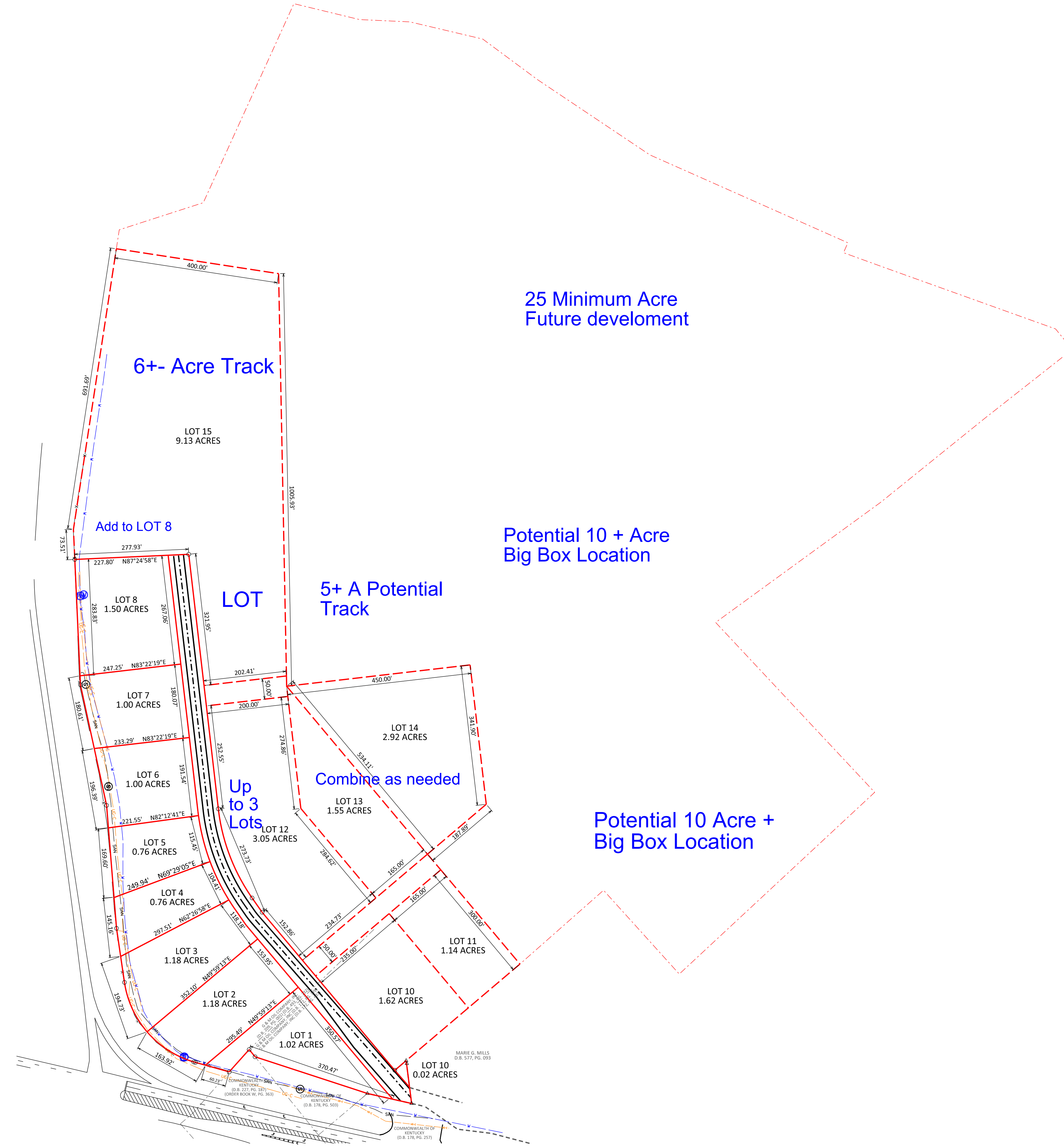


PRELIMINARY
NOT FOR RECORDING
NOT FOR LAND TRANSFER



LEGEND

	CURRENT BAXMAX PROPERTY
	FUTURE PURCHASES
	APPROXIMATE G & M OIL COMPANY BOUNDARY

DATE: 7/19/2021
 SCALE: 1" = 150'
 DRAWN BY: TK
 APPROVED BY:
 FILENAME: 21017

FUTURE PURCHASES STUDY 2
 BAXMAX, LLC.
 CUMBERLAND GAP PKWY
 CORBIN, LAUREL COUNTY, KY

P.O. BOX 204
 165 FOSTER LANE
 STANFORD, KY 40484
 PHONE (606) 365-8362
 FAX (606) 365-1097



REVISION(S)

SHEET:

RT/LT	LOCATION	LENGTH	S. Y.	DETECTABLE WARNINGS
LT	FRONTAGE RD 1, CONN 1	83'	46	10 SF
LT	11+66.00 - 11+93.84	27'	15	20 SF
LT	12+70.98 - 13+60.52	83'	46	20 SF
LT	14+21.37 - 14+45.80	22'	12	20 SF
LT	15+07.80 - 15+30.39	23'	13	20 SF
LT	15+92.39 - 16+00	8	4	10 SF

- INLET INFORMATION**
- (A) N67°29'15"E, 25.61'
 - (B) N73°51'09"W, 40.00'
 - (C) N82°54'33"W, 88.02'
 - (D) S75°20'46"E, 31.57'
 - (E) S16°08'51"W, 11.61'
 - (F) N75°20'46"W, 20.01'
 - (G) S73°51'09"E, 133.75'
