



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
(770) 623-4344
(METRO ATLANTA ONLY)
UTILITIES PROTECTION CENTER
IT'S THE LAW

PPL ENTERPRISES, INC.

dba: WORLD'S GYM HEALTH AND FITNESS CENTER

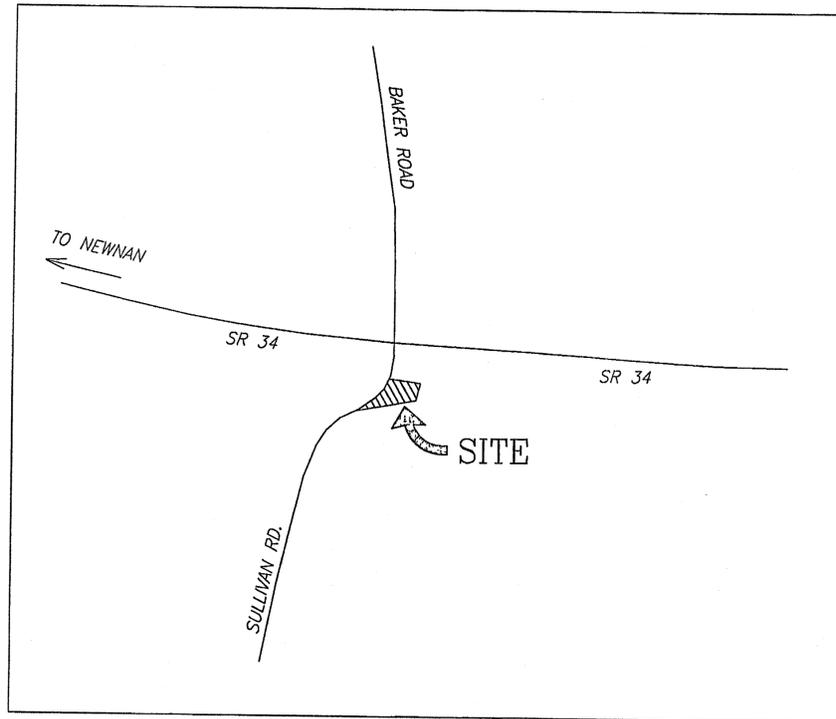
SULLIVAN ROAD COWETA COUNTY

CONDITIONS FOR REZONING:

PER LETTER FROM COWETA COUNTY PLANNING DEPT. DATED JUNE 18, 1999

GENERAL NOTES:

- SITE IS LOCATED IN LAND LOT 5, DISTRICT 6, COWETA COUNTY, GEORGIA
- TOTAL SITE ACREAGE = 1.47 ACRES
TOTAL DISTURBED AREA = 0.88 ACRES
- PROPOSED BUILDING AREA = 10,954 SF
- CONTRACTOR OR BUILDER SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR OR BUILDER SHALL BE RESPONSIBLE TO NOTIFY UTILITY PROTECTION CENTER PRIOR TO BEGINNING CONSTRUCTION AT 1-800-282-7411.
- TOPOGRAPHICAL AND BOUNDARY SURVEY TAKEN FROM SURVEY BY:
McLAINE SURVEYING INC.
2352 WELCOME RD.
NEWNAN, GA 30263
(770) 253-6914
- ELEVATIONS SHOWN BASED ON MEAN SEA LEVEL.
- ALL FILL MATERIAL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY. AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL TOPSOIL, TREES, VEGETATION, AND ANY ORGANIC MATERIAL PRIOR TO PLACING FILL MATERIAL.
- MAXIMUM CUT/FILL SLOPES = 2:1 (HOR.: VERT.)
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO COWETA COUNTY OR APPROVED CONSTRUCTION STANDARDS AND DETAILS.
- LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- OWNER /DEVELOPER OR CONTRACTOR SHALL NOTIFY DEVELOPMENT AND ENGINEERING 24 HOURS PRIOR TO BEGINNING CONSTRUCTION OR REQUESTING INSPECTIONS. CALL 770-254-3775
- ALL CORRUGATED METAL PIPE SHALL BE FULLY COATED WITH A PAVED INVERT. CORRUGATED METAL PIPE INSTALLED UNDER THE ROADWAY SHALL BE CONTINUOUS IN LENGTH WITH NO JOINTS UNDER THE PAVED PORTION OF THE ROADWAY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING DOCUMENTATION INDICATING GAUGE, CORRUGATIONS, ETC.
- STREET NAME SIGNS, TRAFFIC CONTROL SIGNS AND DEVICES SUCH AS STRIPING AND SIGNALIZATION, SHALL BE PROVIDED BY THE OWNER/DEVELOPER. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE M.U.T.C.D. AND GA. D.O.T. SPECIFICATIONS. INSTALLATION CAN BE ACCOMPLISHED BY PAYMENT OF FEES FOR INSTALLATION BY THE PUBLIC WORKS DEPARTMENT OR INSTALLATION BY THE OWNER/DEVELOPER IN ANY CASE INSTALLATION/PLACEMENT OF ALL REQUIRED SIGNS AND TRAFFIC CONTROL DEVICES SHALL BE COMPLETE PRIOR TO FINAL PLAT APPROVAL AND/OR THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR THE DEVELOPMENT.
- PLACEMENT OF UNDERGROUND UTILITIES ACROSS THE PROPOSED ROADWAY SHALL BE BORED AFTER THE ACCEPTANCE OF THE SUBGRADE AND PLACEMENT OF THE CONCRETE CURB AND GUTTER. SHOULD OBSTACLES BE ENCOUNTERED DURING THE BORING PROCESS, DEVELOPMENT AND ENGINEERING SHALL BE NOTIFIED PRIOR TO OPEN CUTTING THE ROADWAY.



