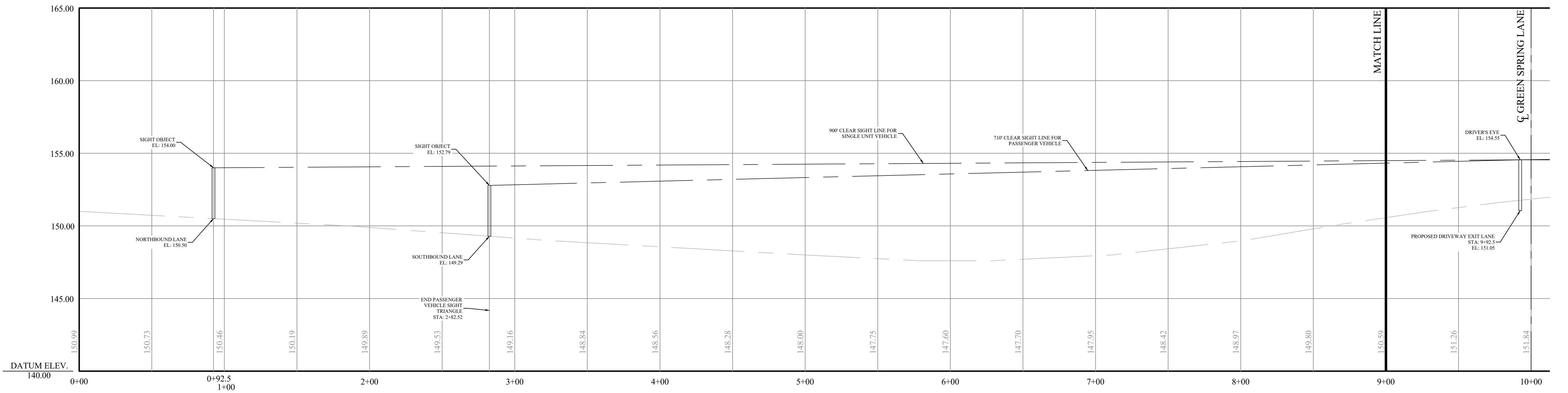
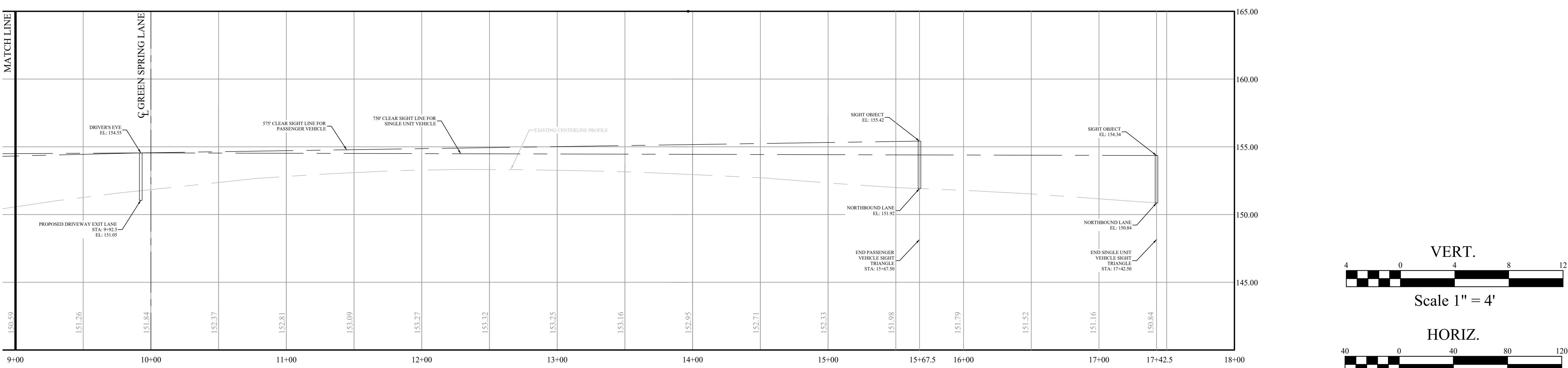


GREEN SPRING LANE - PROFILE



ROUTE 73 - SIGHT LINE EXHIBIT - LEFT TURN (STA 0+00 - 10+00)



ROUTE 73 - SIGHT LINE EXHIBIT - RIGHT TURN (STA 9+00 - 18+00)

FOR APPROVAL  
PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE THE DEFINITIVE DOCUMENTS FOR THE PROJECT OR EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY EXTENSION WITHOUT WRITTEN PERMISSION BY THE PETIT GROUP, LLC, WILL BE AT THE OWNERS SOLE RISK AND WILL BE SUBJECT TO LEGAL ACTION TO THE PETIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE PETIT GROUP, LLC FROM COSTS AND EXPENSES ARISING OUT OF RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE PROJECT AND NOTIFY THE PETIT GROUP, LLC OF ANY DISCREPANCY. THE CONTRACTOR SHALL UNDERSTAND THAT THE DOCUMENTS ARE FOR INFORMATION PURPOSES ONLY AND ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE COMMENCEMENT OF THE WORK. CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-272-1069) PRIOR TO THE COMMENCEMENT OF THE WORK. CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY: DPK JOB NO: 1539-03  
DRAWN BY: JAD DATE: 05/10/24  
CHECKED BY: DPK SCALE: AS SHOWN

PROJECT: COUNTRY AIRE II  
MAJOR SUBDIVISION

NORTH ROUTE 73  
BLOCK 3204, LOTS 2 & 4  
PLATE 32  
TOWNSHIP OF WINSLOW,  
CAMDEN COUNTY  
NEW JERSEY

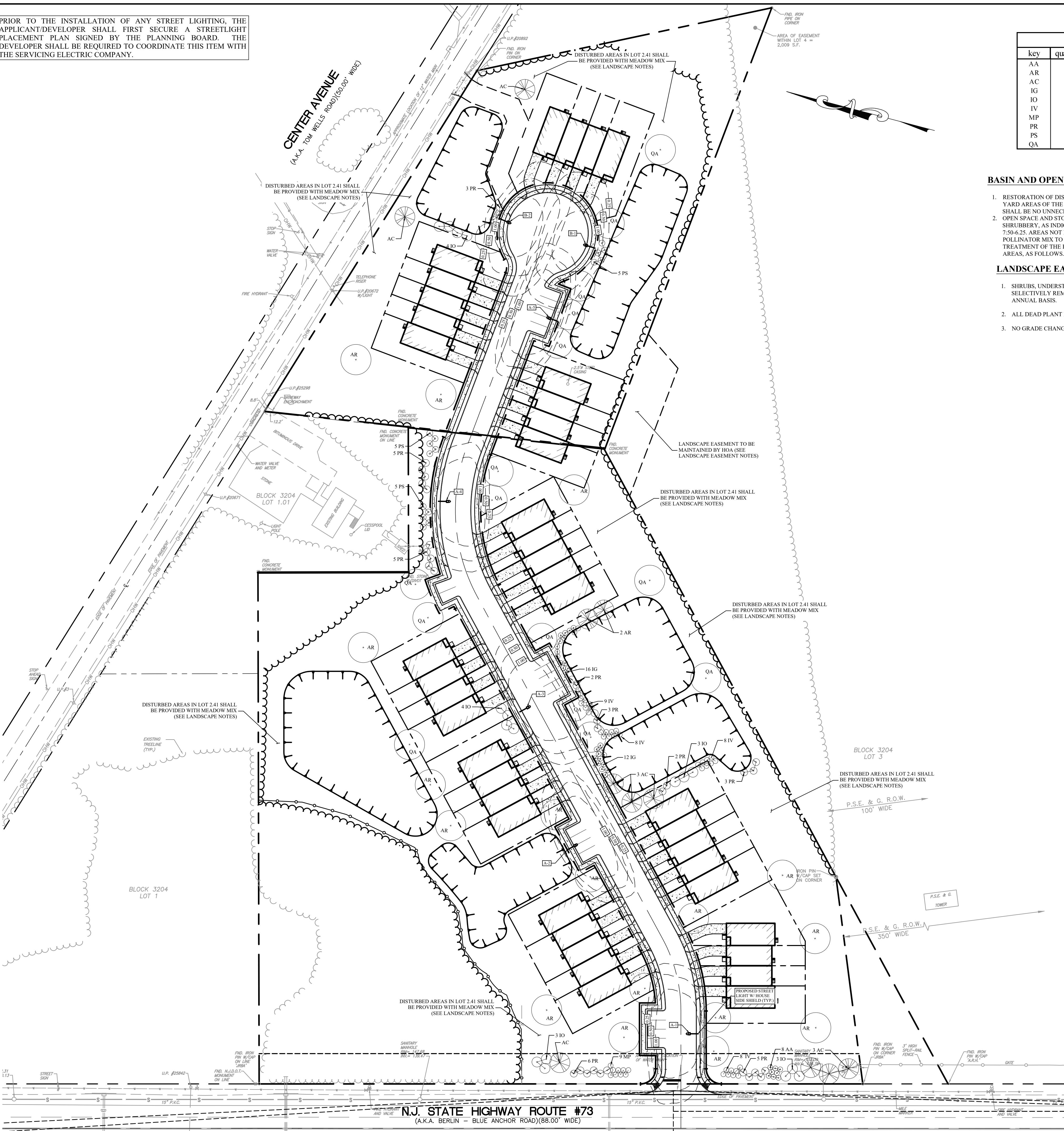
FOR  
COUNTRY AIRE AT WINSLOW,  
LLC  
JOHN SCHIAVO, MANAGING  
MEMBER  
6 JUSTA LANE  
CHERRY HILL, NJ 08003

D. Kreck  
DAVID P. KRECK, PE, CME  
Professional Engineer  
State of New Jersey • License # CR 40995  
State of Pennsylvania • License # 051762E  
State of Delaware • License # 13285

4 0 4 8 12  
VERT.  
Scale 1" = 4'  
HORIZ.  
40 0 40 80 120  
Scale 1" = 40'

7 of 15  
SHEET NUMBER:

PRIOR TO THE INSTALLATION OF ANY STREET LIGHTING, THE APPLICANT/DEVELOPER SHALL FIRST SECURE A STREETLIGHT PLACEMENT PLAN SIGNED BY THE PLANNING BOARD. THE DEVELOPER SHALL BE REQUIRED TO COORDINATE THIS ITEM WITH THE SERVICING ELECTRIC COMPANY.



LANDSCAPE SCHEDULE							
key	quantity	botanical name	common name	size	caliper	root	comments
AA	8	Aronia arbutifolia brilliansima	Red Chokeberry	2' to 3'	-	Cans	Deciduous Shrub
AR	17	Acer rubrum 'October Glory'	October Glory Red Maple	12' to 14'	2" to 2 1/2"	B & B	Deciduous Tree, No Fall Plgt
AC	11	Amelanchier canadensis	Downy Shadblow	8' to 10'	-	B & B, Heavy	Deciduous Tree
IG	28	Ilex glabra compacta	Compact Holly	18" to 24"	-	Cans	Evergreen Shrub
IO	17	Ilex opaca	American Holly	5' to 6'	-	& B, (1 Male/4 Fe)	Evergreen Tree
IV	33	Ilex verticillata	Winterberry Holly	24" to 30"	5 Canes / Cans	Cans	Deciduous Shrub
MP	9	Myrica pensylvanica	Northern Bayberry	24" to 30"	-	Cans	Evergreen Shrub
PR	34	Pinus rigida	Pitch Pine	5' to 6'	-	B & B, Heavy	Evergreen Tree
PS	15	Pinus strobus	Sheared White Pine	5' to 6'	-	B & B, Heavy	Evergreen Tree
QA	16	Quercus alba	White Oak	10' to 12'	2" to 2 1/2"	B & B	Decid. Tree, No Fall Plgt

#### BASIN AND OPEN SPACE LOT PLANTING NOTES

1. RESTORATION OF DISTURBED AREAS WITH LAWNS AND TURF SHALL BE LIMITED TO THE YARD AREAS OF THE RESIDENTIAL LOTS AND TO THE PUBLIC RIGHT OF WAY ONLY. THERE SHALL BE NO UNNECESSARY CLEARING OF WOODED AREAS.
2. OPEN SPACE AND STORMWATER MANAGEMENT LOTS SHALL BE PLANTED WITH TREES AND SHRUBS, AS INDICATED ON THE LANDSCAPE PLAN, AND IN ACCORDANCE WITH NIAC 7.50-6.25. AREAS NOT RECEIVING LANDSCAPED SHALL BE PLANTED WITH A NATIVE POLLINATOR MIX TO A MINIMUM DENSITY OF 85% COVERAGE TO ASSIST IN THE TREATMENT OF THE POST-CONSTRUCTION RUNOFF GENERATED BY THE PROPOSED LAWN AREAS, AS FOLLOWS.

#### LANDSCAPE EASEMENT NOTES

1. SHRUBS, UNDERSTORY TREES AND BUSHES AND GROUND COVER ARE TO BE SELECTIVELY REMOVED, MOWED OR PRUNED AND MAINTAINED ON AN ANNUAL BASIS.
2. ALL DEAD PLANT MATERIAL IS TO BE REMOVED.
3. NO GRADE CHANGE IS PROPOSED IN BLOCK 3204, LOT 3

#### LANDSCAPE NOTES:

1. EXISTING SPECIMEN TREES AND SHRUBS SHALL BE SAVED WHERE POSSIBLE. USE SNOW FENCING AND TREE WELLS AT DRIPLINE, LIMITED FILL AT BASE (MAX. ONE (1) FOOT, NOT COMPACTED), AND TRUNK PROTECTION AS REQUIRED. REFER TO DETAILS SHOWN ON PLANS.
2. ALL TREE AND SHRUB PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTHMOVING ACTIVITIES.
3. NO CONSTRUCTION EQUIPMENT IS PERMITTED WITHIN THE DRIPLINE OF TREES AND SHRUBS TO BE SAVED.
4. STREET TREES SHALL BE PLANTED THIRTY-FIVE (35) FEET ON CENTER WHERE POSSIBLE.
5. ALL PROPOSED PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO ADJUSTMENTS IN THE FIELD AND AVAILABILITY. IF THERE IS ANY CONFLICT BETWEEN PROPOSED OR EXISTING UTILITY LINES AND THE PROPOSED PLANTINGS, THE UTILITY LINE LOCATION SHALL GOVERN. SHIFT THE PLANT LOCATION AS REQUIRED.
6. ALL GRASS SEED OR SOD SHALL BE INSTALLED OVER A MINIMUM OF 4' OF CLEAN TOPSOIL. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 6" OF CLEAN TOPSOIL.
7. FOR APPLICATION OF SEED, FERTILIZER, LIMESTONE, AND HAY MULCH FOR ALL GRASSED AREAS, REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN, PERMANENT SOIL STABILIZATION SPECIFICATIONS.
8. EXISTING TREES WITH A DIAMETER (D.B.H.) OF 16" OR GREATER AND LOCATED MORE THAN 10 FEET FROM THE SIDEWALK, DRIVEWAY, AND UTILITY LINES, AND MORE THAN 20 FEET FROM A DWELLING SHALL BE IDENTIFIED AND PRESERVED WHERE POSSIBLE. USE TREE WELLS, LIMITED FILL OR RETAINING WALLS AS REQUIRED TO PROTECT THE ROOT ZONE.
9. MINIMIZE GRADING WITHIN THE DRIPLINE OF EXISTING TREES TO BE SAVED. GRUB AND REMOVE VINES AND UNDERBRUSH AROUND EXISTING TREES TO BE USED AS SPECIMENS.
10. A MINIMUM OF 4" OF SHREDDED BARK MULCH SHALL BE PLACED IN ALL PLANTING BEDS.
11. EACH PLANT BE TO THE TOP OF ITS SIZE CLASS AFTER SHEARING AND PRUNING.
12. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
13. ALL PROPOSED PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR TWO (2) YEARS FROM DATE OF INSTALLATION AND SHALL BE IN A HEALTHY AND VIGOROUS CONDITION. ANY PLANT MATERIAL WHICH DIES WITHIN THAT PERIOD SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL DURING THE NEXT GROWING SEASON.
14. PLANTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60. 1-1986 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS.
15. SIZE OF PLANTINGS AS NOTED IN THE LANDSCAPE SCHEDULE IS AT THE TIME OF PLANTING.

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DESIGNED BY: DPK JOB NO: 1539-03  
DRAWN BY: JAD DATE: 05/10/24  
CHECKED BY: DPK SCALE: 1" = 50'

PROJECT: COUNTRY AIRE II  
MAJOR SUBDIVISION  
NORTH ROUTE 73  
BLOCK 3204, LOTS 2 & 4  
PLATE 32  
TOWNSHIP OF WINSLOW,  
CAMDEN COUNTY  
NEW JERSEY

FOR  
COUNTRY AIRE AT WINSLOW,  
LLC  
JOHN SCHIAVO, MANAGING  
MEMBER  
6 JUSTA LANE  
CHERRY HILL, NJ 08003

1. THIS PLAN ILLUSTRATES LUMINAIRE LOCATIONS AND ILLUMINATION LEVELS ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.