 - (H) S73°51'09"E, 30.00'
 - (J) N16°08'51"E, 11.09'
 - (K) S73°51'09"E, 20.00'
 - (L) S16°08'51"W, 10.56'
 - (M) N75°20'46"W, 20.01'
 - (N) S73°48'33"E, 22.59'
 - (O) S73°51'09"E, 10.00'
 - (P) N48°42'51"E, 16.75'
 - (Q) N16°08'51"E, 10.00'
 - (R) N73°51'09"W, 30.00'

CAUTION GAS LINE

CAUTION GAS LINE

CAUTION GAS LINE

CONSTRUCT CURB

RT/LT	LOCATION	LENGTH	TYPE
LT	FRONTAGE RD 1, CONN. 1	87'	STD CURB AND GUTTER
LT	FRONTAGE RD 1, CONN. 1	80'	STD HEADER CURB
LT	14+33.94 - 14+45.80	12'	STD CURB AND GUTTER
LT	11+50.51 - 11+95.04	46'	STD HEADER CURB
LT	12+65.60 - 13+66.89	109'	STD CURB AND GUTTER
LT	12+65.60 - 13+66.89	101'	STD HEADER CURB
LT	14+19.09 - 14+45.80	55'	STD CURB AND GUTTER
LT	14+17.79 - 14+61.80	44'	STD INTEGRAL CURB
LT	14+21.32 - 14+33.72	14'	STD INTEGRAL CURB
LT	15+07.80 - 15+30.39	23'	STD CURB AND GUTTER
LT	14+91.80 - 15+46.39	55'	STD INTEGRAL CURB
LT	15+92.39 - 16+00	8'	STD CURB AND GUTTER
LT	15+76.39 - 16+00	14'	STD INTEGRAL CURB

