

725**St. Marks Avenue
Brooklyn, NY 11216**

Block/Lot:	1220/63
Lot Size:	100 x 130.58 (13,056 Approx. Sq Ft.)
Built:	70 x 95 (6,560 Approx. Sq Ft.)
Year Built:	1931
Ceiling Height:	14 FT
Zoning:	R6
FAR:	2.43 Residential 4.8 Facility
Unused FAR:	25,198 Sq Ft
Asking Rent:	NNN Lease @ \$29,000 Per Month
Status:	Available as of 1/1/2021
RE Taxes:	\$74,080 7/1/2020-6/30/2021

OFFERING DESCRIPTION:

Premiere Real Estate Group Inc. presents exclusive opportunity to lease a single-story commercial building located at 725 St. Marks Avenue in the Crown Heights neighborhood of Brooklyn. The 6,560 square-foot building is currently occupied by Brooklyn Public Library until 12/31/2020. The space will be available as of 1/1/2021 and the asking rent will be for \$29,000 per month on a NNN lease. The property boasts 100 feet of frontage along St. Marks Avenue.

Crown Heights' charming streets has seen an influx of new developments both completed and in pre-construction. Many developers have recently filed plans to build large-scale projects in the area. The neighborhood is home to thriving commercial corridors filled with mom-and-pop restaurants, local businesses and national retailers. The area also offers convenient access to public transit which includes the 3, A, C subway lines and the LIRR, which provide a direct link to the Atlantic-Pacific hub.

PREMIERE REAL ESTATE GROUP INC. EXCLUSIVE LISTING**Prime Crown Heights | Close to Fulton Street Retail Corridor
6,560 Sq Ft Space | Single-Story Commercial Building | For Lease****NNN Asking Rent: \$29,000 Per Month**

CONTACT:

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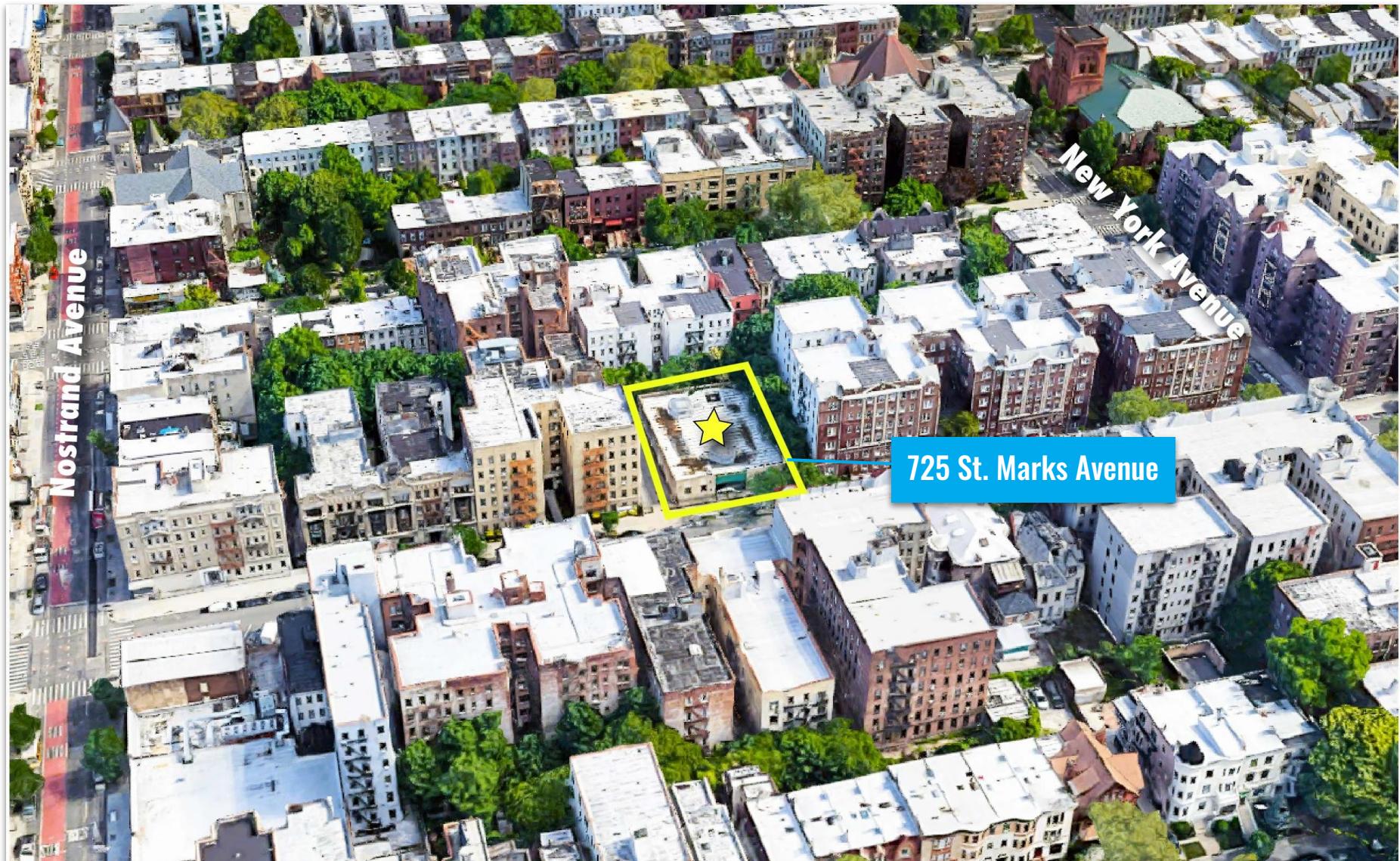
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AERIAL VIEW

