIREMENTS PER CODE OR BETTER, ANY THING LESS SHALL BE ACCOMPANIED BY ENGINEERING (TYP)
- ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH #2 AND LARGER LUMBER SHALL BE DOUGLAS FIR #1 OR BETTER U.O.N.
- ALL COLUMNS SHALL EXTEND DOWN THROUGH THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THEY ARE SUPPORTING.
- ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECTION TO TOP OF WALL WITH SIMPSON BRACKET





2ND FLOOR

LOT #34
2762 OAKMONT ST.
SACRAMENTO CA. 95815
APN # 263-0142-034-000

ELECTRICAL NOTES 6/20/23

- 1 ALL WORK SHALL BE IN ACCORDANCE WITH CODES, RULES, AND REGULATIONS AND COMPLY WITH THE 2022 C.E.C. CODE REQUIREMENTS.
2 ALL EQUIPMENT SHALL BE INSTALLED TO WEATHER SHALL BE ON G.F.I. CIRCUIT AND WEATHERPROOF.
3 ALL OUTLETS IN GARAGE, LAUNDRY, KITCHEN AND BATHROOMS ARE TO HAVE G.F.I. AND A F.C.T. RECEPTACLES AND IN KITCHEN AND BATHROOMS SHALL BE INSTALLED ABOVE COUNTERTOPS.
4 TAMPER RESISTANT OUTLETS ARE REQUIRED AT ALL NEW CIRCUITS. PROVIDE TAMPER RESISTANT RECEPTACLES IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, ATTIC AND OUTDOOR AREA.
5 INSTALL ALDIBRE SMOKE DETECTORS ON INTERCONNECTED WIRING 110V CIRCUIT WITH BATTERY BACKUP.
6 IN ALL BEDROOMS IS CENTRALLY LOCATED IN ALL CORRIDORS AT TIME OF INSTALLATION. THE SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL.
7 IN A 4 DWELLING UNIT WHERE THE CEILING HEIGHT OF ANY ROOM OVER 10 FEET HIGH SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE SMOKE ALARMS ARE TO BE LOCATED AT THE HIGHEST POINT IN THE AREA SERVED OR AS SPECIFIED BY MANUFACTURER.
8 WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN AREA, THE SMOKE ALARMS SHALL BE INTERCONNECTED.
9 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES AND WITH ATTACHED GARAGES.
10 CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A 4-PRONG OUTLET ARE REQUIRED FOR DRIVERS AND COOKING UNITS.
11 PROVIDE 110 VOLT OUTLET FOR WATER HEATER AND HEATING EQUIPMENT.
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19 PROVIDE 110 VOLT OUTLET FOR WATER HEATER AND HEATING EQUIPMENT.
20 ALL LIGHTING RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) AND AIR TIGHT PER THE 2022 MANDATORY ENERGY REQUIREMENTS.

2ND FLOOR

LOT #25
2756 OAKMONT ST.
SACRAMENTO CA. 95815
APN # 263-0142-025-000

1ST FLOOR

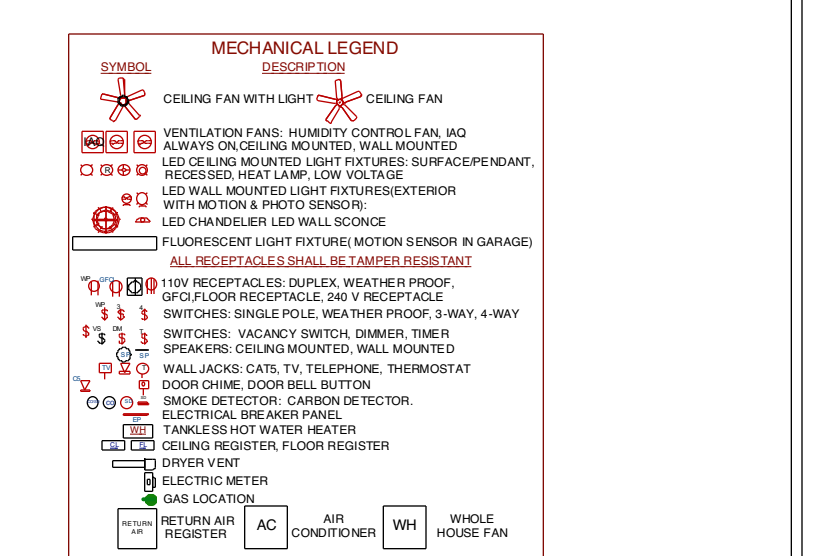
LOT #34
2762 OAKMONT ST.
SACRAMENTO CA. 95815
APN # 263-0142-034-000