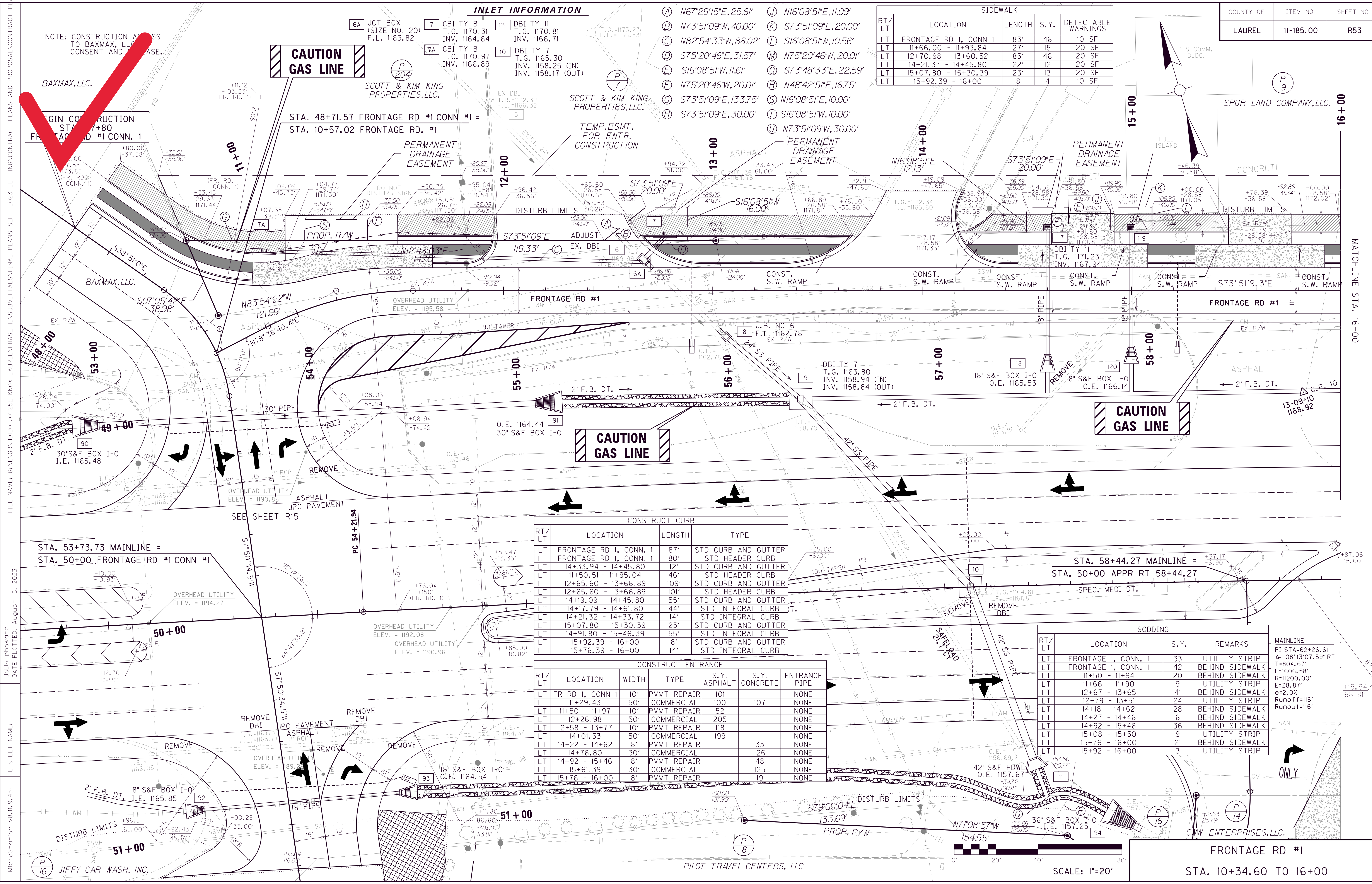
CONSTRUCT ENTRANCE

RT/LT	LOCATION	WIDTH	TYPE	S. Y. ASPHALT	S. Y. CONCRETE	ENTRANCE PIPE
LT	FR RD 1, CONN 1	10'	PVMT REPAIR	101		NONE
LT	11+29.43	50'	COMMERCIAL	100	107	NONE
LT	11+50 - 11+97	10'	PVMT REPAIR	52		NONE
LT	12+26.98	50'	COMMERCIAL	205		NONE
LT	12+58 - 13+77	10'	PVMT REPAIR	118		NONE
LT	14+01.33	50'	COMMERCIAL	199		NONE
LT	14+22 - 14+62	8'	PVMT REPAIR		33	NONE
LT	14+76.80	30'	COMMERCIAL		126	NONE
LT	14+92 - 15+46	8'	PVMT REPAIR		48	NONE
LT	15+61.39	30'	COMMERCIAL		125	NONE
LT	15+76 - 16+00	8'	PVMT REPAIR		19	NONE

SODDING

RT/LT	LOCATION	S. Y.	REMARKS
LT	FRONTAGE 1, CONN. 1	33	UTILITY STRIP
LT	FRONTAGE 1, CONN. 1	42	BEHIND SIDEWALK