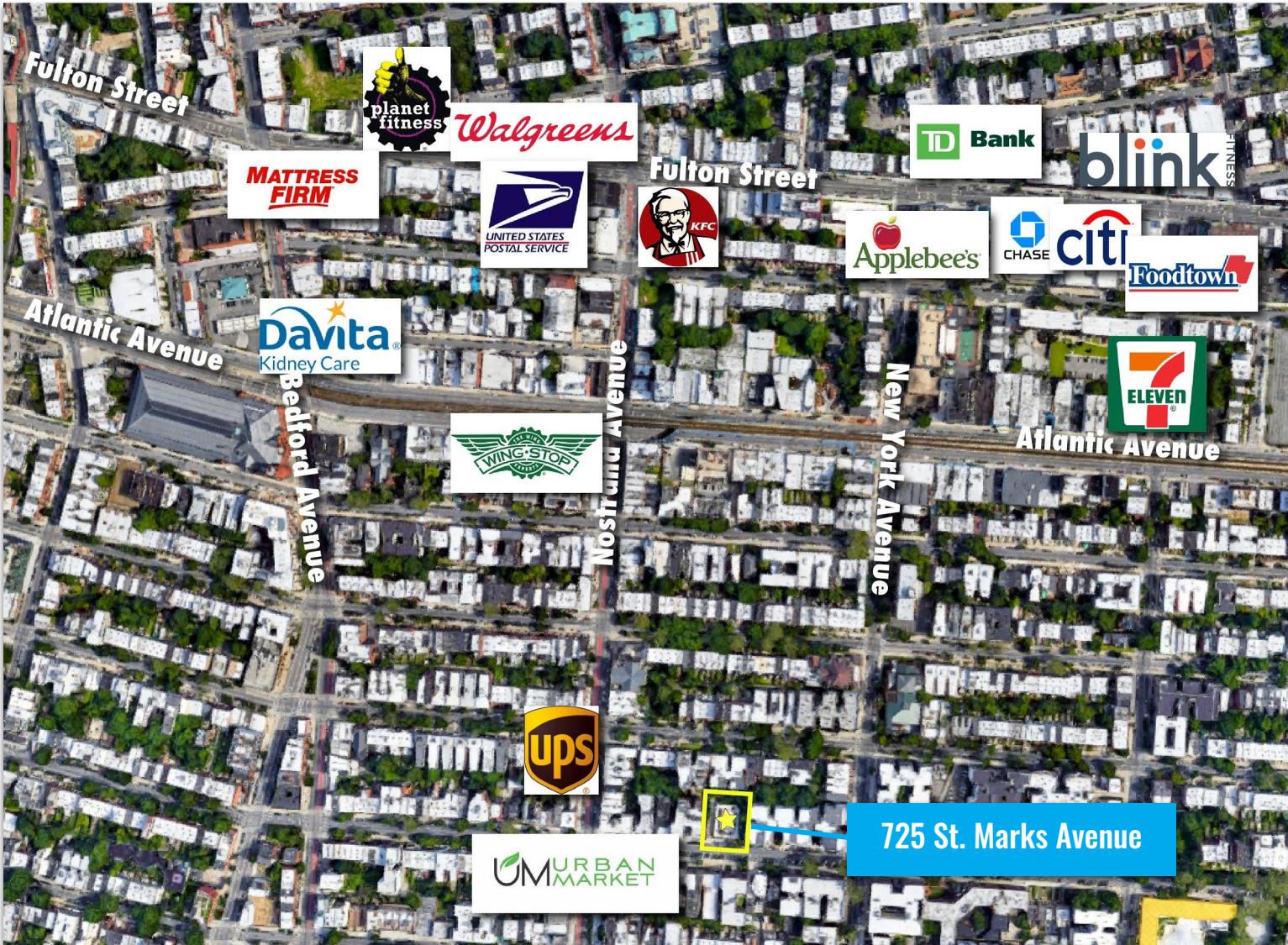


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SURROUNDING RETAIL