1ST FLOOR

LOT #25
2756 OAKMONT ST.
SACRAMENTO CA. 95815
APN # 263-0142-025-000

VENTILATION NOTES 6/20/23

- 1 ALL RESIDENCES SHALL MEET THE REQUIREMENTS OF ANSASHRAE STANDARD 62-2010.
2 ENERGY STAR COMPLIANT QUIET (1) 10 SONE MAX. CEILING MOUNTED BATH FAN OR REMOTE MOUNTED BATH FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.
3 MANDATORY MINIMUM VENTILATION RATE FOR BATHROOMS +40 CFM.
4 AT LEAST ONE EXHAUST FAN TO OPERATE CONTINUOUSLY AT 118 CFM OR GREATER FOR INDOOR AIR QUALITY.
5 UNLESS FUNCTIONAL AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 60 PERCENT.
6 EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH ENERGY STAR APPROVED EQUIPMENT (MINIMUM 50 CFM) WITH A INTEGRAL HUMIDISTAT INSTALLED.
7 40% EFFICIENT RADIANT SPACES SHALL HAVE A CLEAR CROSS CONTINUOUS AIR SPACE ABOVE THE ISLAND AND COOKTOP (IT MUST BE AT LEAST 100 CFM, IF DOWNDRAFT IS INSTALLED, IT MUST BE AT LEAST 300 CFM).
8 AT LEAST ONE EXHAUST FAN TO OPERATE CONTINUOUSLY AT 118 CFM OR GREATER FOR INDOOR AIR QUALITY.
9 UNLESS FUNCTIONAL AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 60 PERCENT.
10 UNDER FLOOR CROSS VENTILATION: 1 SQ. FT. FOR EACH 100 SQ. FT. OF UNDER FLOOR AREA ONE VENTILATION OPENING SHALL BE LOCATED WITHIN THREE (3) FEET OF EACH WALL OF THE BUILDING.
11 KITCHEN RANGE HOODS MUST BE IN VENTILATED AND LIMITED TO 3 SONE. IF A HOOD IS PROVIDED ABOVE THE ISLAND AND COOKTOP (IT MUST BE AT LEAST 100 CFM, IF DOWNDRAFT IS INSTALLED, IT MUST BE AT LEAST 300 CFM).
12 AIR FILTERS AS MERV 13 WITH A 7" NOMINAL DEPTH - FILTERS ARE ALLOWED, BUT PROVIDE A CALCULATION TO DEMONSTRATE THAT THE FILTER FACE VELOCITY IS LESS THAN 100 PER MINUTE.
13 WHEN CLOSING GLASS OR METAL DOORS ARE TO BE USED, PROVIDE A READILY ACCESSIBLE FLEX DAMPER, CONTINUOUSLY BURNING PILOT LIGHTS AND INDICATOR LIGHTS ARE PROHIBITED.
14 BATHROOM AND UTILITY ROOM FANS ARE TO BE CAPABLE OF FIVE AIR CHANGES PER HOUR PER AND 50 CFM.