2. ALL SUBSTITUTIONS TO THE FIXTURES SPECIFIED MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.

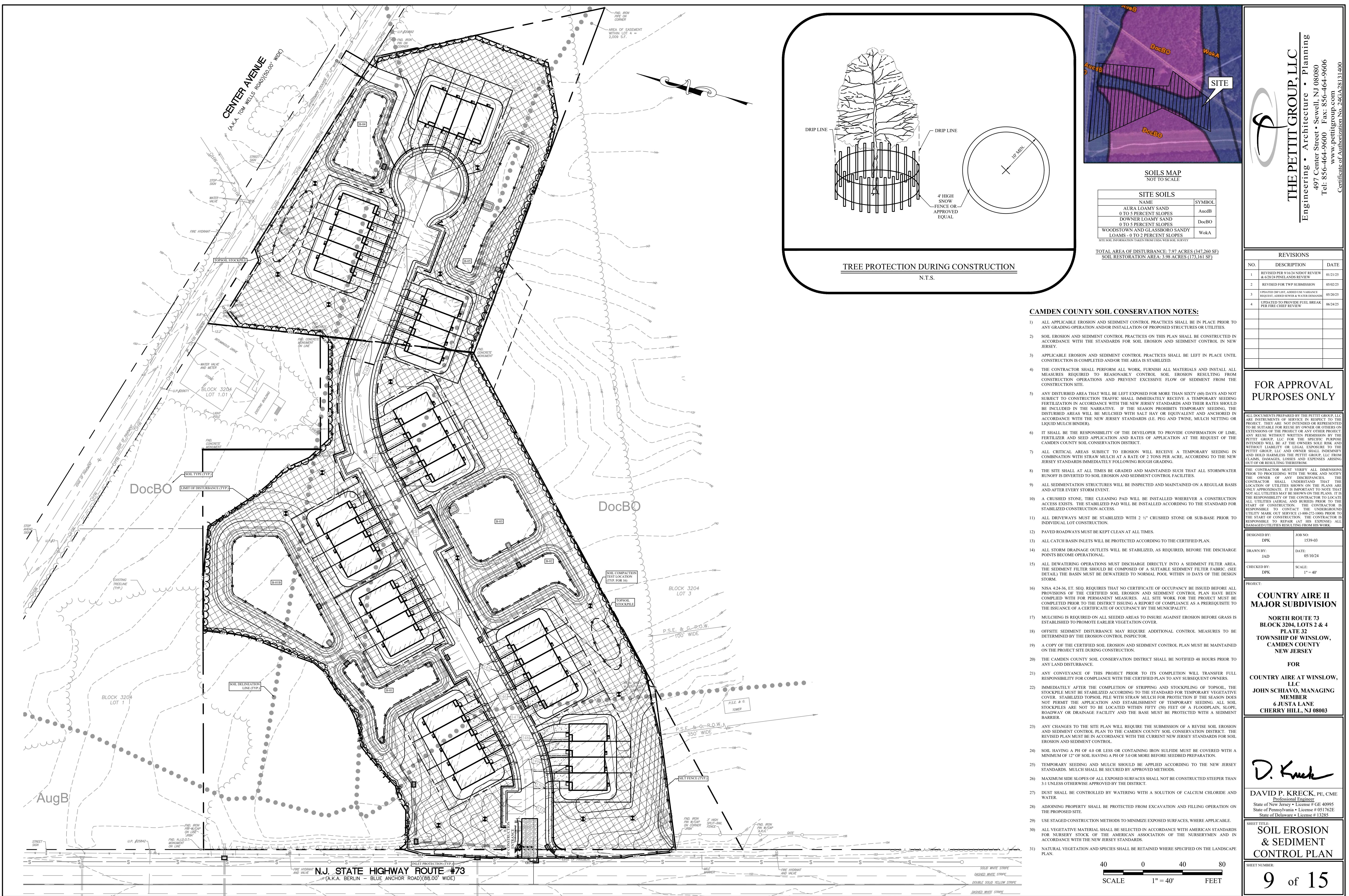
Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #1	+	0.4 fc	2.6 fc	0.0 fc	N/A	N/A	

Schedule							
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number	Lamp Output
8	A	5	American Electric Lighting	ACM P604 R3 4K XXX HS XXX	ACM P604 Performance package Roadway Type III distribution 4000K CCT House Side Shield	1	8146
8	B	2	American Electric Lighting	ACM P604 R4 4K XXX HS XXX	ACM P604 Performance package Roadway Type IV distribution 4000K CCT House Side Shield	1	7948

DAVID P. KRECK, PE, CME  
Professional Engineer  
State of New Jersey • License # G140995  
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State of Delaware • License # 13285

LANDSCAPING &  
LIGHTING PLAN  
SHEET NUMBER:  
8 of 15

THE PETIT GROUP, LLC  
Engineering • Architecture • Planning  
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www.petitgroup.com  
Certificate of Authorization No. 2GAC28131400



## GENERAL NOTES

- THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS OPERATIONS TO MINIMIZE EROSION OF SOILS AND TO PREVENT SILTING AND DREDGING OF STREAMS, RIVERS, BODIES OF WATER AND OTHER WATERWAYS, RESERVOIRS, ETC. CONSTRUCTION OF DRAINAGE FACILITIES AND PERFORMANCE OF THEIR CONTRACT WORK WHICH WILL CONTRIBUTE TO THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE CARRIED OUT IN CONFORMITY WITH THE EARTHMOVING AND CONSTRUCTION STANDARDS THEREAFTER AS PRACTICABLE. THE AREA OF BARE SOIL EXPPOSED AT ANY ONE TIME BY CONSTRUCTION OPERATIONS SHALL BE KEPT TO A MINIMUM.
- PRIOR TO A SUSPENSION OF CONSTRUCTION OPERATIONS FOR A PERIOD OF 20 DAYS OR MORE, ANY AREA THAT HAS BEEN DISTURBED AND LEFT EXPOSED SHALL RECEIVE TEMPORARY STABILIZATION.

3. MATERIALS SUCH AS FUELS, LUBRICANTS, BITUMENS, RAW SEWAGE AND OTHER HARMFUL MATERIALS SHALL NOT BE DISCHARGED INTO OR NEAR RIVERS, STREAMS, AND OTHER IMPEDIMENTS IN THE NATURE OF MAN-MADE CHANNELS LEADING THERETO. WASH WATER OR WASTE FROM CONCRETE MIXING OPERATIONS SHALL NOT BE ALLOWED TO ENTER LIVE STREAMS.

4. ALL APPLICABLE REGULATIONS OF FISH AND WILDLIFE AGENCIES AND STATUTES RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION SHALL BE COMPLIED WITHIN THE PERFORMANCE OF THE CONTRACT.

5. NJSA 4:2A:30 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED UNTIL THE CONTRACTOR HAS A SOIL MITIGATION VERIFICATION FORM AND CONFIRMATION BY THE SOIL INSPECTOR THAT THE COMPACTION MITIGATION REQUIREMENTS IN THE STANDARDS FOR LAND GRADING HAVE BEEN SUFFICIENTLY ADDRESSED.

## MAINTENANCE NOTES

- SEDIMENTATION COLLECTED IN THE RETENTION BASIN SHALL BE REMOVED AFTER IT HAS ACCUMULATED TO THE ELEVATION OF THE BOTTOM OF THE DETHRESHOLD IN THE WATERFALL RISER. ALL SILT COLLECTED SHALL BE PLACED BACK UP ON THE SITE.

2. SEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED, AS NECESSARY, AND THEN RESEDED. ADDITIONAL HAY MULCHING SHALL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.

3. AREAS THAT CONTAIN SOD SHALL BE CHECKED VERY CAREFULLY TO ENSURE THAT JOINTS BETWEEN THE SOD STRIPS ARE TIGHT AND SECURE. WHERE JOINTS ARE SEPARATE, A CAREFUL INSPECTION OF EACH JOINT SHALL BE MADE TO DETERMINE IF THE EXPANSION OF THE STRIPS IS OCCURRING. IF IT IS, THE STRIPS SHALL BE ROLLED UP THE SUBSURFACE SHALL BE FILLED AND GRADED, AS REQUIRED, AND THE SOD STRIPS SHALL BE REWIAD WITH THE PROPER JOINTS AND PEGGING.

4. A GOOD STAND OF VEGETATION SHALL BE DEFINED AS THE MANUFACTURER'S RECOMMENDED HEIGHT.

5. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF EROSION. THE CONTRACTOR SHALL DETERMINE THE APPROPRIATE ACTION TO GIVE A FROZEN SOILS, SOD, WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

6. DURING CONSTRUCTION THE CONTRACTOR WILL BE RESPONSIBLE FOR SOIL EROSION CONTROL MAINTENANCE. AFTER CONSTRUCTION THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING THE FACILITIES.

## TEMPORARY SEEDING NOTES

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEDED PREPARATION, SEEDING, MULCH APPLICATION, AND TOPSOIL. ALL GRADES SHOULD BE DONE IN ACCORDANCE WITH THE STANDARDS FOR LAND GRADING.
- INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS FOR LAND GRADING.
- IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

4. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER OF THE SEDED SPECIES AND MOWED ONCE.

## STANDARDS FOR SEDED

## STANDARDS FOR TOPSOILING

## 1. MATERIALS

- A. TOPSOIL SHOULD BE FRESH, LOAMY, FREE OF DEBRIS, OBSTRUCTION WEEDS, AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILIMHOES PER MILLILITER) AND THE SOIL SHOULD NOT BE COMPACTED. THE SOIL AND ADVERSELY IMPACT GROWTH. TOPSOIL HAULED IN FROM OFF-SITE SHOULD HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.7% PERCENT, ORGANIC MATTER CONTENT MAY BE RAISED UP TO 3.5%.

2. MULCHING: ALL SEDED AREAS SHALL BE MULCHED. MULCH SHALL BE UNIFORMLY SPREAD AND CONSIST OF SMALL GRAIN STRAW OR SAWDUST. MULCH SHALL BE APPLIED AT A RATE OF 100 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS OTHERWISE SPECIFIED.

3. WORK LIMES: TOPSOIL, 100 POUNDS PER ACRE, OR EQUIVALENT OF SOIL WITH A SPRING TOOTH OR DISC HARROW, OR OTHER SUITABLE EQUIPMENT. RE-TILLING OF THE SOIL WILL BE REQUIRED IF REBEDDING IS COMPACTED PRIOR TO APPLICATION OF SEED.

4. MULCHING: ALL SEDED AREAS SHALL BE MULCHED. MULCH SHALL BE UNIFORMLY SPREAD AND CONSIST OF SMALL GRAIN STRAW OR SAWDUST. MULCH SHALL BE APPLIED AT A RATE OF 100 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS OTHERWISE SPECIFIED.

5. SEDED PREVENTS THE ESTABLISHMENT OF A TEMPORARY SEEDING, EXPOSED AREAS TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 4.

## TEMPORARY SEEDING SELECTIONS AND OPTIMUM SEEDING DATES

TEMPORARY SEEDING SHALL BE APPLIED ACCORDING TO THE ENCLOSED CHART. THE CONTRACTOR SHALL ADHERE TO THE RECOMMENDED SEEDING DATES WHEN SELECTING TEMPORARY SEED TYPES, FERTILIZE, LIME, AND MULCH IN ACCORDANCE WITH RATES AND MATERIALS INDICATED ABOVE.

SEED SELECTION	SEEDING RATE PER ACRE	SEEDING RATE PER 1,000 SF	ZONE 6b-7a	OPTIMUM SEED DEPTH (IN)
SPRING OATS	86 LBS.	2 LBS.	MAR 1 - MAY 16 (6b)	0.5
			AUG 15 - OCT 1 (6b)	
			AUG 15 - OCT 1 (6b)	
			AUG 15 - OCT 15 (7a)	
PERENNIAL RYE GRASS	100 LBS.	1 LBS.	MAR 1 - MAY 16 (6b)	1.0
			AUG 15 - OCT 1 (6b)	
			FEB 15 - MAY 1 (7a)	
WINTER BARLEY	96 LBS.	2.2 LBS.	AUG 15 - OCT 1 (6b)	1.0
			AUG 15 - OCT 15 (7a)	
ANNUAL RYE GRASS	100 LBS.	1 LBS.	MAR 1 - JUN 1 (6b)	0.5
			AUG 1 - SEP 15 (6b)	
			FEB 15 - MAY 1 (7a)	
			AUG 15 - OCT 15 (7a)	
WINTER CEREAL RYE	112 LBS.	2.8 LBS.	AUG 1 - NOV 15 (6b)	1.0
			AUG 1 - DEC 15 (7a)	
PEARL MILLET	20 LBS.	0.5 LBS.	MAY 1 - SEP 1 (6b)	1.0
			MAY 1 - SEP 1 (7a)	
GERMAN MILLET	30 LBS.	0.7 LBS.	MAY 15 - AUG 15 (6b)	1.0
			MAY 1 - SEP 1 (7a)	

\* MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR CAN BE IRRIGATED

OPTIMUM SEEDING DEPTHS SHALL BE DOUBLED IN SANDY SOILS.

## PERMANENT SEEDING NOTES

## 1. SITE PREPARATION:

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
- IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE APPLIED IN LAYERS NOT EXCEEDING 2 INCHES THICK.
- INSTALLED NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

## 2. PERMANENT SEDED PREPARATION:

- UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS COOPERATIVE EXTENSION. SOIL SAMPLE MATERIALS FOR SOIL TESTS SHOULD BE TAKEN FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY).
- FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS OTHERWISE SPECIFIED.
- WORK LIMES AND FERTILIZER IN THE FIRST 12" OF SOIL WITH A SPRING TOOTH OR DISC HARROW OR OTHER SUITABLE EQUIPMENT.
- HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEDED PREPARATION.

## 3. PERMANENT SEDED:

- MAINTENANCE SHALL BE PROVIDED AS ADDITIVE TO MANUFACTURED ALTERNATIVES. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SECTION 7-6 OF THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.

## 4. PERMANENT SEDED PREPARATION:

- UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS COOPERATIVE EXTENSION. SOIL SAMPLE MATERIALS FOR SOIL TESTS SHOULD BE TAKEN FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY).

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## DUST CONTROL

## DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS PER ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS.

POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD

MANUFACTURER'S INSTRUCTIONS.

ACIDULATED SOY BEAN SOAP STICK

COARSE SPRAY

1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLOUDS TO SURFACE. THIS IS A TEMPORARY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING WHEN THE SOIL IS DRY. USE A CHISEL, CHISEL-TOOTH PLOW SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARRICOS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINENOUGH TO FLOW THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, IT IS RECOMMENDED TO USE A STEPPED APPROACH.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

MULCHING IS REQUIRED ON ALL SEDED AREAS TO ENSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.