LOCATION MAP

INDEX

- C1 - COVER SHEET
- C2 - SITE LAYOUT/UTILITY PLAN
- C3 - GRADING AND DRAINAGE PLAN
- C4 - EROSION AND SEDIMENTATION CONTROL PLAN
- C5 - EROSION CONTROL DETAILS
- C6 - LANDSCAPE PLAN/BUFFER RE-VEGETATION PLAN
- C7 - UTILITY DETAILS
- C8 - UTILITY DETAILS

OWNER/DEVELOPER AND 24HR CONTACT PERSON:

MR. RONNIE LOGGINS
RON'S BODY SHOP
15 BAKER ROAD
NEWNAN, GA 30265
770-252-2977

ZONING: COMMERCIAL C-6

TOTAL LOT AREA = 1.47 ACRES
LOCATED IN LAND LOT 5, DISTRICT 6 COWETA COUNTY

- A PRE-DEVELOPMENT SITE PLAN IS SUBMITTED INDICATING GRADING, DRAINAGE AND EROSION CONTROL OF THE PROPOSED PROJECT.
- FOLLOW APPLICABLE COUNTY, STATE AND FEDERAL REQUIREMENTS WITH THE FOLLOWING ISSUES:
 - THE PERMITTED USES SHALL MEET STATE AND/OR LOCAL HEALTH REQUIREMENTS FOR SEWAGE DISPOSAL. A SOIL ANALYSIS BY AND BEARING A SEAL OF AN ENGINEER REGISTERED IN GEORGIA WHO IS PRACTICING GEOTECHNICAL ENGINEERING IS SUBMITTED.
 - ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AT STAFF'S REQUEST TO ENSURE ADEQUATE PROTECTION TO ADJOINING PROPERTIES AND TRIBUTARIES.
 - OBTAIN SIGN REVIEW APPROVAL PRIOR TO INSTALLATION OF ANY SIGNS.
- DEVELOPMENT IMPROVEMENTS, SUCH AS PARKING, BUFFERS, LANDSCAPING STORM WATER DETENTION STRUCTURES, MEET THE COUNTY'S DEVELOPMENT STANDARDS AS SPECIFIED BY SUBDIVISION REGULATIONS AND ZONING ORDINANCE.
- PRIOR TO ISSUANCE OF ANY PERMITTING, THE FOLLOWING ITEMS SHALL BE ADDRESSED BY THE OWNER/DEVELOPER IN THE RELOCATION PROJECT OF SULLIVAN ROAD:
 - ACCESS AND ENTRANCE CONNECTIONS TO HIGHWAY 34 SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE GEORGIA DOT TO ENSURE SAFETY FOR THE GENERAL PUBLIC. AN APPROVED PERMIT FROM THE GEORGIA DOT PRIOR TO THE ISSUANCE OF A DEVELOPMENT PERMIT ALONG WITH ANY ASSOCIATED ENGINEERING DOCUMENTS SHALL BE SUBMITTED TO THE COUNTY.
 - PROVIDE STORM WATER MANAGEMENT FOR THE PROPOSED DEVELOPMENT, TO INCLUDE THE 2 YEAR THROUGH 100 YEAR STORMS.
 - A MINIMUM OF 70 FEET OF RIGHT OF WAY SHALL BE DEDICATED TO THE COUNTY
 - THERE SHALL BE NO ACCESS ALLOWED ABUTTING THE REMNANTS OF SULLIVAN RD.
- THE PROPERTY OWNER/DEVELOPER SHALL BEAR THE ENTIRE COSTS OF:
 - ENGINEERING, DRAINAGE AND ROUGH GRADING FOR THE NEW REALIGNMENT OF SULLIVAN ROAD WITH BAKER ROAD, INCLUDING THE DONATION OF PROPERTY TO ACCOMPLISH THE REALIGNMENT.
 - THE REALIGNMENT OF SULLIVAN ROAD WITH BAKER ROAD SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OF ANY BUILDING ON SITE.
- ACCESS TO NEW SULLIVAN ROAD SHALL MEET ALL APPLICABLE REQUIREMENTS AS SPECIFIED BY THE ENGINEERING AND DEVELOPMENT DEPARTMENT AND/OR PUBLIC WORKS DEPARTMENT TO ENSURE SAFETY FOR THE TRAVELING PUBLIC. FURTHERMORE, CONFIGURATION OF ACCESSWAYS SHALL BE DESIGNED TO DISCOURAGE THROUGH TRAFFIC FROM HIGHWAY 34 TO SULLIVAN ROAD.
- THE OWNER AGREES TO NEGOTIATE IN GOOD FAITH, TO CONVEY ADDITIONAL RIGHTS-OR-WAY IN ACCORDANCE WITH FUTURE ROAD IMPROVEMENTS AND WIDENING PROJECTS AS A COST, IF ANY, TO BE NEGOTIATED AT THE TIME OF CONVEYANCE.
- EXTERIOR WALL MATERIAL OF ALL BUILDINGS SHALL BE ONE OR MORE OF THE FOLLOWING:
 - HARD BURNED CLAY
 - BRICK
 - STONE
 - STUCCO OR SIMILAR MATERIAL APPROVED BY THE BUILDING OFFICIAL
 - CUSTOMIZED ARCHITECTURAL CONCRETE MASONRY UNITS AS DESCRIBED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION
- LIGHTING SHALL BE ESTABLISHED IN SUCH A WAY THAT ADJACENT PROPERTIES AND ROADWAYS ARE NOT ADVERSELY AFFECTED, AND THAT NO DIRECT LIGHT IS CAST UPON ADJACENT PROPERTIES AND ROADWAYS.
- TO THE SOUTH OF THE PROJECT, PROVIDE ADEQUATE FENCING TO DETER PEDESTRIAN TRAFFIC FROM THE SHOPPING AREA TO THE RESIDENTIAL AREA.
- FENCING WITHIN THE REQUIRED BUFFER AREAS SHALL BE A SOLID WALL OF PRESSURE TREATED LUMBER AT LEAST 8 FEET IN HEIGHT. POST, FRAMING AND SUPPORTS OF FENCING SHALL FACE THE ADJOINING PROPERTY OWNERS.
- ELAEAGNUS SHRUBS AND LEYLAND CYPRESS TREES SHALL BE INSTALLED IN THE REQUIRED BUFFER AREAS.
- WHEN AND IF THE OLD SECTION OF SULLIVAN ROAD IS ABANDONED AFTER THE REALIGNMENT OF SULLIVAN ROAD IS COMPLETED, THE FOLLOWING SHALL BE COMPLETED AT THE OWNER/DEVELOPERS EXPENSE:
 - OWNER/DEVELOPER SHALL CONVEY AN EASEMENT IF NEEDED AND INSALL A CONCRETE DRIVE FROM SULLIVAN ROAD (AS REALIGNED) TO PROPERTY CURRENTLY OWNED BY MRS. ANN PRESTON TO INCLUDE A PRIVACY FENCE AND AN ELECTRONIC SECURITY GATE ACCEPTABLE TO MRS. PRESTON.
 - THE OWNER/DEVELOPER SHALL REMOVE THE OLD ROADBED FOR THAT PORTION OF SULLIVAN ROAD ONCE ABANDONED, AND LANDSCAPE THE ABANDONED RIGHT-OF-WAY TO PROVIDE A PLANTED PRIVACY BUFFER IN ACCORDANCE WITH COUNTY STANDARDS.