LT	11+50 - 11+94	20	BEHIND SIDEWALK
LT	11+66 - 11+90	9	UTILITY STRIP
LT	12+67 - 13+65	41	BEHIND SIDEWALK
LT	12+79 - 13+51	24	UTILITY STRIP
LT	14+18 - 14+62	28	BEHIND SIDEWALK
LT	14+27 - 14+46	6	BEHIND SIDEWALK
LT	14+92 - 15+46	36	BEHIND SIDEWALK
LT	15+08 - 15+30	9	UTILITY STRIP
LT	15+76 - 16+00	21	BEHIND SIDEWALK
LT	15+92 - 16+00	3	UTILITY STRIP

MAINLINE
 PI STA=62+26.61
 Δ= 08°13'07.59" RT
 T=804.67'
 L=1606.58'
 R=11200.00'
 E=28.87'
 Runoff=116'
 Runout=116'

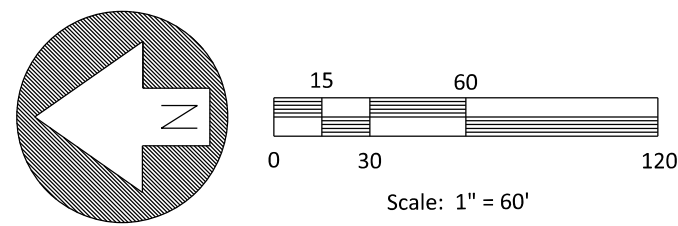


NOTE: CONSTRUCTION ACCESS TO BAXMAX, LLC CONSENT AND RELEASE.

MicroStation v8.11.9.459
 E-SHEET NAME:
 DATE PLOTTED: August 15, 2023
 USER: phoward

SCALE: 1"=20'