## STANDARDS FOR STABILIZATION WITH MULCH ONLY

## MATERIALS AND METHODS

## 1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.

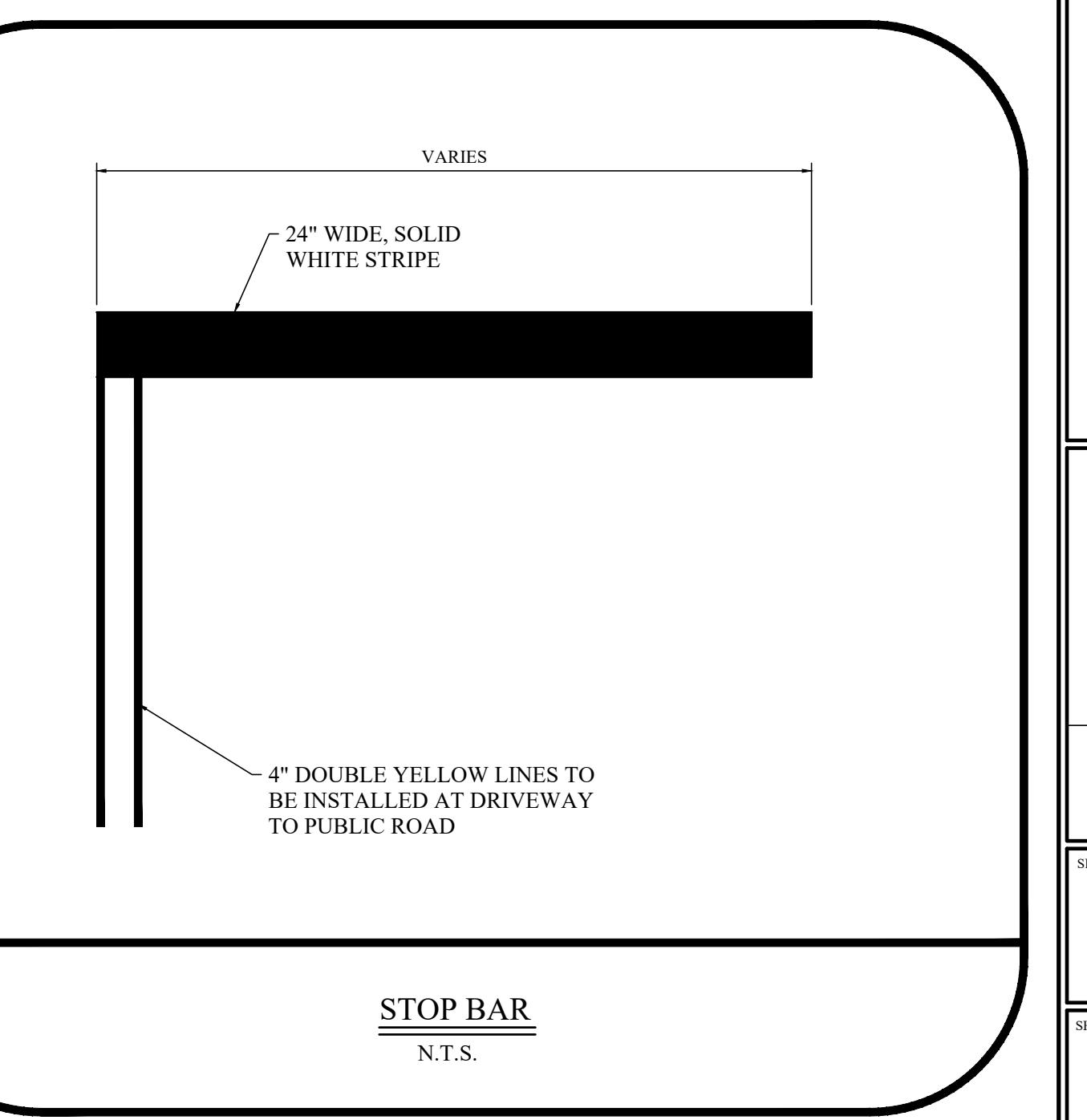
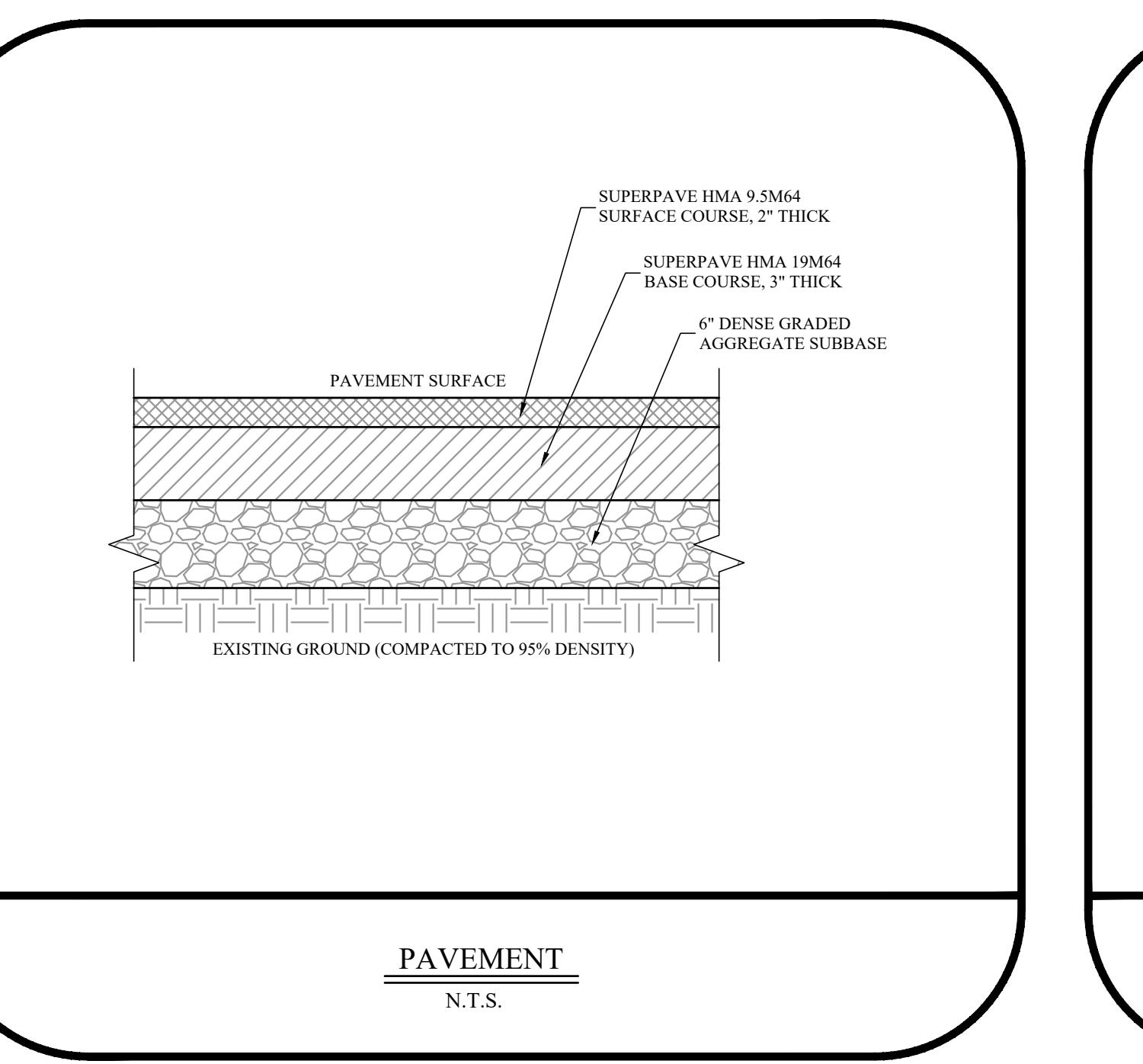
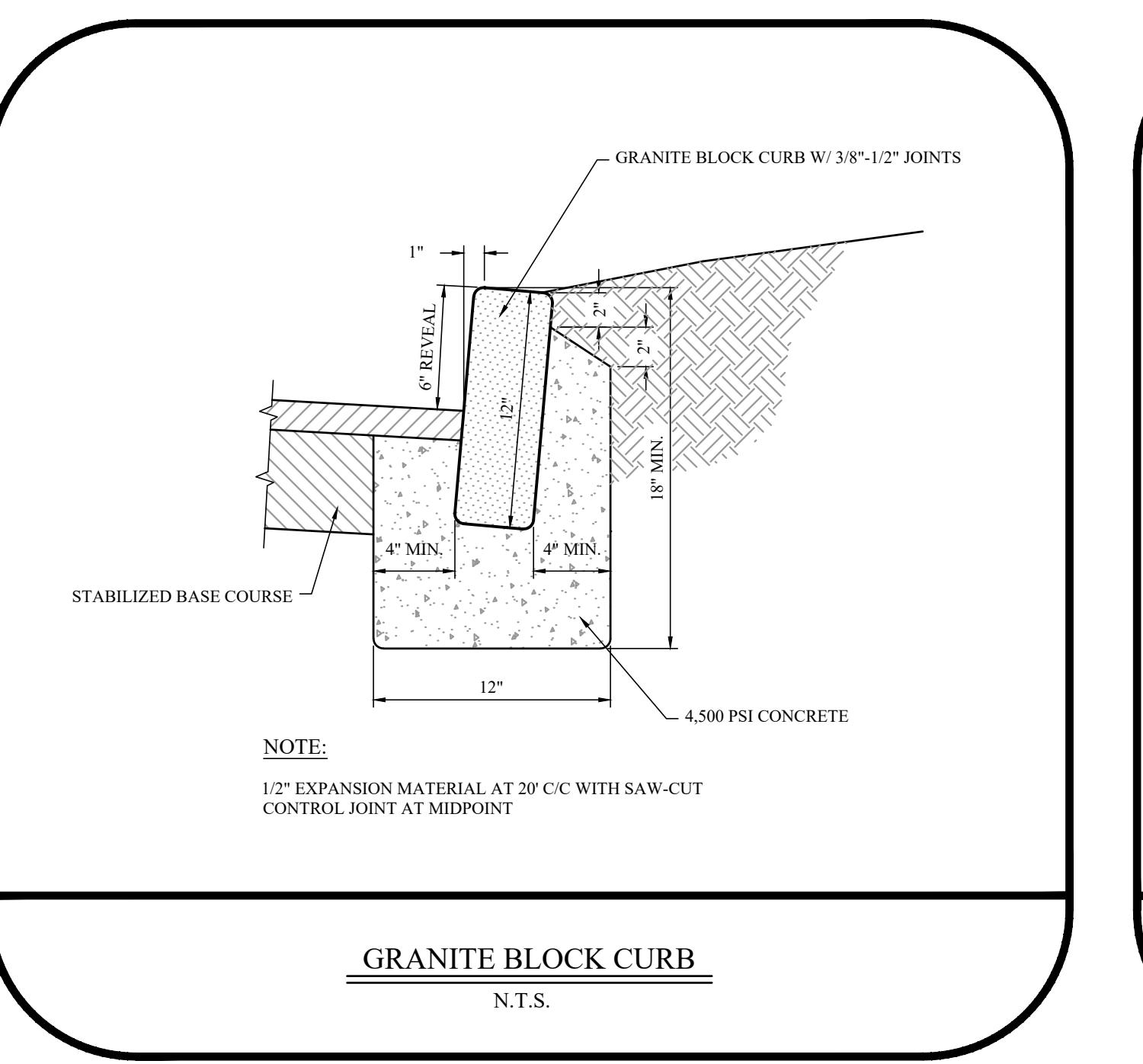
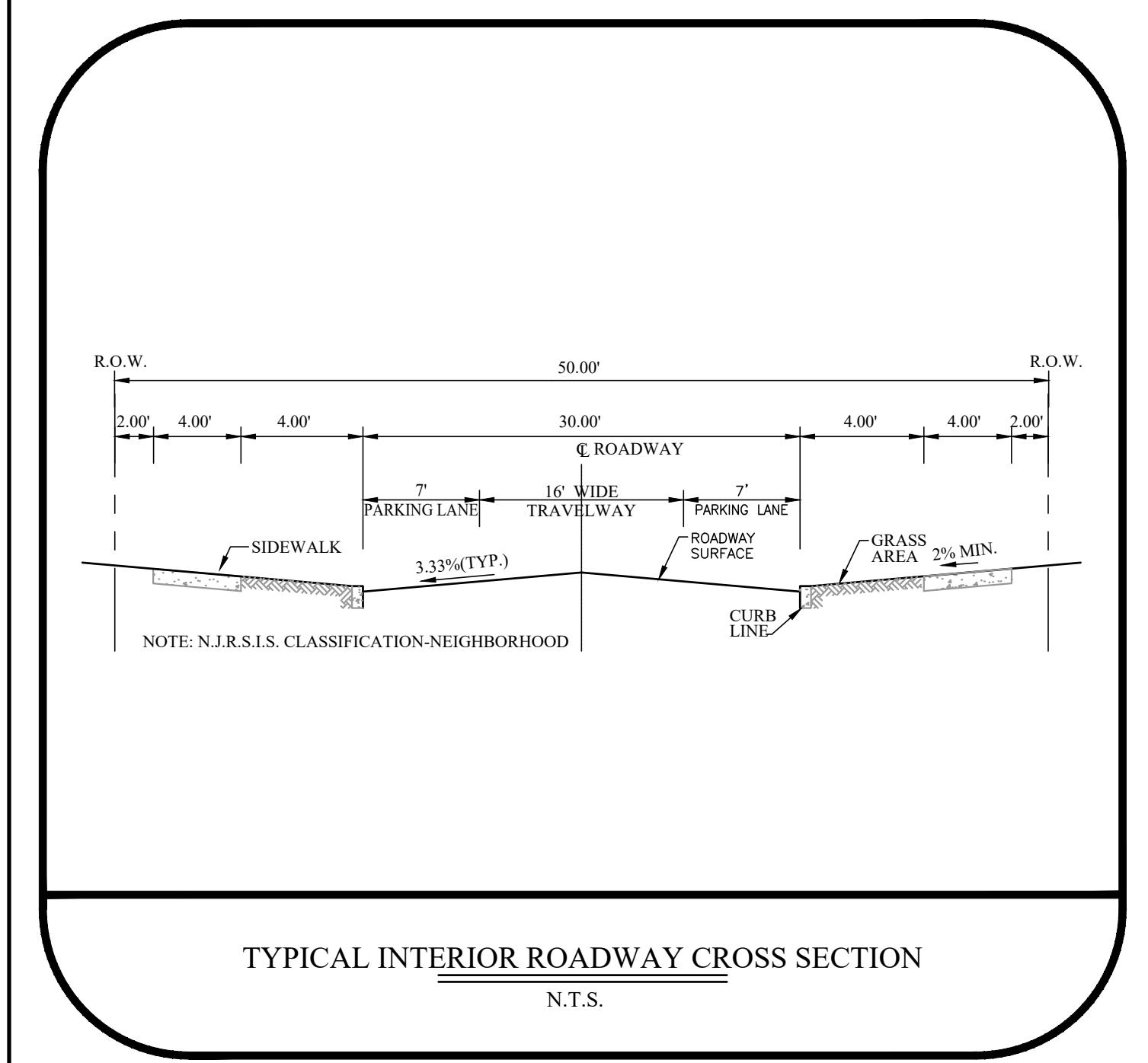
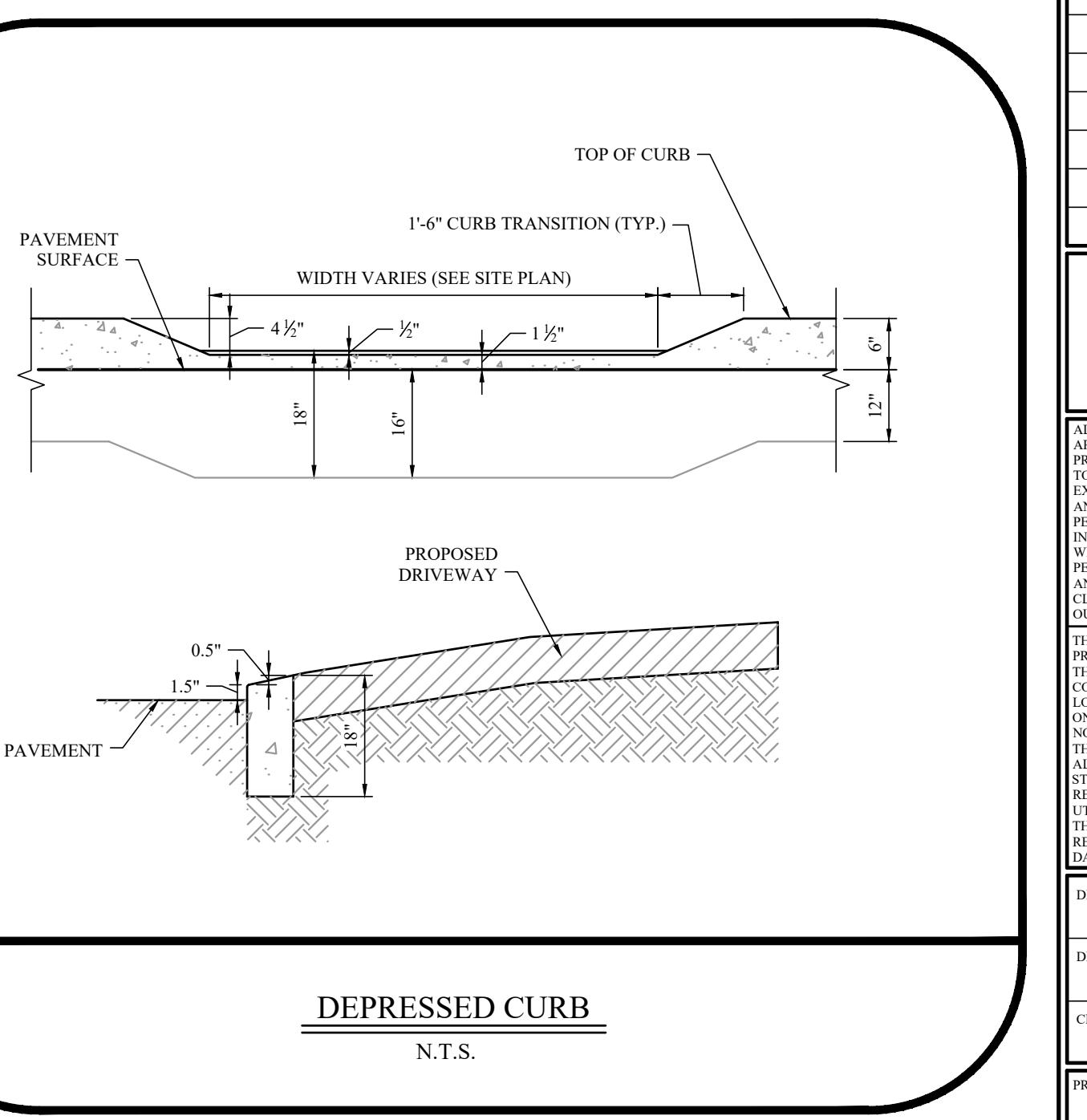