CONSTRUCTION ACTIVITY SCHEDULE

	NOV	DEC	JAN	FEB	MAR	APR
INSTALL/MAINTAIN EROSION CONTROL MEASURES						
GRADING						
BUILDING AND PARKING LOT CONSTRUCTION						
FINAL GRASSING AND LANDSCAPING						

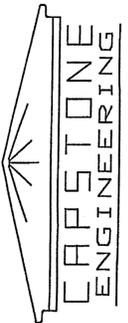
ANTICIPATED START DATE IS NOVEMBER 15, 2002
ALL CONSTRUCTION TO BE COMPLETED BY APRIL 30, 2003

PROJECT DESCRIPTION:

EXISTING LAND USE IS A VACANT GRASSED LOT.
PROPOSED PROJECT INVOLVES CONSTRUCTING A HEALTH AND FITNESS CENTER.

SITE LOCATION IS: SULLIVAN ROAD (0.2 MI. SOUTH OF HWY 34)
(SEE LOCATION MAP)
LAND LOT 5, DISTRICT 6
COWETA COUNTY, GA

Neal Spradlin, P.E.
45 Little Road
Sharpsburg, Ga. 30277
phone: (770) 582-9748
pager: (770) 842-5495



REV. DATE: DESCRIPTION:

PPL ENTERPRISES INC. (dba: WORLD'S GYM)

COVER SHEET

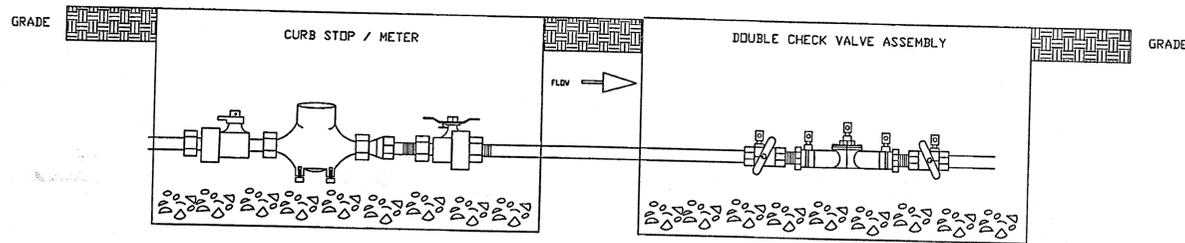
DRAWN BY: M/S

DATE: 11-7-02

SCALE: NONE

SHEET
1
OF

TYPICAL UTILITY BOX INSTALLATION



GENERAL NOTES:

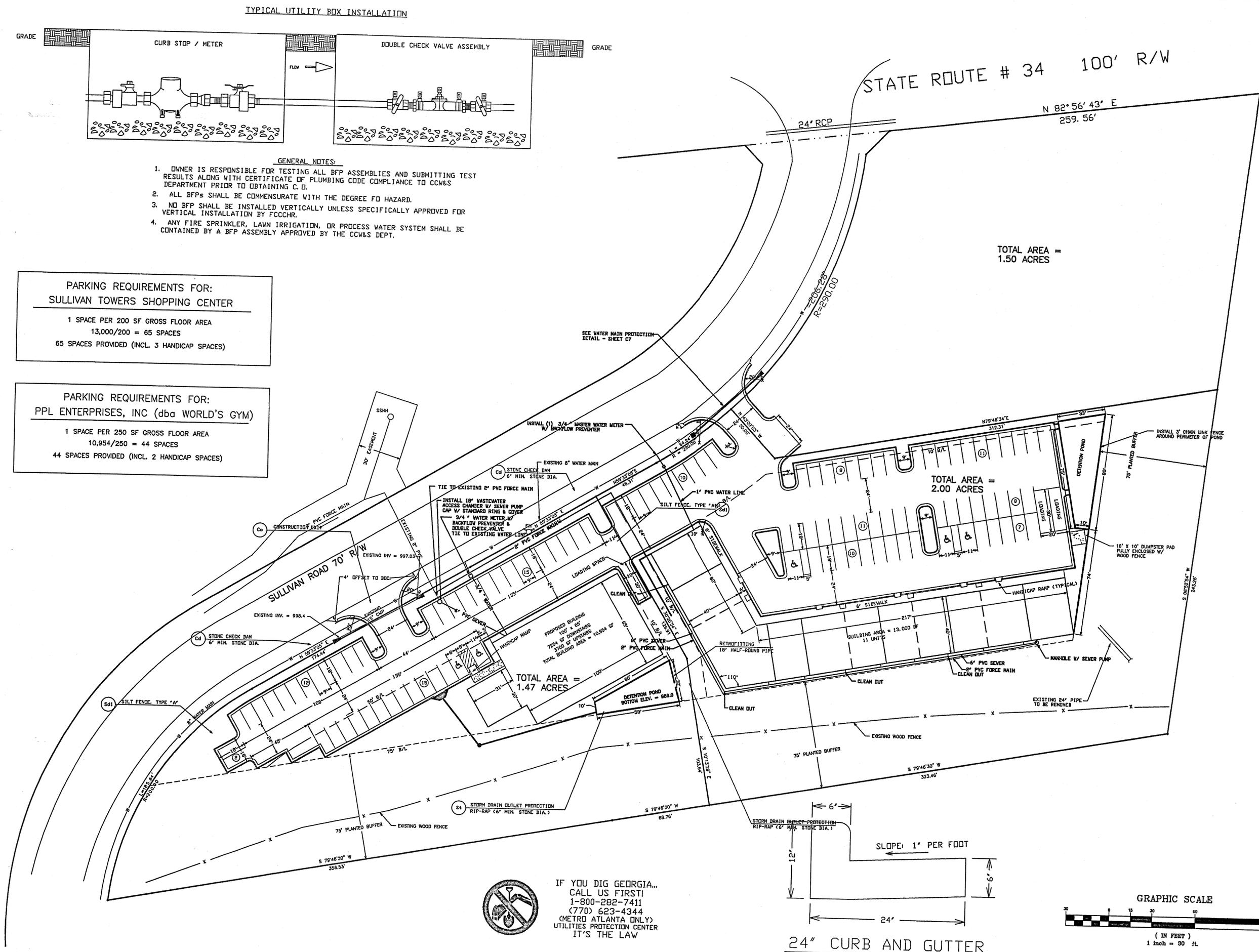
1. OWNER IS RESPONSIBLE FOR TESTING ALL BFP ASSEMBLIES AND SUBMITTING TEST RESULTS ALONG WITH CERTIFICATE OF PLUMBING CODE COMPLIANCE TO CCW&S DEPARTMENT PRIOR TO OBTAINING C. D.
2. ALL BFPs SHALL BE COMMENSURATE WITH THE DEGREE OF HAZARD.
3. NO BFP SHALL BE INSTALLED VERTICALLY UNLESS SPECIFICALLY APPROVED FOR VERTICAL INSTALLATION BY FCCCHR.
4. ANY FIRE SPRINKLER, LAWN IRRIGATION, OR PROCESS WATER SYSTEM SHALL BE CONTAINED BY A BFP ASSEMBLY APPROVED BY THE CCW&S DEPT.

PARKING REQUIREMENTS FOR:
SULLIVAN TOWERS SHOPPING CENTER

1 SPACE PER 200 SF GROSS FLOOR AREA
13,000/200 = 65 SPACES
65 SPACES PROVIDED (INCL. 3 HANDICAP SPACES)

PARKING REQUIREMENTS FOR:
PPL ENTERPRISES, INC (dba WORLD'S GYM)

1 SPACE PER 250 SF GROSS FLOOR AREA
10,954/250 = 44 SPACES
44 SPACES PROVIDED (INCL. 2 HANDICAP SPACES)



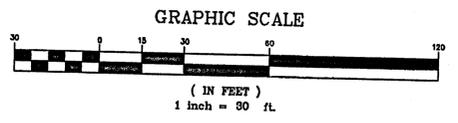
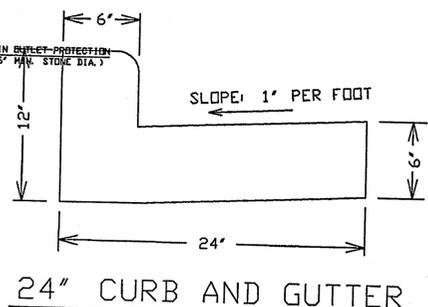
TOTAL AREA =
1.50 ACRES

TOTAL AREA =
2.00 ACRES

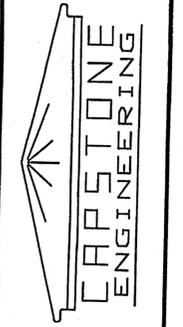
TOTAL AREA =
1.47 ACRES



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
(770) 623-4344
(METRO ATLANTA ONLY)
UTILITIES PROTECTION CENTER
IT'S THE LAW