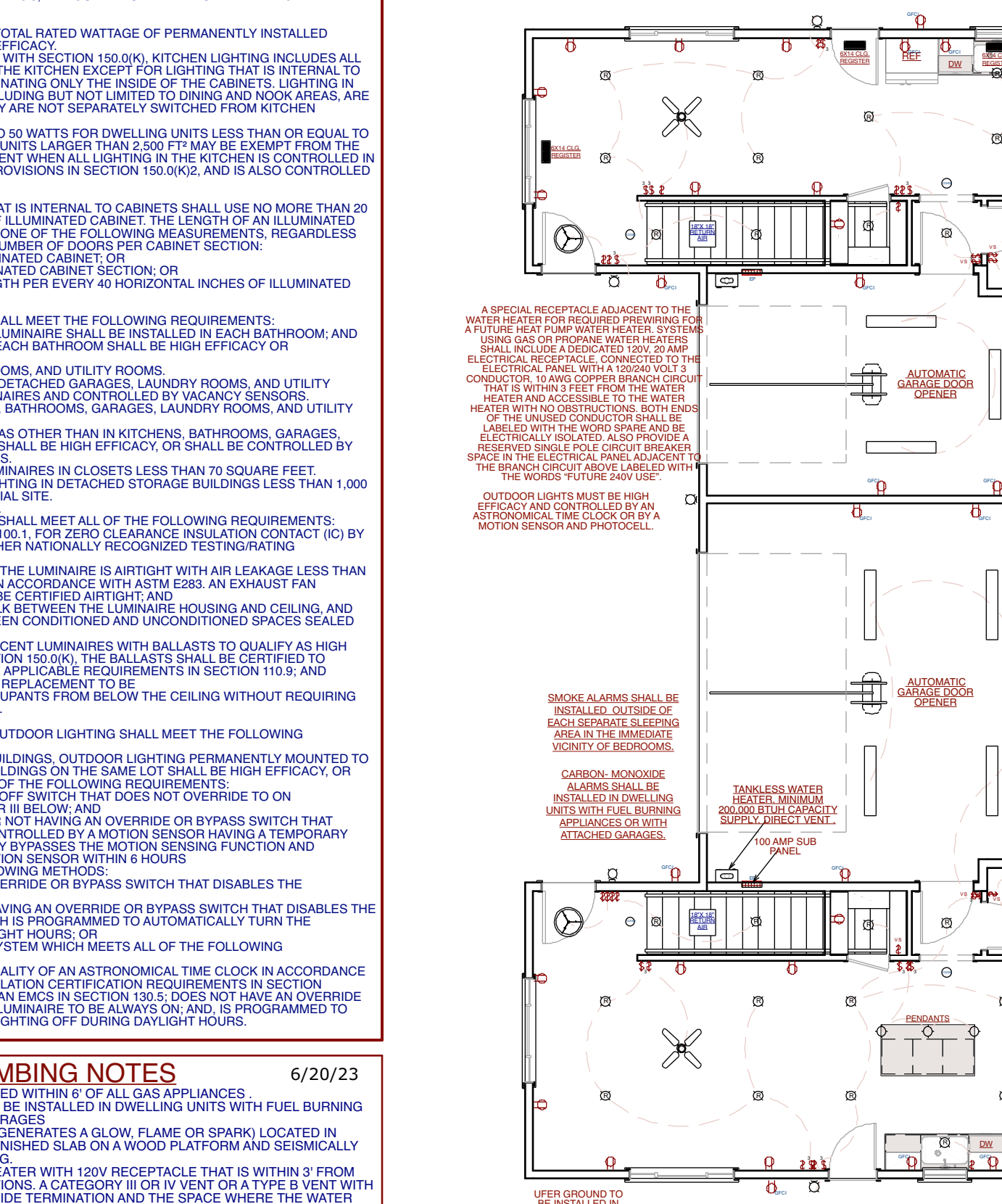