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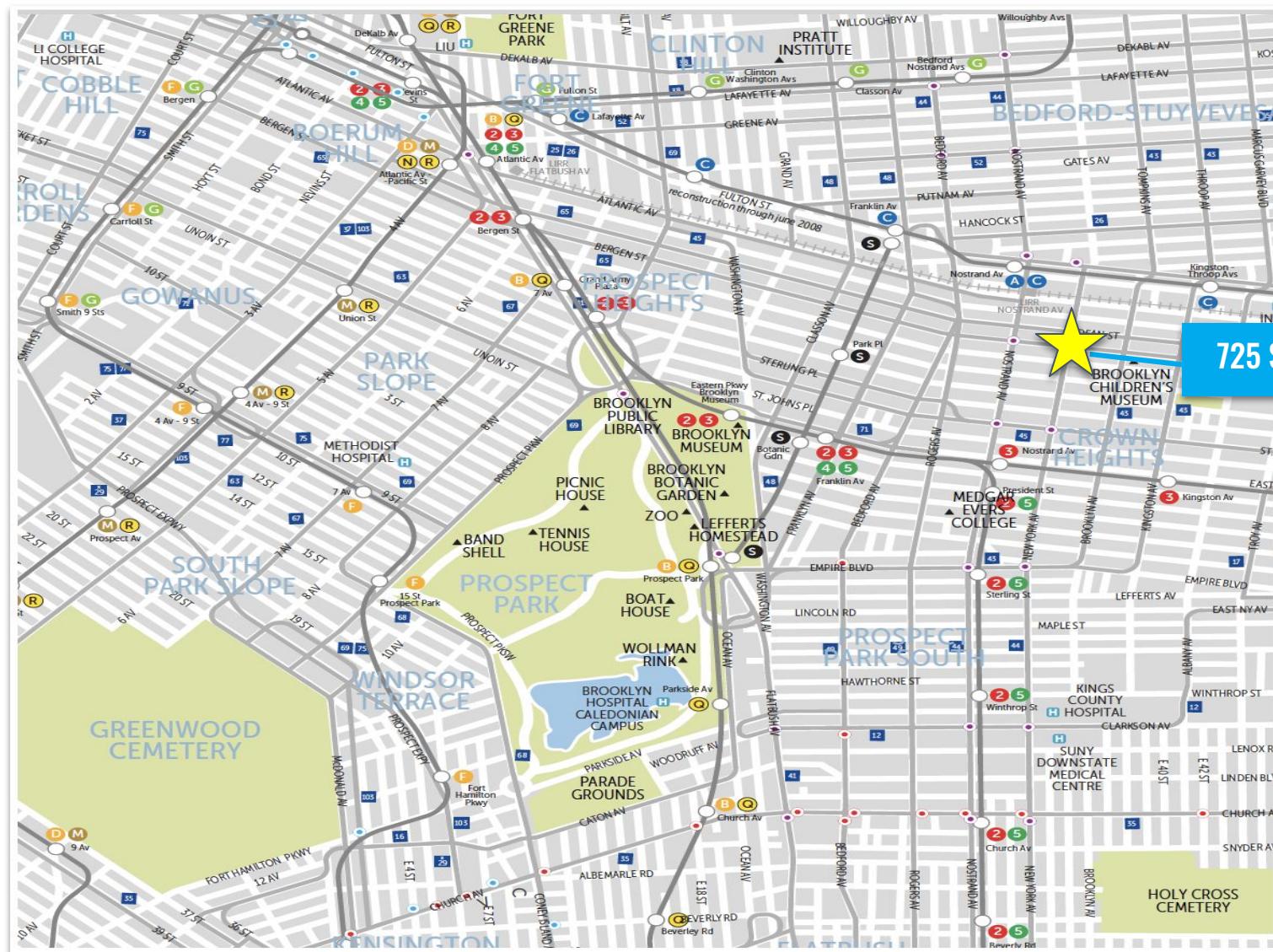
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NEIGHBORHOOD MAP



