

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER 9/16/24 NJDOT REVIEW & 6/28/24 PINELANDS REVIEW	01/21/25
2	REVISED FOR TWP SUBMISSION	05/02/25
3	UPDATED SW LIFT, ADDED USE VARIANCE REQUEST, ADDRESS REVIEW & WATER DEMANDS	05/20/25
4	UPDATED TO PROVIDE FUEL BREAK PER FIRE CHIEF REVIEW	06/24/25

FOR APPROVAL
PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSES INTENDED WILL BE AT THE OWNER'S SOLE RISK, AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHALL INDemnIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-325-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY: DPK	JOB NO: 1539-03
DRAWN BY: JAD	DATE: 05/10/24
CHECKED BY: DPK	SCALE: NOT TO SCALE

PROJECT:
**COUNTRY AIRE II
MAJOR SUBDIVISION**

NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32
TOWNSHIP OF WINSLOW,
CAMDEN COUNTY
NEW JERSEY

FOR
COUNTRY AIRE AT WINSLOW,
LLC
JOHN SCHIAVO, MANAGING
MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003

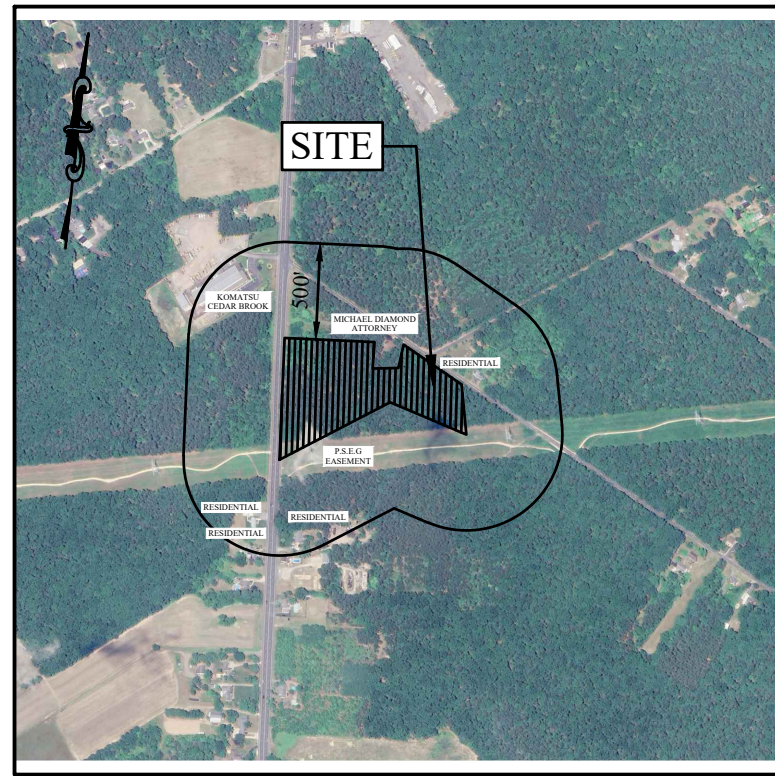
DAVID P. KRECK, PE, CME
Professional Engineer
State of New Jersey • License # GE 40995
State of Pennsylvania • License # 051762E
State of Delaware • License # 13285

SHEET TITLE:
COVER SHEET

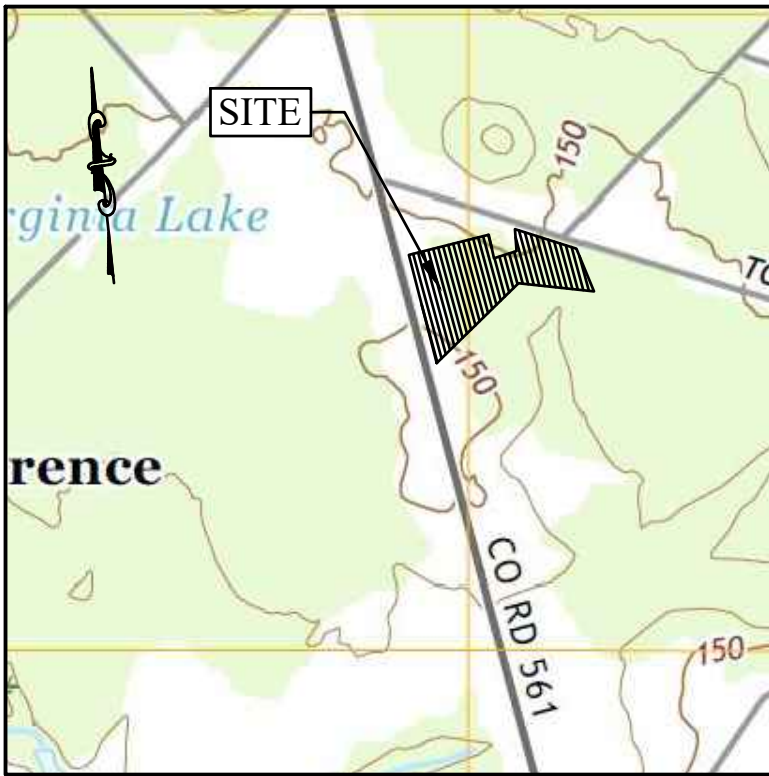
SHEET NUMBER:
1 of 15

COUNTRY AIRE II USE VARIANCE & PRELIMINARY MAJOR SUBDIVISION

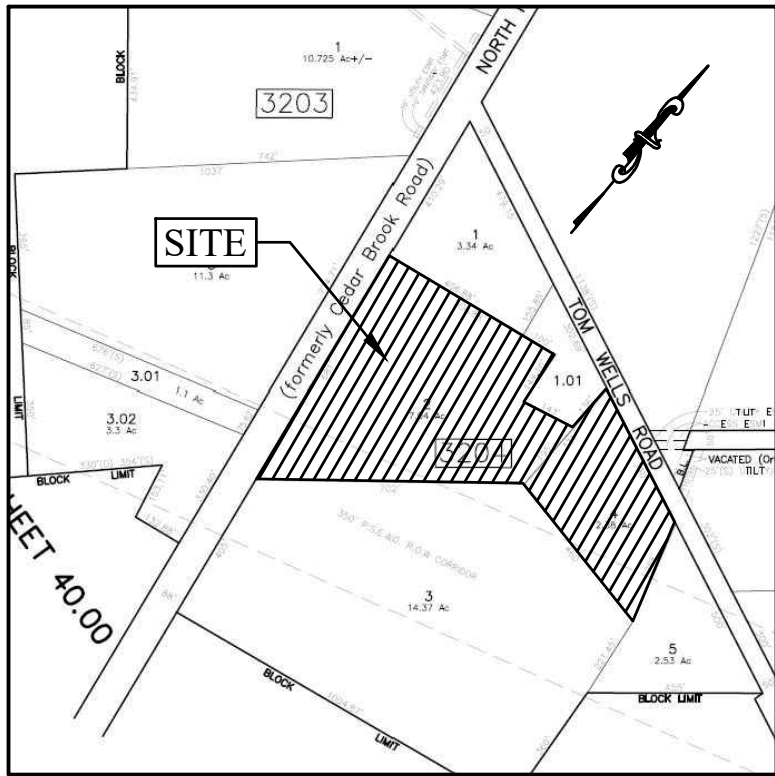
BLOCK 3204, LOTS 2 & 4, PLATE 32
TOWNSHIP OF WINSLOW
CAMDEN COUNTY, NEW JERSEY



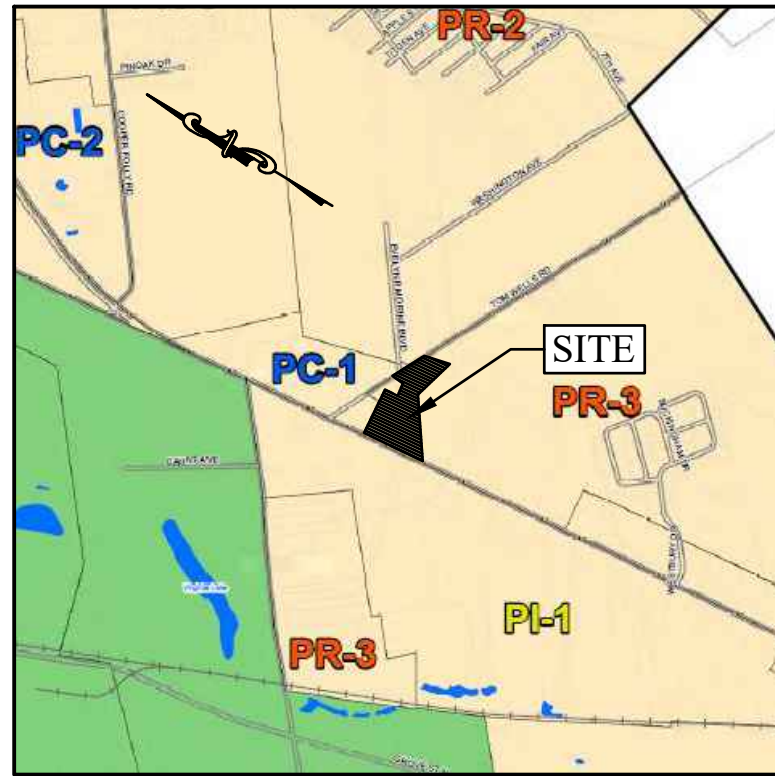
KEY MAP
SCALE: 1" = 1,000'



U.S.G.S. QUAD MAP
SCALE: 1" = 1,000'



TAX MAP
NOT TO SCALE



ZONING MAP
NOT TO SCALE

APPROVED BY THE MUNICIPAL BOARD ON THIS ___ DAY OF _____, 20__

APPLICATION# _____

CHAIRPERSON _____

SECRETARY _____

ENGINEER _____

CLERK _____

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE
HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN

OWNER _____

Property Owners list within 200' from Subject Property						
Block	Lot	Qualifier	Property Location	Owner	Mailing Address	City & State Zip Code
3203	3		NORTH ROUTE 73	M & M LAND GROUP LLC	185 WEST WHITE HORSE PIKE	BERLIN NJ 08009
3203	3.01		NORTH ROUTE 73	PUBLIC SERVICE ELECTRIC & GAS CO	80 PARK PLAZA	NEWARK NJ 07102
3203	3.02		NORTH ROUTE 73	M & M LAND GROUP LLC	185 WEST WHITE HORSE PIKE	BERLIN NJ 08009
3204	1		192 NORTH ROUTE 73	WILLIAMS WILLIAM H JR	22 PITMAN PLACE	SEWELL NJ 08080
3204	1.01		20 TOM WELLS ROAD	DIAMOND MICHAEL	20 TOM WELLS ROAD	BERLIN NJ 08009
3204	3		NORTH ROUTE 73	PUBLIC SERVICE ELECTRIC & GAS CO	80 PARK PLAZA	NEWARK NJ 07102
3204	5		TOM WELLS ROAD	TOWNSHIP OF WINSLOW	125 SOUTH ROUTE 73	HAMMONTON NJ 08037
3205	4	QFARM	NORTH ROUTE 73	WINSLOW TOWNSHIP DEVELOPMENT LLC	1770 W COUNTY LINE RD 108	LAKEWOOD NJ 08701
3205	5	QFARM	EVELYN B MORINE BLVD	WINSLOW TOWNSHIP DEVELOPMENT LLC	1770 W COUNTY LINE RD 108	LAKEWOOD NJ 08701
3206	1		103 TOM WELLS ROAD	BERRY MICHAEL R & LINDA A	57 BELLA ROAD	LUMBERTON NJ 08048
3901	1.02		166 NORTH ROUTE 73	DAUNORAS JACK	PO BOX 116	CEDAR BROOK NJ 08018
			Utilities	Atlantic City Electric R/E & R/W	5100 Harding Hwy #399	Mays Landing NJ 08330
			Utilities	South Jersey Gas Co.	1 South Jersey Plaza	Folsom, NJ 08037
			Utilities	P.S.E. & G. - Corporate Properties	80 Park Plaza	Newark, NJ 07102
			Utilities	Township of Winslow	125 S. Rt 73	Braddock, NJ 08037
			Roadways - State	Commissioner of Transportation	1035 Parkway Ave PO Box 101	Trenton, NJ 08625
			Roadways - County	Camden County Planning Board	2311 Egg Harbor Road	Lindenwold, NJ 08021
			Commission/Boards	Pinelands Commission	PO Bx 359 15 Springfield Road	New Lisbon, NJ 08064

LIST OF PROPERTY OWNERS & UTILITIES WITHIN 200' (5-20-25)

PREPARED FOR:

COUNTRY AIRE AT WINSLOW, LLC
JOHN SCHIAVO, MANAGING MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003

PREPARED BY:



THE PETTIT GROUP, LLC
Engineering • Architecture • Planning

497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com

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DEMOLITION & STRUCTURAL FILL NOTES:

- IF PROVIDED, THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN TAKEN FROM VARIOUS SOURCES AND IS SHOWN FOR DESIGN AND ESTIMATING PURPOSES ONLY. ACTUAL LOCATIONS OF UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER FOR INTERPRETATION. ANY ALL DISCREPANCIES SHALL BE REPORTED TO ENGINEER IN WRITING PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS & UTILITIES. A WRITTEN NOTICE SHALL BE FORWARDED TO THE OWNER SETTING FORTH THE DATE OF CONTACT. CONTRACTORS ARE ADVISED TO CALL 1-800-272-1000 BEFORE COMMENCING FOR A MARKOUT OF EXISTING UTILITIES.
- CONTRACTOR SHALL REVIEW ALL PLAN SHEETS TO DETERMINE IF THE EXTENT OF IMPROVEMENTS TO BE REMOVED, AS INDICATED ON THIS PLAN, IS CORRECT. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER DURING THE BID PHASE.
- CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES PRIOR TO DEMOLITION.
- CONTRACTOR TO COORDINATE ALL UTILITY REMOVAL(S) AND SHUT-OFF(S), (TYPICAL)
- CONTRACTOR TO COORDINATE WITH ALL APPLICABLE AGENCIES DURING THE DEMOLITION OF EXISTING BUILDINGS, IF NOTED TO BE REMOVED.
- TEST BITS SHALL BE EXCAVATED PRIOR TO CONSTRUCTION TO LOCATE UNDERGROUND UTILITIES.
- ANY REQUIRED UTILITY POLE RELOCATIONS FOR THE PROPOSED IMPROVEMENTS SHALL BE COMPLETED AT NO EXTRA COST TO THE OWNER. CONTRACTOR SHALL PROVIDE ALL NECESSARY ARRANGEMENTS FOR UTILITY POLE RELOCATION.
- THE CONTRACTORS ARE ADVISED THAT ANY REQUIRED UNDERGROUND UTILITY RELOCATIONS INCLUDING GAS MAINS AND SERVICES, WATER MAINS AND SERVICES, SEWER MAINS AND SERVICES, ELECTRIC AND TELEPHONE LINES SHALL BE COMPLETED AT NO COST TO THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE.
- EXISTING UTILITIES INCLUDING VALVE BOXES, CLEAN OUTS, CURB STOPS, MANHOLES, ETC., SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE. STORM DRAINAGE STRUCTURES SHALL NOT BE ADJUSTED UNLESS SPECIFICALLY CALLED FOR. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
- SUPPORT AND STABILIZATION OF REMAINING STRUCTURES SHALL CONFORM TO DEC 2009.
- ALL DEMOLITION TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- NO DISTURBANCES SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER(S) DIRECTLY AFFECTED.
- CONTRACTOR SHALL CLEAN ADJACENT STRUCTURES AFFECTED BY DEMOLITION. CONTRACTOR TO RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ON SITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OFF SITE. ALL MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT AN APPROVED FACILITY.
- EXISTING TOPSOIL, ON-SITE IS TO BE PROTECTED. NO TOPSOIL IS TO BE SOLD OR REMOVED FROM THE SITE OR USED AS SPOIL, UNLESS APPLICATION IS MADE TO THE APPROVING AUTHORITY AND APPROVAL IS GRANTED.
- PROJECT SITE TO BE CLEARED ONLY AS REQUIRED. EXISTING TREES SHALL BE PROTECTED ALONG WITH ALL EXCAVATION AND CONSTRUCTION LIMITS.
- REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIAL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- IF STRUCTURES ARE INDICATED TO BE REMOVED, THE CONTRACTOR SHALL DISCONNECT AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION. CLEARLY IDENTIFY, BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION, THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY APPLICABLE UTILITY COMPANIES TO ENSURE CONTINUATION OF SERVICE.
- IF PRESENT ON-SITE, EXISTING WELLS SHALL BE ABANDONED BY A CERTIFIED WELL DRILLER, IN ACCORDANCE WITH ALL LOCAL, COUNTY, OR STATE REGULATIONS. EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH ALL LOCAL, COUNTY, OR STATE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES TO BE REMOVED. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL MUNICIPAL & MUA SPECIFICATIONS.
- IF NOTED TO BE REMOVED, EXISTING BUILDING SHALL BE DEMOLISHED INCLUDING ALL BASEMENT FOOTINGS AND FOUNDATION WALLS & MATERIALS. (BASEMENT MATERIAL SHALL BE REMOVED FROM SITE AND NOT USED FOR FILL).
- THE ON-SITE SOILS WHICH ARE EXCAVATED FOR SITE GRADING MAY BE USED AS STRUCTURAL FILL FOR SUPPORT OF SLAB-ON-GRADE AND PAVEMENT. HOWEVER, THESE SOILS CONTAIN AN APPRECIABLE AMOUNT OF FINES AND WILL BE MOISTURE SENSITIVE. THEREFORE, USAGE OF THE ON-SITE SOIL WILL BE LIMITED TO PERIODS OF WARM AND/OR DRY WEATHER. IF OFF-SITE MATERIALS ARE REQUIRED FOR FILL, CRUSHED STONE OR RECYCLED CRUSHED CONCRETE MEETING THE MINIMUM REQUIREMENTS OF NJDOT COURSE AGGREGATE NO. 2 SHOULD BE USED.
- STRUCTURAL FILL SHOULD BE PLACED IN HORIZONTAL LIFTS NOT MORE THAN 6 INCHES IN LOOSE THICKNESS. WITHIN THE BUILDING AREA, THE FILL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY THE "MODIFIED PROCTOR" COMPACTION TEST, ASTM D 1557. ALTERNATIVELY, EACH LIFT OF IMPORTED CRUSHED STONE SHOULD BE COMPACTED TO AT LEAST 85 PERCENT RELATIVE DENSITY AS DETERMINED BY ASTM D 4551 / 4554 OR THE US ARMY CORPS OF ENGINEERS MODIFIED PROVIDENCE VIBRATED DENSITY TEST. THE RELATIVE DENSITY METHOD IS USED FOR FREE-DRAINING SOILS WHICH TO NOT EXHIBIT A WELL-DRAINED PEAK IN THE PROCTOR TEST, OR WHICH BREAK DOWN EXCESSIVELY UNDER THE TEST RAMMER. STRUCTURAL FILL SHOULD BE COMPACTED USING A SELF-PROPELLED, VIBRATORY ROLLER WHICH IMPARTS A TOTAL DYNAMIC FORCE OF AT LEAST 300 POUNDS PER INCH OF DRUM LENGTH, IN CONFINED AREAS, WHERE SMALLER ROLLERS OR MANUALLY OPERATED TAMPERS ARE USED, THE LIFT THICKNESS SHOULD BE REDUCED TO 6 INCHES.
- BACKFILL AROUND THE EXTERIOR OF THE BUILDING, AND FILL IN PAVEMENT AREAS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. ON-SITE SOIL MAY BE USED FOR EXTERIOR BACKFILL.

