



OFFERING MEMORANDUM

MERIDIAN APARTMENTS

MULTIFAMILY PROPERTY FOR SALE

OKLAHOMA CITY, OK 73127



918.370.2877 | [MOREAUPROPERTYADVISORS.COM](https://www.moreaupropertyadvisors.com)
320 SOUTH BOSTON AVENUE STE 1030-9
TULSA, OK

TABLE OF CONTENTS

TABLE OF CONTENTS

PROPERTY SUMMARY	3
ADDITIONAL PHOTOS	4
LOCATION MAP	5
FINANCIAL SUMMARY	6
INCOME & EXPENSES	7
UNIT MIX SUMMARY	8
DEMOGRAPHICS MAP & REPORT	9

CONFIDENTIALITY & DISCLAIMER

All materials and information received or derived from Moreau Property Advisors its directors, officers, agents, advisors, affiliates and/or any third party sources are provided without representation or warranty as to completeness, veracity, or accuracy, condition of the property, compliance or lack of compliance with applicable governmental requirements, developability or suitability, financial performance of the property, projected financial performance of the property for any party's intended use or any and all other matters.

Neither Moreau Property Advisors its directors, officers, agents, advisors, or affiliates makes any representation or warranty, express or implied, as to accuracy or completeness of the any materials or information provided, derived, or received. Materials and information from any source, whether written or verbal, that may be furnished for review are not a substitute for a party's active conduct of its own due diligence to determine these and other matters of significance to such party. Moreau Property Advisors will not investigate or verify any such matters or conduct due diligence for a party unless otherwise agreed in writing.

EACH PARTY SHALL CONDUCT ITS OWN INDEPENDENT INVESTIGATION AND DUE DILIGENCE.

Any party contemplating or under contract or in escrow for a transaction is urged to verify all information and to conduct their own inspections and investigations including through appropriate third party independent professionals selected by such party. All financial data should be verified by the party including by obtaining and reading applicable documents and reports and consulting appropriate independent professionals. Moreau Property Advisors makes no warranties and/or representations regarding the veracity, completeness, or relevance of any financial data or assumptions. Moreau Property Advisors does not serve as a financial advisor to any party regarding any proposed transaction. All data and assumptions regarding financial performance, including that used for financial modeling purposes, may differ from actual data or performance. Any estimates of market rents and/or projected rents that may be provided to a party do not necessarily mean that rents can be established at or increased to that level. Parties must evaluate any applicable contractual and governmental limitations as well as market conditions, vacancy factors and other issues in order to determine rents from or for the property.

Legal questions should be discussed by the party with an attorney. Tax questions should be discussed by the party with a certified public accountant or tax attorney. Title questions should be discussed by the party with a title officer or attorney. Questions regarding the condition of the property and whether the property complies with applicable governmental requirements should be discussed by the party with appropriate engineers, architects, contractors, other consultants and governmental agencies. All properties and services are marketed by Moreau Property Advisors in compliance with all applicable fair housing and equal opportunity laws.

PROPERTY SUMMARY



PROPERTY DESCRIPTION

Introducing a remarkable investment opportunity in Oklahoma City, showcasing a substantial 13,200 SF building with 24 expertly renovated units. This charming property, boasting 100% occupancy, offers an ideal configuration for a multifamily/low-rise garden investment, with its timeless appeal and thoughtful updates. Ownership recently completed extensive renovations including exterior paint, concrete work, railings, and common area improvements. With major capital improvements completed, the property is positioned for stable operations with minimal near-term capital requirements.

PROPERTY HIGHLIGHTS

- Renovated in 2024
- New Exterior Paint
- New concrete work
- New Railings and Walkways
- New HVAC Units
- New Roofs
- Gated Community
- Additional Land for Development

OFFERING SUMMARY

Sale Price:	\$2,600,000
Occupancy:	100%
Number of Units:	24
Price / Unit:	\$109,589
Price / SF:	\$197
Lot Size:	51,410 SF
Building Size:	13,200 SF
NOI:	\$131,200.00
Cap Rate:	5.00%

DEMOGRAPHICS

	1 MILE	3 MILES	5 MILES
Total Households	6,296	36,026	86,132
Total Population	16,511	88,918	210,959
Average HH Income	\$60,151	\$65,122	\$71,380