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TAX MAP



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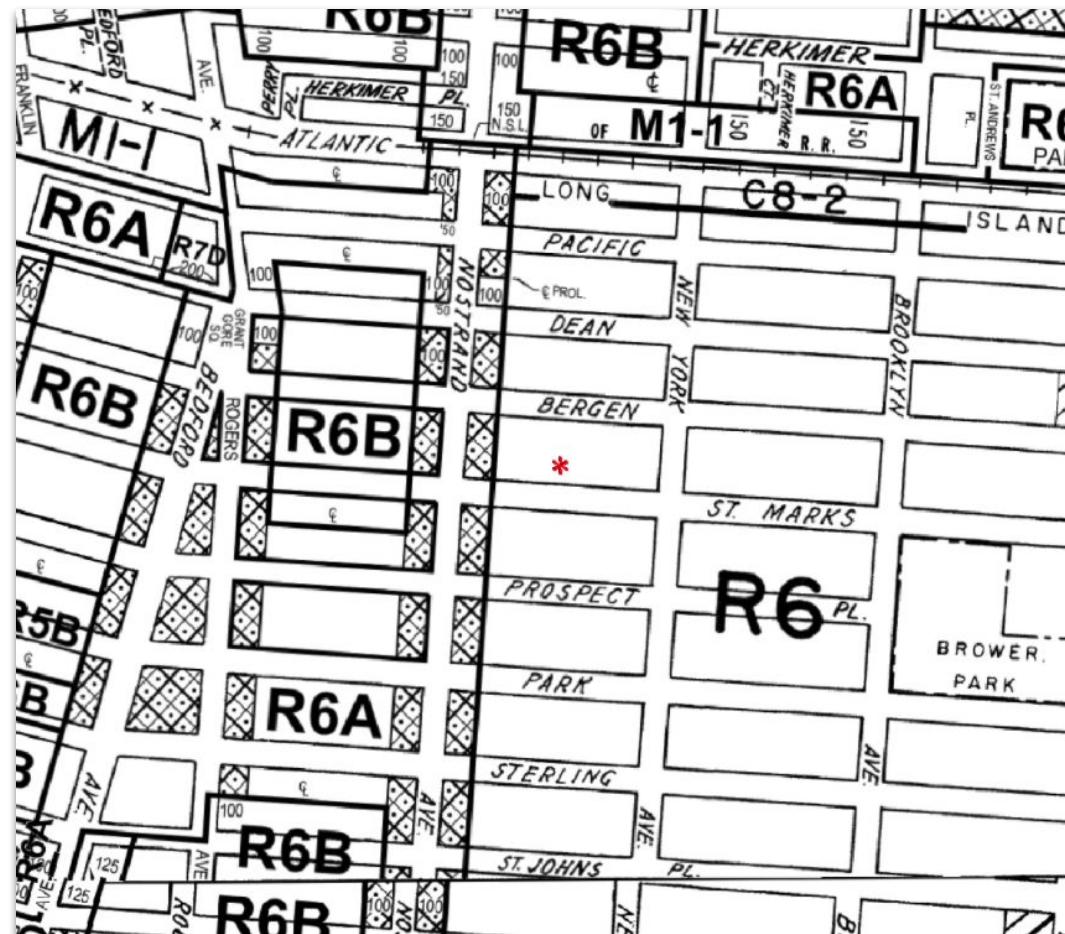
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ZONING OVERVIEW