50 0 50 100
SCALE 1" = 50' FEET

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Certificate of Authorization No. 246A28131400

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DESIGNED BY:	JOHN NO.
DPK	1559-03
DRAWN BY:	DATE
JAD	05/10/24
CHECKED BY:	SCALE
DPK	1" = 50'

PROJECT:
**COUNTRY AIRE II
MAJOR SUBDIVISION**
NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32
TOWNSHIP OF WINSLOW,
CAMDEN COUNTY
NEW JERSEY

FOR
COUNTRY AIRE AT WINSLOW,
LLC
JOHN SCHIAVONE, MANAGING
MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003

D. Kreck
DAVID P. KRECK, PE, CME
Professional Engineer
State of New Jersey • License # GE 40995
State of Pennsylvania • License # 051762E
State of Delaware • License # 13285

SHEET TITLE:
**EX. CONDITIONS
& DEMOLITION
PLAN**

SHEET NUMBER:
2 of 15

WAIVERS & VARIANCES

- THE APPLICANT SEEKS A USE VARIANCE TO PERMIT A PROPOSED TOWNHOME DEVELOPMENT UPON A PROPERTY LOCATED IN THE PC-2 ZONE.
- THE APPLICANT SEEKS AN ADDITIONAL USE VARIANCE TO ALLOW FOR A TOWNHOME DEVELOPMENT ON A TRACT THAT IS LESS THAN THE REQUIRED 15 ACRES (9.55 ACRES).
- BULK VARIANCES ARE REQUESTED FROM THE FOLLOWING:
 - SECTION 296-24 (SCHEDULE 2) - MINIMUM FRONT YARD TRACT SETBACK
75' REQUIRED; 54.7' PROPOSED
 - SECTION 296-24 (SCHEDULE 2) - MINIMUM SIDE YARD TRACT SETBACK
50' REQUIRED; 35.5' PROPOSED
- DESIGN WAIVERS ARE REQUESTED FROM THE FOLLOWING:
 - SECTION 294-114Q - FROM PROVIDING THE MINIMUM DISTANCE FROM A DRIVEWAY TO AN ADJOINING PROPERTY LINE
15 FEET REQUIRED; 0.5 FEET MINIMUM PROPOSED
 - SECTION 294-133C - FROM PROVIDING CURB ALONG N.J.S.H. 73
 - SECTION 294-128A - FROM PROVIDING SIDEWALK ALONG N.J.S.H. 73
- WAIVERS FROM MAJOR SUBDIVISION PLAN CHECKLIST REQUIREMENTS ARE REQUESTED FROM THE FOLLOWING:

ITEM 16: WAIVER FROM PROVIDING A TITLE REPORT THAT IS LESS THAN ONE YEAR OLD

ITEM 27: WAIVER FROM PROVIDING A CULTURAL RESOURCE STUDY

ITEM 49: WAIVER FROM PROVIDING ARCHITECTURAL PLANS AND ELEVATIONS

ITEM 59: WAIVER FROM PROVIDING THE SURVEYED LOCATION OF EXISTING TREES WITH CALIPERS OF 10" OR GREATER IN AREAS OF DISTURBANCE

ITEM 61: WAIVER FROM PROVIDING CROSS SECTIONS AND PROFILES FOR ALL EXISTING STREETS ABUTTING THE PROPERTY IN QUESTION

ITEM 75: WAIVER FROM PROVIDING A GENERAL VEGETATION ANALYSIS

ITEM 87: WAIVER FROM PROVIDING A TRAFFIC IMPACT STATEMENT

ELECTRIC VEHICLE PARKING NOTES

- SIGNAGE SHALL BE PROVIDED ON ELECTRICAL VEHICLE CHARGING STATIONS TO IDENTIFY WHERE THE MAIN ELECTRICAL DISCONNECTS ARE LOCATED.

LANDSCAPE EASEMENT NOTES

- SHRUBS, UNDERSTORY TREES AND BUSHES AND GROUND COVER ARE TO BE SELECTIVELY REMOVED, MOWED OR PRUNED AND MAINTAINED ON AN ANNUAL BASIS.
- ALL DEAD PLANT MATERIAL IS TO BE REMOVED.
- NO GRADE CHANGE IS PROPOSED IN BLOCK 3204, LOT 3

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE MUNICIPAL, COUNTY OR STATE REGULATIONS, WHICHEVER TAKES PRECEDENCE.
- THE MUNICIPAL ENGINEER'S OFFICE SHALL BE NOTIFIED AT LEAST 24 HOURS BEFORE THE START OF WORK ON ANY IMPROVEMENTS UNDER ITS JURISDICTION.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, INCLUDING THE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING 1-800-272-1000.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER IMMEDIATELY.
- ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI. OR AS REQUIRED BY THE APPROVAL AUTHORITY.
- ALL TRENCHES IN PAVEMENT AREAS TO REMAIN ARE TO BE SAW CUT. ALL EXISTING PAVEMENT TO REMAIN SHALL BE SAW CUT TO MEET ALL NEW OR RECONSTRUCTED PAVEMENT AREAS.
- WHERE NEW PAVEMENT IS PROPOSED ADJACENT TO EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAWCUT ONE (1) FOOT FROM THE EDGE TO PROVIDE A NEAT LINE AGAINST WHICH TO PAVE.
- ALL TRAFFIC CONTROL, SIGNAGE AND MARKINGS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- ALL SITE IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019, AS AMENDED.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (e) OF THE NJ UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON).
- TRAFFIC ARROWS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY UNLESS SPECIFICALLY STATED OTHERWISE.

GENERAL NOTES

- OWNER/APPLICANT: COUNTRY AIRE AT WINSLOW, LLC
JOHN SCHIAVO, MANAGING MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003
- EXISTING CONDITIONS TAKEN FROM A PLAN ENTITLED "PLAN OF SURVEY & TOPOGRAPHY FOR NORTH ROUTE #73 SITUATE PLATE 32, BLOCK 3204, LOTS 2", BY RANSOM CONSULTING, LLC, DATED AUGUST 12, 2021. SUPPLEMENTED WITH A PLAN ENTITLED "PLAN OF SURVEY & TOPOGRAPHY PLATE 32, BLOCK 3204, LOT 4", BY RANSOM CONSULTING, LLC, DATED APRIL 1, 2024.
- APPLICANT SEEKS A MAJOR SUBDIVISION PLAN APPROVAL, SO AS TO PERMIT DEVELOPMENT OF 40 RESIDENTIAL DWELLING LOTS, WITH ONE (1) LOT DEDICATED FOR PRIVATE RIGHT OF WAY AND ONE (1) LOT DEDICATED FOR OPEN SPACE & STORMWATER MANAGEMENT. NO PHASING IS PROPOSED.
- SUBJECT PROPERTY IS LOCATED WITHIN THE HIGH DENSITY RESIDENTIAL ZONING DISTRICT (PR-4) AND MAJOR COMMERCIAL DISTRICT (PC-2) AS SHOWN ON THE CURRENT OFFICIAL ZONING MAP OF THE TOWNSHIP OF WINSLOW, CAMDEN COUNTY, NEW JERSEY.
- TOTAL NUMBER OF PROPOSED DWELLINGS = 40.
- PROPOSED LOT #2 SHALL BE A DEDICATED PRIVATE RIGHT OF WAY. LOT # 2, 41, BLOCK 3204 SHALL BE DEDICATED TO THE HOMEOWNERS ASSOCIATION FOR OPEN SPACE/STORMWATER MANAGEMENT.
- PROPOSED BUILDING FOOTPRINTS SHOWN ON THIS PLAN ARE FOR INFORMATIONAL PURPOSES ONLY AND DO NOT NECESSARILY REPRESENT THE FOOTPRINTS OF THE DWELLINGS TO BE CONSTRUCTED.
- NO STRUCTURE, ACTIVITY STORAGE OF MATERIALS OR PARKING OF VEHICLES SHALL BE PERMITTED IN LANDSCAPE BUFFER EASEMENTS.
- EACH LOT WILL BE EVALUATED FOR SUITABILITY OF BASEMENTS AT TIME OF BUILDING PERMIT APPLICATION.
- ALL STREET NAME AND TRAFFIC CONTROL SIGNS SHALL BE INSTALLED AFTER THE BASE COURSE INSTALLATION OR AT THE DIRECTION OF THE TOWNSHIP.
- ALL PROPOSED SHADE TREES SHALL BE INSTALLED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED TO THE SWEELLING OF THE SUBJECT LOT.
- DWELLINGS SHALL MEET THE REQUIREMENTS OF THE TOWNSHIP ZONING ORDINANCE SECTION 296-72.6(1)-(5) REGARDING FIRE PROTECTION MANAGEMENT.
- SIGHT TRIANGLE EASEMENTS ARE TO BE DEDICATED TO THE TOWNSHIP OF WINSLOW FOR PURPOSES OF SIGHT TRIANGLE EASEMENT.
- PROPOSED BUILDINGS TO BE SERVICED WITH NEW SEWER AND WATER LINES.
- NEW UTILITY LINES (GAS, ELECTRIC) ARE PROPOSED TO SERVICE THE BUILDINGS. ALL ELECTRIC, TELEPHONE, AND CABLE SERVICE LINES SHALL BE UNDERGROUND.
- ELEVATION DATUM IS NAVD '88. HORIZONTAL DATUM IS NAD83
- THE PINELANDS COMMISSION HAS CONFIRMED VIA INSPECTION AND SUBSEQUENT EMAIL DATED SEPTEMBER 23, 2024 THAT THERE ARE NO FRESHWATER WETLANDS LOCATED UPON LOT #S 2 & 4. BLOCK 3204, NOR ARE THERE FRESHWATER WETLANDS LOCATED WITHIN 300 FEET OF LOT #S 2 & 4. THE PREVIOUSLY ISSUED PINELANDS COMMISSION LETTER OF INTERPRETATION #096, AS AMENDED ON JULY 10, 2003, AND AS FURTHER MEMORIALIZED IN PINELANDS CERTIFICATE OF FILING #95-1529.02, DATED FEBRUARY 7, 2005, IS NO LONGER VALID.
- THE PROPERTY DOES NOT FALL WITHIN A FLOOD PLAIN ZONE ACCORDING TO THE MOST RECENT FEMA FIRM MAPS 34007C02062 & 34007C0207E.
- THERE ARE CURRENTLY NO KNOWN DEED RESTRICTIONS OR COVENANTS ASSOCIATED WITH THE SUBJECT PROPERTY.
- REQUIRED OUTSIDE AGENCY APPROVALS (TO BE APPLIED FOR UPON PRELIMINARY SUBDIVISION APPROVAL):
 - CAMDEN COUNTY PLANNING BOARD
 - CAMDEN COUNTY SOIL CONSERVATION DISTRICT
 - NEW JERSEY PINELANDS COMMISSION
 - CAMDEN COUNTY MUA
 - NJDEP WATER EXTENSION APPROVAL, TREATMENT WORKS APPROVAL
 - NJDOT (STREET INTERSECTION PERMIT)

NJDOT NOTES

- DEPICTION OF ITS FACILITIES IS APPROXIMATE. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS.
- CONTRACTOR TO APPLY FOR MARKOUT REQUEST TO TRAFFIC OPERATIONS CENTER SOUTH FOR FIBER OPTIC CONDUITS TO RULE OUT ANY FIBER OPTIC CONDUIT CROSS-RUNS IN THIS AREA AND TO AVOID ANY IMPACT. REQUEST SHALL BE APPLIED 10 STATE BUSINESS DAYS PRIOR TO PROPOSED WORK. THE FORM IS AVAILABLE AT NJDOT WEBSITE: (<http://www.state.nj.us/transportation/eng/clec/ITS/markout.shtml>)
- CONTRACTOR SHALL CONTACT PADMAJA SAMPAT, padmaja.sampat@dot.nj.gov, (609) 352-8875 (CELL), IF THEY ANTICIPATE ANY IMPACT TO ITS FACILITIES DURING CONSTRUCTION.
- THIS PERMIT IS NOT VALID UNTIL THE CONFIRMATION NUMBER OBTAINED FROM THE ONE-CALL SYSTEM IS SUPPLIED TO THIS OFFICE IN ACCORDANCE WITH PL 1994, CHAPTER 118, ITEM #11 OF THE UNDERGROUND FACILITY PROTECTION ACT.
- A PRE-CONSTRUCTION MEETING IS REQUIRED WITH OPERATIONS - PERMITS UNIT. THE PERMITTEE SHALL CONTACT JOSEPH YABUT VIA PHONE AT (609) 963-1798 OR E-MAIL AT LEAST TWO WEEKS IN ADVANCE TO SCHEDULE A DATE FOR THE MEETING.
- IF EXISTING SHOULDER ASPHALT DEPTH IS FOUND LESS THAN 8" (INCHES), RECONSTRUCT FULL WIDTH AND DEPTH OF THE EXISTING SHOULDER PAVEMENT UP TO THE WHITE LINE/CONCRETE SLAB FOR PROPERTY FRONTAGE LENGTH. OTHERWISE MILL AND PAVE FULL SHOULDER WIDTH.