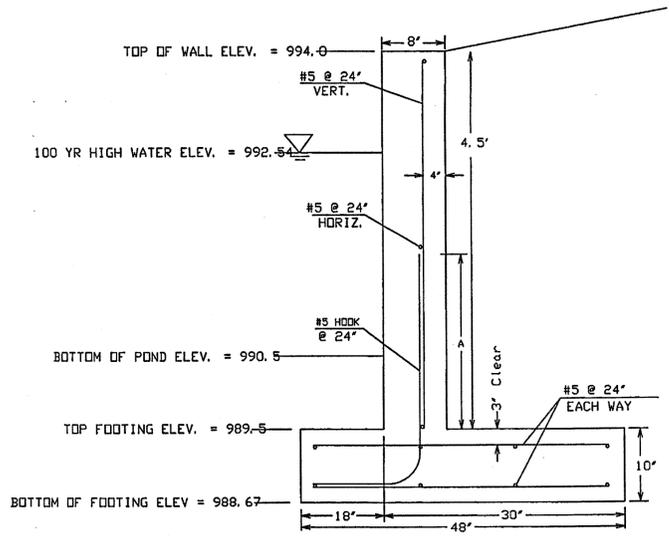
Neal Spradlin, P.E.
45 Little Road
Sharpsburg, Ga. 30277
Phone: (770) 502-9748
Pager: (770) 502-9495



REV.	DATE:	DESCRIPTION:

RONNIE LOGGINS AND FRANK NEELY
SITE PLAN
DRAWN BY: mns
DATE: 11-06-02
SCALE: 1"=30'

SHEET
2
OF
EIGHT



RETAINING WALL DETAIL FOR WALLS AROUND DETENTION PONDS
NOT TO SCALE

RETAINING WALL NOTES:

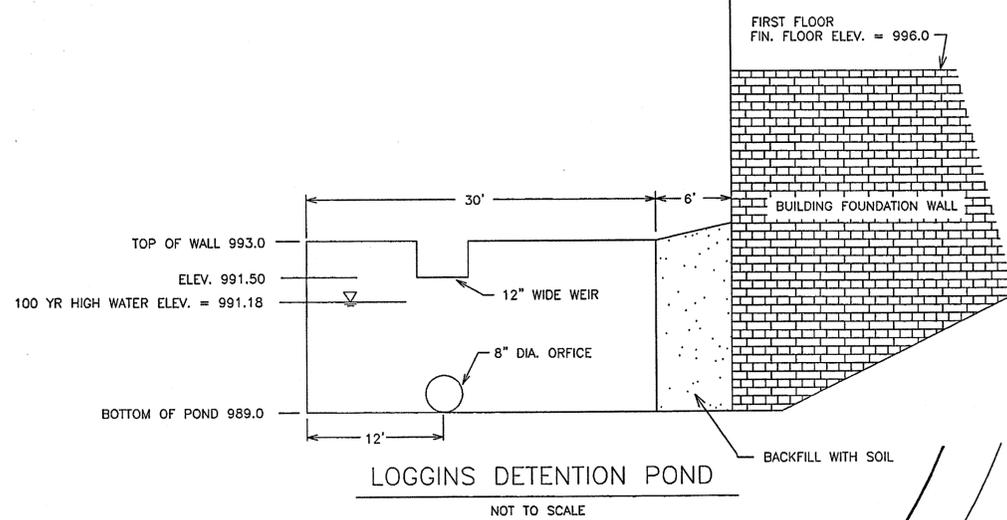
- 1) CONCRETE SHALL BE 3000 PSI MIX.
- 2) STEEL RE-BAR SHALL BE ATSM A36 GRADE (36 KSI YIELD STRESS)
- 3) BACKFILL BEHIND WALL TO CONSIST OF GRANULAR WELL DRAINED MATERIAL OR BACKFILL WITH 12\"/>

THIS SITE IS OUTSIDE THE 100 YR FLOODPLAIN.
THERE ARE NO WETLANDS ON THIS SITE.
CERTIFIED BY: NEAL SPRADLIN, PE

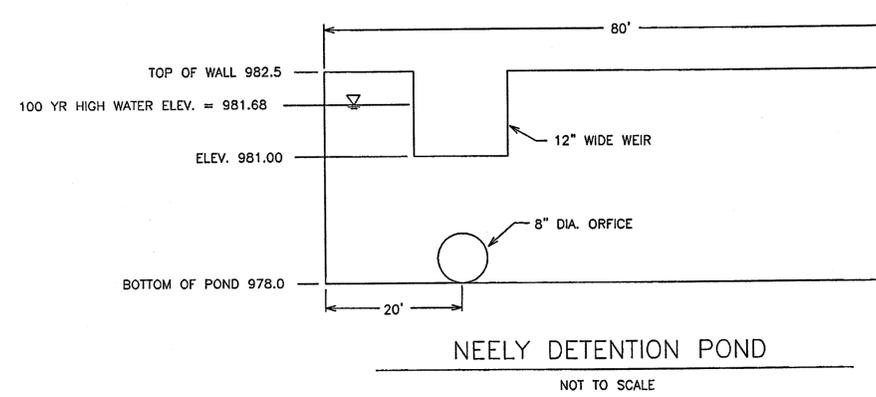
PAVING SPECIFICATIONS:

DRIVEWAY WITHIN R/W OF SULLIVAN ROAD:
8\"/>

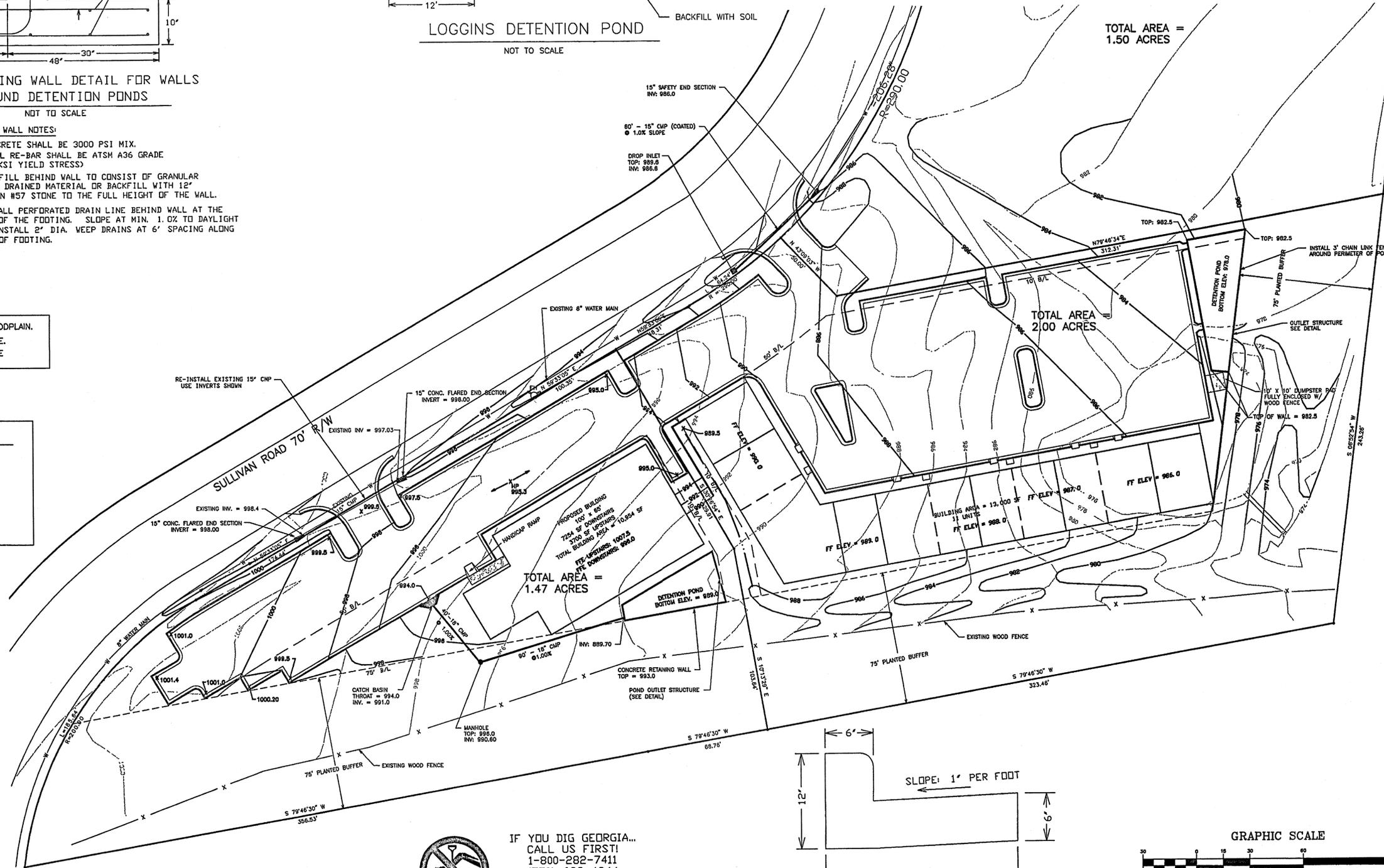
PAVING WITHIN PARKING LOTS:
6\"/>



LOGGINS DETENTION POND
NOT TO SCALE



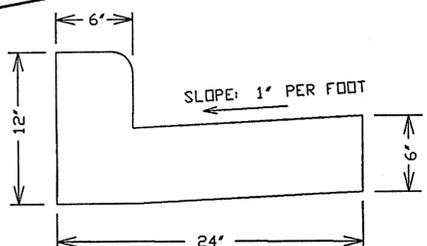
NEELY DETENTION POND
NOT TO SCALE



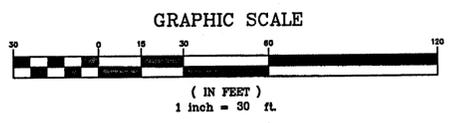
TOTAL AREA = 1.47 ACRES

TOTAL AREA = 1.50 ACRES

TOTAL AREA = 2.00 ACRES

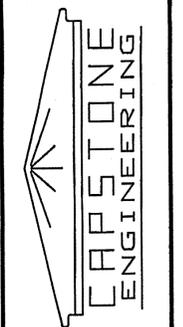


24\"/>



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
(770) 623-4344
(METRO ATLANTA ONLY)
UTILITIES PROTECTION CENTER
IT'S THE LAW

Neal Spradlin, P.E.
45 Little Road
Sharpsburg, Ga. 30277
phone: (770) 502-9748
pager: (770) 802-5495



REV.	DATE	DESCRIPTION

RONNIE LOGGINS AND FRANK NEELY
GRADING PLAN
DATE: 11-06-02
DRAWN BY: mns
SCALE: 1"=30'