The character of R6 districts can range from row house neighborhoods to large-scale "tower in the park" developments. The standard bulk regulations, or Height Factor Regulations, for R6 districts encourage small apartment buildings on small zoning lots and, on larger lots, tall, narrow buildings that are set back from the street. As an alternative, developers may choose the optional Quality Housing program regulations to build lower, high lot coverage buildings that reflect the traditional neighborhood streetscape.

Height Factor Regulations: Height factor buildings are often set back from the street and surrounded by open space and on-site parking. The floor area ratio in R6 districts ranges from 0.78 (for a single-story building) to 2.43 at a typical height of 13 stories; the open space ratio ranges from 27.5 to 37.5. A taller building can usually be obtained by providing more open space. For example, 81% of the zoning lot with a 13-story building is required to be open space (2.43 FAR x 33.5 OSR). Thus, the maximum floor area ratio is achievable only where the zoning lot is large enough to accommodate a practical building footprint as well as the required amount of open space. The building must be set within a sky exposure plane which, in R6 districts, begins at a height of 60 feet above the front lot line and then slopes inward over the zoning lot. Off-street parking is required for 70% of a building's dwelling units, or it can be waived if five or fewer spaces are required.

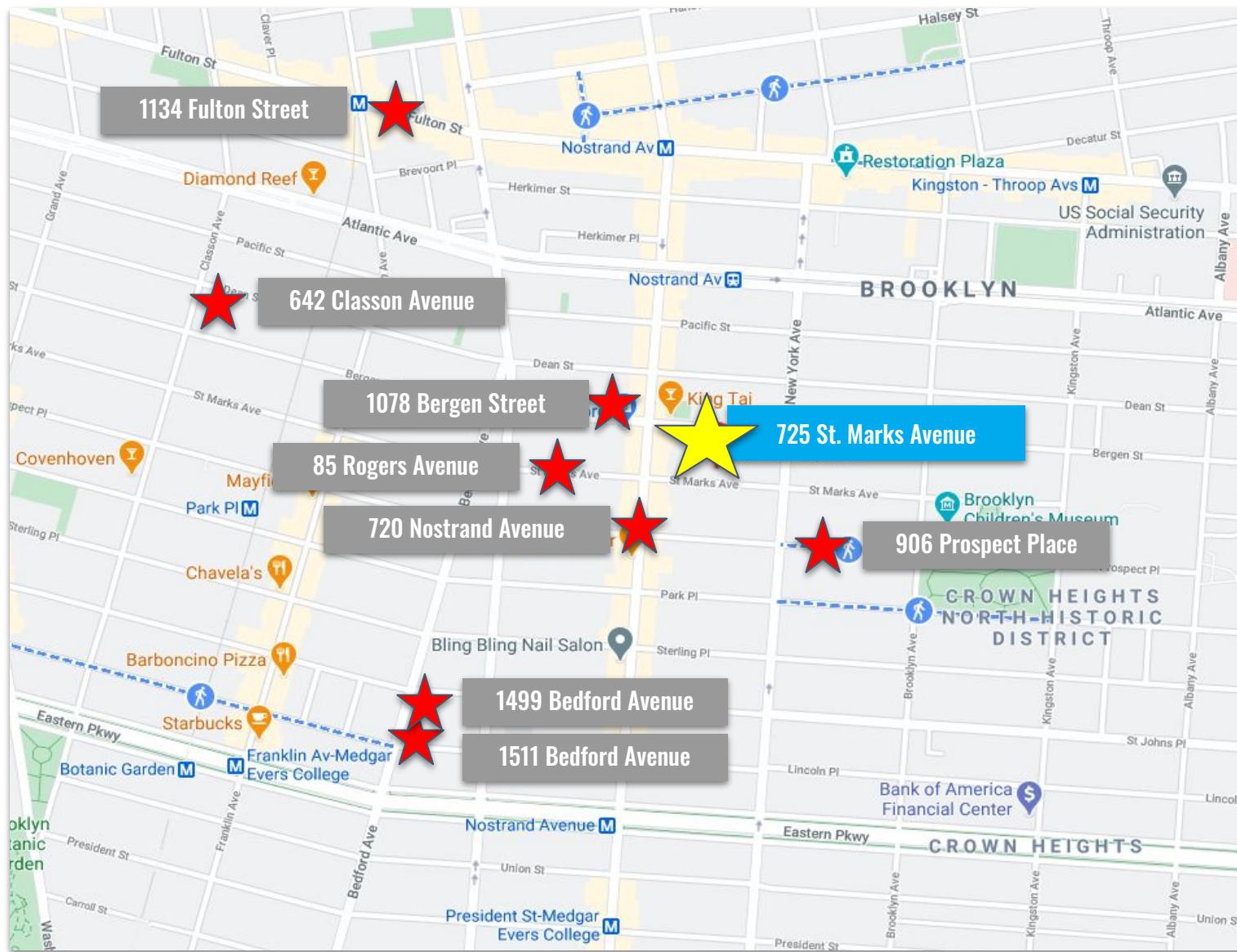