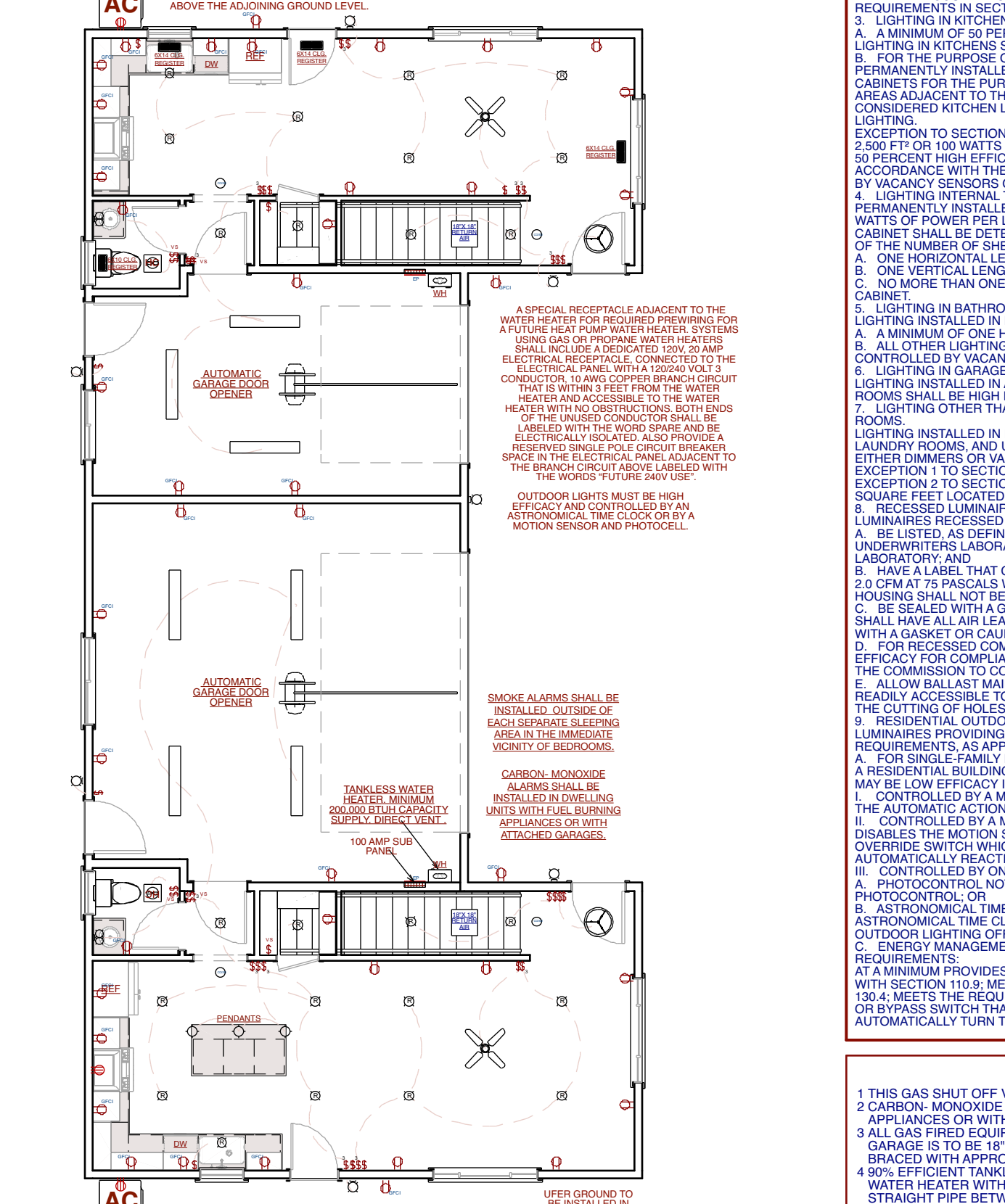
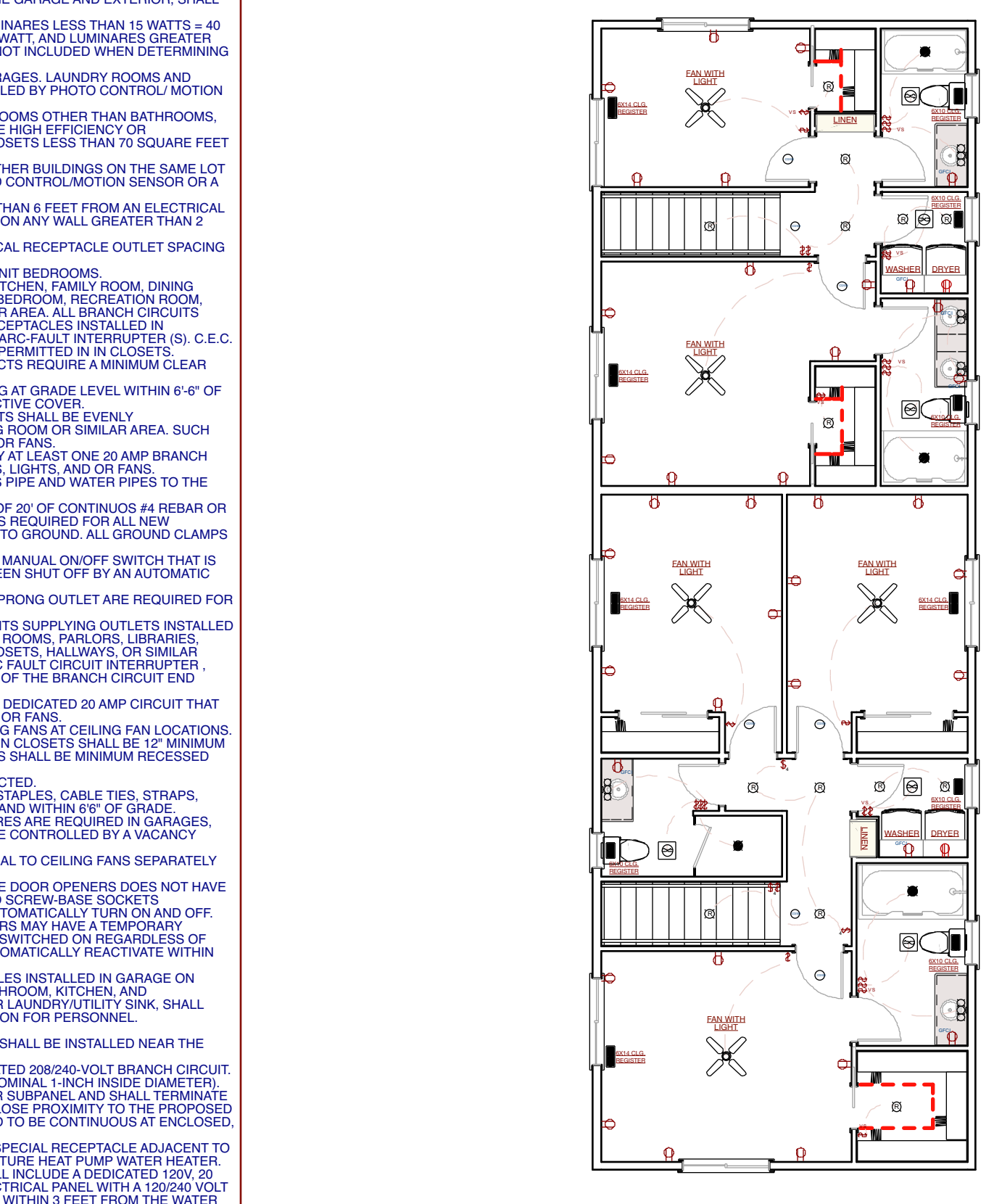