FRONTAGE RD #1
 STA. 10+34.60 TO 16+00



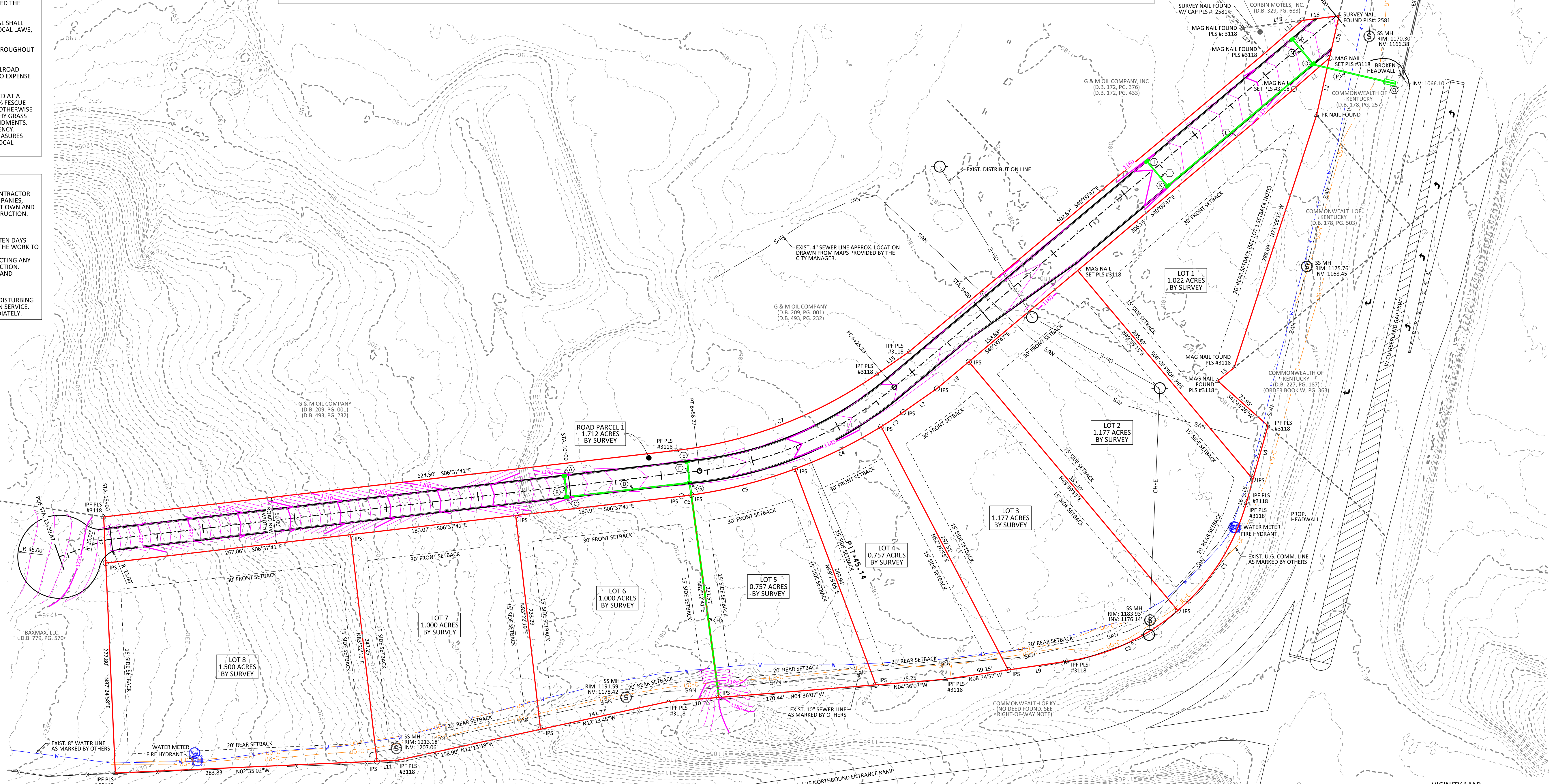
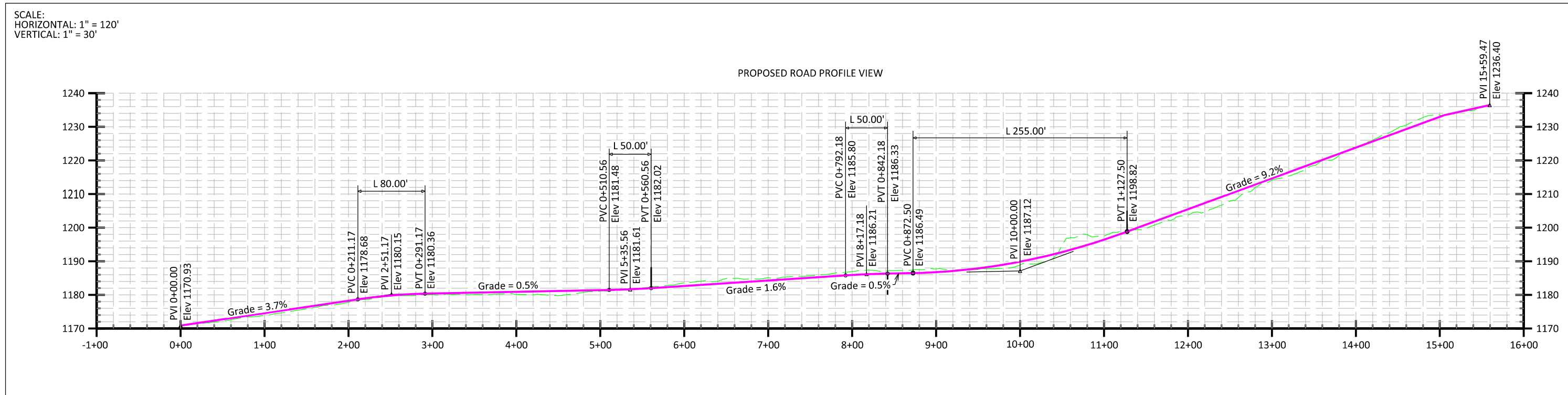
**PRELIMINARY
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GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL AND EROSION CONTROL AND DUST CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION OF SOIL AND ENTRY OF SOIL-BEARING WATER AND AIRBORNE DUST ON ADJACENT PROPERTIES AND INTO THE PUBLIC STORM WATER FACILITIES.
2. THE CONTRACTOR IS TO LIMIT CONSTRUCTION ACTIVITIES TO 1 FOOT INSIDE OF THE EXISTING PROPERTY LINE. Silt fence will be 8 INCHES INSIDE THE PROPERTY LINE. NO CONSTRUCTION ACTIVITIES ARE TO TAKE PLACE OUTSIDE THE PROPERTY LINES DEEDED THE OWNERS OF THIS PROJECT.