WINSLOW TOWNSHIP ZONING SCHEDULE

ZONE PR-4 - HIGH DENSITY RESIDENTIAL (LOT 2 - 6.82 ACRES) PC-2 MAJOR COMMERCIAL DISTRICT (LOT 4 - 2.73 ACRES)
THE ZONING SCHEDULE IS BASED UPON PR-4 ZONING BEING APPLIED TO THE ENTIRE TRACT, INCLUDING LOT #4 (PC-2 ZONE)
TOWNHOUSE DWELLING UNITS AT A DENSITY OF NO GREATER THAN 4.25 DWELLING UNITS PER ACRE ARE A PERMITTED USE IN THE PR-4 DISTRICT. (NOT PERMITTED IN PC-2 DISTRICT)

*USE VARIANCE REQUESTED FOR TOWNHOUSE DWELLING UNITS IN THE PC-2 DISTRICT

ITEM	REQUIRED	PROPOSED	ORDINANCE
LOT REQUIREMENTS			
MIN. TRACT AREA (AC)	15	9.55*	\$296-24 (SCHEDULE 2)
MIN. TRACT FRONTAGE (FT)	200	597.36	\$296-24 (SCHEDULE 2)
MIN. FRONT YARD TRACT SETBACK (FT)	75	57.9**	\$296-24 (SCHEDULE 2)
MIN. SIDE AND REAR YARD TRACT SETBACK (FT)	50	35.5**	\$296-24 (SCHEDULE 2)
BUILDING SET BACKS & HEIGHT:			
MIN. LOT FRONTAGE (FT)	20	20	\$296-24 (SCHEDULE 2)
MIN. FRONT YARD (FT)	20	20	\$296-24 (SCHEDULE 2)
MIN. SIDE YARD (FT)	15	15	\$296-24 (SCHEDULE 2)
MIN. REAR YARD (FT)	15	15	\$296-24 (SCHEDULE 2)
MAX. BLDG HEIGHT (FT)	35	< 35	\$296-24 (SCHEDULE 2)
MAX. BUILDING COVERAGE (%)	15	9.32	\$296-24 (SCHEDULE 2)

DENSITY AND P.D.C. CALCULATIONS

LOT #2: 6.82 ACRES (SURVEY) LOT #4: 2.73 ACRES (DEED)			
GROSS TRACT AREA = 9.55 AC.			
MAX. GROSS DENSITY (D.U. / AC)	4.25	4.19	\$296-24 (SCHEDULE 2)
MAX. NUMBER OF DWELLING UNITS	40.59	40	\$296-24 (SCHEDULE 2)

OPEN SPACE CALCULATIONS

GROSS TRACT AREA = 9.55 AC.			
MIN. OPEN SPACE (%)	20 (1.91 AC.)	59.8 (5.71 AC.)	\$296-78.1B(3)

PARKING CALCULATIONS

MIN. NUMBER OF SPACES FOR 3-BR UNITS (SP/UNIT)	2.4	96	RSIS
TOTAL NUMBER NUMBER OF SPACES REQUIRED	96	100 (80 DW + GARAGE SPACES) 20 STREET SPACES	

*USE VARIANCE REQUESTED FOR 9.55 ACRE PARCEL

**DENOTES PROPOSED NON-CONFORMANCE, BULK VARIANCE REQUESTED

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Certificate of Authorization No. 246A28131400

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PER #1624 NJDOT REVIEW & 6/29/24 PINELANDS REVIEW	01/21/25
2	REVISED FOR TWP SUBMISSION	05/02/25
3	UPDATED SW LEL, ADDED OR VARIANCE REQUEST, ADDRESSING A WATER REMAINANCE	05/20/25
4	UPDATED TO PROVIDE FULL BREAK PER FIRE CHIEF REVIEW	06/24/25

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DESIGNED BY:	JOB NO.
DPK	1539-03
DRAWN BY:	DATE
JAD	05/10/24
CHECKED BY:	SCALE
DPK	1" = 50'

COUNTRY AIRE II MAJOR SUBDIVISION

NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32
TOWNSHIP OF WINSLOW,
CAMDEN COUNTY
NEW JERSEY

FOR
COUNTRY AIRE AT WINSLOW,
LLC
JOHN SCHIAVO, MANAGING
MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003

D. Kreck

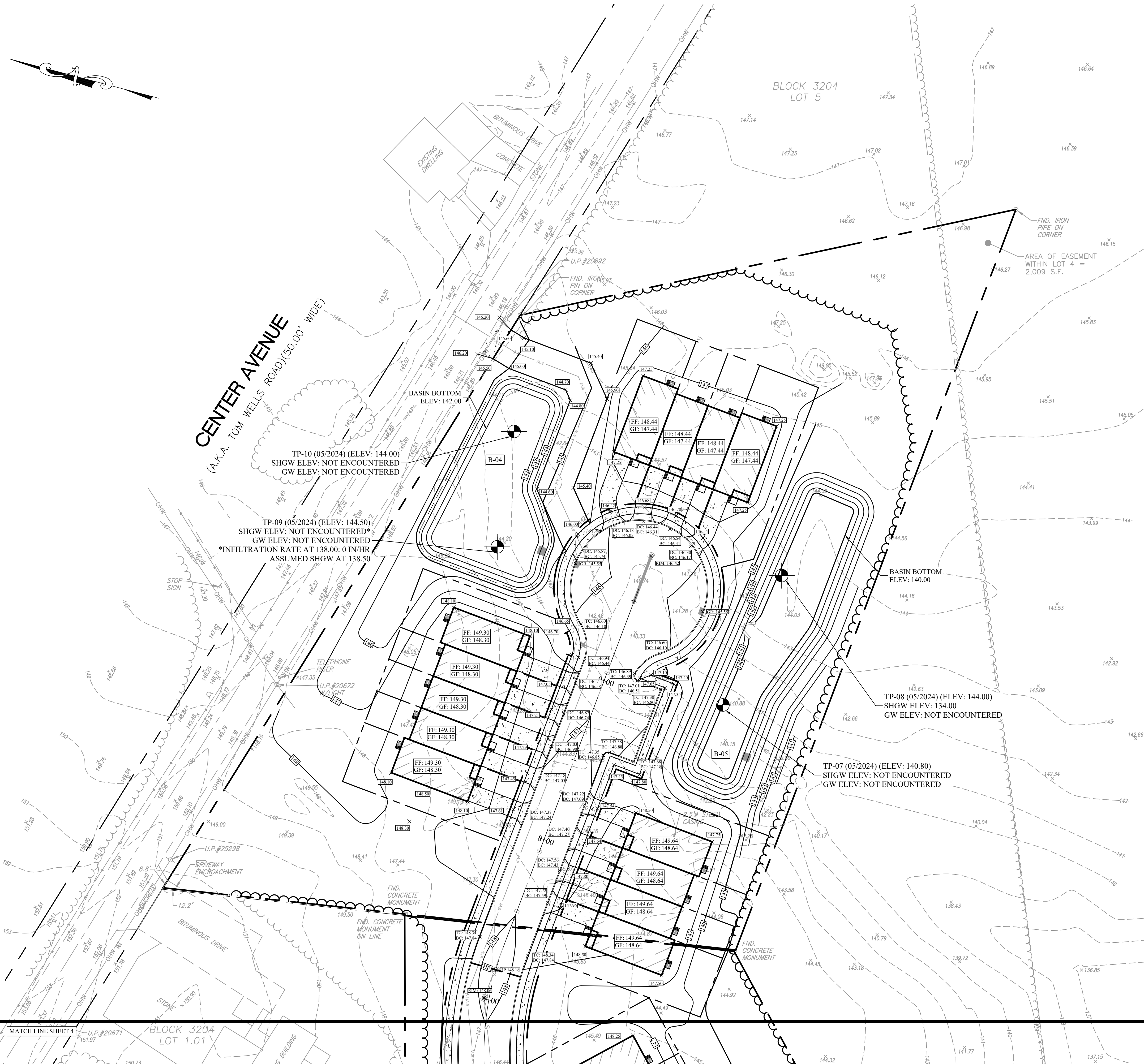
DAVID P. KRECK, PE, CME
Professional Engineer
State of New Jersey • License # GE 40995
State of Pennsylvania • License # 051762E
State of Delaware • License # 13285

SHEET TITLE:

DEVELOPMENT PLAN

SHEET NUMBER:

3 of 15



BASIN CONSTRUCTION NOTES

1. PRIOR TO THE CONSTRUCTION, THE BASIN SHALL BE CORDONED OFF TO PREVENT COMPACTION OF THE SUBGRADE BY CONSTRUCTION EQUIPMENT.
2. ALL EXCAVATION SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOIL.
3. EXCAVATION EQUIPMENT SHALL NOT BE STORED WITHIN THE BASIN AREAS.
4. INITIAL EXCAVATION OF EACH BASIN SHOULD BE TO A DEPTH OF ONE FOOT ABOVE THE FINAL DESIGN GRADE. ACCUMULATED SEDIMENT CAN THEN BE REMOVED WITHOUT DISTURBING THE SUBGRADE SOILS DURING CONSTRUCTION WITHIN THE BASIN'S DRAINAGE AREA.
5. THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT BEFORE INSTALLING THE SAND BOTTOM LAYER. IF POSSIBLE, THESE PROCEDURES SHOULD BE PERFORMED WITH EQUIPMENT LOCATED OUTSIDE THE BASIN BOTTOM. IF NOT POSSIBLE, IT SHOULD BE PERFORMED WITH LIGHTWEIGHT, RUBBER-TIRED EQUIPMENT.
6. IF BASIN CONSTRUCTION CANNOT BE DELAYED UNTIL ITS DRAINAGE AREA IS STABILIZED, DIVERSION BERMS OR OTHER SUITABLE MEASURES SHOULD BE PLACED AROUND THE BASIN'S PERIMETER DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL RUNOFF AND SEDIMENT AWAY FROM THE BASIN.
7. BOTTOM SAND LAYER MUST CONSIST OF K5 SAND WITH A MAXIMUM OF 15% FINES AND A MINIMUM PERMEABILITY RATE OF TWENTY INCHES / HOUR. A LICENSED PROFESSIONAL ENGINEER OF THE STATE OF NEW JERSEY MUST CERTIFY THIS MATERIAL.
8. THE BASIN SIDE SLOPES SHALL NOT EXCEED A 3:1 SLOPE AND MUST BE STABILIZED IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL STANDARDS TO PREVENT CONTAMINATION OF THE SAND BOTTOM LAYER WITH SEDIMENT THAT WILL INHIBIT PERCOLATION.
9. THE BASIN(S) SHALL BE PROVIDED WITH A VEGETATED EMERGENCY SPILLWAY IN ACCORDANCE WITH THE DETAILS PROVIDED ON THE PLANS. THE MAXIMUM WIDTH OF THE SPILLWAY SHALL BE NO GREATER THAN 17 FEET.
10. THE GRADING OF THE BASIN FLOOR SHOULD BE AS LEVEL AS POSSIBLE TO ACHIEVE UNIFORM SPREADING ACROSS THE BREADTH AND THE LENGTH OF THE BASIN.
11. GRADING AND LANDSCAPING THROUGHOUT THE BASIN AND ITS COMPONENTS MUST BE DESIGNED TO FACILITATE MOWING, TRIMMING, SEDIMENT AND DEBRIS REMOVAL, AND OTHER MAINTENANCE ACTIVITIES.
12. STORMWATER INFILTRATION BASINS SHALL NOT BE PLACED INTO OPERATION UNTIL THEIR DRAINAGE AREAS ARE COMPLETELY STABILIZED OR IF NOTE 13, APPLIES.
13. IF THE DESIGN ENGINEER DETERMINES THAT, FOR ENGINEERING, ENVIRONMENTAL, OR SAFETY REASONS, TEMPORARY STORMWATER MANAGEMENT FACILITIES WERE PROPERLY CONSTRUCTED AND WILL OPERATE AS INTENDED INCLUDING CERTIFICATION THAT THE SAND IN THE BASIN BOTTOM MEETS K5 SPECIFICATIONS, THE CERTIFICATION SHALL ALSO INCLUDE COMPLETE AS-BUILT PLANS (SIGNED BY A NJ LICENSED LAND SURVEYOR) AND UTILITY TESTING RESULTS FOR ALL CONSTRUCTED UTILITIES PRIOR TO ROADWAY BASE COURSE PAVING AND PRIOR TO PLACING THE PIPES INTO SERVICE.
14. AVOID COMPACTION DURING CONSTRUCTION OF SUBGRADE SOILS.
15. EARTHWORK ASSOCIATED WITH STORMWATER INFILTRATION BMP CONSTRUCTION, INCLUDING EXCAVATION, GRADING, CUTTING, OR FILLING, SHALL NOT BE PERFORMED WHEN SOIL MOISTURE CONTENT IS ABOVE THE LOWER PLASTIC LIMIT.
16. THE BASIN(S) SUBSURFACE SOILS SHALL BE TESTED AND CERTIFIED BY A PROFESSIONAL ENGINEER TO ENSURE THAT THE AS-BUILT PERCOLATION RATES ARE EQUAL OR GREATER THAN THE DESIGN PERCOLATION RATES.

UPON EXCAVATION AND COMPLETION OF THE STORMWATER MANAGEMENT SYSTEM, A NEW JERSEY LICENSED PROFESSIONAL ENGINEER SHALL CERTIFY IN WRITING THAT THE STORMWATER MANAGEMENT FACILITIES WERE PROPERLY CONSTRUCTED AND WILL OPERATE AS INTENDED INCLUDING CERTIFICATION THAT THE SAND IN THE BASIN BOTTOM MEETS K5 SPECIFICATIONS. THE CERTIFICATION SHALL ALSO INCLUDE COMPLETE AS-BUILT PLANS (SIGNED BY A NJ LICENSED LAND SURVEYOR) AND UTILITY TESTING RESULTS FOR ALL CONSTRUCTED UTILITIES PRIOR TO ROADWAY BASE COURSE PAVING AND PRIOR TO PLACING THE PIPES INTO SERVICE.

DURING CONSTRUCTION OF THE ROADWAY, ALL MANHOLE CASTINGS, VALVE BOXES, INLET CASTINGS (EXCEPT CURB PIECE TYPE), ETC. SHALL BE SET FLUSH WITH THE ROADWAY STAB. BASE SURFACE TO EQUIPMENT, SUCH AS SNOW PLOWS. THEN, JUST PRIOR TO THE CONSTRUCTION OF THE FINAL PAVEMENT COURSE, THE CASTINGS SHALL BE ADJUSTED AND SET TO FINAL GRADE.

THE APPLICANT SHALL PROVIDE A STORMWATER MAINTENANCE PLAN, WHICH SHALL INCLUDE THE IDENTIFICATION OF PROPOSED STORMWATER FACILITIES, DETAILED MAINTENANCE ACTIVITIES, MAINTENANCE/INSPECTION LOGS, AND A MAINTENANCE COST ESTIMATE PRIOR TO FINAL MAJOR SUBDIVISION APPROVAL.

APPLICANT ACKNOWLEDGES THE REQUIREMENTS OF THE WINSLOW TOWNSHIP ZONING ORDINANCE REGARDING PROVIDING A FOUR YEAR MAINTENANCE BOND FOR THE ENTIRE STORMWATER MANAGEMENT SYSTEM AND ALSO FOR A TEN YEAR INSPECTION AND MAINTENANCE PROGRAM.

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2	REVISED FOR TWP SUBMISSION	05/02/25
3	UPDATED SW LEL, ADDED OR VARIANCE REQUEST, ADDED SUDAS & WATER DEMANDS	05/20/25
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DESIGNED BY: DPK	JOB NO. 1539-03
DRAWN BY: JAD	DATE 05/10/24
CHECKED BY: DPK	SCALE 1" = 30'

PROJECT:
**COUNTRY AIRE II
MAJOR SUBDIVISION**

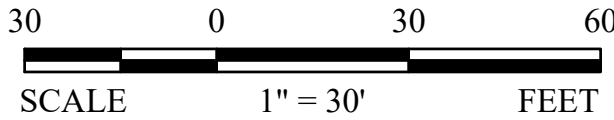
NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32
TOWNSHIP OF WINSLOW,
CAMDEN COUNTY
NEW JERSEY

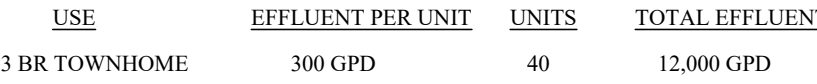
FOR
COUNTRY AIRE AT WINSLOW,
LLC
JOHN SCHIAVO, MANAGING
MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003

D. Kreck
DAVID P. KRECK, PE, CME
Professional Engineer
State of New Jersey • License # GE 40995
State of Pennsylvania • License # 051762E
State of Delaware • License # 13285

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
5 of 15

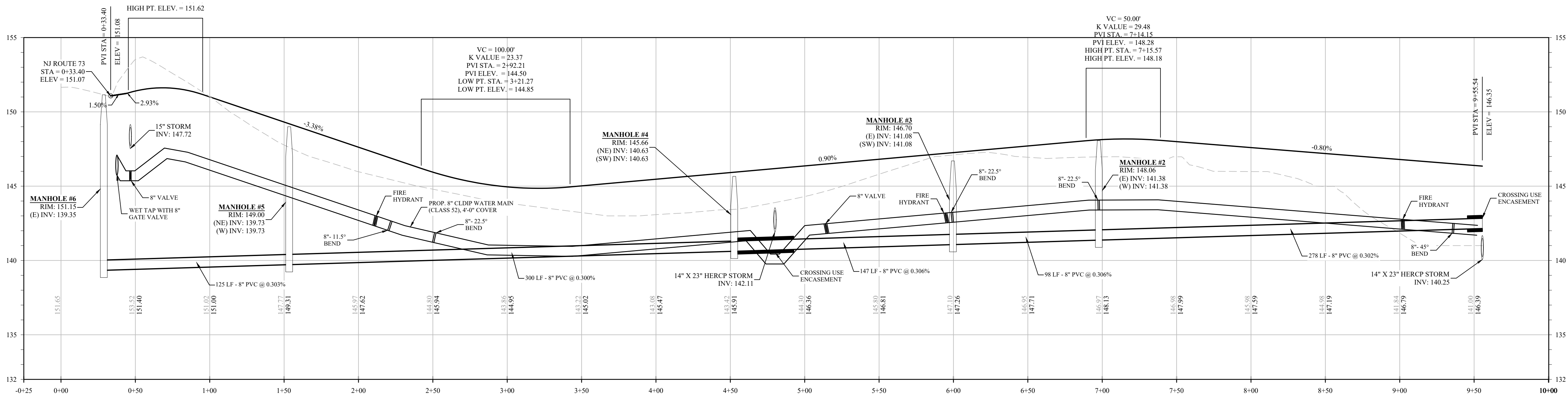




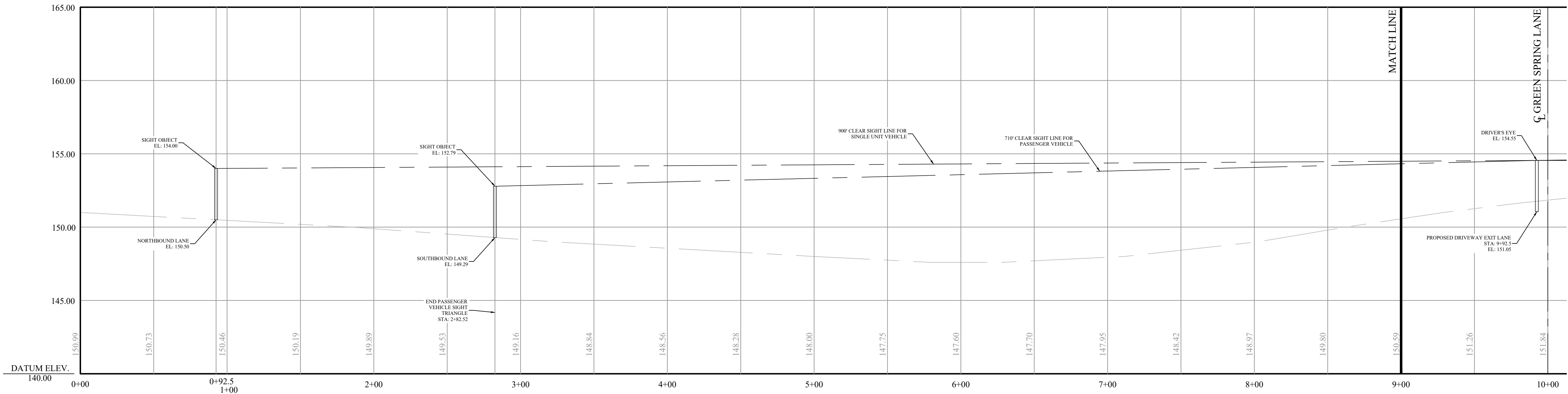
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- SCALE 1" = 40' FEET