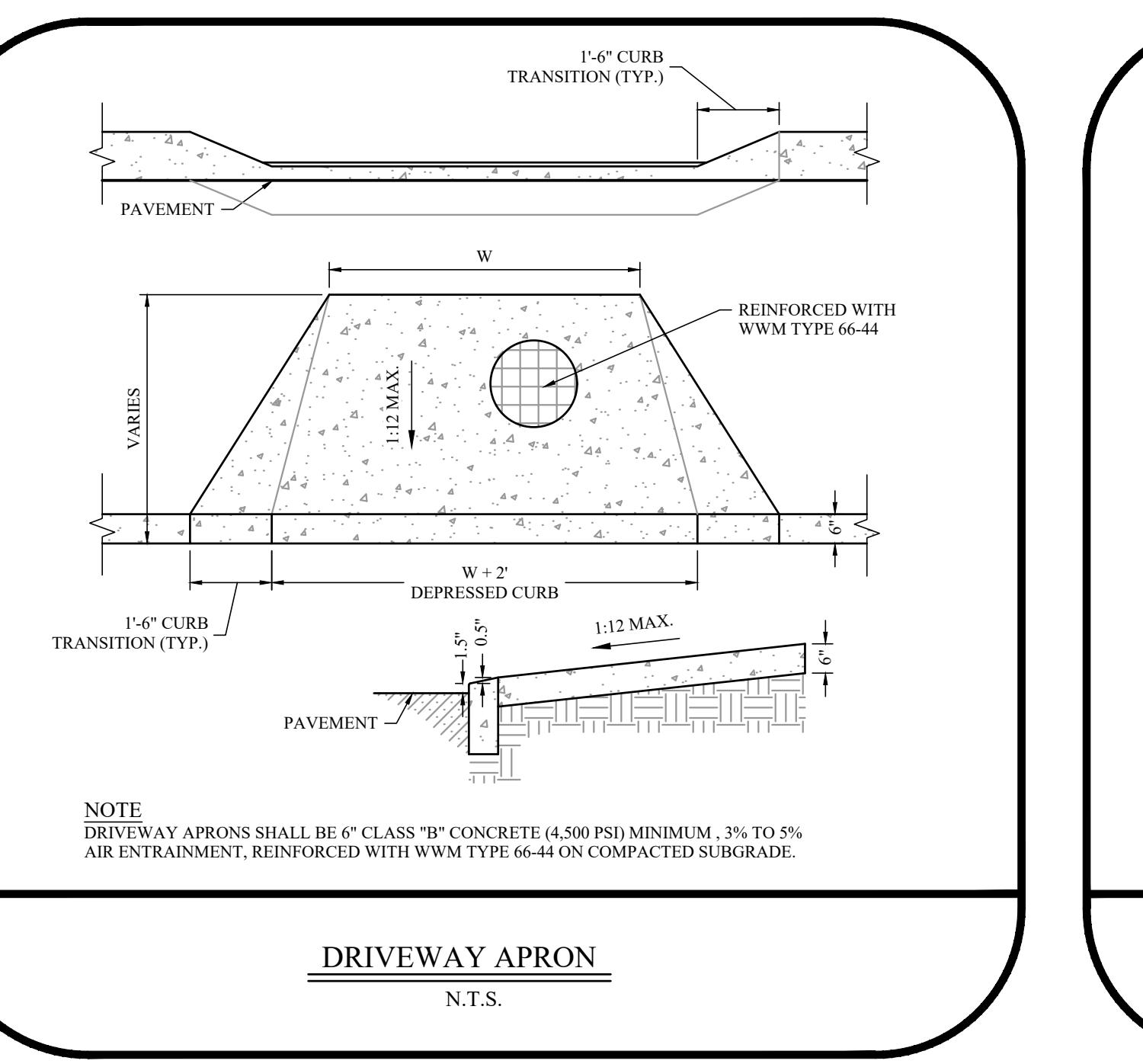
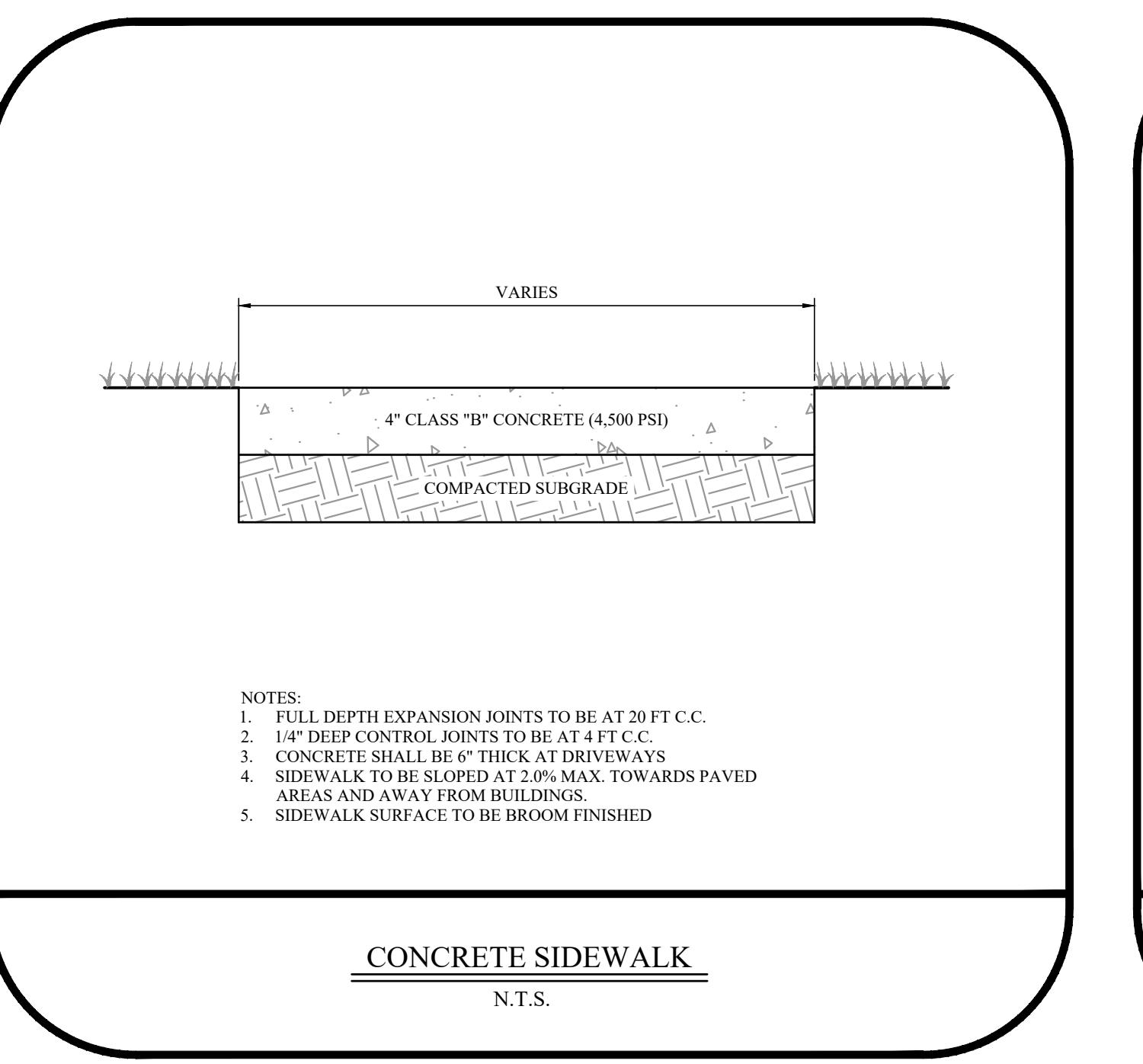
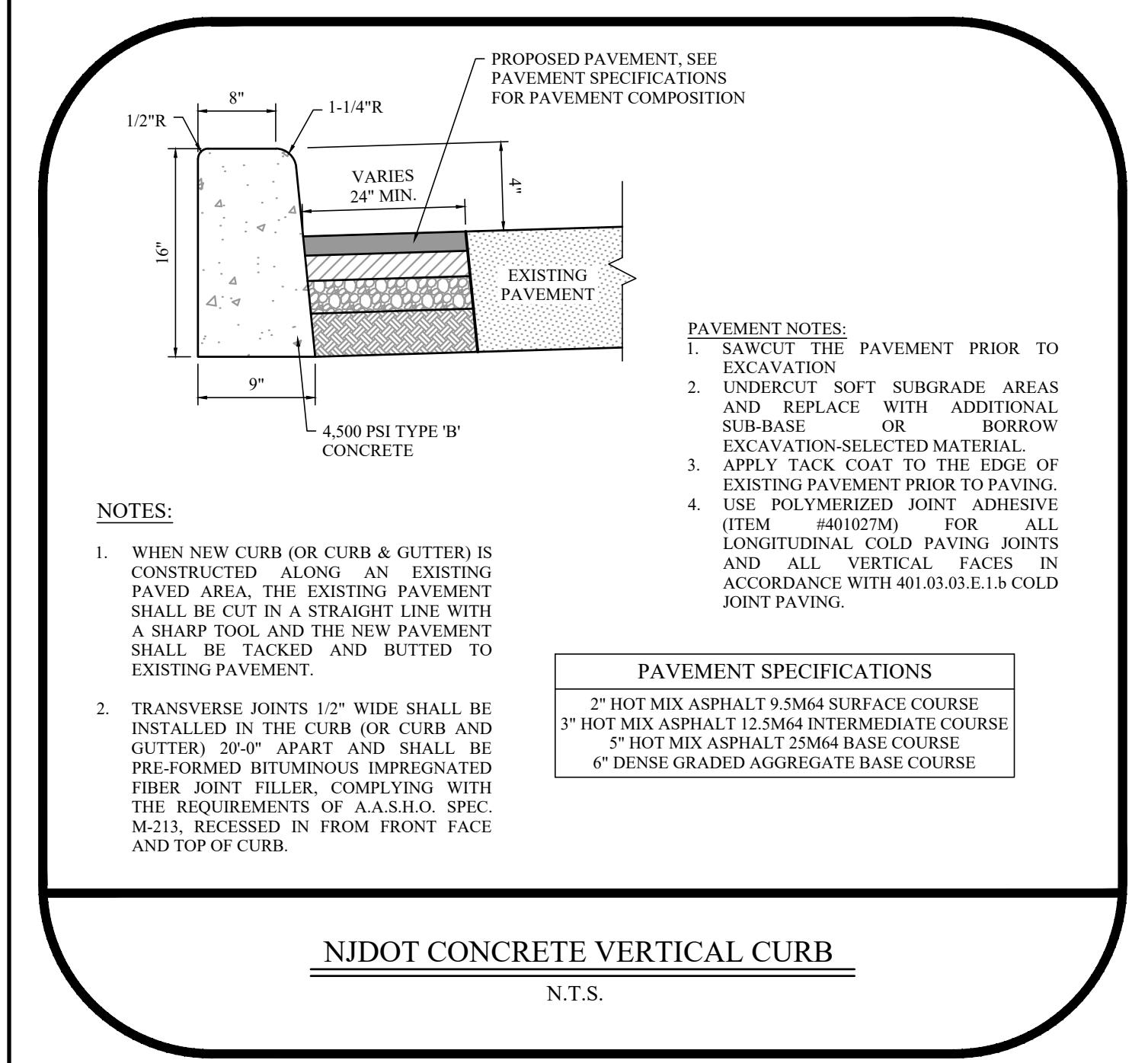
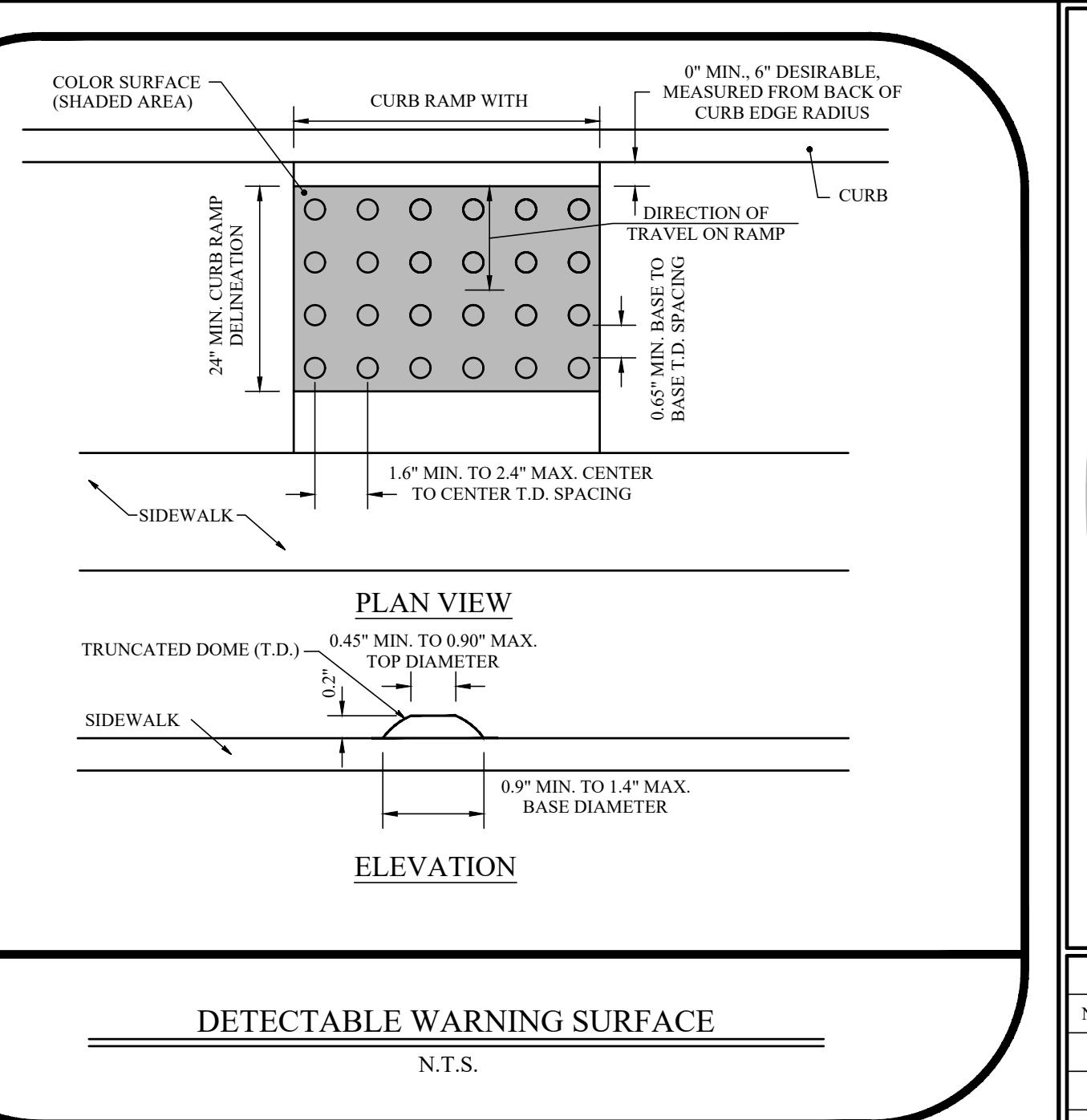
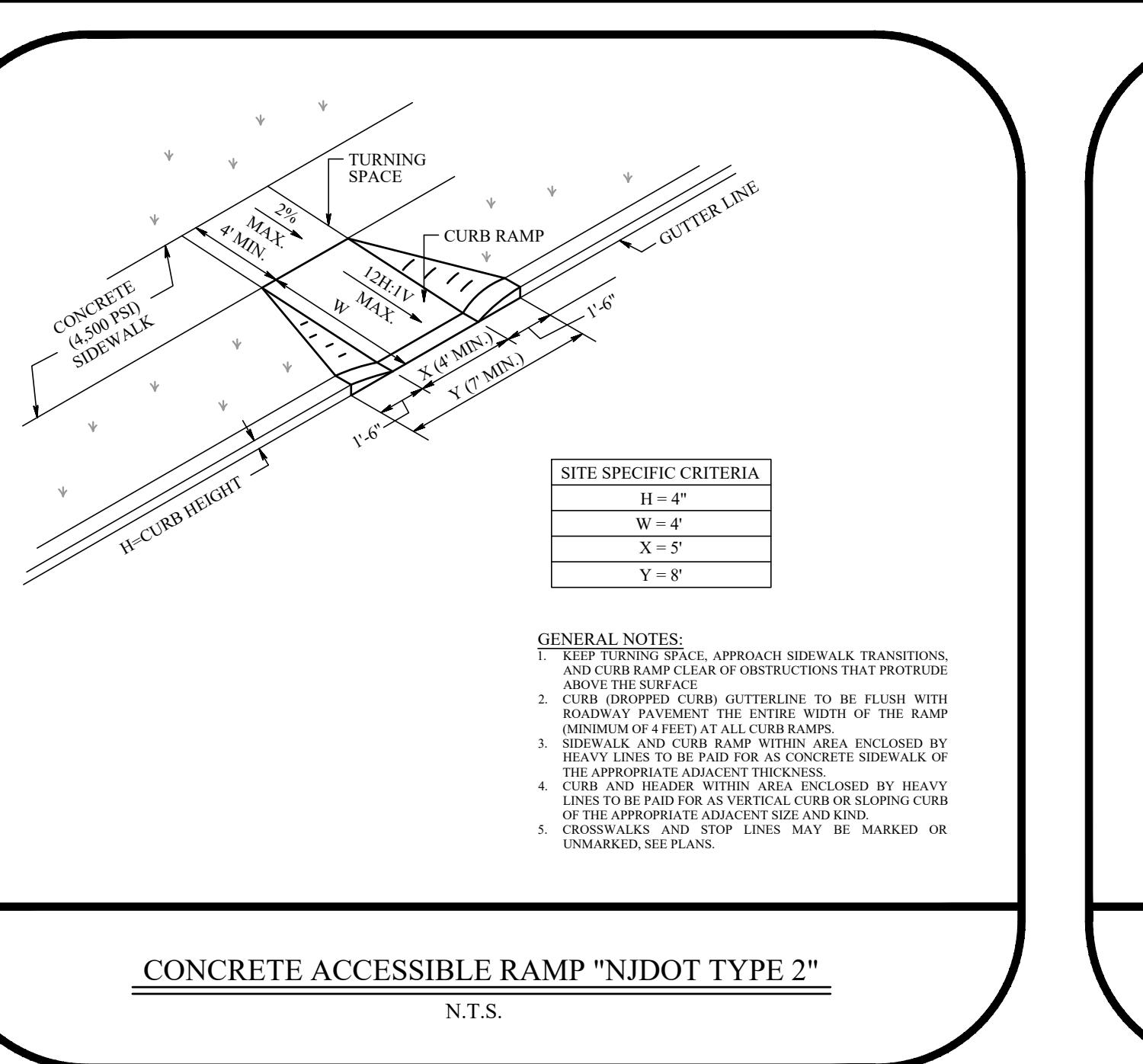
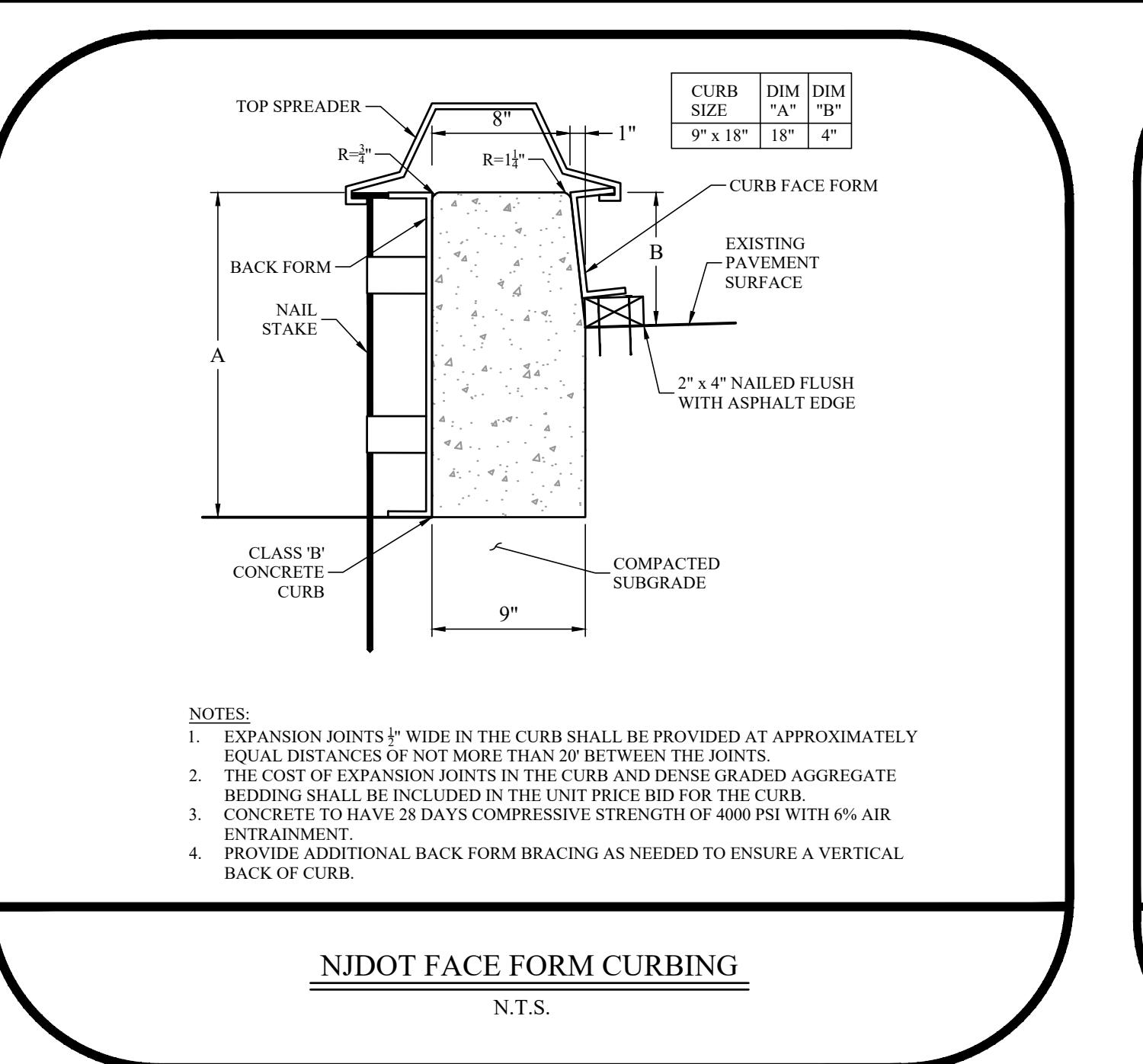
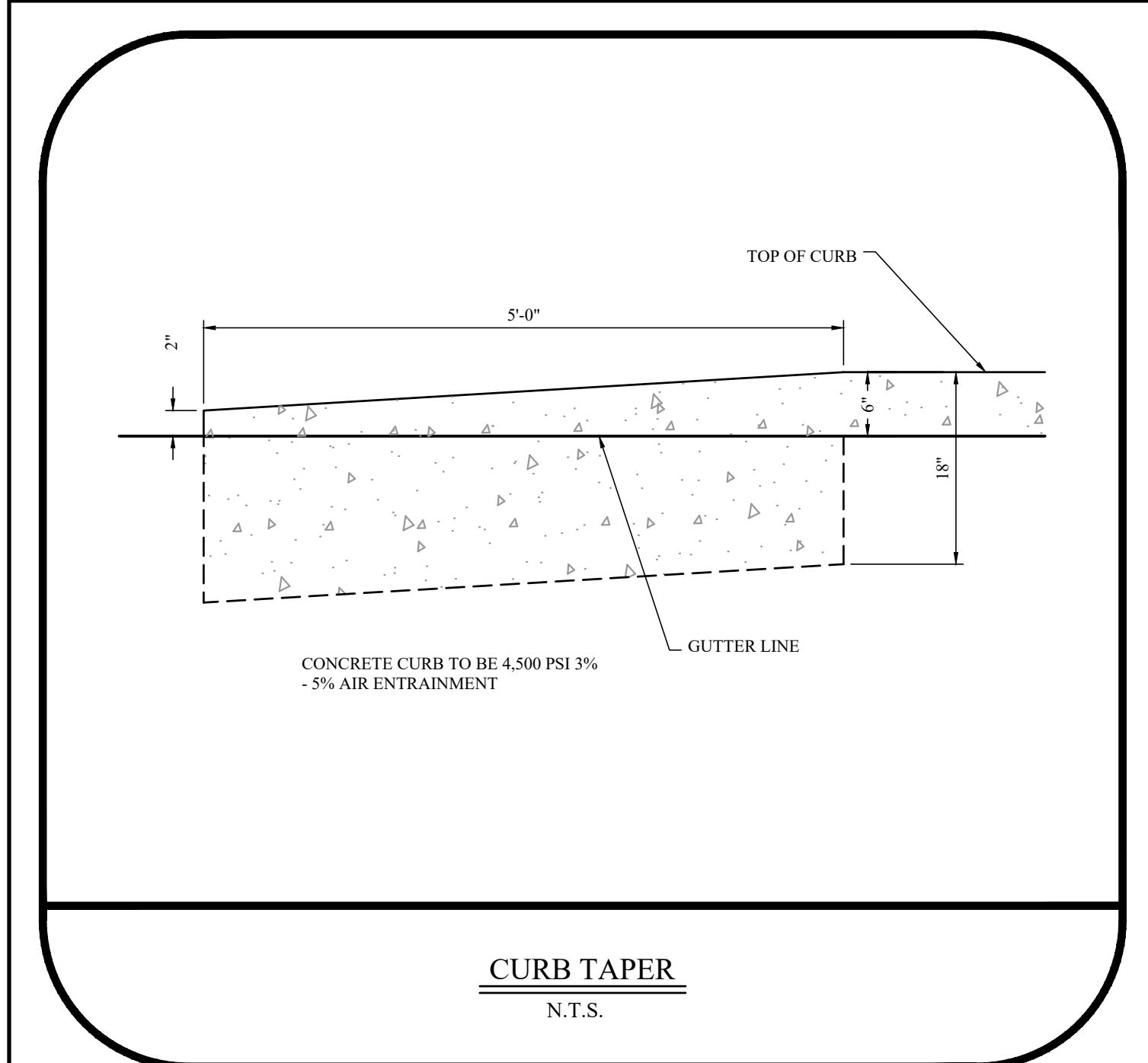
## 2. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