CHANDLER MOREAU

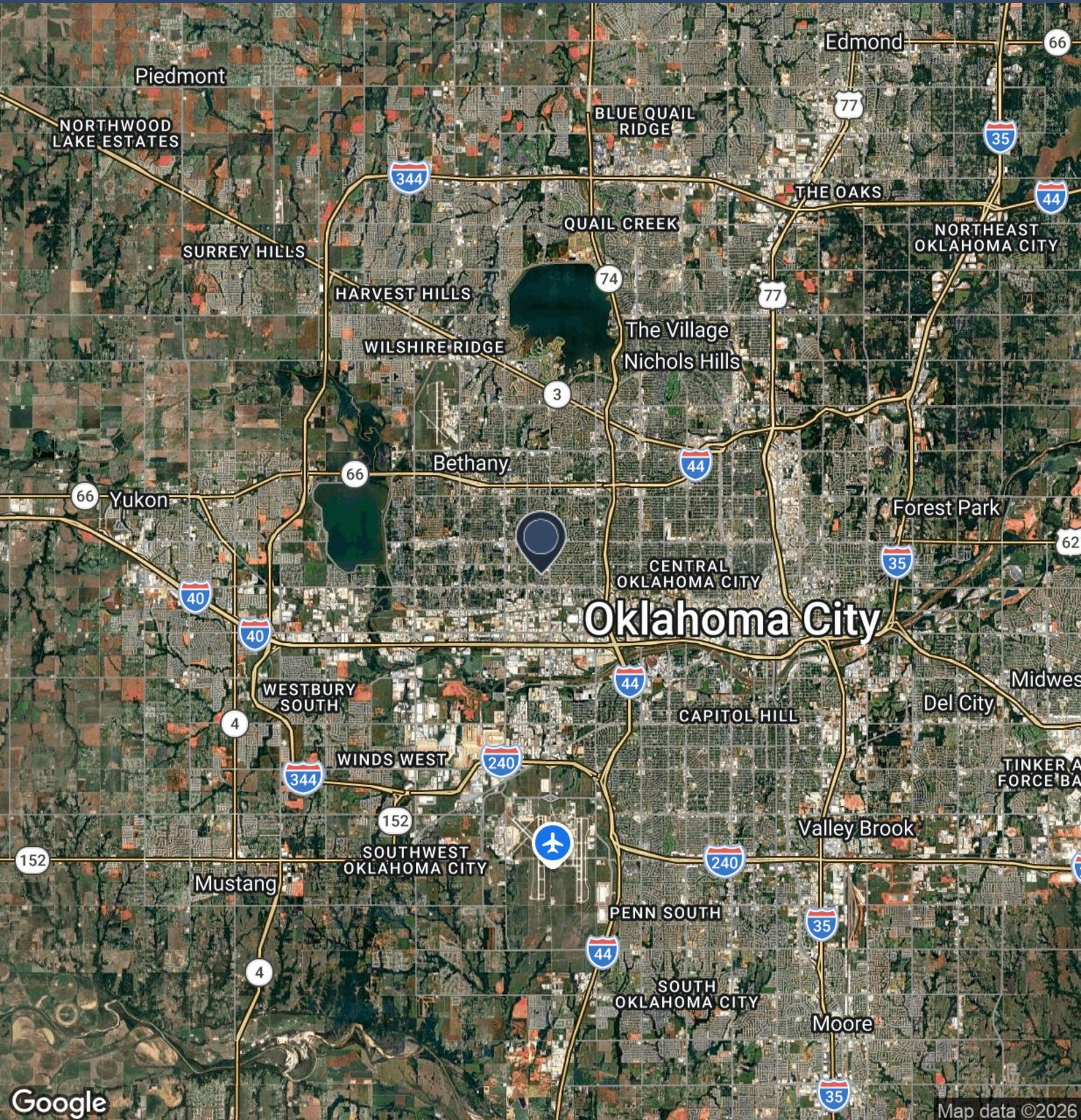
Owner / Managing Broker
 O: 918.370.2877
 chandler@moreaupropertyadvisors.com

THE MERIDAN APARTMENTS



CHANDLER MOREAU
Owner / Managing Broker
O: 918.370.2877
chandler@moreaupropertyadvisors.com

LOCATION MAP



Google

Map data ©2026

CHANDLER MOREAU
Owner / Managing Broker
O: 918.370.2877
chandler@moreaupropertyadvisors.com

FINANCIAL SUMMARY

INVESTMENT OVERVIEW

Price	\$2,600,000
Price per SF	\$197
Price per Unit	\$108,333
GRM	13.89
CAP Rate	5%
Cash-on-Cash Return (yr 1)	5.05%
Total Return (yr 1)	\$131,200

OPERATING DATA

Gross Scheduled Income	\$187,200
Total Scheduled Income	\$187,200
Gross Income	\$187,200
Operating Expenses (30% of Revenues)	\$56,000
Net Operating Income	\$131,200
Pre-Tax Cash Flow	\$131,200