**FOR
COUNTRY AIRE AT WINSLOW,
LLC
JOHN SCHIAVO, MANAGING
MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003**

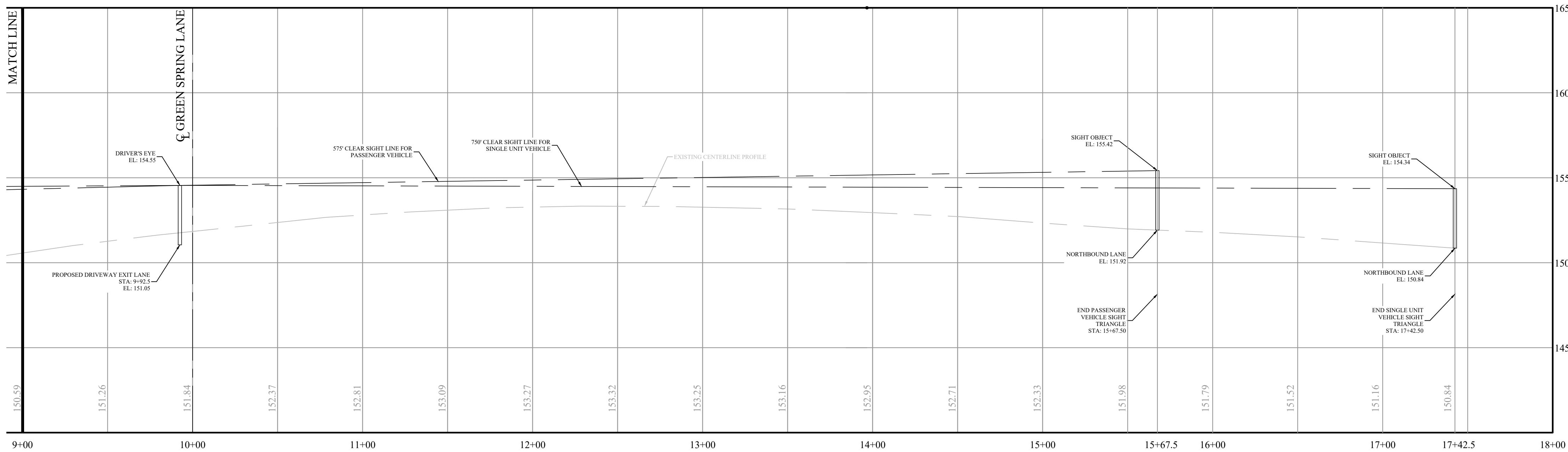
6 of 15



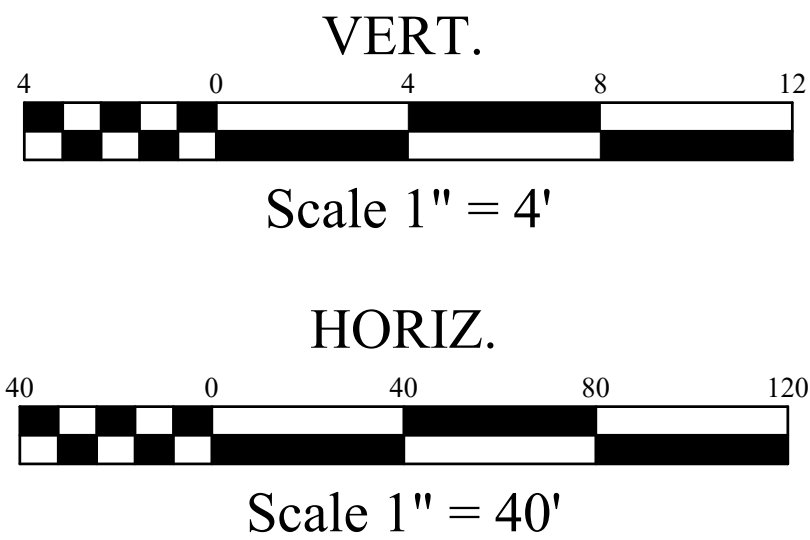
GREEN SPRING LANE - PROFILE



ROUTE 73 - SIGHT LINE EXHIBIT - LEFT TURN (STA 0+00 - 10+00)



ROUTE 73 - SIGHT LINE EXHIBIT - RIGHT TURN (STA 9+00 - 18+00)



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DESIGNED BY: DPK	JOB NO. 1539-03
DRAWN BY: JAD	DATE 05/10/24
CHECKED BY: DPK	SCALE: AS SHOWN

PROJECT:
**COUNTRY AIRE II
MAJOR SUBDIVISION**

NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32
TOWNSHIP OF WINSLOW,
CAMDEN COUNTY
NEW JERSEY

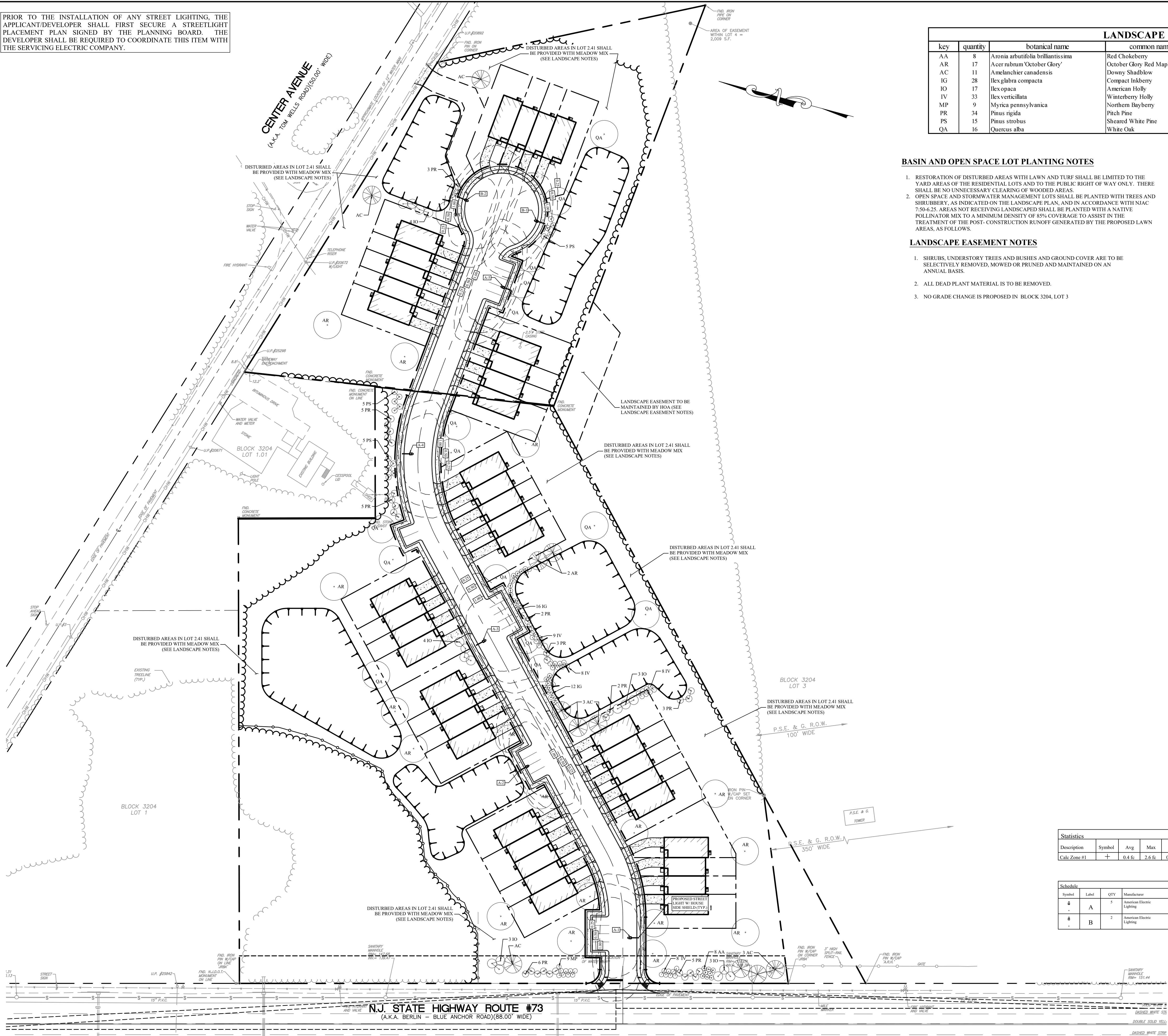
FOR
COUNTRY AIRE AT WINSLOW,
LLC
JOHN SCHIAVO, MANAGING
MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003

D. Kreck
DAVID P. KRECK, PE, CME
Professional Engineer
State of New Jersey • License # GE 40995
State of Pennsylvania • License # 051762E
State of Delaware • License # 13285

SHEET TITLE:
PROFILE

SHEET NUMBER:
7 of 15

PRIOR TO THE INSTALLATION OF ANY STREET LIGHTING, THE APPLICANT/DEVELOPER SHALL FIRST SECURE A STREETLIGHT PLACEMENT PLAN SIGNED BY THE PLANNING BOARD. THE DEVELOPER SHALL BE REQUIRED TO COORDINATE THIS ITEM WITH THE SERVICING ELECTRIC COMPANY.



LANDSCAPE SCHEDULE							
key	quantity	botanical name	common name	size	caliper	root	comments
AA	8	Aronia arbutifolia brilliantissima	Red Chokeberry	2' to 3'	-	Cans	Deciduous Shrub
AR	17	Acer rubrum 'October Glory'	October Glory Red Maple	12' to 14'	2" to 2 1/2"	B & B	Decid. Tree, No Fall Plg
AC	11	Amelanchier canadensis	Downy Shadowbloom	8' to 10'	-	B & B, Heavy	Deciduous Tree
IG	28	Ilex glabra compacta	Compact Inkberry	18" to 24"	-	Cans	Evergreen Shrub
IO	17	Ilex opaca	American Holly	5' to 6'	-	& B, (1 Male/4 Fe	Evergreen Tree
IV	33	Ilex verticillata	Winterberry Holly	24" to 30"	-	5 Cans / Cans	Deciduous Shrub
MP	9	Myrica pennsylvanica	Northern Bayberry	24" to 30"	-	Cans	Semi-Evergreen Shrub
PR	34	Pinus rigida	Pitch Pine	5' to 6'	-	B & B, Heavy	Evergreen Tree
PS	15	Pinus strobus	Sheared White Pine	5' to 6'	-	B & B, Heavy	Evergreen Tree
QA	16	Quercus alba	White Oak	10' to 12'	2" to 2 1/2"	B & B	Decid. Tree, No Fall Plg

BASIN AND OPEN SPACE LOT PLANTING NOTES

- RESTORATION OF DISTURBED AREAS WITH LAWN AND TURF SHALL BE LIMITED TO THE YARD AREAS OF THE RESIDENTIAL LOTS AND TO THE PUBLIC RIGHT OF WAY ONLY. THERE SHALL BE NO UNNECESSARY CLEARING OF WOODED AREAS.
- OPEN SPACE AND STORMWATER MANAGEMENT LOTS SHALL BE PLANTED WITH TREES AND SHRUBBERY, AS INDICATED ON THE LANDSCAPE PLAN, AND IN ACCORDANCE WITH NJAC 7:50-6.25. AREAS NOT RECEIVING LANDSCAPED SHALL BE PLANTED WITH A NATIVE POLLINATOR MIX TO A MINIMUM DENSITY OF 85% COVERAGE TO ASSIST IN THE TREATMENT OF THE POST-CONSTRUCTION RUNOFF GENERATED BY THE PROPOSED LAWN AREAS, AS FOLLOWS.

LANDSCAPE EASEMENT NOTES

- SHRUBS, UNDERSTORY TREES AND BUSHES AND GROUND COVER ARE TO BE SELECTIVELY REMOVED, MOWED OR PRUNED AND MAINTAINED ON AN ANNUAL BASIS.
- ALL DEAD PLANT MATERIAL IS TO BE REMOVED.
- NO GRADE CHANGE IS PROPOSED IN BLOCK 3204, LOT 3

LANDSCAPE NOTES:

- EXISTING SPECIMEN TREES AND SHRUBS SHALL BE SAVED WHERE POSSIBLE. USE SNOW FENCING AND TREE WELLS AT DRIPLINE. LIMITED FILL AT BASE (MAX. ONE (1) FOOT, NOT COMPACTED), AND TRUNK PROTECTION AS REQUIRED. REFER TO DETAILS SHOWN ON PLANS.
- ALL TREE AND SHRUB PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTHMOVING ACTIVITIES.
- NO CONSTRUCTION EQUIPMENT IS PERMITTED WITHIN THE DRIPLINE OF TREES AND SHRUBS TO BE SAVED.
- STREET TREES SHALL BE PLANTED THIRTY-FIVE (35) FEET ON CENTER WHERE POSSIBLE.
- ALL PROPOSED PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO ADJUSTMENTS IN THE FIELD AND AVAILABILITY. IF THERE IS ANY CONFLICT BETWEEN PROPOSED OR EXISTING UTILITY LINES AND THE PROPOSED PLANTINGS, THE UTILITY LINE LOCATION SHALL GOVERN; SHIFT THE PLANT LOCATION AS REQUIRED.
- ALL GRASS SEED OR SOD SHALL BE INSTALLED OVER A MINIMUM OF 4" OF CLEAN TOPSOIL. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 6" OF CLEAN TOPSOIL.
- FOR APPLICATION OF SEED, FERTILIZER, LIMESTONE, AND HAY MULCH FOR ALL GRASSED AREAS, REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN, PERMANENT SOIL STABILIZATION SPECIFICATIONS.
- EXISTING TREES WITH A DIAMETER (D.B.H.) OF 16" OR GREATER AND LOCATED MORE THAN 10 FEET FROM THE SIDEWALK, DRIVEWAY, AND UTILITY LINES, AND MORE THAN 20 FEET FROM A DWELLING SHALL BE IDENTIFIED AND PRESERVED WHERE POSSIBLE. USE TREE WELLS, LIMITED FILL OR RETAINING WALLS AS REQUIRED TO PROTECT THE ROOT ZONE.
- MINIMIZE GRADING WITHIN THE DRIPLINE OF EXISTING TREES TO BE SAVED. GRUB AND REMOVE VINES AND UNDERBRUSH AROUND EXISTING TREES TO BE USED AS SPECIMENS.
- A MINIMUM OF 4" OF SHREDDED BARK MULCH SHALL BE PLACED IN ALL PLANTING BEDS.
- EACH PLANT TO BE IN THE TOP OF ITS SIZE CLASS AFTER SHEARING AND PRUNING.
- EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
- ALL PROPOSED PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR TWO (2) YEARS FROM DATE OF INSTALLATION AND SHALL BE IN A HEALTHY AND VIGOROUS CONDITION. ANY PLANT MATERIAL WHICH DIES WITHIN THAT PERIOD SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL DURING THE NEXT GROWING SEASON.
- PLANTS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-1986 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS.
- SIZE OF PLANTINGS AS NOTED IN THE LANDSCAPE SCHEDULE IS AT THE TIME OF PLANTING.
- SHOULD DEVELOPER CHOOSE, ANY EXISTING VEGETATION OF SPECIMEN QUALITY AND MEETING THE SIZE STANDARDS AS SPECIFIED MAY BE RELOCATED INTO BUFFER PLANTINGS OR USED AS STREET TREES, AS APPLICABLE, IN PLACE OF PROPOSED NURSERY STOCK.
- EXISTING SPECIMEN TREES AND SHRUBS TO BE SAVED SHALL BE FLAGGED OR OTHERWISE CLEARLY MARKED PRIOR TO SITE CLEARING AND GRUBBING.
- EXISTING SPECIMEN TREES TO BE SAVED IN AREAS OF GRADE CHANGES OF 2 FEET OR MORE SHALL BE PROVIDED WITH TREE WELLS AS SHOWN ON INDIVIDUAL LOT GRADING PLANS AT TIME OF LOT IMPROVEMENTS.
- PROPOSED PLANTINGS TO BE ADJUSTED IN FIELD SO AS TO NOT INTERFERE WITH EXISTING VEGETATION.
- DISTURBED AREAS WITHIN EXISTING BASIN LOTS, WHICH ARE NOT SUBJECT TO LANDSCAPING IMPROVEMENTS AND/OR SAND BOTTOM, SHALL BE RESTORED WITH A NATIVE POLLINATOR MEADOW MIX TO A MINIMUM DENSITY OF 85% COVERAGE.
- PROPOSED TREES AND SHRUBS IN LANDSCAPE EASEMENTS ARE TO MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