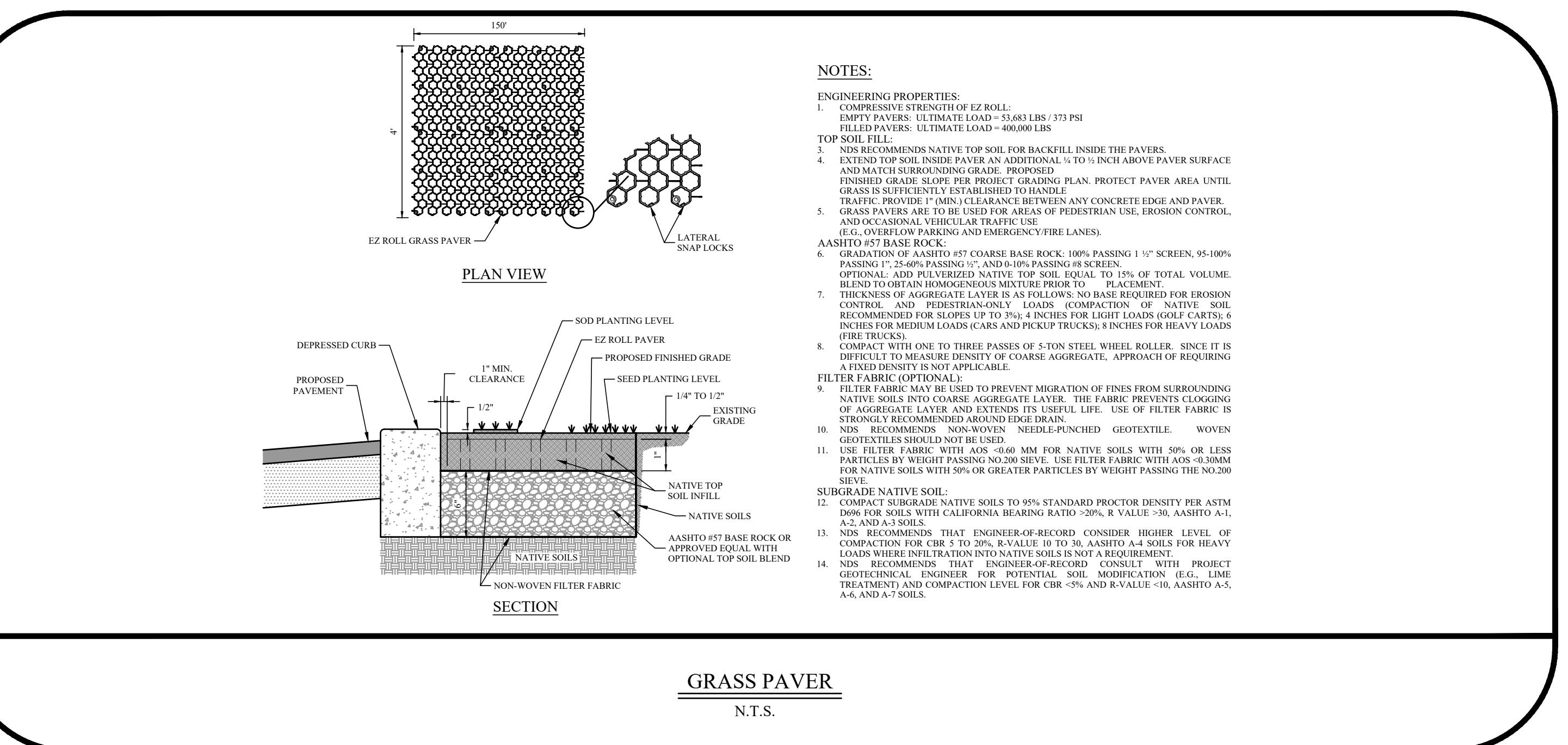
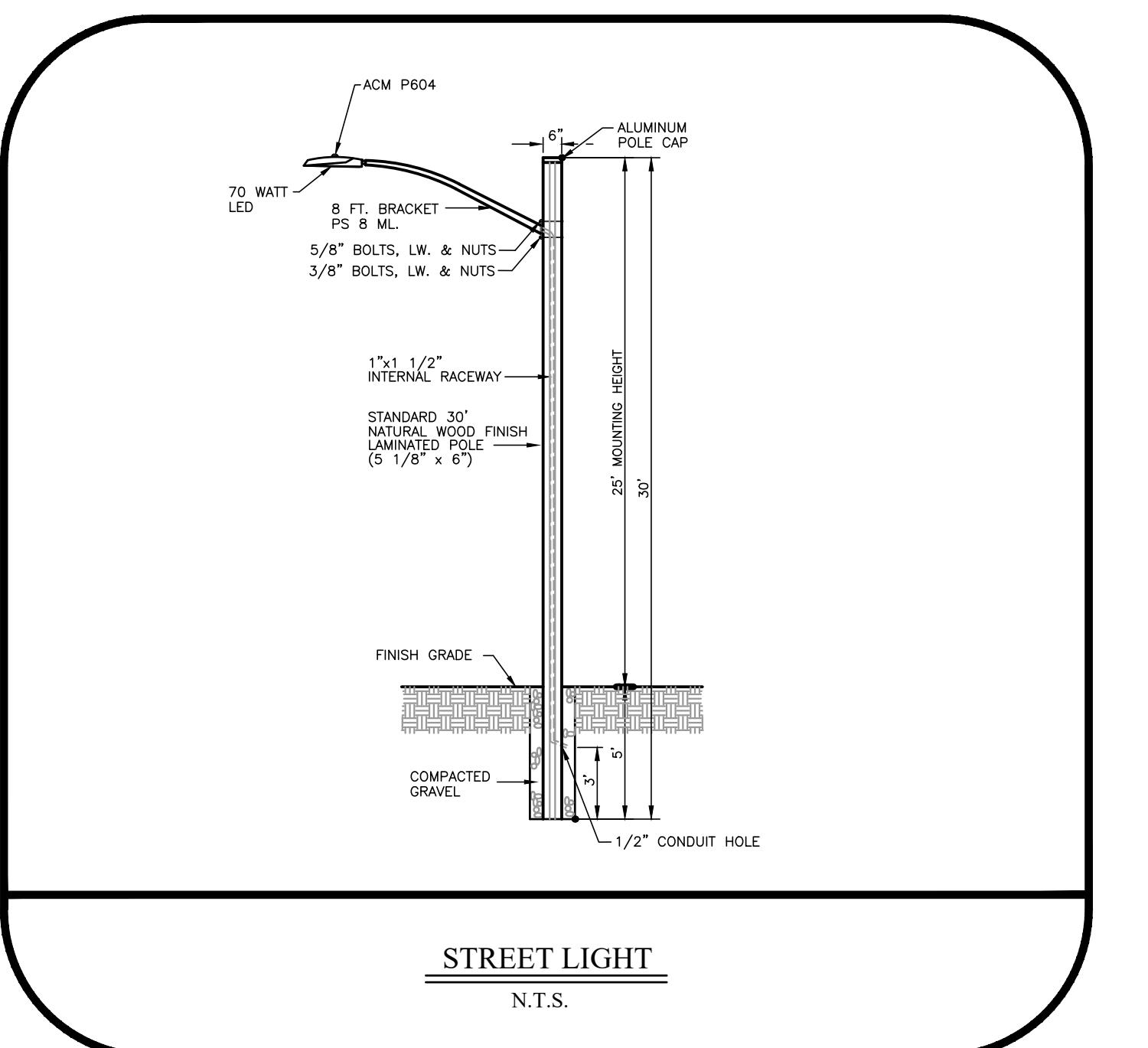
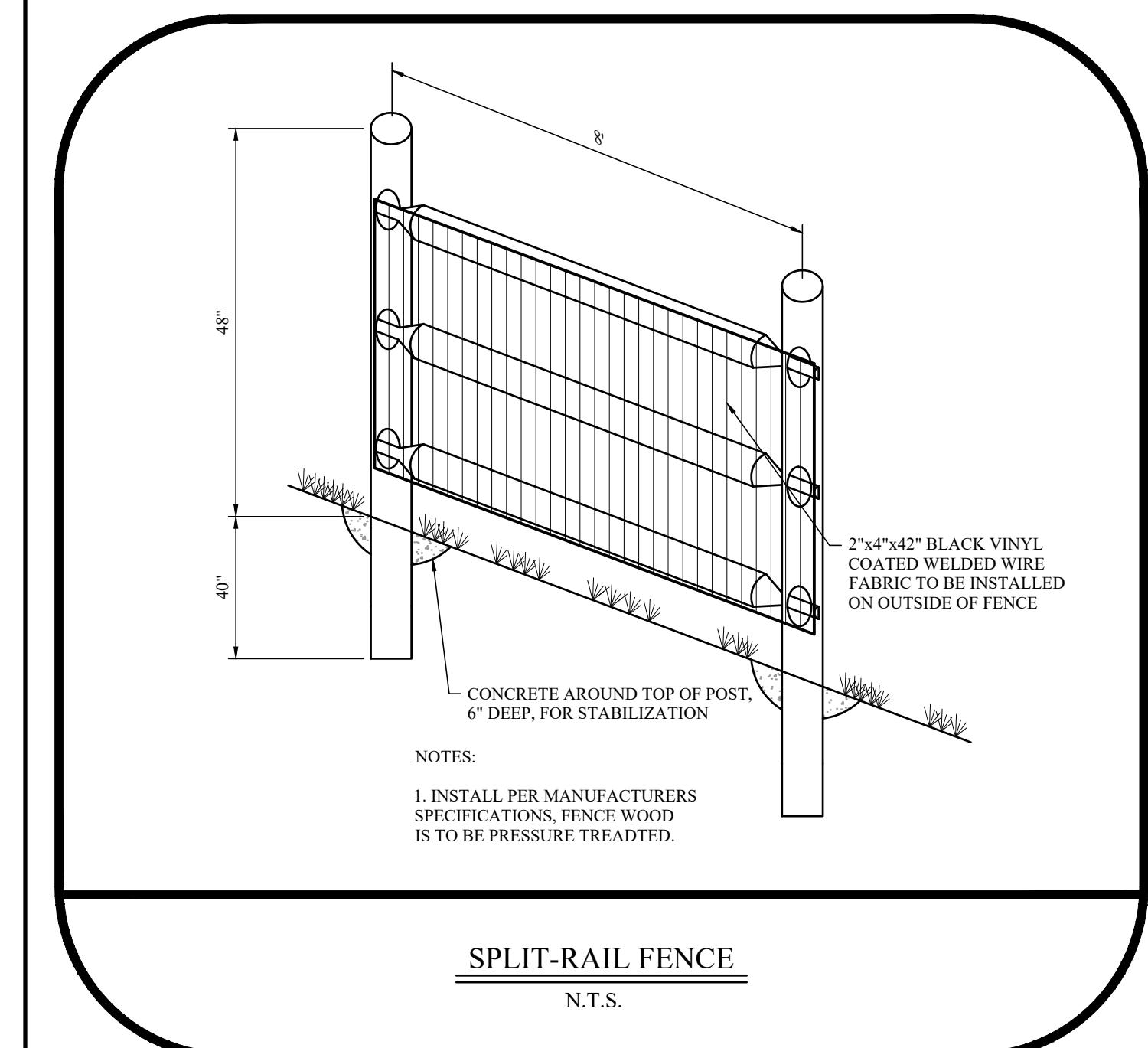
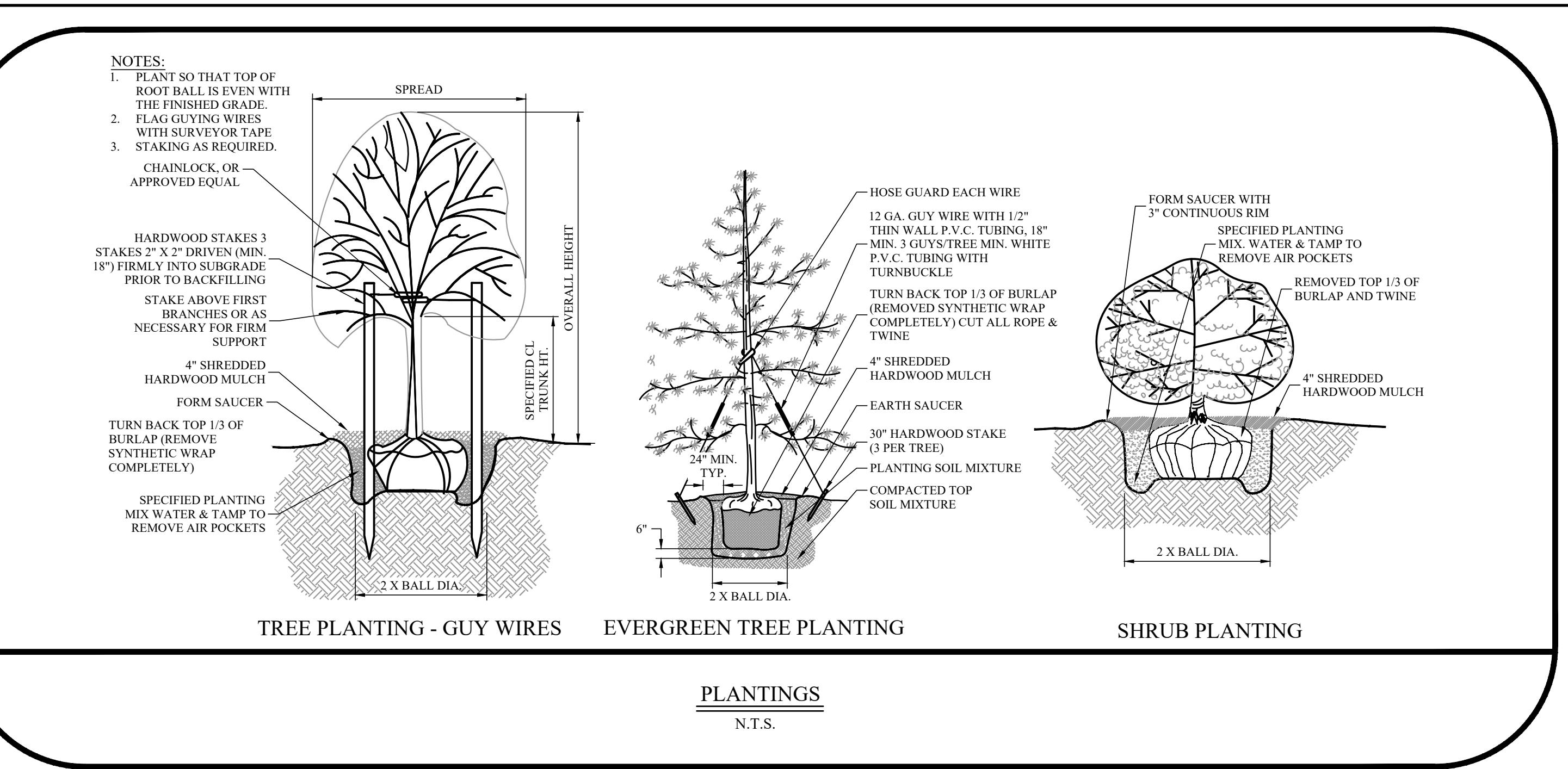
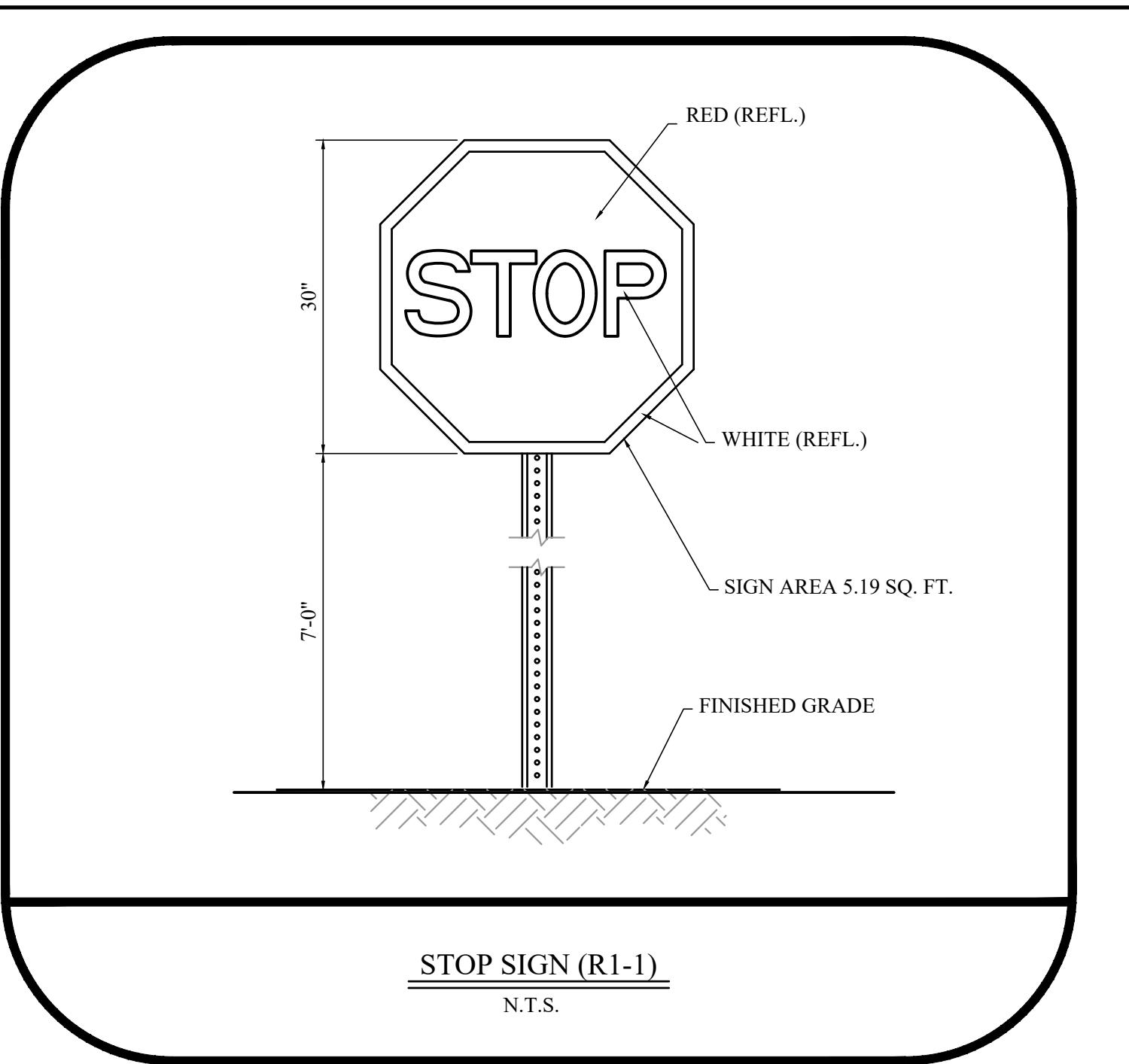
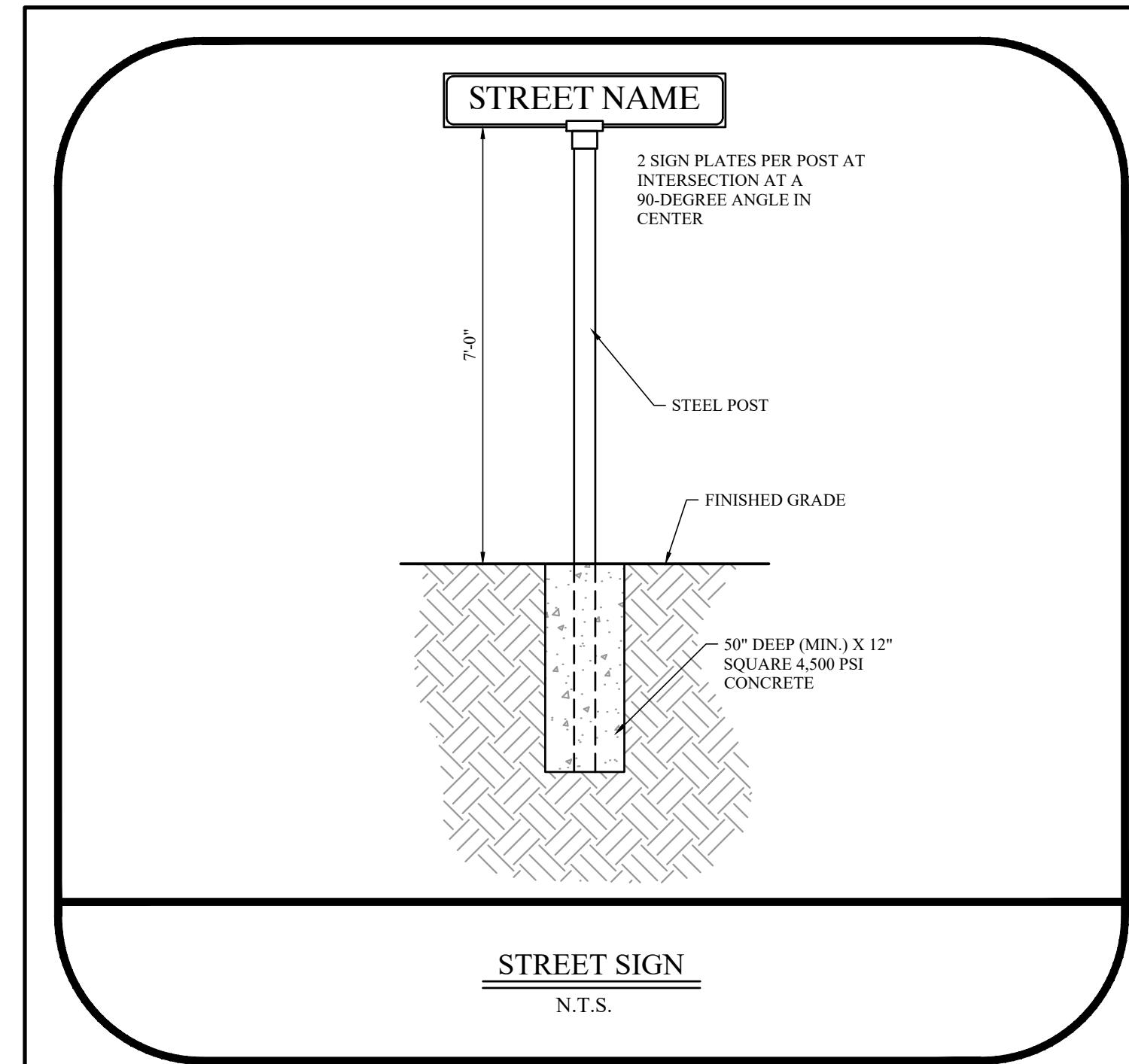
## 3. PROTECTIVE MATERIALS