Quality Housing Option: The optional Quality Housing regulations produce lower buildings with high lot coverage, which typically allow for more apartments than might be achievable under height regulations. Outside the Manhattan Core, the R6 optional regulations for buildings on or within 100 feet of a wide street are the same as those in R6A districts. The FAR is 3.0, and the maximum base height before setback is 60 feet with a maximum building height of 70 feet. On a narrow street (beyond 100 feet of a wide street), the maximum FAR is 2.2; the base height before setback is 45 feet with a maximum building height of 55 feet. Off-street parking, which is not permitted in front of a building, is required for 50% of the dwelling units, less than for height factor buildings. Parking is waived if five or fewer spaces are required.



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SURROUNDING NEW DEVELOPMENTS



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- **1499 Bedford Avenue**
(*Permits Filed*)
8-Story Residential Building
98 Apts & 49-Car Garage,
Proposed Built: 160,000 Sq Ft.
- **643 Classon Avenue**
(*Permits Filed*)
9-Story Mixed-Use Building
42 Apts & 766 Sq Ft. Commercial
Proposed Built: 41,000 Sq Ft.
- **1134 Fulton Street**
(*Completed*)
10-Story Apartment Building
182 Apts & Retail Space
Built: 164,163 Sq Ft.
- **1511 Bedford Avenue**
(*Completed*)
10-Story Apartment Building
142 Apts & Indoor Garage
- **906 Prospect Place**
(*Completed*)
5-Story Condo Building
22 Apts
- **85 Rogers Avenue**
(*Completed*)
5-Story Apartment Building
10 Apts
- **720 Nostrand Avenue**
(*Completed*)
6-Story Elevator Condo Building
10 Apts
- **1078 Bergen Street**
(*Completed*)
5-Story Apartment Building
7 Apts