LIGHTING NOTES:

- THIS PLAN ILLUSTRATES LUMINAIRE LOCATIONS AND ILLUMINATION LEVELS ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR CIRCUITRY DESIGN AND SPECIFICATIONS.
- ALL SUBSTITUTIONS TO THE FIXTURES SPECIFIED MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THE FIXTURE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	2.6 fc	0.0 fc	N/A	N/A

Schedule							
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Height (FT.)
⌀	A	5	American Electric Lighting	ACM P604 R3 4K XXX IRS XXX	ACM P604 Performance package Roadway Type III distribution 4000K CCT House Side Mount	1	25
⌀	B	2	American Electric Lighting	ACM P604 R4 4K XXX IRS XXX	ACM P604 Performance package Roadway Type IV distribution 4000K CCT House Side Mount	1	25

40 0 40 80
SCALE 1" = 40' FEET

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Certificate of Authorization No. 246A28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER 9/16/24 NDOT REVIEW & 6/29/24 PINELANDS REVIEW	01/21/25
2	REVISED FOR TWP SUBMISSION	05/02/25
3	UPDATED SW LEL, ADDED OR VARIANCE REQUEST, ADDRESS OWNER & WATER DEMANDS	05/20/25
4	UPDATED TO PROVIDE FUEL BREAK PER FIRE CHIEF REVIEW	06/24/25

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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-572-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

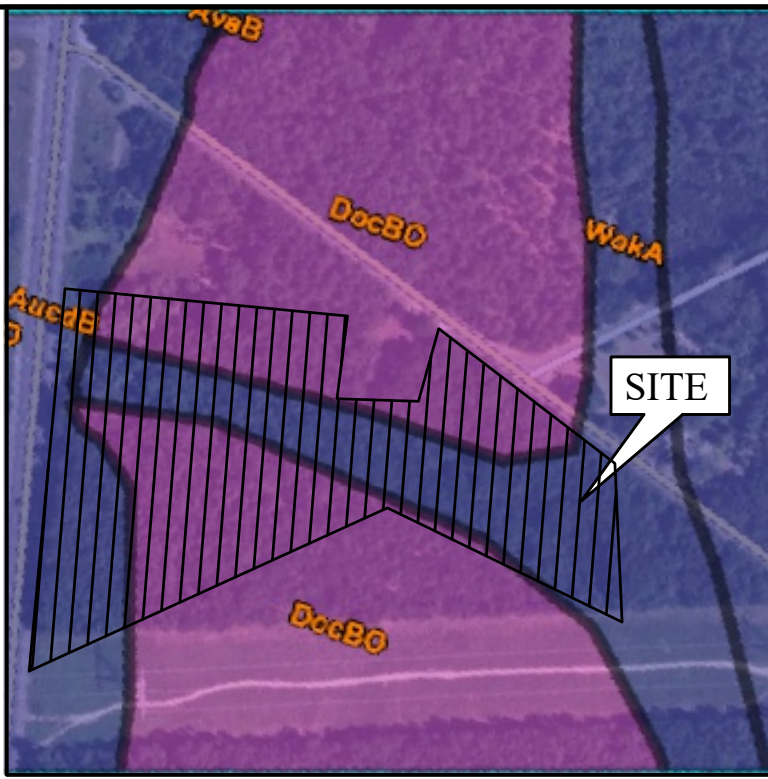
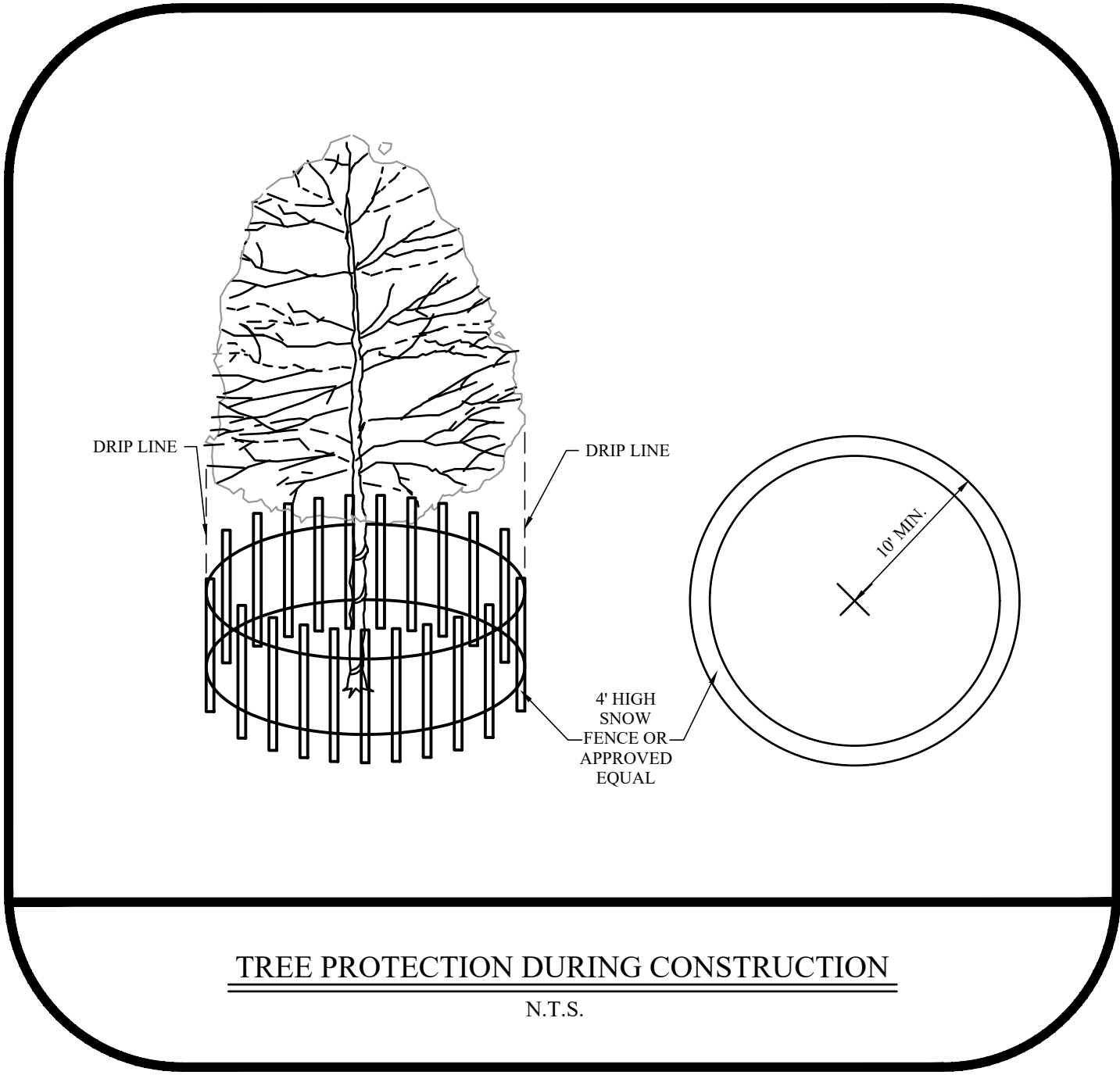
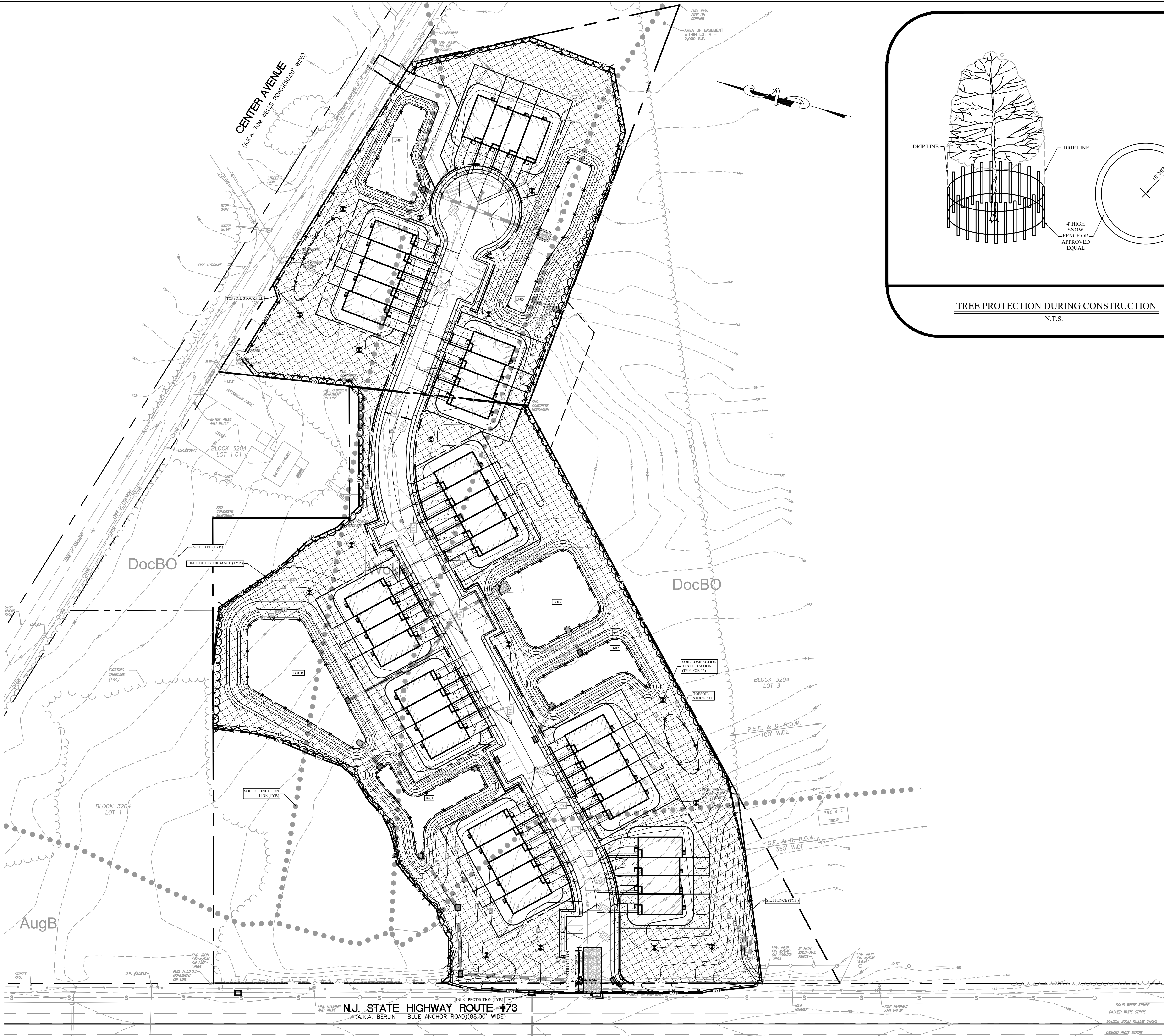
DESIGNED BY:	DPK	JOB NO:	1539-03
DRAWN BY:	JAD	DATE:	05/10/24
CHECKED BY:	DPK	SCALE:	1" = 50'

PROJECT:
COUNTRY AIRE II MAJOR SUBDIVISION
NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32
TOWNSHIP OF WINSLOW,
CAMDEN COUNTY
NEW JERSEY
FOR
COUNTRY AIRE AT WINSLOW, LLC
JOHN SCHIAYO, MANAGING MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003

D. Kreck
DAVID P. KRECK, PE, CME
Professional Engineer
State of New Jersey • License # GE 40995
State of Pennsylvania • License # 051762E
State of Delaware • License # 13285

SHEET TITLE:
LANDSCAPING & LIGHTING PLAN

SHEET NUMBER:
8 of 15



SOILS MAP
NOT TO SCALE

SITE SOILS	
NAME	SYMBOL
AURA LOAMY SAND 0 TO 5 PERCENT SLOPES	AucB
DOWNER LOAMY SAND 0 TO 5 PERCENT SLOPES	DocBO
WOODSTOWN AND GLASSBORO SANDY LOAMS - 0 TO 2 PERCENT SLOPES	WoKa

SITE SOIL INFORMATION TAKEN FROM USDA WEB SOIL SURVEY

TOTAL AREA OF DISTURBANCE: 7.97 ACRES (347,260 SF)
SOIL RESTORATION AREA: 3.98 ACRES (173,161 SF)

CAMDEN COUNTY SOIL CONSERVATION NOTES:

- 1) ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- 2) SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- 3) APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
- 4) THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- 5) ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- 6) IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
- 7) ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
- 8) THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- 9) ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- 10) A CRUSHED STONE, TREE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXITS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
- 11) ALL DRIVEWAYS MUST BE STABILIZED WITH 2 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- 12) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 13) ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
- 14) ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 15) ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
- 16) NSA 424-36, ET. SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- 17) MULCHING IS REQUIRED ON ALL SEEDING AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
- 18) OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
- 19) A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
- 20) THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
- 21) ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- 22) IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZED TOPSOIL MUST BE PROTECTED WITH STRAW MULCH IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
- 23) ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISE SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 24) SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE MUST BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5.0 OR MORE BEFORE SEEDBED PREPARATION.
- 25) TEMPORARY SEEDING AND MULCH SHOULD BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS.
- 26) MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- 27) DUST SHALL BE CONTROLLED BY WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
- 28) ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATION ON THE PROPOSED SITE.
- 29) USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
- 30) ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMEN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
- 31) NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPE PLAN.

40 0 40 80
SCALE 1" = 40' FEET

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REVISIONS

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2	REVISED FOR TWP SUBMISSION	05/02/25
3	UPDATED SW LEL, ADDED USE VARIANCE REQUEST, ADDED DRAINAGE & WATER DEMANDS	05/20/25
4	UPDATED TO PROVIDE FUEL BREAK PER FIRE CHIEF REVIEW	06/24/25

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DESIGNED BY: DPK	JOB NO: 1539-03
DRAWN BY: JAD	DATE: 05/10/24
CHECKED BY: DPK	SCALE: 1" = 40'

PROJECT:

**COUNTRY AIRE II
MAJOR SUBDIVISION**

**NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32**

**TOWNSHIP OF WINSLOW,
CAMDEN COUNTY
NEW JERSEY**

FOR

**COUNTRY AIRE AT WINSLOW,
LLC**

**JOHN SCHIAVO, MANAGING
MEMBER**

**6 JUSTA LANE
CHERRY HILL, NJ 08003**

D. Kreck

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State of New Jersey • License # GE 40995
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State of Delaware • License # 13285

SHEET TITLE:

**SOIL EROSION
& SEDIMENT
CONTROL PLAN**

SHEET NUMBER:

9 of 15

GENERAL NOTES

1. THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS OPERATIONS TO MINIMIZE EROSION OF SOILS AND TO PREVENT SILTING AND MUDDYING OF STREAMS, RIVERS, IRRIGATION SYSTEMS AND IMPOUNDMENTS (LAKES, RESERVOIRS, ETC.) CONSTRUCTION OF DRAINAGE FACILITIES AND PERFORMANCE OF THEIR CONTRACT WORK WHICH WILL CONTRIBUTE TO THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE CARRIED OUT IN CONJUNCTION WITH EARTHWORK OPERATIONS OR AS SOON THEREAFTER AS PRACTICABLE. THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME BY CONSTRUCTION OPERATIONS SHALL BE KEPT TO A MINIMUM.
2. PRIOR TO A SUSPENSION OF CONSTRUCTION OPERATIONS FOR A PERIOD OF 20 DAYS OR MORE, ANY AREA THAT HAS BEEN DISTURBED AND LEFT EXPOSED SHALL RECEIVE TEMPORARY STABILIZATION.
3. POLLUTANTS SUCH AS FUELS, LUBRICANTS, BITUMENS, RAW SEWAGE AND OTHER HARMFUL MATERIALS SHALL NOT BE DISCHARGED INTO OR NEAR RIVERS, STREAMS AND IMPOUNDMENTS OR INTO NATURAL OR MANMADE CHANNELS LEADING THERETO. WASH WATER OR WASTE FROM CONCRETE MIXING OPERATIONS SHALL NOT BE ALLOWED TO ENTER LIVE STREAMS.
4. ALL APPLICABLE REGULATIONS OF FISH AND WILDLIFE AGENCIES AND STATUTES RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION SHALL BE COMPLIED WITHIN THE PERFORMANCE OF THE CONTRACT.
5. NISA 424-30 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE COMPLETION OF A SOIL MITIGATION VERIFICATION FORM AND CONFIRMATION BY THE DISTRICT INSPECTOR THAT THE COMPACTION MITIGATION REQUIREMENTS IN THE STANDARDS FOR LAND GRADING HAVE BEEN SUFFICIENTLY ADDRESSED.