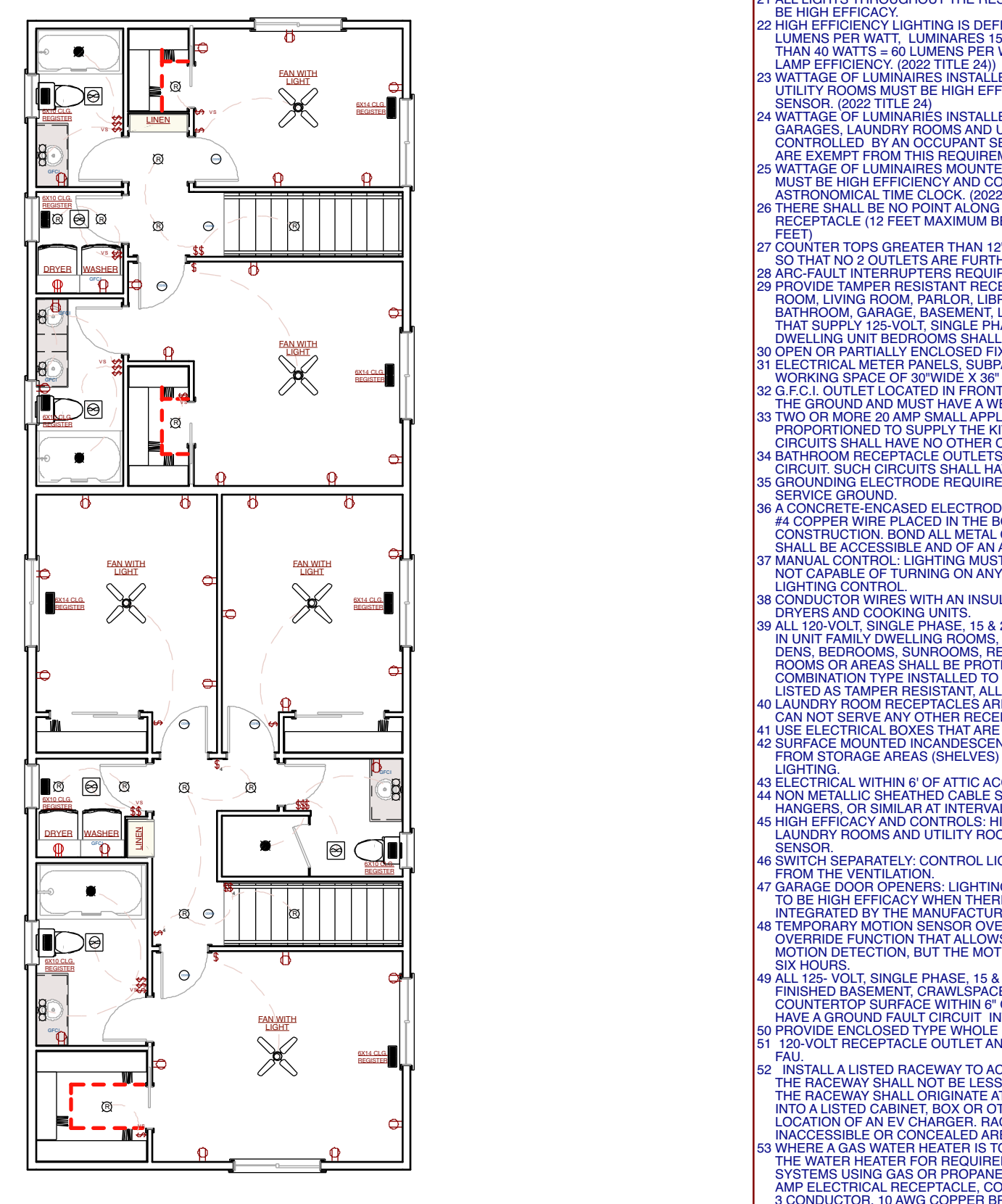