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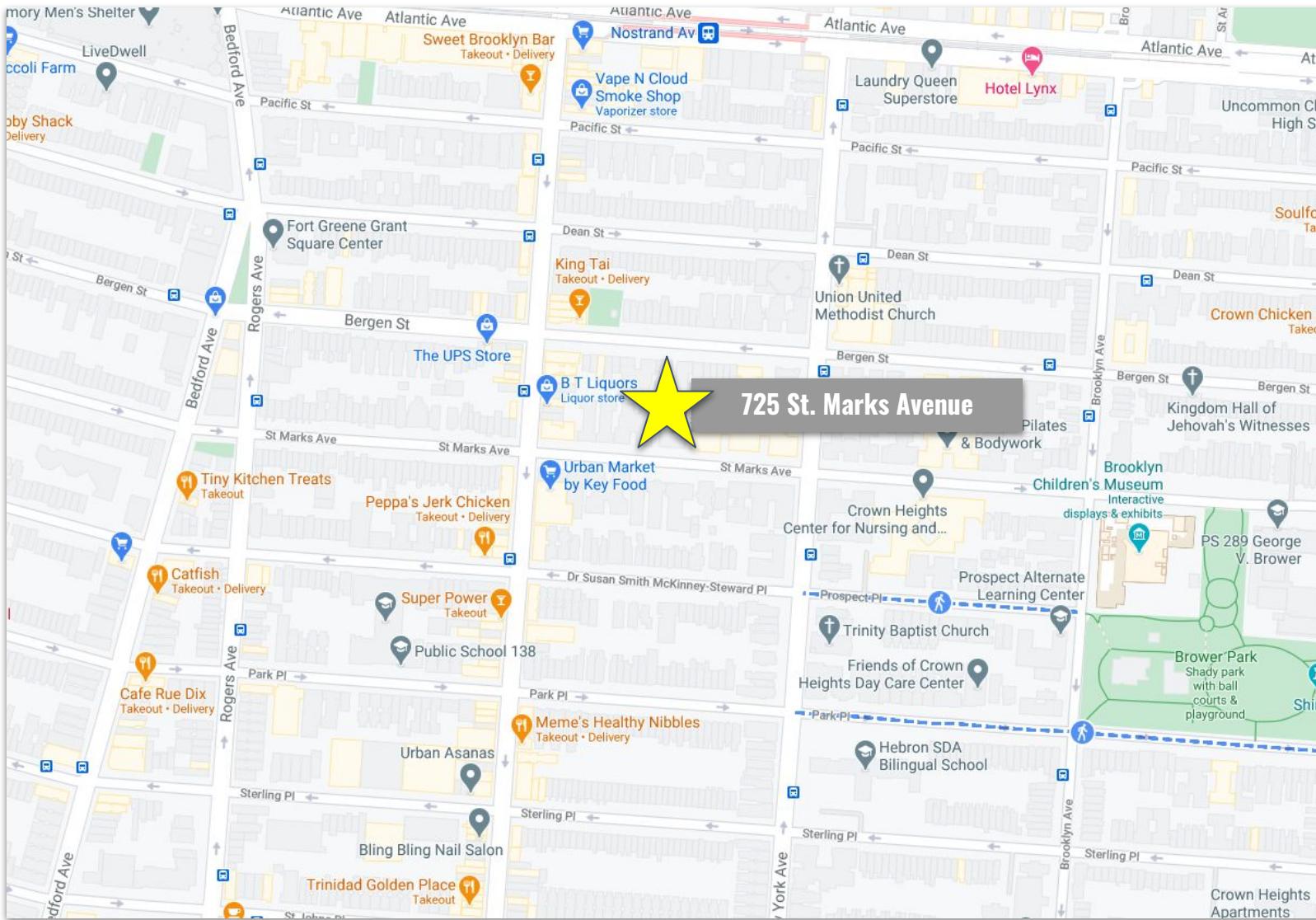
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PROPERTY MAP



Nearby Retail

- Urban Market by Keyfood
- The UPS Store
- Chase Bank
- Super Foodtown
- Walgreens
- 7-Eleven
- TD Bank
- Garvey's Hardware
- VIM

Nearby Restaurants

- Bleu Fin Bar & Grill
- The Sanctuary Juice Bar
- Nostrand Avenue Pub
- Cafe Cotton Bean
- Sweet Brooklyn Bar
- Royal Bakery
- Peppa's Jerk Chicken
- El Sabroso Latino
- Ruammit Thai
- Brooklyn Pizza Crew

Amenities/Attractions

- Blink Fitness
- Brooklyn Children's Museum
- Brower Park
- St. John's Recreation Center
- Interfaith Medical Center
- A-C, 3 Subway Lines

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