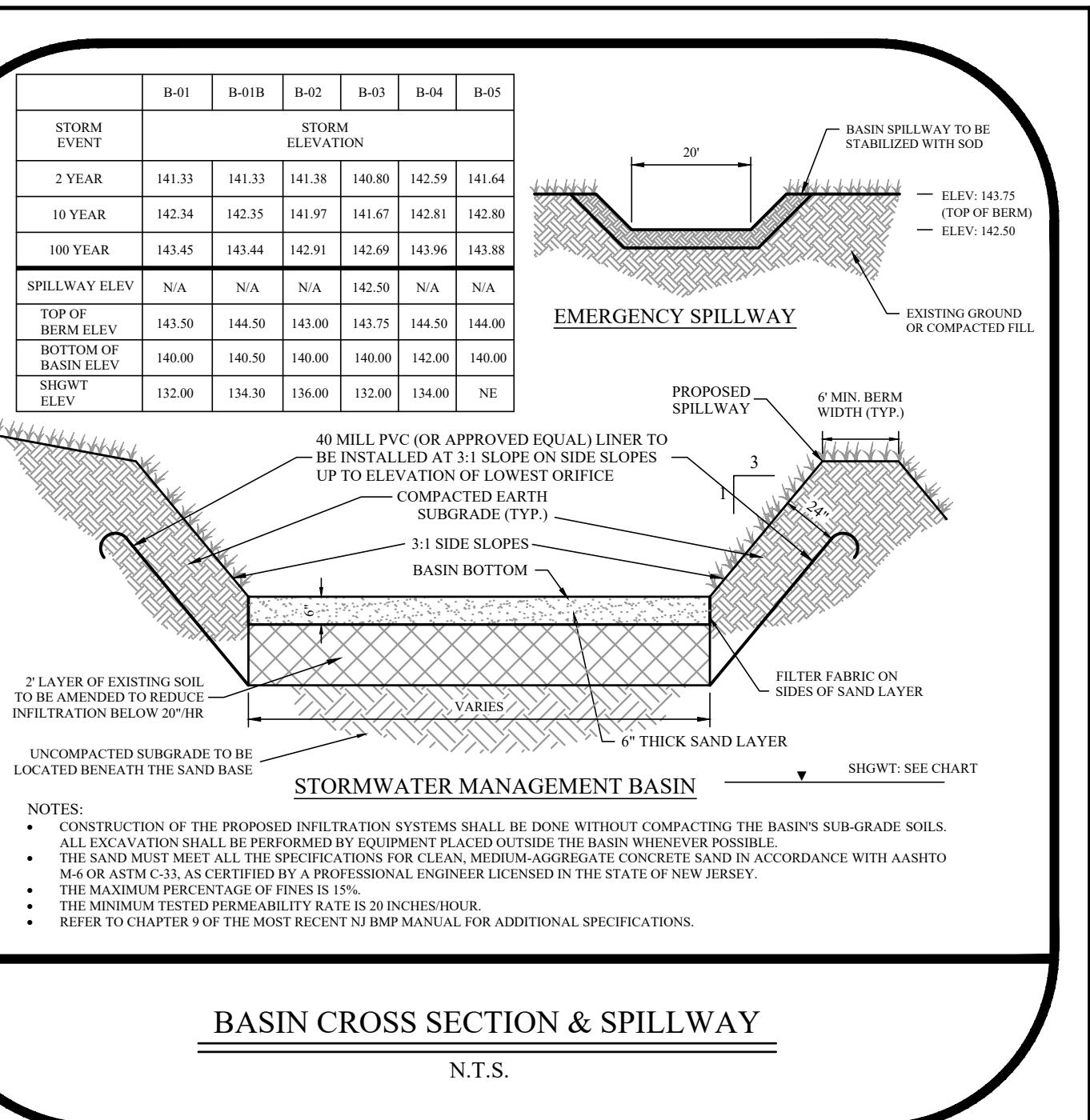
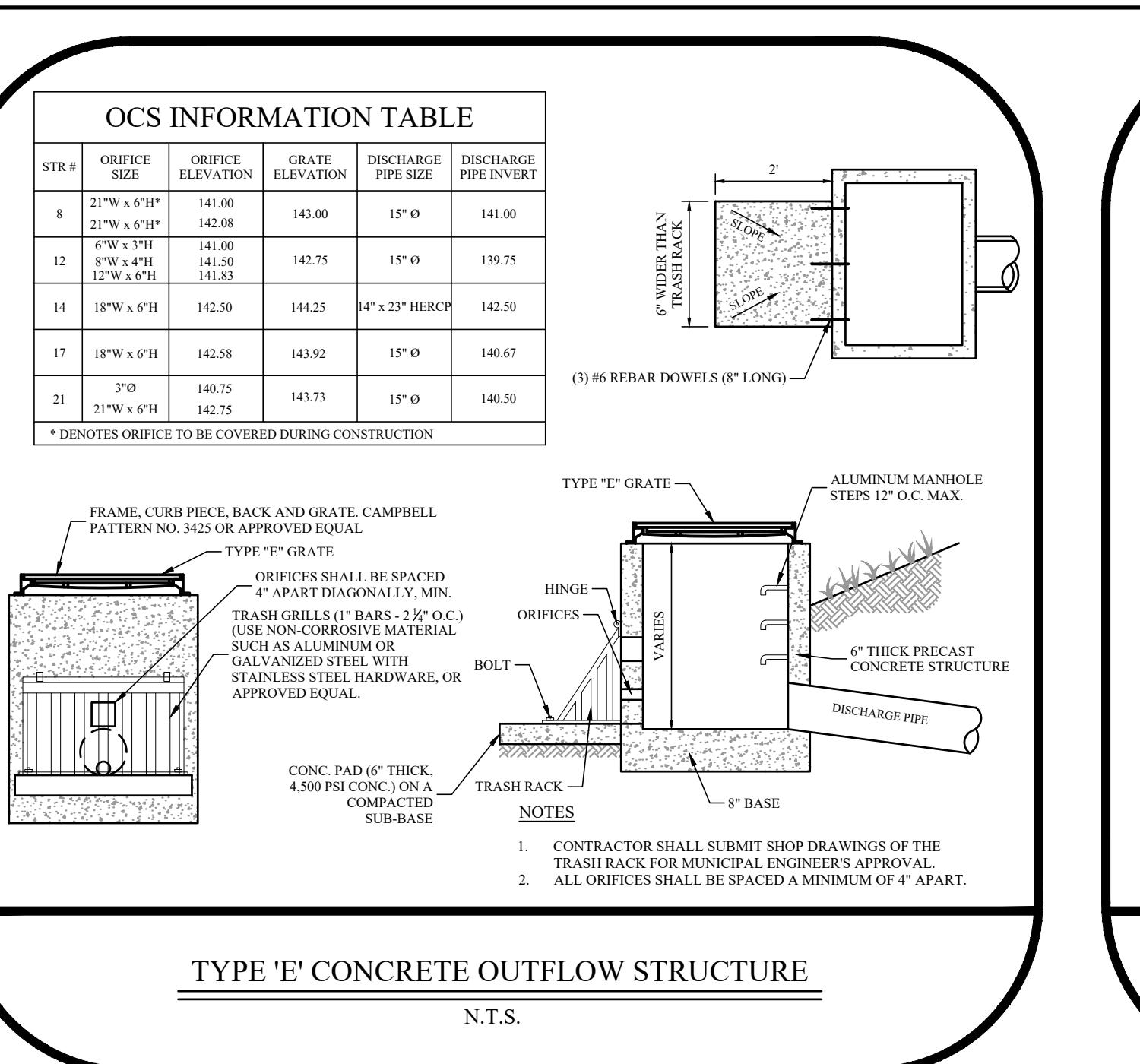
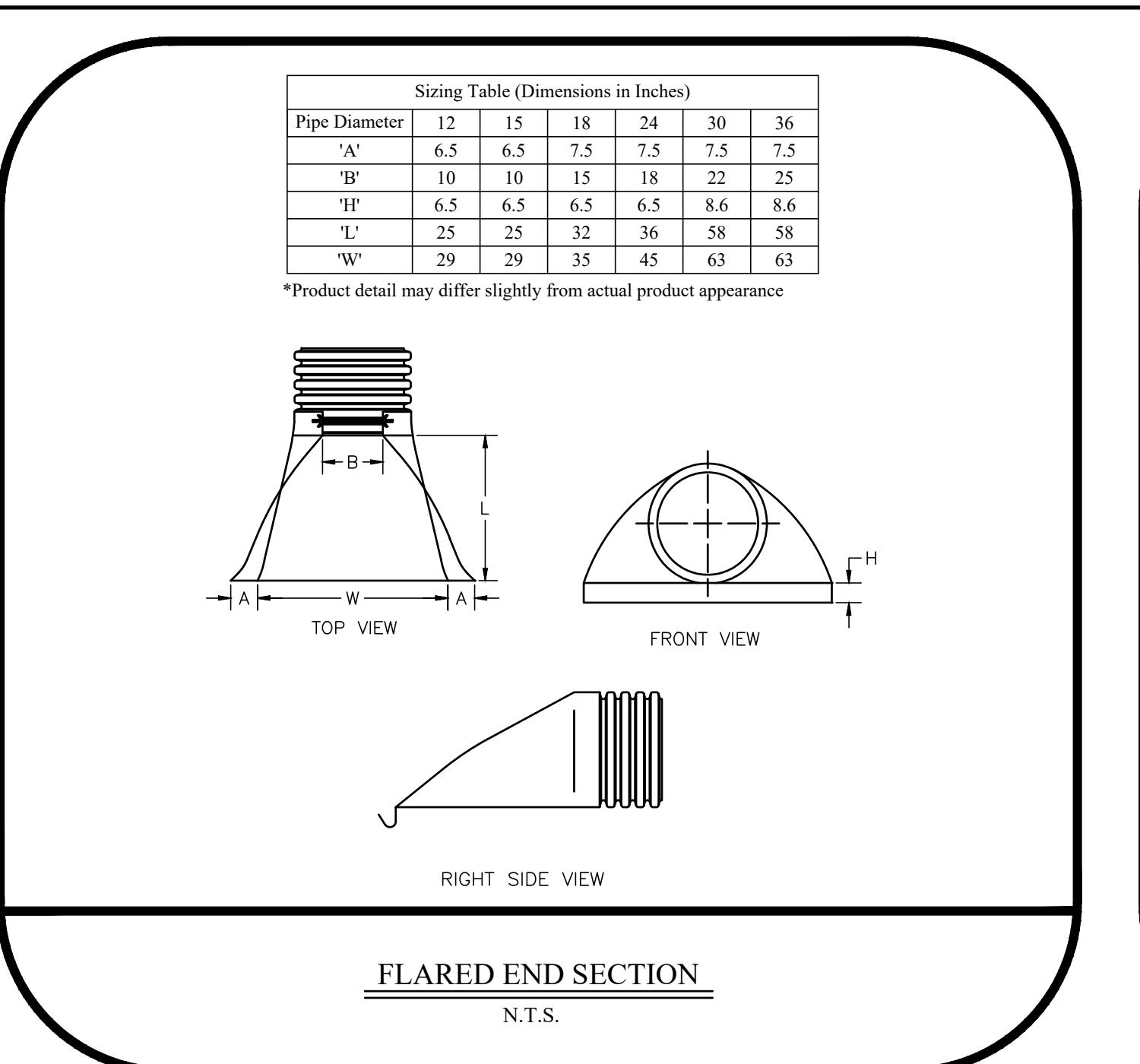
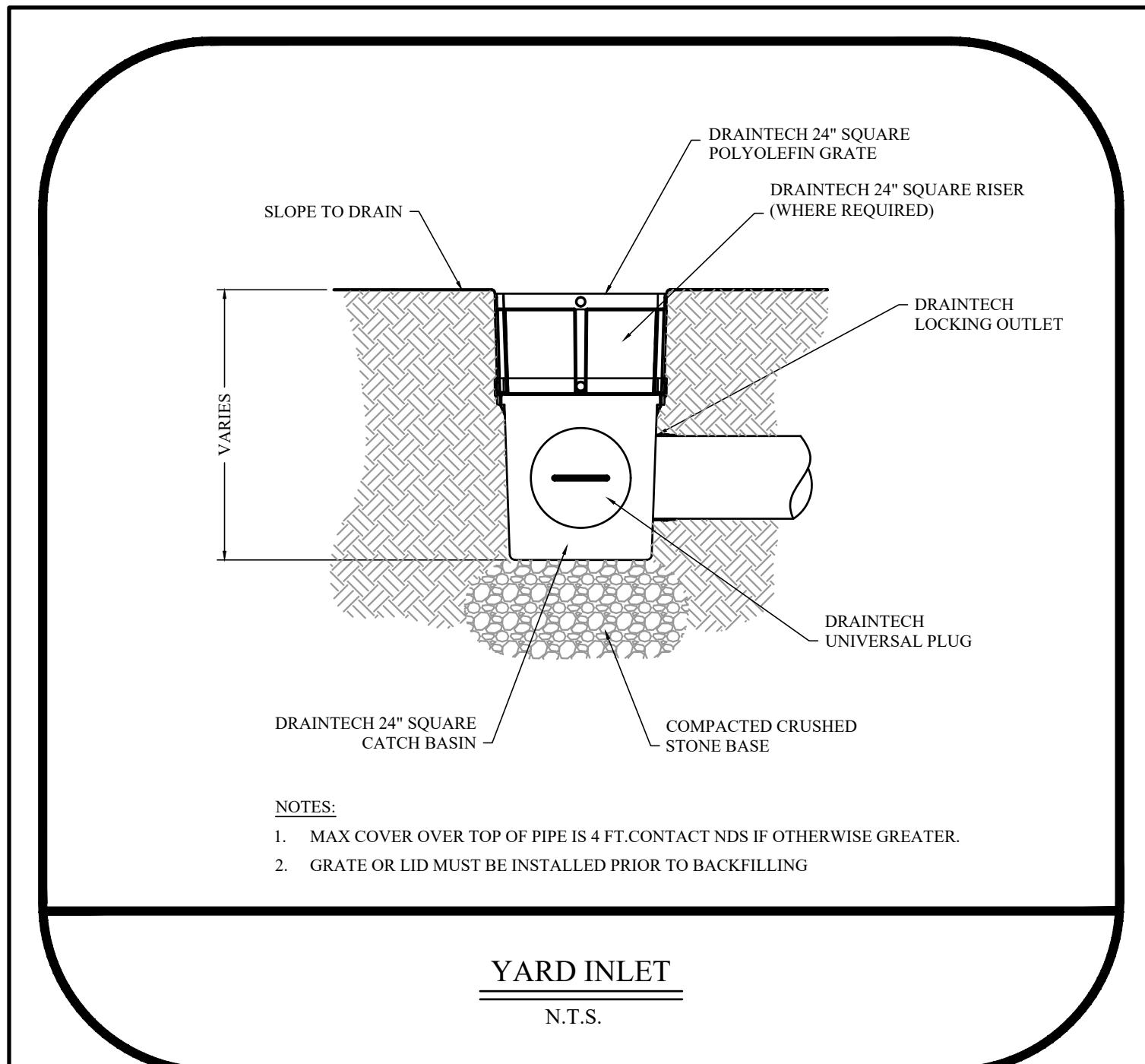
- A. HYDROSEEDING: HYDROSEEDING MAY BE EMPLOYED AS AN ALTERNATIVE TO CONVENTIONAL SEDED. SEDED, SEED, DRILL, OR CULTIPACKER SEED SHOULD BE INCORPORATED INTO THE SOIL WITHIN 12 HOURS OF SEDED. BY ROLLING THE HYDROSEEDER, THE HYDROSEEDER SHALL BE APPLIED AT A RATE OF 1500 LB/ACRE. MULCH SHALL NOT BE INCLUDED IN THE RATE.