RESIDENTIAL LIGHTING NOTES 6/20/23

- 1. LUMINAIRE REQUIREMENTS
A. LUMINAIRE EFFICACY
B. RECESSED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY OR LOW-EFFICACY FOR COMPLIANCE WITH SECTION 150.0(K) IN ACCORDANCE WITH TABLE 150.0-A OR TABLE 150.0-B, AS APPLICABLE.
C. NIGHT LIGHTS.
D. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.
E. TAMPER RESISTANT OUTLETS ARE REQUIRED AT ALL NEW CIRCUITS. PROVIDE TAMPER RESISTANT RECEPTACLES IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, ATTIC AND OUTDOOR AREA.
F. INSTALL ALDIBRE SMOKE DETECTORS ON INTERCONNECTED WIRING 110V CIRCUIT WITH BATTERY BACKUP.
G. IN ALL BEDROOMS IS CENTRALLY LOCATED IN ALL CORRIDORS AT TIME OF INSTALLATION. THE SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL.
H. IN A 4 DWELLING UNIT WHERE THE CEILING HEIGHT OF ANY ROOM OVER 10 FEET HIGH SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE SMOKE ALARMS ARE TO BE LOCATED AT THE HIGHEST POINT IN THE AREA SERVED OR AS SPECIFIED BY MANUFACTURER.
I. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN AREA, THE SMOKE ALARMS SHALL BE INTERCONNECTED.
J. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES AND WITH ATTACHED GARAGES.
K. CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A 4-PRONG OUTLET ARE REQUIRED FOR DRIVERS AND COOKING UNITS.
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X. PROVIDE 110 VOLT OUTLET FOR WATER HEATER AND HEATING EQUIPMENT.
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MECHANICAL NOTES 6/20/23