3. EXCAVATION AND DISPOSAL OF UNSUITABLE MATERIAL SHALL BE DONE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS, CODES, AND ENVIRONMENTAL REGULATIONS.
4. MAINTAIN SITE SECURITY AND SAFETY STANDARDS THROUGHOUT CONSTRUCTION.
5. ANY DAMAGE TO EXISTING CURBING, SIDEWALKS, RAILROAD TRACKS, ETC. MUST BE REPLACED BY CONTRACTOR AT NO EXPENSE TO OWNER.
6. ALL DISTURBED AREAS SHALL BE SEEDED AND STRAWED AT A RATE OF 5 LBS. PER 1000 SQ. FT. WITH A MIXTURE OF 80% FESCUE AND 20% ANNUAL RYE (OR APPROVED EQUAL), UNLESS OTHERWISE INDICATED ON PLAN. AMEND SOIL TO PROMOTE HEALTHY GRASS GROWTH. TEST SOIL TO DETERMINE PROPER SOIL AMENDMENTS. SOIL TEST TO BE PERFORMED BY PROPERTY TESTING AGENCY. ALL EROSION CONTROL AND SEDIMENT PREVENTION MEASURES SHALL BE IN ACCORDANCE WITH THE PLANS AND ANY LOCAL REGULATIONS AND ORDINANCES.