SHEET
3
OF
EIGHT

EROSION CONTROL NOTES

1. DETENTION POND, OUTLET CONTROL STRUCTURES AND EROSION CONTROL DEVICES ARE TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO ANY CLEARING AND ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
2. ALL SLOPES SHALL BE GRASSED OR APPLIED WITH A SUITABLE GROUND COVER AS SOON AS CONSTRUCTION PHASES PERMIT.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
4. ALL DISTURBED AREAS LEFT UNPAVED SHALL BE GRASSED OR APPLIED WITH A SUITABLE GROUND COVER UPON ESTABLISHMENT OF GRADE AS SOON AS CONSTRUCTION PHASES PERMIT. REFER TO "SEEDING RATES FOR TEMPORARY SEEDINGS" TABLE CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
5. THE CONTRACTOR WILL BE REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES INTO THE PROJECT AT THE EARLIEST PRACTICAL TIME DURING CONSTRUCTION. THE EROSION CONTROL MEASURES DETAILED HEREON SHALL BE CONTINUED UNTIL THE PERMANENT DRAINAGE FACILITIES HAVE BEEN CONSTRUCTED AND UNTIL THE GRASS ON PLANTED SHOULDERS AND SLOPES ARE SUFFICIENTLY ESTABLISHED TO BE AN EFFECTIVE EROSION DETERRANT OR AS OR AS DIRECTED BY THE ENGINEER. THE SEDIMENT REMOVED FROM THE CONTROL STRUCTURES SHALL BE EVENLY DISTRIBUTED OUTSIDE CONSTRUCTION LIMITS AT LOCATIONS SPECIFIED BY THE ENGINEER. DISPOSED SEDIMENT SHALL BE PERMANENTLY GRASSED.
6. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
7. CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN DETENTION POND AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
8. SILT FENCE SHALL BE CLEANED OR REPLACED WHEN SILT BUILDS UP TO WITHIN ONE FOOT OF THE TOP OF THE FENCE.
9. THE TOTAL DISTURBED AREA IS 1.43 ACRES FOR SULLIVAN TOWERS TOTAL LOT AREA OF SULLIVAN TOWERS = 2.00 ACRES
10. THE TOTAL DISTURBED AREA IS 0.75 ACRES FOR PPL ENTERPRISES, INC TOTAL LOT AREA OF PPL ENTERPRISES, INC = 1.47 ACRES
11. ANY BARE AREAS LEFT IDLE FOR 14 DAYS SHALL BE TEMPORARILY GRASSED OR STABILIZED.
12. THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' OF THE PROJECT SITES.
13. THERE ARE NO LIVE STREAMS OR WETLANDS ON THIS PROJECT SITE.

LEGEND

- (Co) CONSTRUCTION EXIT
- (Sd1) SEDIMENT BARRIER (SILT FENCE)
- (Sd2) INLET SEDIMENT TRAP
- (St) STORM DRAIN OUTLET PROTECTION
- (Rt) RETROFITTING
- (Re) RETAINING WALL
- (Cd) CHECK DAM
- (Ds3) DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)
- (Ds2) DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
- (Ds1) DISTURBED AREA STABILIZATION (WITH MULCH ONLY)

SOIL TYPE INFORMATION

SOIL NAME	PERMEABILITY	SHRINK-SWELL	EROSION FACTOR
CeB CECIL SANDY LOAM	2.0 - 6.0 IN/HR	LOW	0.28

* ENTIRE DISTURBED AREA IS CLASSIFIED CeB (CECIL SANDY LOAM)

PPL ENTERPRISES, INC (dba: WORLD'S GYM)

SEDIMENT VOLUME CALCULATIONS AND RETROFITTED DETENTION POND CALCULATIONS:

- 1) REQUIRED STORM WATER STORAGE = 88.8 CY (2,397 CU. FT.)
- 2) REQUIRED SEDIMENT STORAGE = 0.75 ACRES x 67 CY = 50.25 CY
- 3) TOTAL REQUIRED STORAGE = 88.8 + 50.25 = 139.05 CY (3,754 CU. FT.)
- 4) AVAILABLE STORAGE IN POND = 163 CY (4,400 CU. FT.)
- 5) IS AVAILABLE STORAGE GREATER THAN REQUIRED STORAGE? YES
- 6) CLEAN OUT ELEVATION = 989.50

SULLIVAN TOWERS SHOPPING CENTER

SEDIMENT VOLUME CALCULATIONS AND RETROFITTED DETENTION POND CALCULATIONS:

- 1) REQUIRED STORM WATER STORAGE = 223.7 CY (6,040 CU. FT.)
- 2) REQUIRED SEDIMENT STORAGE = 1.43 ACRES x 67 CY = 95.81 CY
- 3) TOTAL REQUIRED STORAGE = 223.7 + 95.81 = 319.51 CY (8,627 CU. FT.)
- 4) AVAILABLE STORAGE IN POND = 273.3 CY (7,380 CU. FT.)
- 5) IS AVAILABLE STORAGE GREATER THAN REQUIRED STORAGE? YES
- 6) CLEAN OUT ELEVATION = 978.60