## 4. HYDROSEEDING: HYDROSEEDING MAY BE EMPLOYED AS AN ALTERNATIVE TO CONVENTIONAL SEDED. SEDED, SEED, DRILL, OR CULTIPACKER SEED SHOULD BE INCORPORATED INTO THE SOIL WITHIN 12 HOURS OF SEDED. BY ROLLING THE HYDROSEEDER, THE HYDROSEEDER SHALL BE APPLIED AT A RATE OF 1500 LB/ACRE. MULCH SHALL NOT BE INCLUDED IN THE RATE.

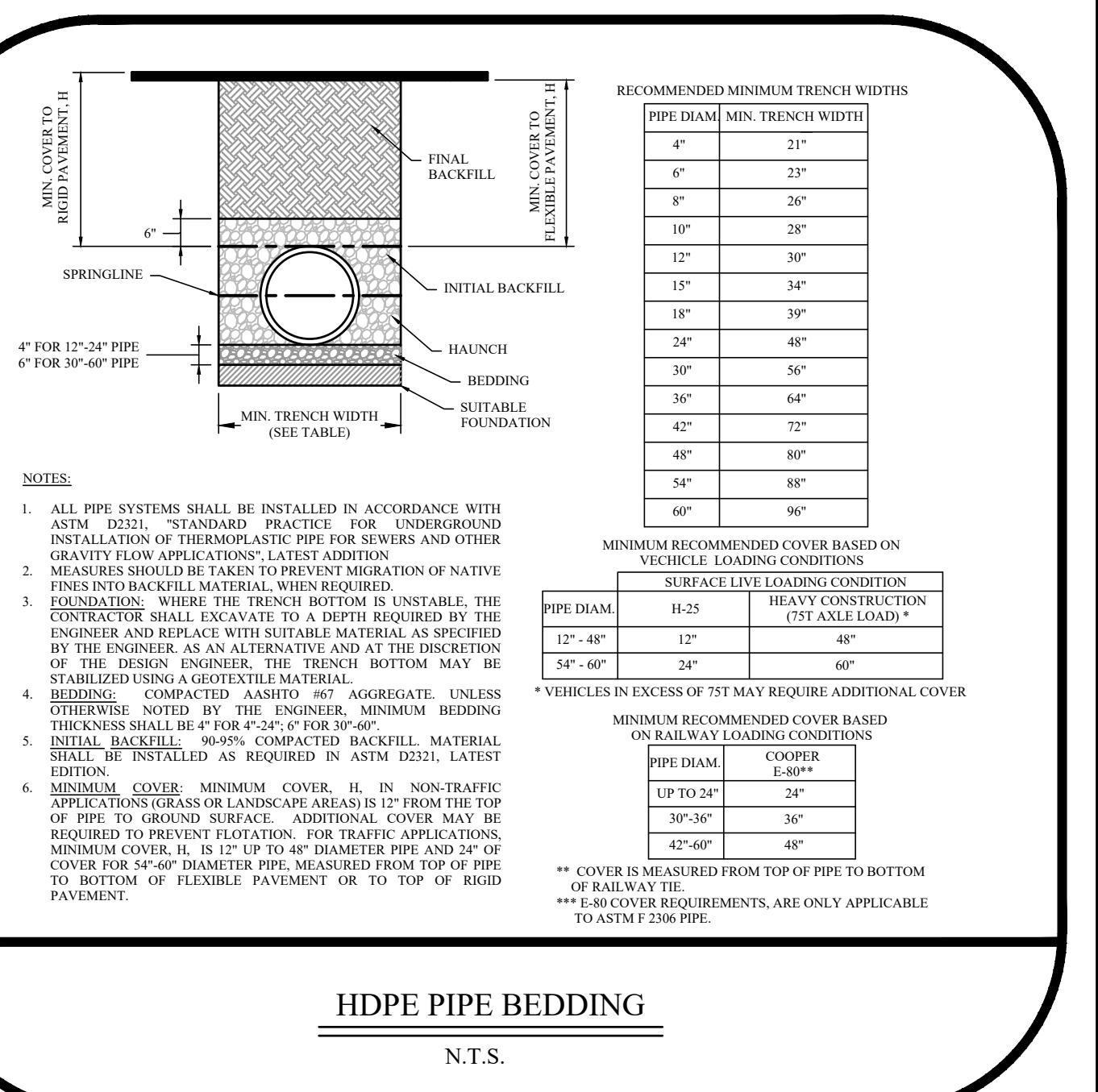
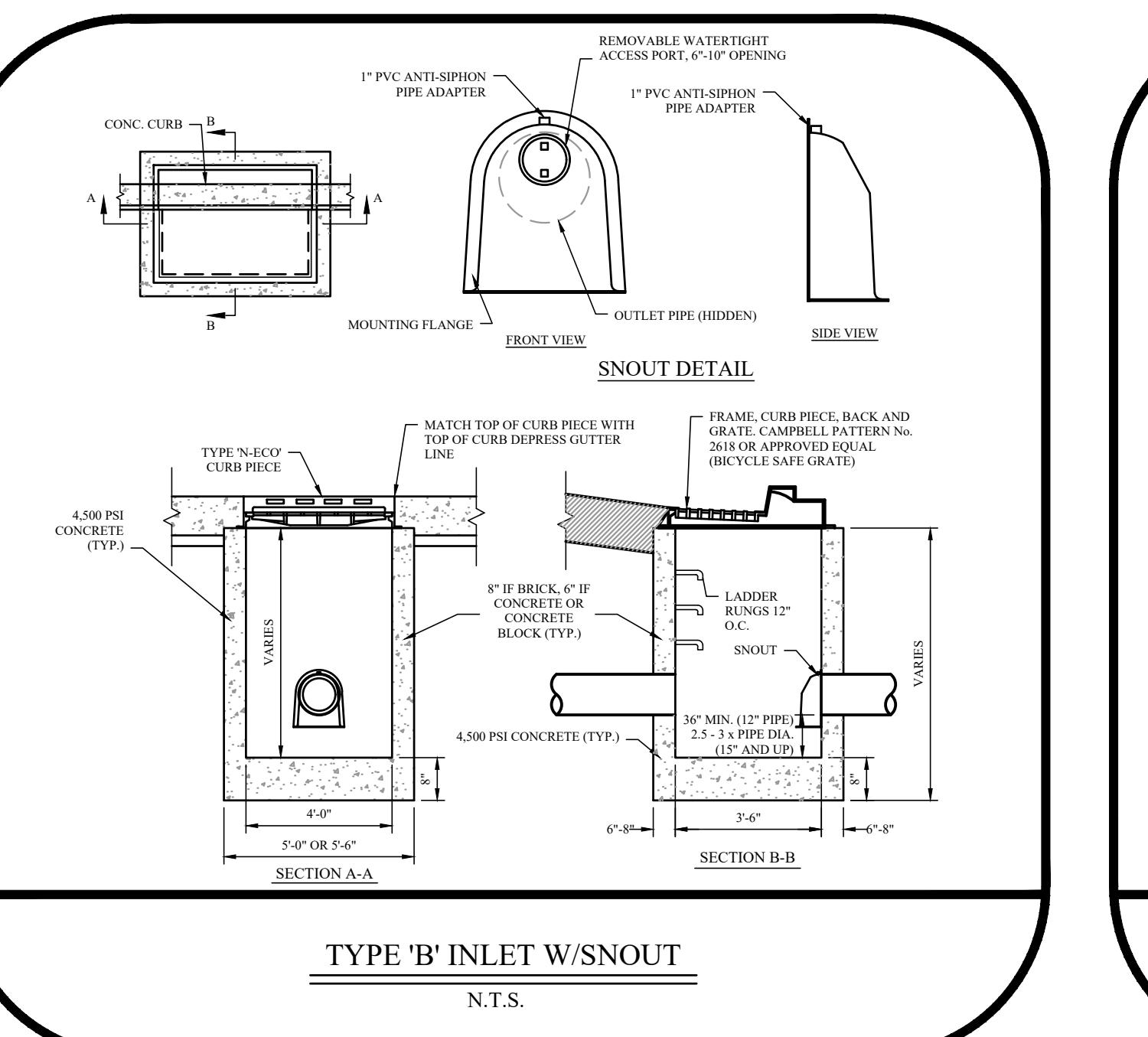
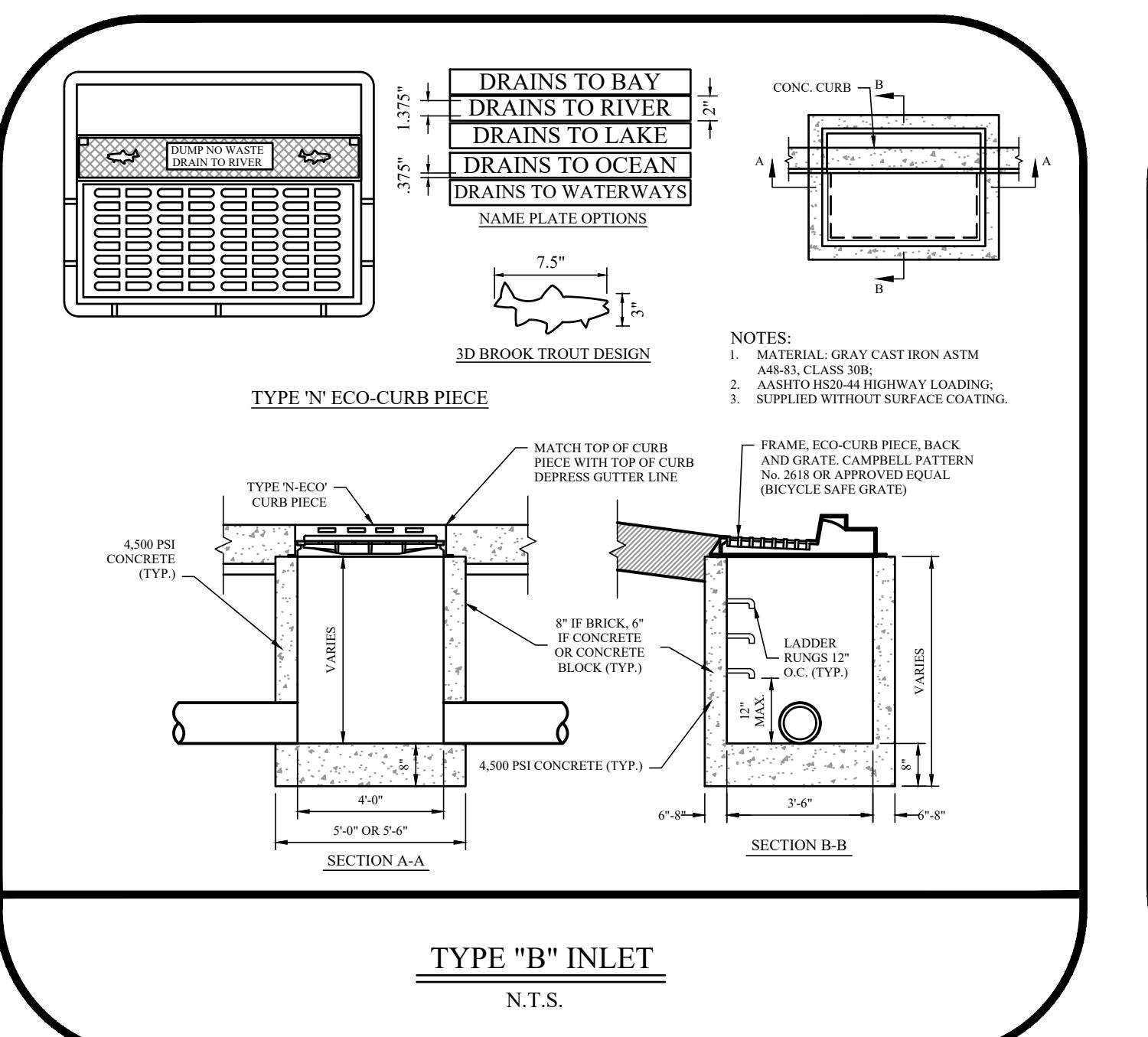
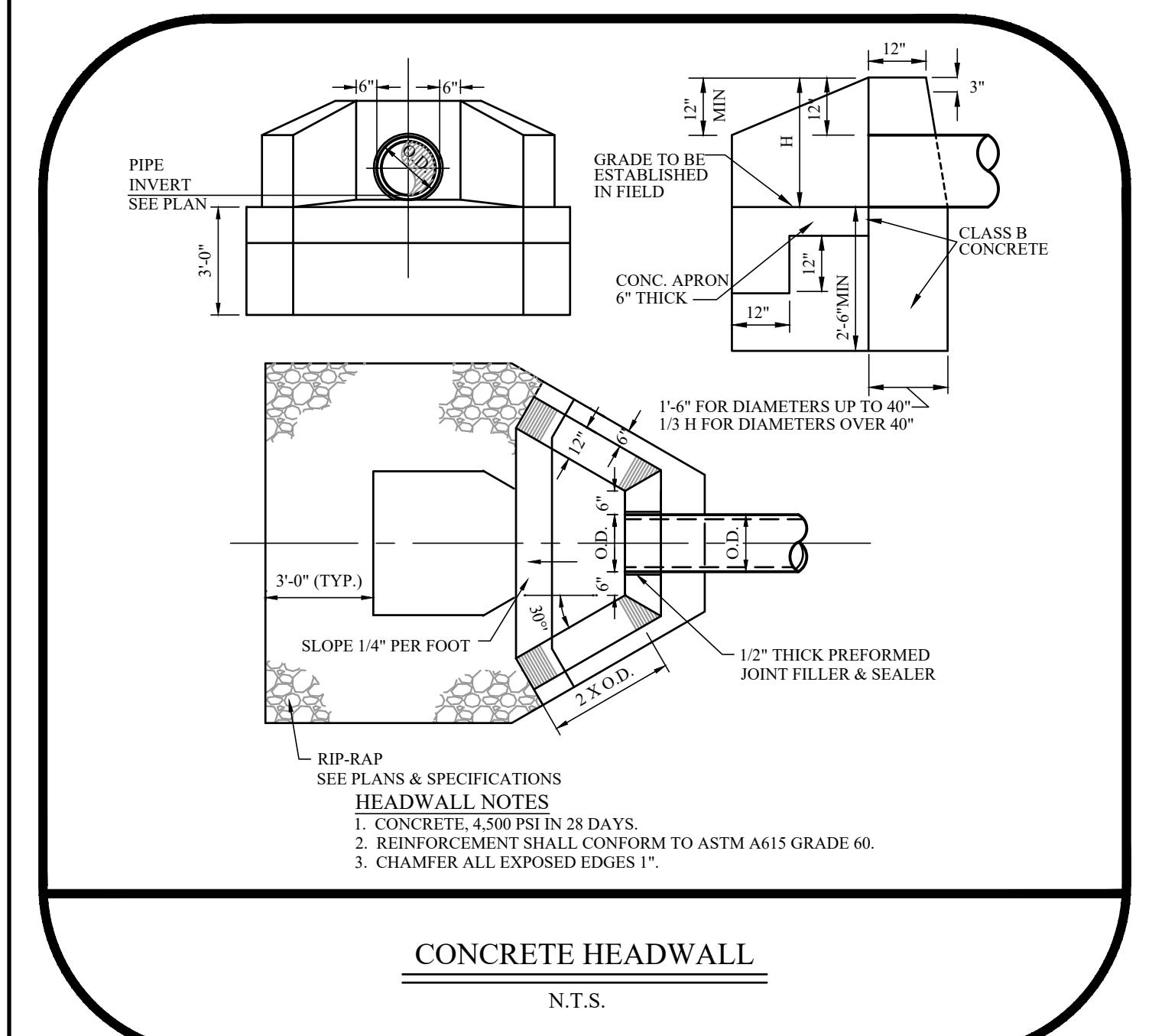
## 5. HYDROSEEDING: HYDROSEEDING MAY BE EMPLOYED AS AN ALTERNATIVE TO





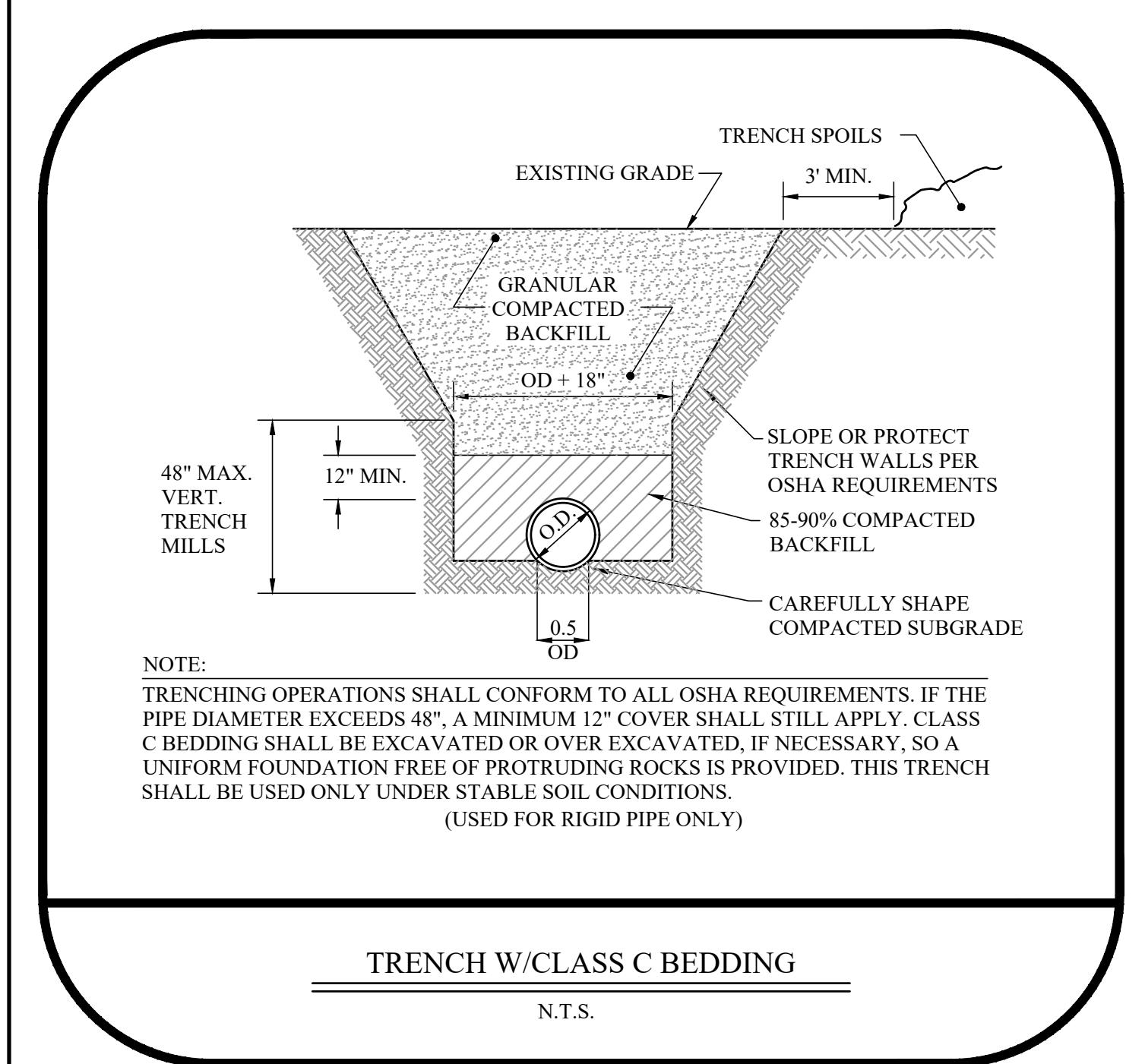


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Certification of Authorization No. 2GAC28131400



REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER 9/16/24 NJDOT REVIEW & 6/28/24 PINELANDS REVIEW	01/21/25
2	REVISED FOR: 1. ADDITIONAL VARIOUS REVISIONS AND OWNER & OWNER'S DESIGNER	05/02/25
3	UPDATED 2024 ADDITIONAL VARIOUS REVISIONS AND OWNER & OWNER'S DESIGNER	05/02/25
4	UPDATED TO PROVIDE FUEL BREAK PER FIRE CHIEF REVIEW	06/24/25

FOR APPROVAL PURPOSES ONLY



**COUNTRY AIRE II**  
**MAJOR SUBDIVISION**

**NORTH ROUTE 73**  
**BLOCK 3204, LOTS 2 & 4**  
**PLATE 32**  
**TOWNSHIP OF WINSLOW,**  
**CAMDEN COUNTY**  
**NEW JERSEY**