UTILITY NOTES:

1. BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CONFER WITH ALL PUBLIC OR PRIVATE COMPANIES, AGENCIES, THE ENGINEER, OR DEPARTMENTS THAT OWN AND OPERATE UTILITIES IN THE VICINITY OF THE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - A. CONTACTING THE INDIVIDUAL UTILITY OWNER TEN DAYS PRIOR TO CONSTRUCTION, ADVISING THEM OF THE WORK TO TAKE PLACE.
 - B. SOLICITING THEIR AID IN LOCATING AND PROTECTING ANY UTILITY WHICH MAY INTERFERE WITH CONSTRUCTION.
 - C. EXCAVATING AND VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF EACH UTILITY.
 - D. ANY DAMAGE TO ANY EXISTING UTILITY.
2. EXCAVATE WITH EXTREME CAUTION TO AVOID DISTURBING UNDERGROUND UTILITIES THAT ARE TO REMAIN IN SERVICE. REPORT ANY CONFLICTS TO THE ENGINEER IMMEDIATELY.

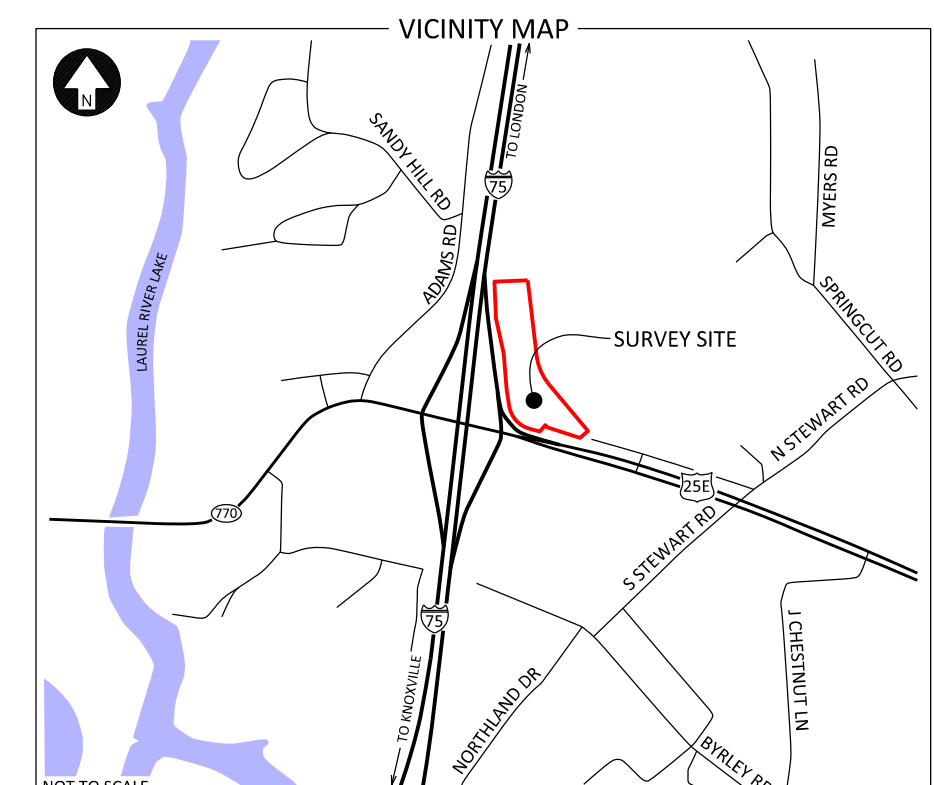


LEGEND

- 3/4" x 18" STEEL REBAR PIN W/ ALUMINUM SURVEY CAP BEARING (P.L.S. #3118) SET
- △ FOUND MONUMENT AS NOTED
- BOUNDARY LINES OF AGE SURVEY
- - - ADJOINING PROPERTY BOUNDARY LINES PER DEEDED DESCRIPTIONS
- - - BUILDING SETBACK LINES
- - - EXIST. UNDERGROUND COMM. LINE
- - - EXIST. WATER LINE
- - - EXIST. SANITARY SEWER LINE
- - - EXIST. OVERHEAD ELECTRIC LINE
- ⊙ EXIST. SANITARY SEWER MANHOLE
- ⊙ EXIST. WATER METER
- ⊙ EXIST. FIRE HYDRANT
- ⊙ EXIST. ELECTRIC DISTRIBUTION POLE
- - - EXISTING MAJOR GROUND CONTOURS (5 FT INTERVALS)
- - - EXISTING MINOR GROUND CONTOURS (1 FT INTERVALS)
- - - PROPOSED MAJOR GROUND CONTOURS (5 FT INTERVALS)
- - - PROPOSED MINOR GROUND CONTOURS (1 FT INTERVALS)
- PROP. STORMWATER INFRASTRUCTURE