MAINTENANCE NOTES

1. SEDIMENTATION COLLECTED IN THE DETENTION BASIN SHALL BE REMOVED AFTER IT HAS BUILT UP TO THE ELEVATION OF THE BOTTOM OF THE DEWATERING HOLE IN THE WATERRIGHT RISE. ALL SILT COLLECTED SHALL BE BACKED BACK UP ON THE SITE.
2. SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED, AS NECESSARY, AND THEN RESEEDED. ADDITIONAL HAY MULCHING SHALL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
3. AREAS THAT CONTAIN SOD SHALL BE CHECKED VERY CAREFULLY TO ENSURE THAT JOINTS BETWEEN THE SOD STRIPS ARE TIGHT AND SECURE. WHERE JOINT SEPARATION IS IN EVIDENCE, A CAREFUL INSPECTION OF EACH JOINT SHALL BE MADE TO DETERMINE WHETHER UNDERMINING OF THE STRIPS IS OCCURRING. IF IT IS, THE STRIPS SHALL BE ROLLED UP, THE SUBSURFACE SHALL BE FILLED AND GRADED, AS REQUIRED, AND THE SOD STRIPS SHALL BE RELAY WITH THE PROPER JOINTS AND PEGGING.
4. A GOOD STAND OF VEGETATION SHALL BE DEFINED AS THE MANUFACTURER'S RECOMMENDED HEIGHT.
5. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. SPECIAL ATTENTION SHOULD BE GIVEN TO FROZEN SLOPES, STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
6. DURING CONSTRUCTION THE CONTRACTOR WILL BE RESPONSIBLE FOR SOIL EROSION CONTROL MAINTENANCE. AFTER CONSTRUCTION THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING THE FACILITIES.

TEMPORARY SEEDING NOTES

1. SITE PREPARATION:
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
2. TEMPORARY SEEDBED PREPARATION:
 - APPLY GOOD LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS COOPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES.
 - FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE.
 - WORK LIME AND FERTILIZER INTO THE FIRST FOUR (4) INCHES OF SOIL WITH A SPRING TOOTH OR DISC HARROW OR OTHER SUITABLE EQUIPMENT. RETILLING OF THE SOIL WILL BE REQUIRED IF SEEDBED IS COMPACTED PRIOR TO APPLICATION OF SEED.
 - HIGH SILTING SOILS OR SOILS HAVING A PH OF 4 OR LESS SHALL BE INTERMIXED WITH LIMESTONE APPLIED AT THE RATE SPECIFIED BY THE SOIL TESTING RESULTS.
3. TEMPORARY SEEDING SHALL CONSIST OF ONE OF THE SEED SELECTIONS AND OPTIMUM SEEDING DATES PROVIDED IN THE TABLE BELOW:
 - CONVENTIONAL SEEDING PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, OR CULTIPACKER SEEDER. SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. THE DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
 - HYDRO-SEEDING: HYDROSEEDING MAY BE EMPLOYED AS AN ALTERNATIVE TO CONVENTIONAL SEEDING USING THE FERTILIZATION, AND SEEDING RATES DESCRIBED HEREIN. THE USE OF HYDROSEEDING IS LIMITED TO FLATTER SLOPES AND ONLY DURING THE OPTIMUM SEEDING PERIODS IN THE SPRING AND FALL. FOLLOWING THE HYDROSEEDING OPERATION, SLICK-FIBERED WOOD OR PAPER MULCH MAY BE APPLIED WITH THE HYDROSEEDER AT A RATE OF 1500 LB/ACRE. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED.
 - AFTER SEEDING, IT IS RECOMMENDED THAT THE SOIL BE FIRMED WITH A CORRUGATED ROLLER TO ENSURE A GOOD SEED TO SOIL CONTACT AND IMPROVE SEEDLING EMERGENCE.
4. MULCHING: ALL SEEDED AREAS SHALL BE MULCHED. MULCH SHALL BE UNIFORMLY SPREAD AND SHALL CONSIST OF SMALL GRASS STRAW OR SALT HAY FREE OF SEEDS APPLIED AT A RATE OF 70-90 LBS PER 1000 SF AND ANCHORED WITH A LIQUID MULCH BINDER OR A CRIMPER. IF A CRIMPER IS USED, THE MULCH APPLICATION RATE SHALL BE INCREASED TO 135 LBS PER 1,000 SF.
5. IF SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY SEEDING, EXPOSED AREAS TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 4.

TEMPORARY SEEDING SELECTIONS AND OPTIMUM SEEDING DATES				
SEED SELECTION	PER ACRE	SEEDING RATE	SEEDING DATES	OPTIMUM SEED DEPTH (IN)
SPRING OATS	86 LBS.	2 LBS.	MAR. 1 - MAY 15 (68)	0.5
			AUG. 15 - OCT. 1 (68)	
			FEB. 15 - MAY 1 (74)	
PERENNIAL RYE GRASS	100 LBS.	1 LBS.	MAR. 1 - MAY 15 (68)	1.0
			AUG. 15 - OCT. 1 (68)	
			AUG. 15 - OCT. 15 (74)	
WINTER BARLEY	96 LBS.	22 LBS.	AUG. 15 - OCT. 1 (68)	1.0
			AUG. 15 - OCT. 15 (74)	
			AUG. 15 - OCT. 15 (74)	
ANNUAL RYE GRASS	100 LBS.	1 LBS.	MAR. 1 - JUNE 1 (68)	0.5
			AUG. 1 - SEP. 15 (68)	
			FEB. 15 - MAY 1 (74)	
WINTER CEREAL RYE	112 LBS.	2.8 LBS.	AUG. 1 - NOV. 15 (68)	1.0
			AUG. 1 - DEC. 15 (74)	
			AUG. 15 - OCT. 15 (74)	
PEARL MILLET	20 LBS.	0.5 LBS.	MAY 15 - AUG. 15 (68)	1.0
			MAY 1 - SEP. 1 (74)	
			MAY 1 - SEP. 1 (74)	
GERMAN OR HUNGARIAN MILLET *	30 LBS.	0.7 LBS.	MAY 15 - AUG. 15 (68)	1.0
			MAY 1 - SEP. 1 (74)	
			MAY 1 - SEP. 1 (74)	

TEMPORARY SEEDING SELECTIONS AND OPTIMUM SEEDING DATES

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			MAY 1 - SEP. 1 (74)	
			MAY 1 - SEP. 1 (74)	

- * MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR CAN BE IRRIGATED
- OPTIMUM SEEDING DEPTHS SHALL BE DOUBLED IN SANDY SOILS.
1. INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE. 1 WEEK
 2. SITE CLEARING AND SELECTIVE CLEARING OF OBSTRUCTIONS LOCATED IN AND/OR ADJACENT TO GENERAL CONSTRUCTION AREA. 1 MONTH
 3. ROUGH GRADE SITE. 1 MONTH
 4. CONSTRUCTION OF UTILITIES. 2 MONTHS
 5. CONSTRUCTION OF BASINS (EXCEPT FOR SAND LAYER), AND ROADWAY IMPROVEMENTS. PERFORM SUBSOIL REMEDIATION, IF RECD, AND PLACE TOPSOIL. SUBSOIL REMEDIATION TO BE PERFORMED PRIOR TO PLACEMENT OF TOPSOIL. 3 MONTHS
 6. ONCE SITE IS STABILIZED, CLEAN AND DISCARD SEDIMENT AT THE BOTTOM OF BASINS AND INSTALL BASIN SAND LAYER. 2 WEEKS
 7. REMOVAL OF ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL PROTECTION DEVICES SUBSEQUENT TO VERIFICATION THAT ALL CONSTRUCTION DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWNSHIP AND THE SOIL EROSION INSPECTOR. ANY AREAS DISTURBED AFTER THIS PERIOD, AND BEFORE ACCEPTANCE BY THE TOWNSHIP, SHALL BE RE-STABILIZED IN ACCORDANCE WITH THESE PLANS, THE SPECIFICATIONS AND THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY. 1 WEEK
 - 8.

PERMANENT SEEDING NOTES

1. SITE PREPARATION:
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
2. PERMANENT SEEDBED PREPARATION:
 - UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS COOPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NAES.RUTGERS.EDU/COUNTY).
 - FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE.
 - WORK LIME AND FERTILIZER INTO THE FIRST FOUR (4) INCHES OF SOIL WITH A SPRING TOOTH OR DISC HARROW OR OTHER SUITABLE EQUIPMENT.
 - SOILS HAVING A PH OF 4 OR LESS OR CONTAINING ION SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION.
3. PERMANENT SEEDING SHALL CONSIST OF MIXTURE NO. 15, AS SPECIFIED IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT IN NEW JERSEY, OR APPROVED EQUIVALENT, AND THE FOLLOWING SEED RATES APPLY TO ALL PROPOSED METHODS OF SEEDING:
 - MIXTURE NO. 15 (EXCESSIVELY TO MODERATELY WELL DRAINED SOILS)
 - HARD FESCUE @ 3 LBS./1,000 SF
 - CHEWINGS FESCUE @ 1 LBS./1,000 SF
 - STRONG CREEPING RED FESCUE @ 1 LBS./1,000 SF
 - PERENNIAL KYE GRASS @ 0.25 LBS./1,000 SF
 - MIXTURE NO. 16 (SOMEWHAT POOR TO POORLY DRAINED SOILS)
 - ROUGH BLUEGRASS @ 2 LBS./1,000 SF
 - STRONG CREEPING RED FESCUE @ 3 LBS./1,000 SF

1. SITE PREPARATION:
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
2. TEMPORARY SEEDBED PREPARATION:
 - APPLY GOOD LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS COOPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES.
 - FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE.
 - WORK LIME AND FERTILIZER INTO THE FIRST FOUR (4) INCHES OF SOIL WITH A SPRING TOOTH OR DISC HARROW OR OTHER SUITABLE EQUIPMENT. RETILLING OF THE SOIL WILL BE REQUIRED IF SEEDBED IS COMPACTED PRIOR TO APPLICATION OF SEED.
 - HIGH SILTING SOILS OR SOILS HAVING A PH OF 4 OR LESS SHALL BE INTERMIXED WITH LIMESTONE APPLIED AT THE RATE SPECIFIED BY THE SOIL TESTING RESULTS.
3. TEMPORARY SEEDING SHALL CONSIST OF ONE OF THE SEED SELECTIONS AND OPTIMUM SEEDING DATES PROVIDED IN THE TABLE BELOW:
 - CONVENTIONAL SEEDING PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, OR CULTIPACKER SEEDER. SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. THE DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
 - HYDRO-SEEDING: HYDROSEEDING MAY BE EMPLOYED AS AN ALTERNATIVE TO CONVENTIONAL SEEDING USING THE FERTILIZATION, AND SEEDING RATES DESCRIBED HEREIN. THE USE OF HYDROSEEDING IS LIMITED TO FLATTER SLOPES AND ONLY DURING THE OPTIMUM SEEDING PERIODS IN THE SPRING AND FALL. FOLLOWING THE HYDROSEEDING OPERATION, SLICK-FIBERED WOOD OR PAPER MULCH MAY BE APPLIED WITH THE HYDROSEEDER AT A RATE OF 1500 LB/ACRE. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED.
 - AFTER SEEDING, IT IS RECOMMENDED THAT THE SOIL BE FIRMED WITH A CORRUGATED ROLLER TO ENSURE A GOOD SEED TO SOIL CONTACT AND IMPROVE SEEDLING EMERGENCE.
4. MULCHING: ALL SEEDED AREAS SHALL BE MULCHED. MULCH SHALL BE UNIFORMLY SPREAD AND SHALL CONSIST OF SMALL GRASS STRAW OR SALT HAY FREE OF SEEDS APPLIED AT A RATE OF 70-90 LBS PER 1000 SF AND ANCHORED WITH A LIQUID MULCH BINDER OR A CRIMPER. IF A CRIMPER IS USED, THE MULCH APPLICATION RATE SHALL BE INCREASED TO 135 LBS PER 1,000 SF.
5. IF SEASON PREVENTS THE ESTABLISHMENT OF A PERMANENT SEEDING, EXPOSED AREAS TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 4.
6. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER OF THE SEEDED SPECIES AND MOWED ONCE.

STANDARDS FOR TOPSOILING

1. MATERIALS:
 - A. TOPSOIL SHOULD BE FRIABLE, LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMOHS PER CENTIMETER). THERE SHALL BE 65 PERCENT OR MORE OF THE SEEDING AND ADVERSELY IMPACT GROUND (TOPSOIL HAULED IN FROM OFFSITE SHOULD HAVE A MINIMUM OF 65 PERCENT ORGANIC MATTER CONTENT OF 2.5 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
 - B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS AND PH LEVEL.
2. STRIPPING:
 - A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND QUALITY OF SUBSTRATE IS ADEQUATE FOR PERMANENT VEGETATION.
 - B. STRIPPING SHOULD BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - C. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO APPROXIMATELY 6.5.
 - D. A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL.
 - E. STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 - F. STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS PREVIOUSLY DESCRIBED HEREIN. SEE STANDARDS FOR PERMANENT (PG. 4-1) TEMPORARY (PG. 7-1) VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.
3. SITE PREPARATION:
 - A. GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DEGRADATION AND AREA OF EXPOSURE OF DISTURBED SOIL TO EROSION. IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE. TIME IS OF THE ESSENCE.
 - B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SEE THE STANDARD FOR LAND GRADING, PG. 19-1.
 - C. AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT, LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
 - D. IMMEDIATELY PRIOR TO TOPSOILING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS WILL HELP INSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
 - E. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
4. APPLYING TOPSOIL:
 - A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - B. APPLY TOPSOIL IN A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES. MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING ION SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE, IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOIL (PG. 1-1).
 - C. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARDS FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED.

ANTICIPATED CONSTRUCTION SCHEDULE

1. INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE. 1 WEEK
2. SITE CLEARING AND SELECTIVE CLEARING OF OBSTRUCTIONS LOCATED IN AND/OR ADJACENT TO GENERAL CONSTRUCTION AREA. 1 MONTH
3. ROUGH GRADE SITE. 1 MONTH
4. CONSTRUCTION OF UTILITIES. 2 MONTHS
5. CONSTRUCTION OF BASINS (EXCEPT FOR SAND LAYER), AND ROADWAY IMPROVEMENTS. PERFORM SUBSOIL REMEDIATION, IF RECD, AND PLACE TOPSOIL. SUBSOIL REMEDIATION TO BE PERFORMED PRIOR TO PLACEMENT OF TOPSOIL. 3 MONTHS
6. ONCE SITE IS STABILIZED, CLEAN AND DISCARD SEDIMENT AT THE BOTTOM OF BASINS AND INSTALL BASIN SAND LAYER. 2 WEEKS
7. REMOVAL OF ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL PROTECTION DEVICES SUBSEQUENT TO VERIFICATION THAT ALL CONSTRUCTION DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWNSHIP AND THE SOIL EROSION INSPECTOR. ANY AREAS DISTURBED AFTER THIS PERIOD, AND BEFORE ACCEPTANCE BY THE TOWNSHIP, SHALL BE RE-STABILIZED IN ACCORDANCE WITH THESE PLANS, THE SPECIFICATIONS AND THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY. 1 WEEK
- 8.

DUST CONTROL

DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS PER ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON			
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200
TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO SURFACE. THIS IS A TEMPORARY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.			
SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.			
BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.			
CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.			
STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.			
MULCHING IS REQUIRED ON ALL SEEDED AREAS TO ENSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATIVE COVER.			