**FOR**

**COUNTRY AIRE AT WINSLOW,**  
**LLC**  
**JOHN SCHIAVO, MANAGING**  
**MEMBER**  
**6 JUSTA LANE**  
**CHERRY HILL, NJ 08003**

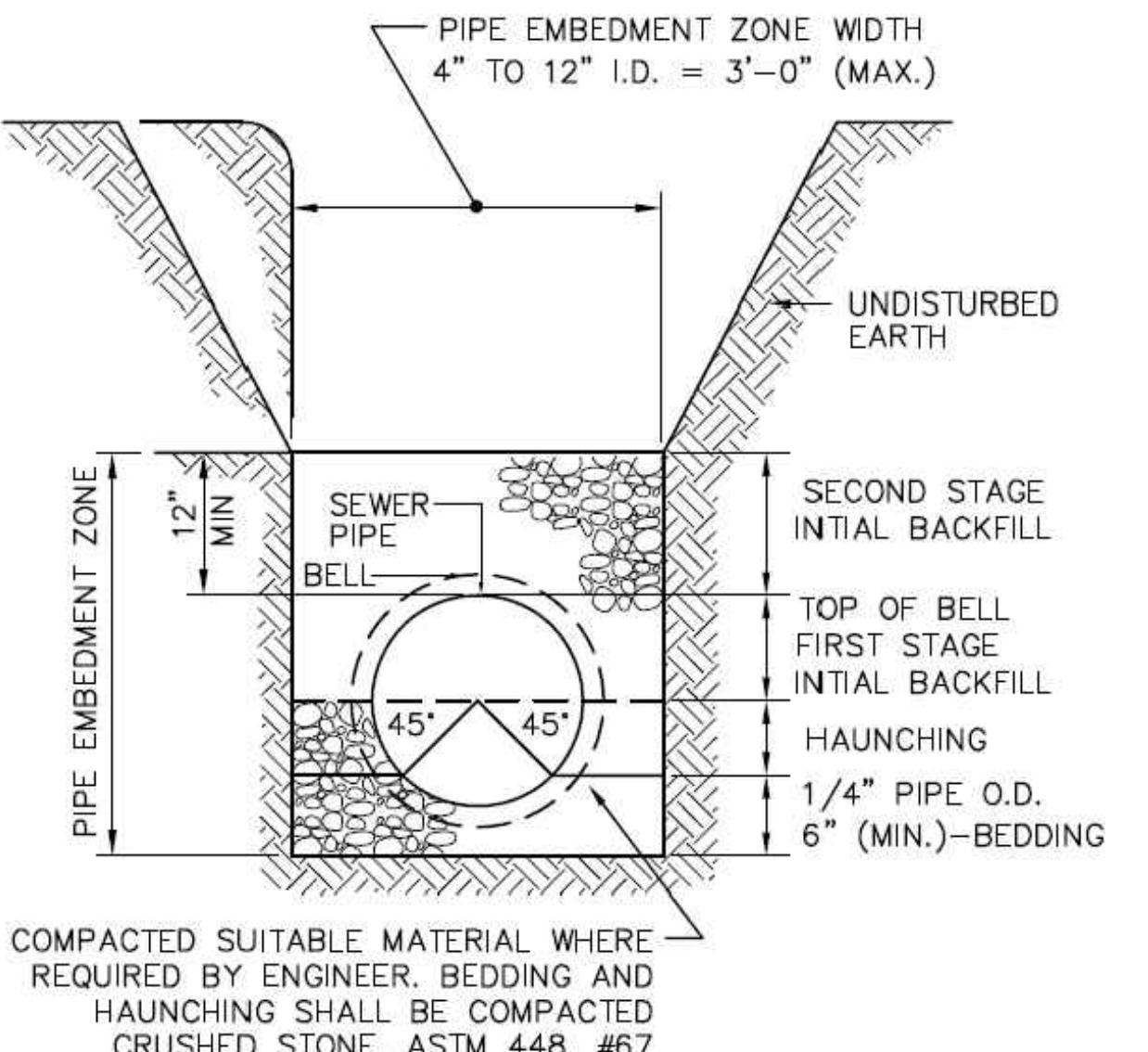
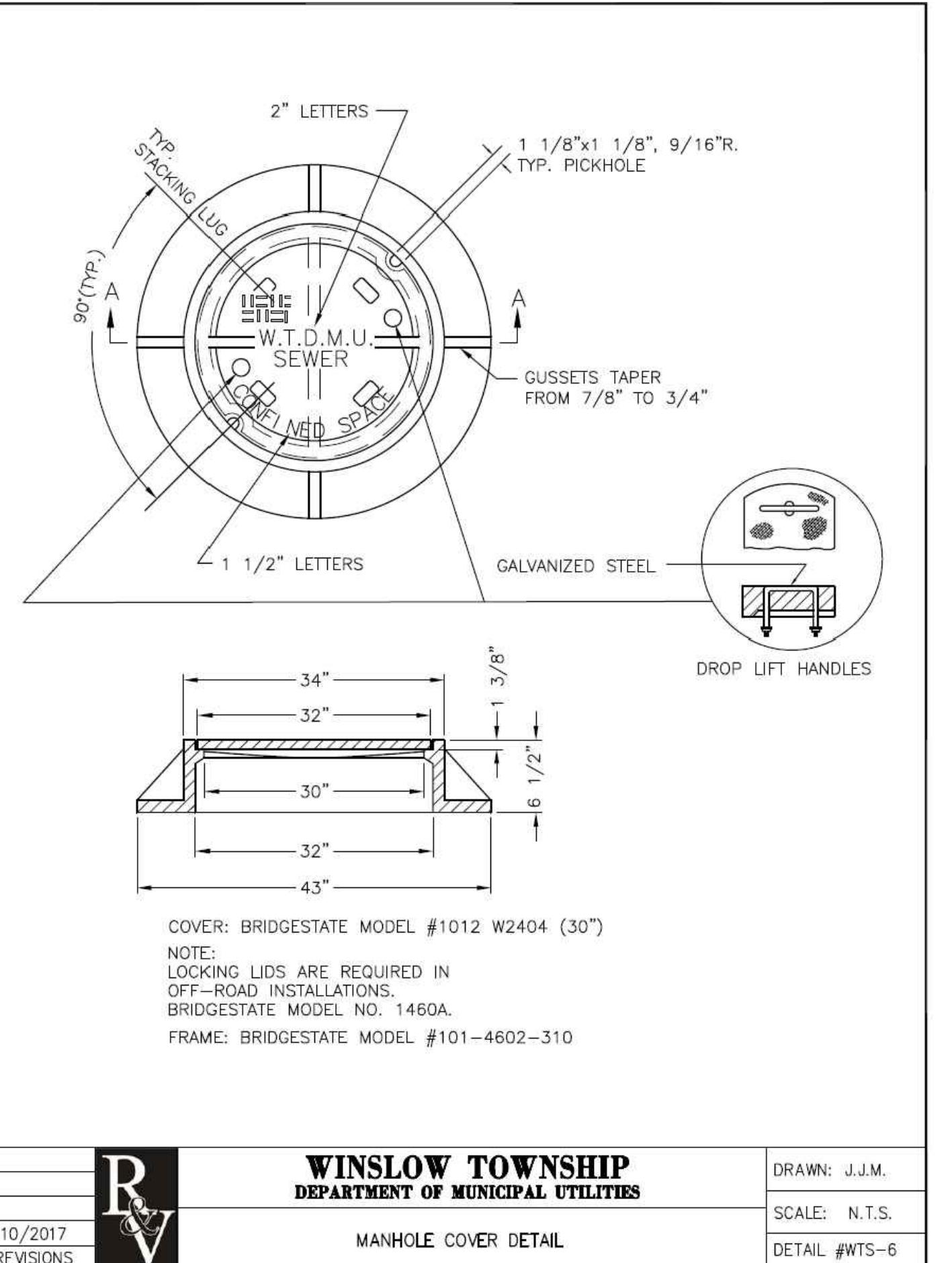
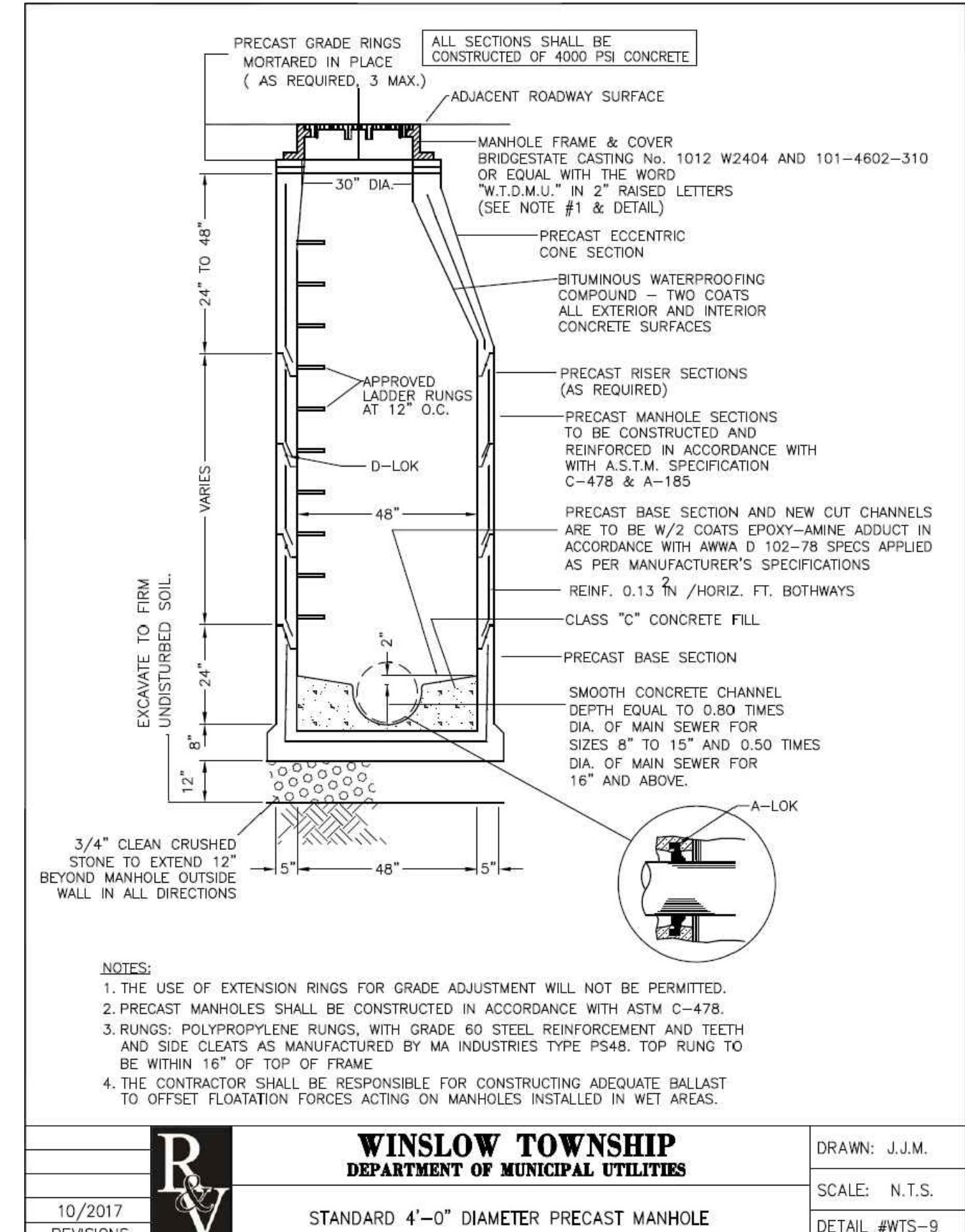
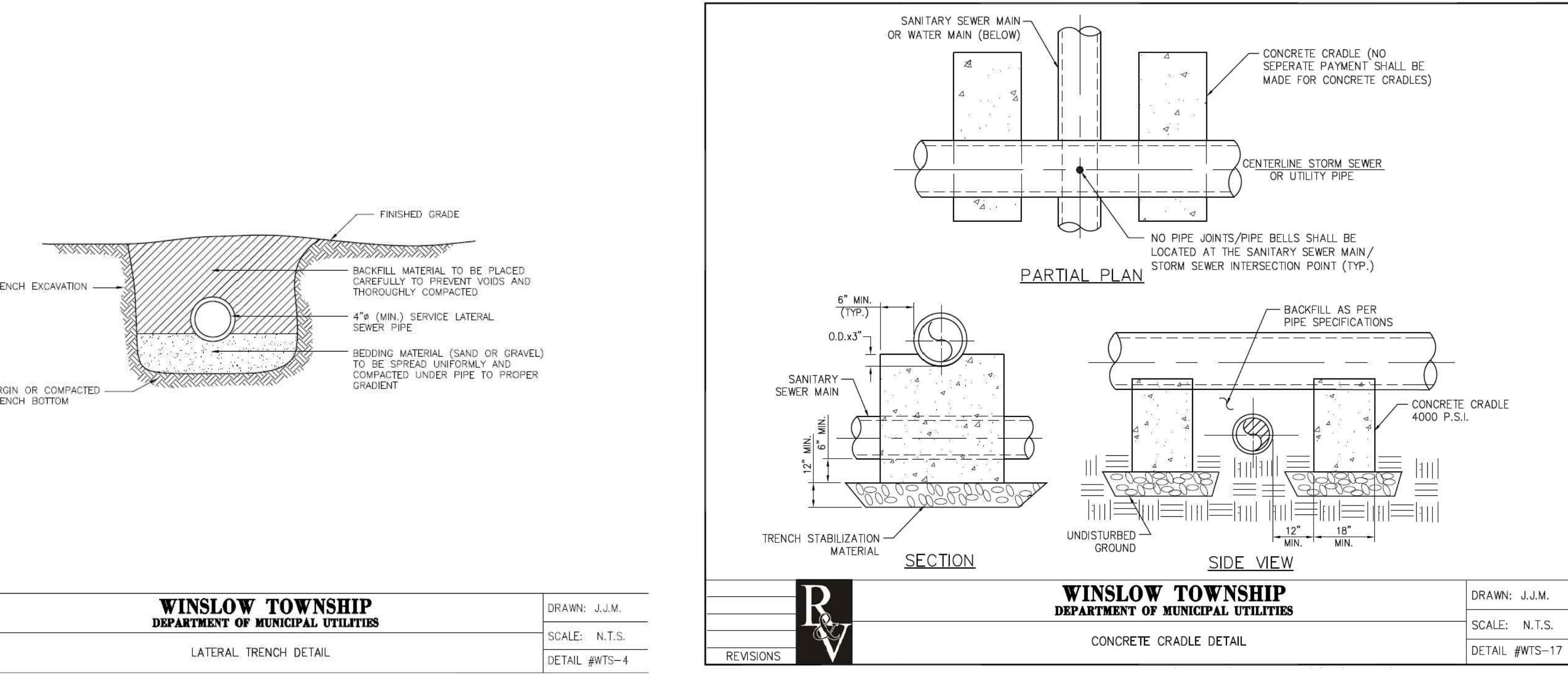
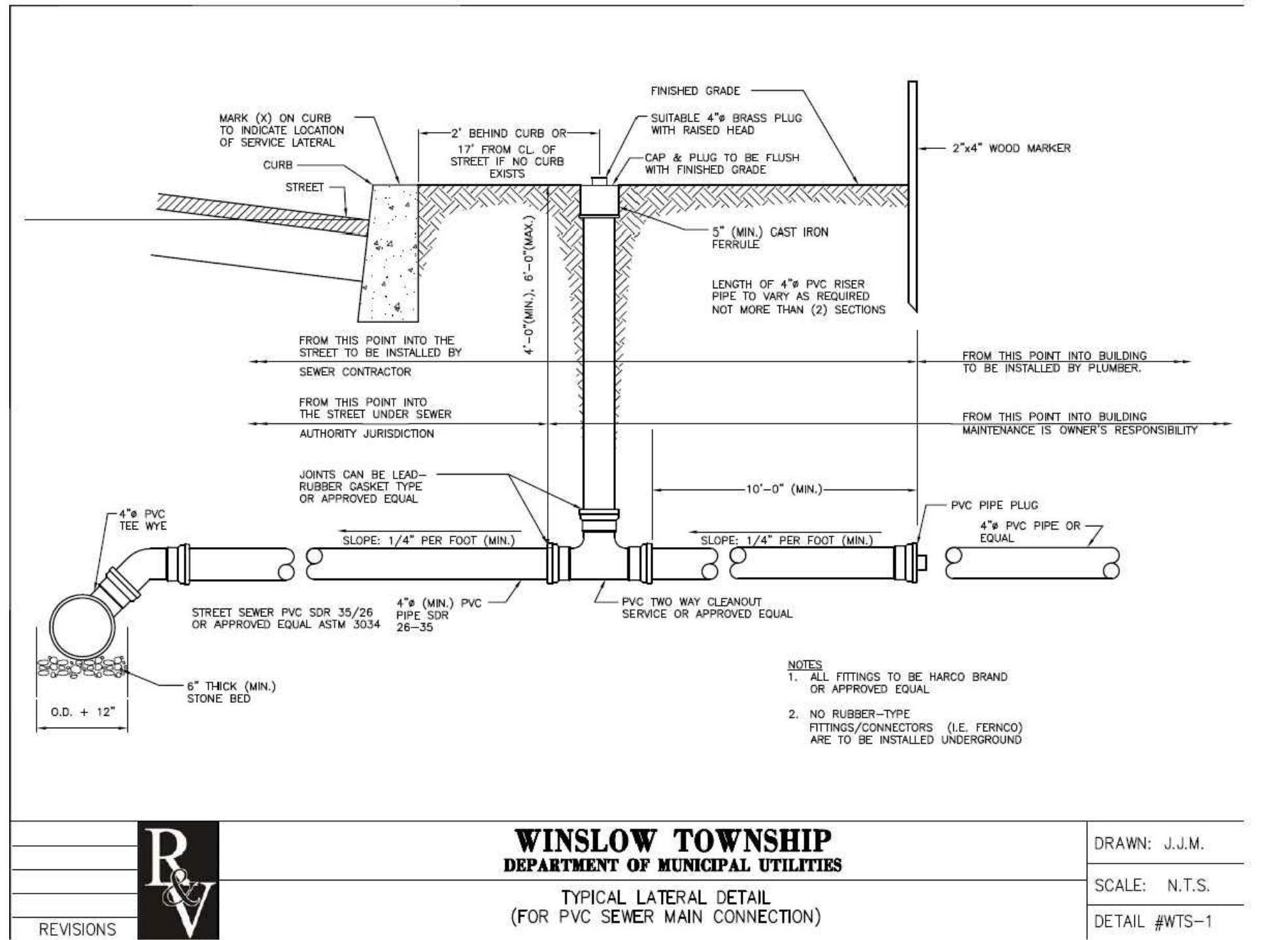
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State of Delaware • License # 13285

**D. Kreck**

**CONSTRUCTION DETAILS**

**SHEET NUMBER:** 13 of 15





CLASS "B" MODIFIED BEDDING

**COUNTRY AIRE II**  
MAJOR SUBDIVISION  
NORTH ROUTE 73  
BLOCK 3204, LOTS 2 & 4  
PLATE 32  
TOWNSHIP OF WINSLOW,  
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SHEET TITLE:  
**MUNICIPAL  
UTILITY DETAILS**  
SHEET NUMBER:  
15 of 15