- 1 HERE'S TEST REQUIRED IN ALL NEW DUCT SYSTEMS.
2 INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD REPRESENTATIVE AT THE TIME OF INSPECTION.
3 HVAC SYSTEM TO BE DESIGNED BY A MECHANICAL ENGINEER OR A LICENSED HVAC CONTRACTOR. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70 DEGREES F AT LEAST 3' ABOVE FLOOR IN ALL HABITABLE ROOMS.
4 MECHANICAL EQUIPMENT LOCATED IN AN ATTIC OR BASEMENT ARE REQUIRED TO BE WITHIN AT LEAST ONE (1) FEET ABOVE FINISHED FLOOR OR CEILING OF ANY ROOM OPEN TO THE CONTROL SIDE OF THE UNIT. PROVIDE 24" X 34" THICK CATWALK FROM ATTIC ACCESS TO PLATFORM.
5 HVAC UNIT SHALL HAVE A MINIMUM AFUE OF 90 AND A MIN. SEEN OF 14.0. DUCTS SHALL HAVE A MINIMUM R-4 VALUE INSULATION. (SEE ENERGY CALCULATIONS).
6 TERMINATE ALL ENVIRONMENTAL AIR DUCTS A MINIMUM OF 3" FROM ANY PROPERTY LINE OR ANY OPERATING INTO THE BUILDING. DRIVERS, BATH FANS, EXHAUST FANS, ETC. MUST BE 3' AWAY FROM DOORS, WINDOWS, OPENABLE SKYLIGHTS OR ATTIC VENTS.
7 MECHANICAL PARTS MUST BE THROUGH AIR ACCESS.
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2ND FLOOR

LOT #32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN # 263-0142-032-000

2ND FLOOR

LOT #24
2752 OAKMONT ST.
SACRAMENTO CA. 95815
APN # 263-0142-024-000

1ST FLOOR

LOT #32
2768 OAKMONT ST.
SACRAMENTO CA. 95815
APN # 263-0142-032-000

1ST FLOOR

LOT #24
2752 OAKMONT ST.
SACRAMENTO CA. 95815
APN # 263-0142-024-000

PLUMBING NOTES 6/20/23

- 1 THIS GAS SHUT OFF VALVE REQUIRED WITHIN 6' OF ALL GAS APPLIANCES.
2 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES.
3 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL BURNING APPLIANCES OR WITH ATTACHED GARAGES.
4 80% EFFICIENT TANKLESS WATER HEATER WITH 120V RECEPTACLE THAT IS WITHIN 3' FROM A CONDUIT, 10 AWG COPPER BRANCH CIRCUIT THAT IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS. BOTH ENDS OF THE UNINSULATED CONDUCTOR SHALL BE LABELED WITH THE WORD SPARE AND BE ELECTRICALLY ISOLATED. ALSO PROVIDE A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE BRANCH CIRCUIT AND LABELED WITH THE WORDS 'FUTURE 240V USE'.
5 TAMPER RESISTANT OUTLETS ARE REQUIRED AT ALL NEW CIRCUITS. PROVIDE TAMPER RESISTANT RECEPTACLES IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, ATTIC AND OUTDOOR AREA.
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MECHANICAL PLAN/ 2ND FLOOR

SCALE: (1/8" = 1')

MECHANICAL PLAN

SCALE: (1/8" = 1')

MECHANICAL PLAN/ 1ST FLOOR

SCALE: (1/8" = 1')

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