STANDARDS FOR STABILIZATION WITH MULCH ONLY

METHODS AND MATERIALS

1. SITE PREPARATION:
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - C. PROTECTIVE MATERIALS:
 - A. UNROOTED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING THE DOWN, OTHER MATERIALS MAY BE USED IF APPROVED BY THE SOIL EROSION INSPECTOR.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.
 - E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - F. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SF, APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
2. PROTECTIVE MATERIALS:
 - A. UNROOTED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING THE DOWN, OTHER MATERIALS MAY BE USED IF APPROVED BY THE SOIL EROSION INSPECTOR.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.
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 - F. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SF, APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.
 - A. PEG AND TWINE - DRIVE A 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - B. MULCH NETTINGS - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. UNDESIRABLE NETTING AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
 - C. CRIMPER MULCH ANCHORING COUNTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO SLOPES UPON WHICH SLOPES UPON WHICH THE CONTRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE ON THE CONTOUR.
 - D. LIQUID MULCH-BINDERS
 - 1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - 2. USE ONE OF THE FOLLOWING:
 - a. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPIDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
 - b. SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACTIL UNTIL GERMINATION OF GRASS.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS



SHEET NUMBER:

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FOR APPROVAL
PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSE OF THE PROJECT, SHALL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-272-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL

DESIGNED BY: DPK	JOB NO: 1539-03
DRAWN BY: JAD	DATE: 05/10/24
CHECKED BY: DPK	SCALE: NOT TO SCALE

PROJECT:

**COUNTRY AIRE II
MAJOR SUBDIVISION**

NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32
TOWNSHIP OF WINSLOW,
CAMDEN COUNTY
NEW JERSEY

FOR

**COUNTRY AIRE AT WINSLOW,
LL**

**JOHN SCHIAVO, MANAGING
MEMBER**

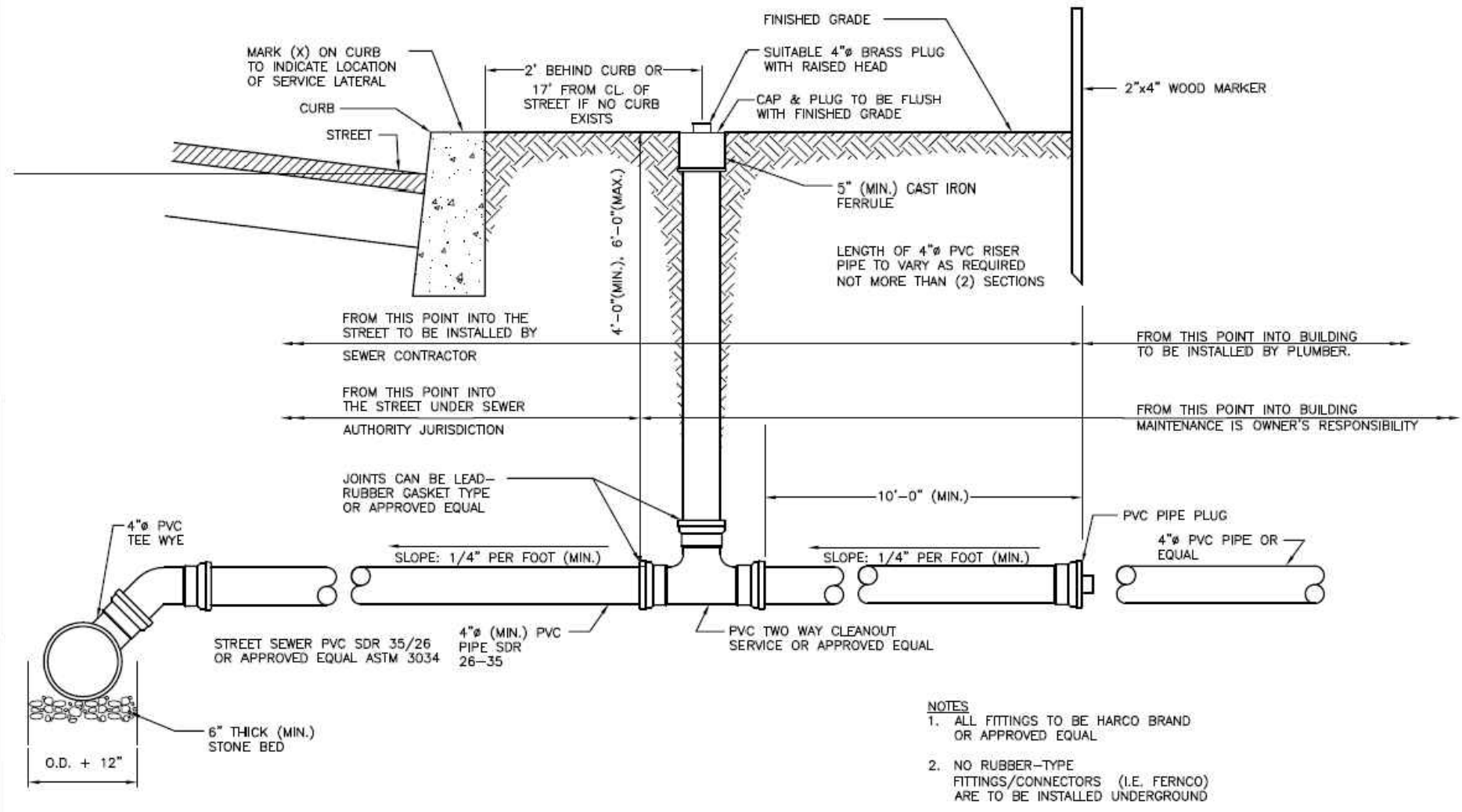
**6 JUSTA LANE
CHERRY HILL, NJ 08003**

DAVID P. KRECK, PE, CME
Professional Engineer
State of New Jersey • License # GE 40995
State of Pennsylvania • License # 051762E
State of Delaware • License # 13285