STORM SEWER NOTES

A) PROP. 2'x4' STORM BOX SEE DETAIL C-1.0 & C-1.1 DB-1 RIM: 1189.85' INV. 1186.74'	G) PROP. 2'x4' STORM BOX SEE DETAIL C-1.0 & C-1.1 DB-5 RIM: 1186.40' INV. 1182.94'	M) PROP. 2'x4' STORM BOX SEE DETAIL C-1.0 & C-1.1 DB-1 RIM: 1172.60' INV. 1169.49'
B) PROP. 21" OF 12" HDPE INV. IN: 1186.74' INV. OUT: 1186.53'	H) PROP. 232' OF 15" HDPE INV. IN: 1182.94' INV. OUT: 1168.63'	N) PROP. 33' OF 12" HDPE INV. IN: 1169.49' INV. OUT: 1168.46'
C) PROP. 2'x4' STORM BOX SEE DETAIL C-1.0 & C-1.1 DB-5 RIM: 1189.85' INV. 1186.53'	I) PROP. 2'x4' STORM BOX SEE DETAIL C-1.0 & C-1.1 DB-5 RIM: 1179.65' INV. 1186.54'	O) PROP. 2'x4' STORM BOX SEE DETAIL C-1.0 & C-1.1 DB-3 RIM: 1172.35' INV. 1169.16'
D) PROP. 130' OF 12" HDPE INV. IN: 1186.74' INV. OUT: 1182.94'	J) PROP. 33' OF 12" HDPE INV. IN: 1176.54' INV. OUT: 1176.16'	P) PROP. 91' OF 12" HDPE INV. IN: 1169.16' INV. OUT: 1168.00'
E) PROP. 2'x4' STORM BOX SEE DETAIL C-1.0 & C-1.1 DB-3 RIM: 1186.40' INV. 1183.15'	K) PROP. 2'x4' STORM BOX SEE DETAIL C-1.0 & C-1.1 DB-3 RIM: 1179.40' INV. 1176.16'	Q) PROP. 58" HEADWALL SEE DETAIL C-2.0
F) PROP. 21" OF 12" HDPE INV. IN: 1183.15' INV. OUT: 1182.94'	L) PROP. 202' OF 12" HDPE INV. IN: 1176.16' INV. OUT: 1169.16'	



DATE: 9/15/2021
SCALE: 1" = 60'
DRAWN BY: TK
APPROVED BY: GOOCH
FILENAME: 21017 10 ACRE SUB

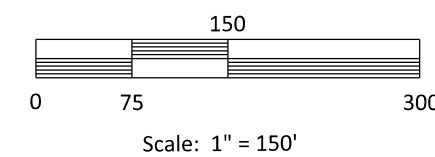
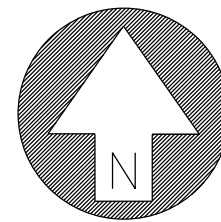
ROAD AND STORM PLAN
BAXMAX, LLC.
W CUMBERLAND GAP PKWY
CORBIN, LAUREL COUNTY, KY

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PHONE (606) 365-8362
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REVISION(S)

SHEET:



PRELIMINARY
NOT FOR RECORDING
NOT FOR LAND TRANSFER



LEGEND	
	CURRENT BAXMAX PROPERTY
	APPROXIMATE G. & M. OIL COMPANY BOUNDARY

DATE: 7/19/2021
SCALE: 1" = 150'
DRAWN BY: TK
APPROVED BY:
FILENAME: 21017

BAXMAX, LLC. PROPERTY OVERVIEW
BAXMAX, LLC.
CUMBERLAND GAP PKWY
CORBIN, LAUREL COUNTY, KY

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