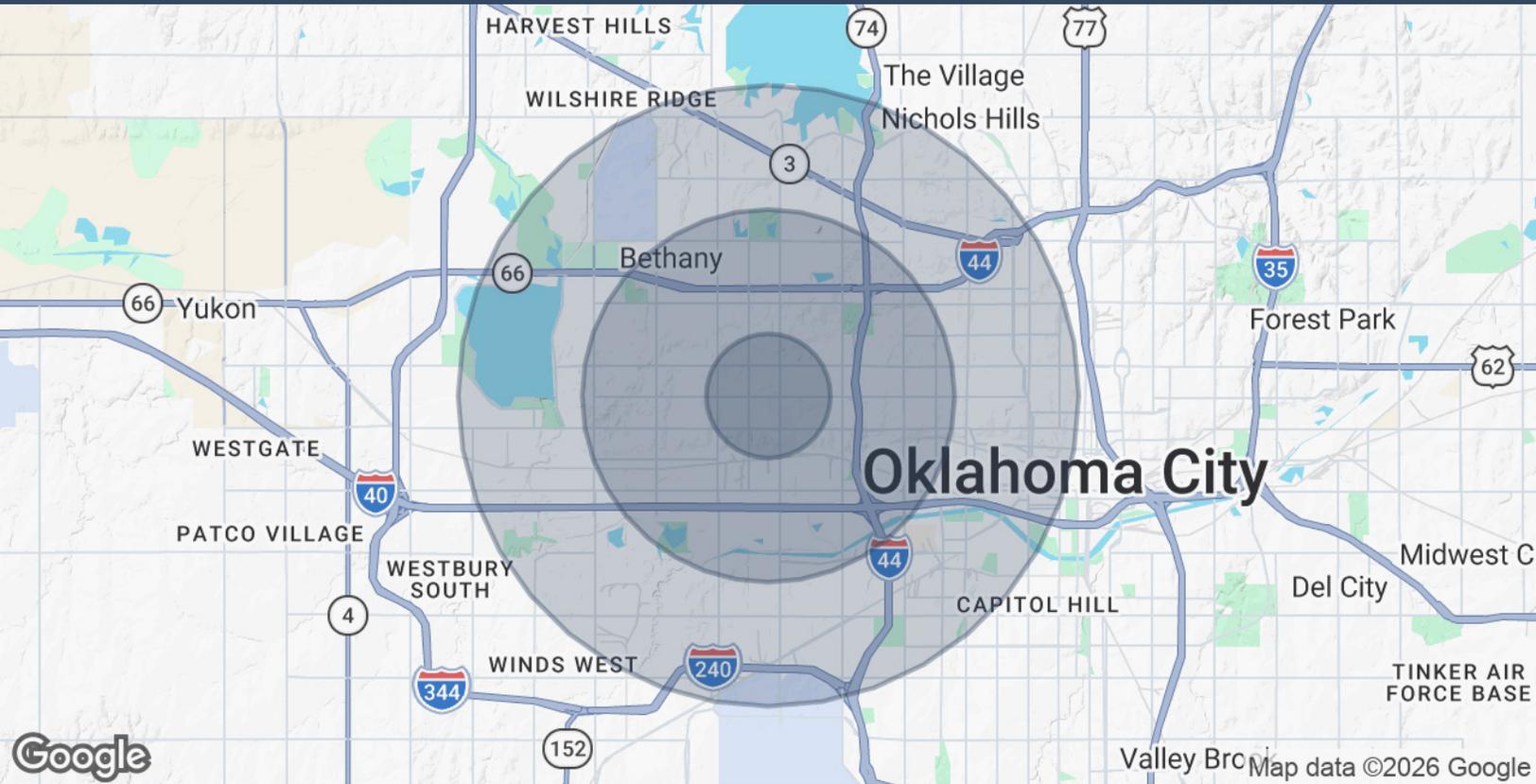
INCOME & EXPENSES

INCOME SUMMARY	
GROSS INCOME	\$187,200
EXPENSES SUMMARY	
OPERATING EXPENSES	\$56,000
NET OPERATING INCOME	\$131,200

UNIT MIX SUMMARY

UNIT TYPE	BEDS	COUNT	% OF TOTAL	RENT
Studio	1	24	100%	\$650
TOTALS/AVERAGES		24	100%	\$650

DEMOGRAPHICS MAP & REPORT



POPULATION	1 MILE	3 MILES	5 MILES
Total Population	16,511	88,918	210,959
Average Age	35	37	37
Average Age (Male)	34	36	37
Average Age (Female)	36	38	38

HOUSEHOLDS & INCOME	1 MILE	3 MILES	5 MILES
Total Households	6,296	36,026	86,132
# of Persons per HH	2.6	2.5	2.4
Average HH Income	\$60,151	\$65,122	\$71,380
Average House Value	\$147,769	\$182,603	\$224,806

Demographics data derived from AlphaMap