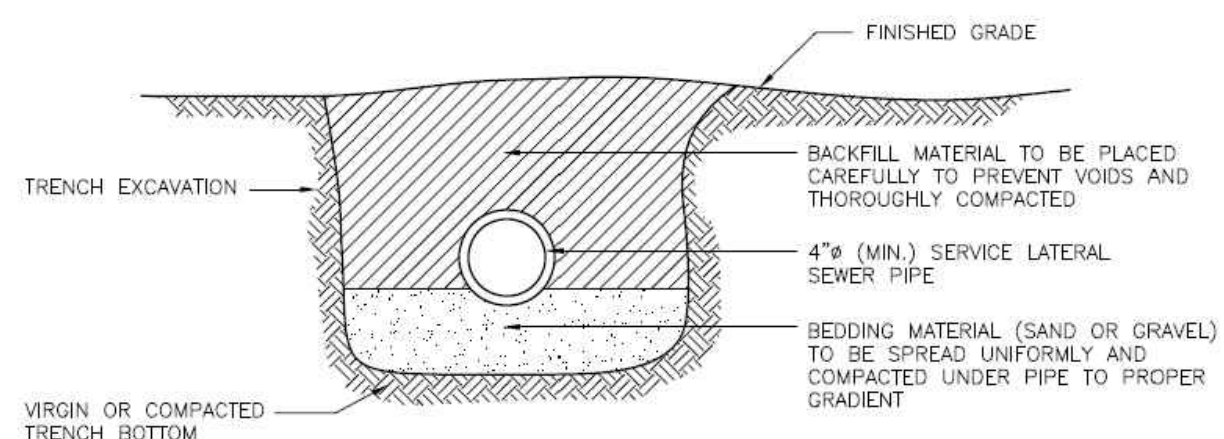
CONSTRUCTION DETAILS

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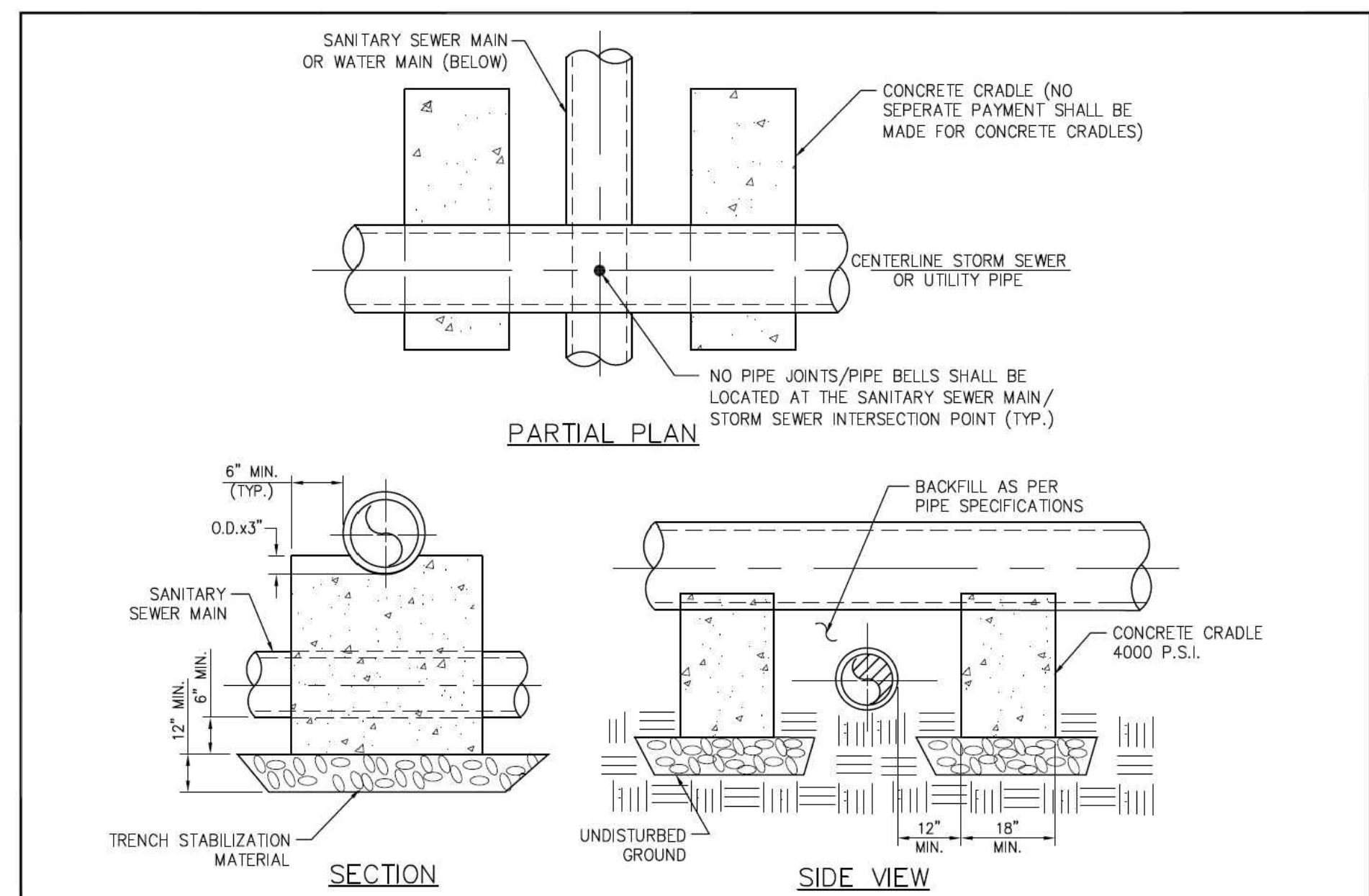
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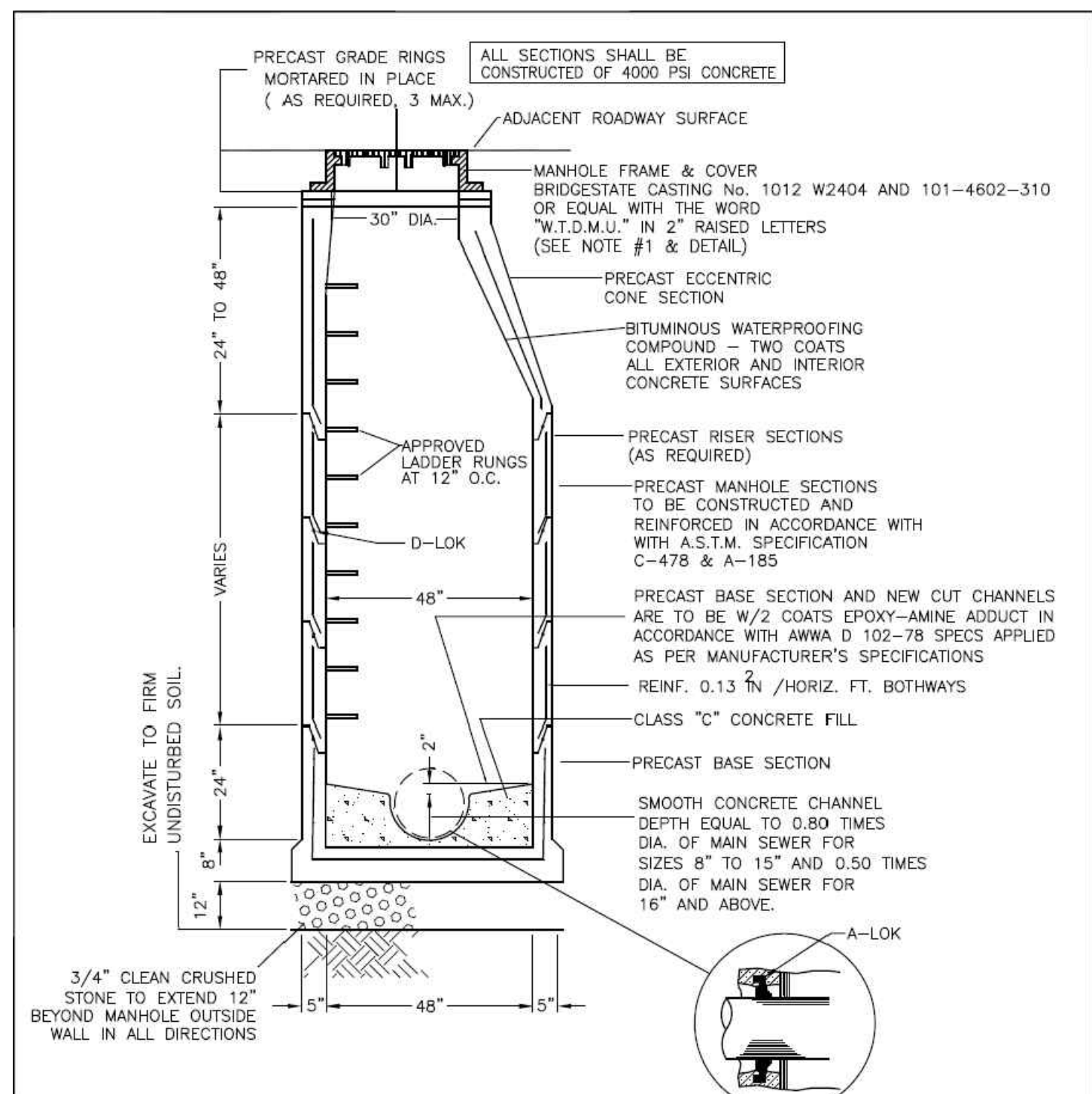
REVISIONS	<div> <div> R V </div> <div> WINSLOW TOWNSHIP DEPARTMENT OF MUNICIPAL UTILITIES TYPICAL LATERAL DETAIL (FOR PVC SEWER MAIN CONNECTION) </div> </div>	<div> <div> R V </div> <div> DRAWN: J.J.M. SCALE: N.T.S. DETAIL #WTS-1 </div> </div>
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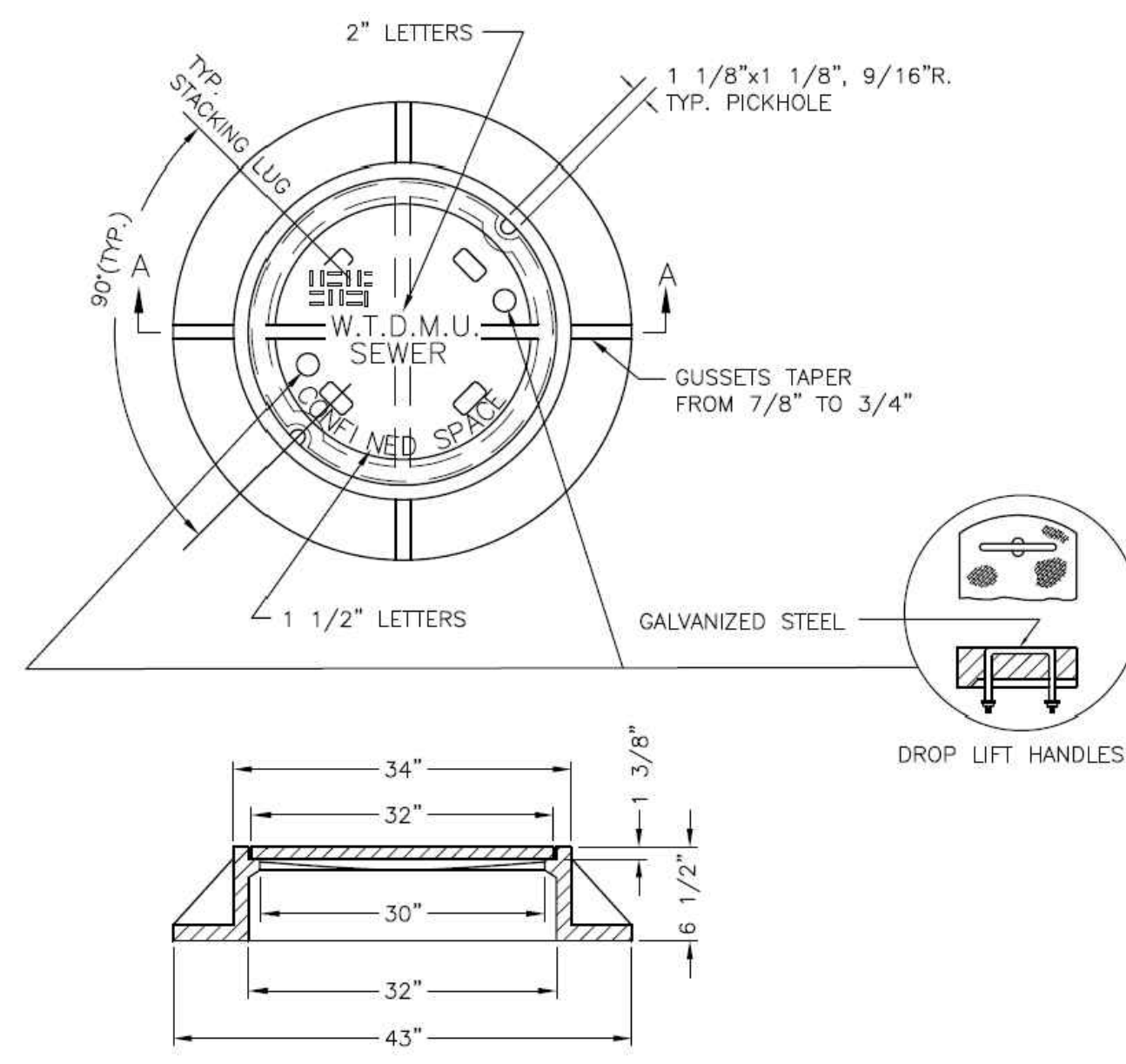
REVISIONS	<div> <div> R V </div> <div> WINSLOW TOWNSHIP DEPARTMENT OF MUNICIPAL UTILITIES LATERAL TRENCH DETAIL </div> </div>	<div> <div> R V </div> <div> DRAWN: J.J.M. SCALE: N.T.S. DETAIL #WTS-4 </div> </div>
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REVISIONS	<div> <div> R V </div> <div> WINSLOW TOWNSHIP DEPARTMENT OF MUNICIPAL UTILITIES CONCRETE CRADLE DETAIL </div> </div>	<div> <div> R V </div> <div> DRAWN: J.J.M. SCALE: N.T.S. DETAIL #WTS-17 </div> </div>
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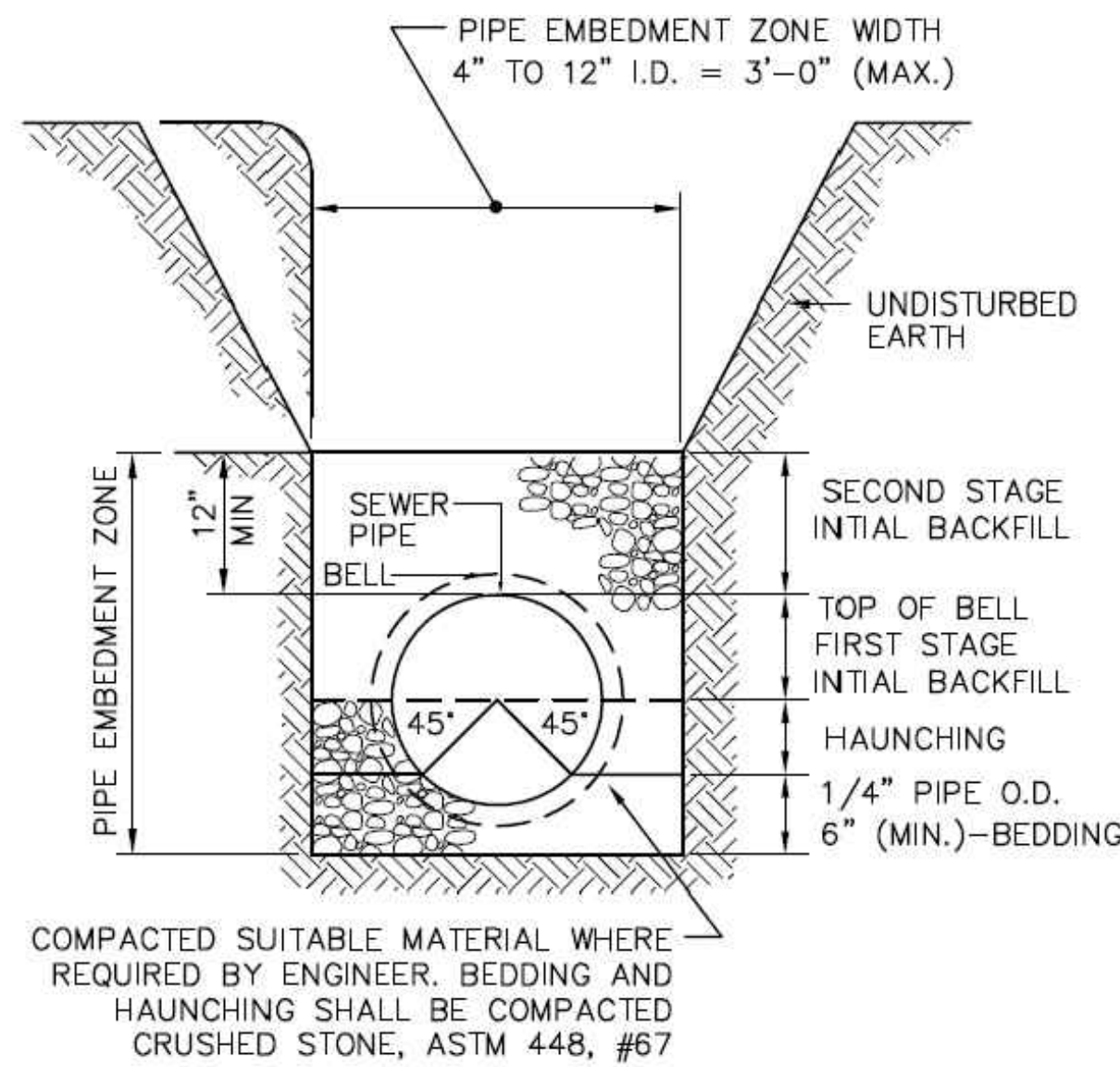
REVISIONS	<div> <div> R V </div> <div> WINSLOW TOWNSHIP DEPARTMENT OF MUNICIPAL UTILITIES STANDARD 4'-0" DIAMETER PRECAST MANHOLE </div> </div>	<div> <div> R V </div> <div> DRAWN: J.J.M. SCALE: N.T.S. DETAIL #WTS-9 </div> </div>
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REVISIONS	<div> <div> R V </div> <div> WINSLOW TOWNSHIP DEPARTMENT OF MUNICIPAL UTILITIES MANHOLE COVER DETAIL </div> </div>	<div> <div> R V </div> <div> DRAWN: J.J.M. SCALE: N.T.S. DETAIL #WTS-6 </div> </div>
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- WINSLOW TOWNSHIP DEPARTMENT OF MUNICIPAL UTILITIES GENERAL SANITARY SEWER & WATER NOTES**
1. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AT NO COST TO THE DMU INCLUDING BUT NOT LIMITED TO ROAD OPENING PERMITS FROM THE TOWNSHIP, BOROUGH, COUNTY AND STATE.
 2. THE APPLICANT/OWNER IS AWARE AND AGREES THAT THE REVIEW BY THE W.T.D.M.U. AND DMU ENGINEER IS BASED UPON THE BEST INFORMATION AVAILABLE AND IN NO WAY DOES IT GUARANTEE EXISTENCE OR NON-EXISTENCE OF SANITARY SEWER AND WATER MAINS AND/OR APPURTENANCES. IT IS THE RESPONSIBILITY OF THE APPLICANT/OWNER TO VERIFY THE LOCATION OF SUCH MAINS AND/OR APPURTENANCES.
 3. THE LOCATION AND DEPTHS OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES OF PROPOSED EXCAVATION IN THE VICINITY OF SAID UTILITIES PRIOR TO CONSTRUCTION BY NOTIFYING THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING 1-800-222-1000.
 5. THE CONTRACTOR SHALL NOTIFY THE ELECTRIC COMPANY/TELEPHONE COMPANY IN ADVANCE OF CONSTRUCTION FOR TEMPORARY SUPPORT OF UTILITY POLES.
 6. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE PROPER TRAFFIC CONTROL TO THE SATISFACTION OF LOCAL, COUNTY AND STATE AUTHORITIES.
 7. NO MATERIAL SHALL BE PLACED OR DISTURBED BEYOND THE PROPERTY LINE OR RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING PAVING, PLANTINGS, ETC. IN KIND AND TOPSOILING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT REPLACEMENT AND ALL RESTORATION IN DISTURBED AREAS SHALL MEET THE REQUIREMENTS OF THE ENGINEER.
 9. WHENEVER THE TRENCH BOTTOM DOES NOT AFFORD SUFFICIENT BEARING STRENGTH TO SUPPORT THE WEIGHT OF THE PIPE AND SUPERIMPOSED LOADS, THE TRENCH BOTTOM SHALL BE OVER EXCAVATED AND STABILIZED WITH SIX (6) INCH MINIMUM THICK LAYERS OF CRUSHED STONE, AS DIRECTED BY THE ENGINEER.
 10. ALL TRENCHES WILL BE BACKFILLED BY COMPACTION IN SIX (6) INCH LAYERS IN STRICT ACCORDANCE WITH THE TRENCH DETAILS AND SPECIFICATIONS.
 11. THE CONSTRUCTION SITE MUST BE SWEEPED AND CLEANED DAILY WITH NO TRENCHES OPEN OVERNIGHT.
 12. ALL GENERAL CONSTRUCTION, MATERIALS, TESTING, AND METHODS OF INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE UTILITY DMU ENGINEER.
 13. THE CONTRACTOR SHALL COMPLY WITH ALL STANDARDS SET FORTH IN THE UTILITY DMU'S RULES AND REGULATIONS AND THE "SUPPLEMENTAL DESIGN STANDARDS AND DETAILS" MANUAL.
 14. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY THE ENGINEER FOR THE UTILITY DMU SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND APPLICABLE LAWS.
 15. THE CONTRACTOR SHALL SUPPLY THE DMU ENGINEER WITH COMPLETE AS-BUILT OF ALL UTILITY INSTALLATIONS AND APPURTENANCES PRIOR TO THE DMU ENGINEER WITNESSING TESTING OF THE SYSTEMS.
 16. COVER OVER ALL WATER MAINS SHALL BE 4'-0" MINIMUM.
 17. ALL PROPOSED WATER MAINS SHOULD HAVE THRUST BLOCKS AT ALL BENDS AND TEES.
 18. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF EACH WATER SERVICE LINE WITH THE PROPERTY OWNER DIRECTLY INVOLVED.
 19. ALL FOUR (4) INCH AND LARGER WATER PIPING SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE WITH PUSH-ON JOINTS. WATER PIPING SMALLER THAN THREE (3) INCHES SHALL BE TYPE "Y" SOFT TEMPER COPPER TUBING WITH COMPRESSION FITTINGS. ALL WATER PIPING SHALL HAVE FORTY-FOUR (48) INCH MINIMUM COVER. WATER PIPING SHALL BE DISCONNECTED BY CONTACT WITH A CHOKING SOLUTION NO LESS THAN FIFTY (50) PPM FOR NOT LESS THAN TWENTY-FOUR (24) HOURS BY THE CONTRACTOR AND CERTIFIED IN WRITING BY CONTRACTOR.
 20. WATER MAINS AND SANITARY SEWERS SHALL BE SEPARATED BY TEN (10) FEET HORIZONTALLY WHENEVER POSSIBLE. OTHERWISE THE SANITARY SEWER AND WATER SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER 18 INCHES MINIMUM BELOW THE WATER MAIN. THE SANITARY SEWER SHALL BE 18 INCHES BELOW THE WATER MAIN AND/OR STORM PIPE AT ALL CROSSINGS. WHERE THE SANITARY SEWER CROSSES OVER OR WITHIN 18 INCHES UNDER A WATER MAIN AND/OR STORM PIPE, THE SANITARY SEWER SHALL BE DUCTILE IRON PIPE WITH SLIP-ON JOINTS FOR TEN (10) FEET EACH SIDE OF THE CROSSING.
 21. ALL PROPOSED FORCE MAINS SHALL HAVE THRUST BLOCKS AT ALL BENDS.
 22. ALL PVC FORCE MAINS SHALL BE INSTALLED WITH TRACING WIRE.
 23. ALL SANITARY SEWER MAINS INSTALLED AT A DEPTH FROM 8 TO 12 FEET SHALL BE POLYVINYL CHLORIDE PIPE (PVC) MEETING ASTM D3034 SDR-35 WITH 8" x 4" TEES WITH 45° ALL LATERAL INTERCONNECTIONS. LOCATION AND DEPTHS OF THE MAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ALL SANITARY SEWER MAINS INSTALLED AT A DEPTH FROM 12 TO 30 FEET SHALL BE SDR-35 PVC PIPE. ANY SEWER MAIN GREATER THAN 30 FEET SHALL BE DUCTILE IRON PIPE CLASS 52 WITH "PROTECTED" 401" CROMAG EPDM LINED BY U.S. PIPE OR EQUIVEN "H" SEWER SAFE PIPE.
 24. ALL SANITARY SEWER LATERALS SHALL BE POLYVINYL CHLORIDE PIPE (PVC) MEETING ASTM D3034 SDR 26-35. LOCATIONS AND SLOPES OF THE LATERALS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
 25. SANITARY SEWER LATERALS SHALL CONFORM TO STANDARD INSTALLATION REQUIREMENTS AND MAY NOT BE CONNECTED DIRECTLY INTO MANHOLES.
 26. SANITARY SEWER MANHOLES SET IN LOCATIONS SUBJECT TO SHEET FLOWS OF WATER (I.E. GUTTER LINE OF ROAD) SHALL HAVE WATER TIGHT FRAME AND LID; BRIDGESTATE PATTERN #1012A WITH FLOW SEAL WATER TIGHT COVER.
 27. SANITARY SEWER MANHOLES SET IN OTHER THAN PAVED ROADWAYS (I.E. GRASSY EASEMENTS) SHALL HAVE LOCKING LIDS; BRIDGESTATE PATTERN #1460A.
 28. ALL PROPOSED BASEMENTS WHICH ARE TO UTILIZE SEWER SERVICES, MUST INSTALL A SUITABLE CHECK VALVE ALONG ALL APPLICABLE SANITARY SEWER LATERALS.
 29. A TRAFFIC PROTECTOR CLEANOOUT SHALL BE USED IN AREAS WHERE TRAFFIC WILL TRAVEL OVER A CLEANOOUT.
 30. SANITARY CLEANOOUTS SHALL BE INSTALLED AT ALL PIPELINE DEFLECTORS GREATER THAN 45° AND AT A SPACING NO MORE THAN 50 FEET.
 31. ANY EASEMENTS DEDICATED TO W.T.D.M.U. SHALL ONLY CONTAIN UTILITY LINES OWNED AND MAINTAINED BY THE W.T.D.M.U.
 32. ALL NEW SANITARY LINES ARE TO BE TELEVEISED AFTER INSTALLATION IS COMPLETE, AND AGAIN BEFORE BONDS ARE RELEASED WITH A DVD OF RESULTS SUPPLIED TO THE W.T.D.M.U.
 33. AS-BUILTS IN COMPLIANCE WITH THE WINSLOW TOWNSHIP DMU STANDARD SPECIFICATIONS, SHALL BE PROVIDED TO THE TOWNSHIP FOR APPROVAL PRIOR TO ACCEPTANCE OF THE WORK.
 34. ALL NEW WATER PIPING SHALL BE CHLORINATED AND TESTED FOR COLIFORM BACTERIA BY A CERTIFIED LABORATORY, IN ACCORDANCE WITH THE WINSLOW TOWNSHIP DMU STANDARD SPECIFICATIONS. TEST RESULTS SHALL BE SUBMITTED TO THE DMU.

REVISIONS	<div> <div> R V </div> <div> WINSLOW TOWNSHIP DEPARTMENT OF MUNICIPAL UTILITIES GENERAL NOTES </div> </div>	<div> <div> R V </div> <div> DRAWN: J.J.M. SCALE: N.T.S. DETAIL #WTW-13 </div> </div>
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CLASS "B" MODIFIED BEDDING

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Certificate of Authorization No. 246A28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER 9/16/24 NDOT REVIEW & 6/29/24 PINELANDS REVIEW	09/21/25
2	REVISED FOR TWP SUBMISSION	05/02/25
3	UPDATED SW LID, ADDED OR VARIANCE REQUEST, ADDED SEWER & WATER REMAINS	05/20/25
4	UPDATED TO PROVIDE FUEL BREAK PER FIRE CHIEF REVIEW	06/24/25

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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK OUT SERVICE (1-800-522-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY:	DPK	JOB NO:	1539-03
DRAWN BY:	JAD	DATE:	05/10/24
CHECKED BY:	DPK	SCALE:	NOT TO SCALE

COUNTRY AIRE II MAJOR SUBDIVISION
NORTH ROUTE 73
BLOCK 3204, LOTS 2 & 4
PLATE 32
TOWNSHIP OF WINSLOW, CAMDEN COUNTY, NEW JERSEY
FOR
COUNTRY AIRE AT WINSLOW, LLC
JOHN SCHIAVINO, MANAGING MEMBER
6 JUSTA LANE
CHERRY HILL, NJ 08003

D. Kreck
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State of Delaware • License # 13285

SHEET TITLE:
MUNICIPAL UTILITY DETAILS

SHEET NUMBER:
15 of 15