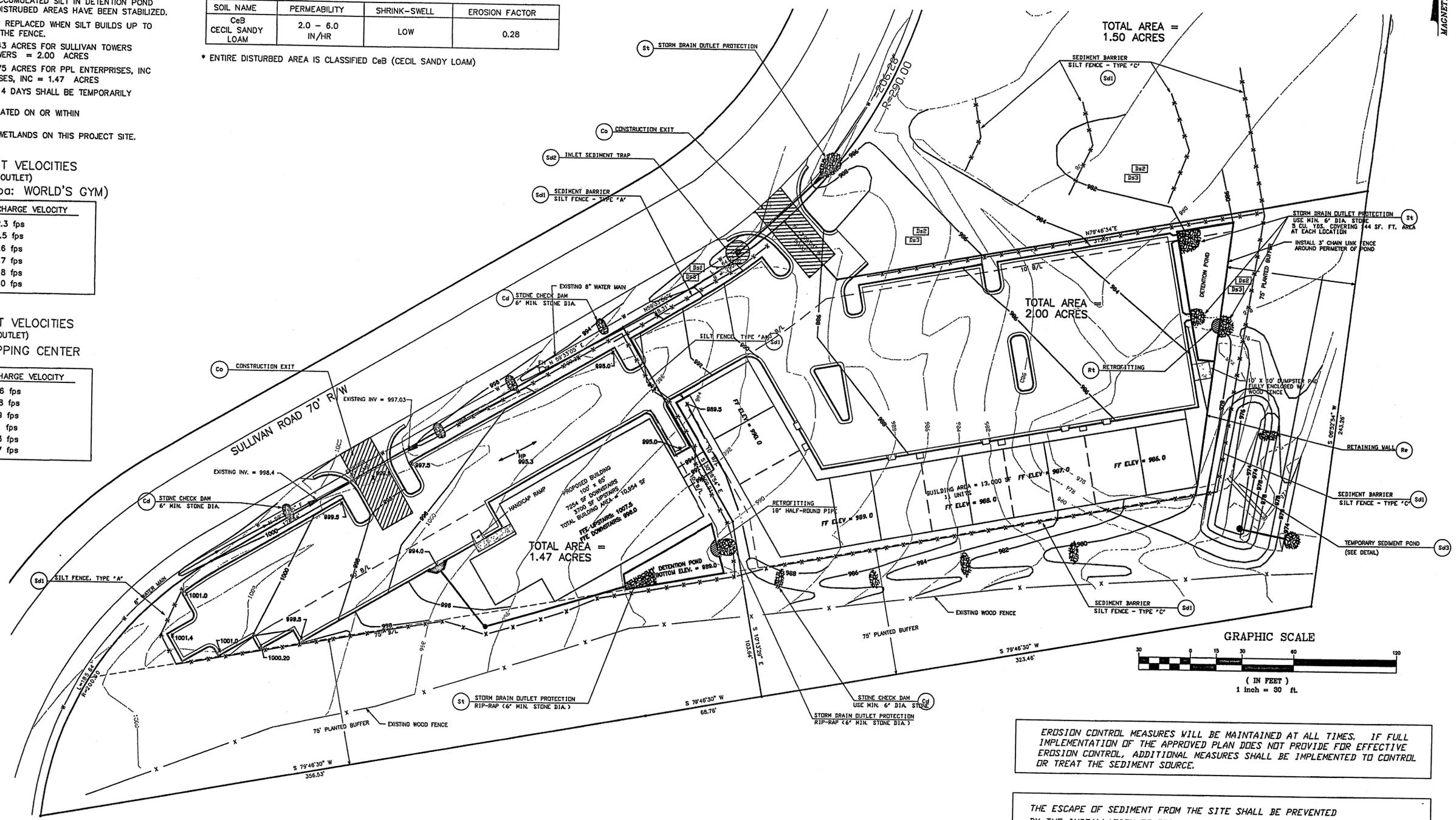
IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
(770) 623-4344
(METRO ATLANTA ONLY)
UTILITIES PROTECTION CENTER
IT'S THE LAW

**STORM DRAIN PIPE EXIT VELOCITIES
(FROM DETENTION POND OUTLET)
PPL ENTERPRISES, INC (dba: WORLD'S GYM)**

FLOW RATE	DISCHARGE VELOCITY
Q(2) = 1.39 cfs	2.3 fps
Q(5) = 1.68 cfs	2.5 fps
Q(10) = 1.82 cfs	2.6 fps
Q(25) = 2.01 cfs	2.7 fps
Q(50) = 2.15 cfs	2.8 fps
Q(100) = 2.28 cfs	3.0 fps

**STORM DRAIN PIPE EXIT VELOCITIES
(FROM DETENTION POND OUTLET)
SULLIVAN TOWERS SHOPPING CENTER**

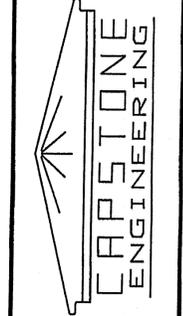
FLOW RATE	DISCHARGE VELOCITY
Q(2) = 1.95 cfs	2.6 fps
Q(5) = 2.37 cfs	2.8 fps
Q(10) = 2.59 cfs	2.9 fps
Q(25) = 3.18 cfs	3.1 fps
Q(50) = 4.07 cfs	3.3 fps
Q(100) = 4.96 cfs	3.7 fps



EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

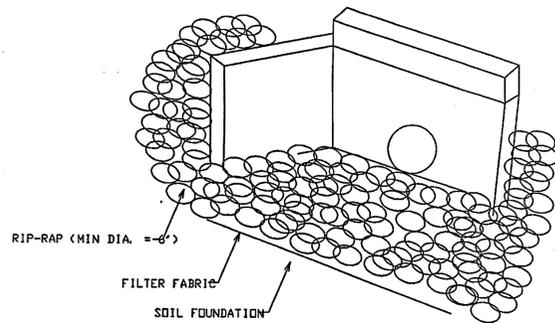
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

Neal Spradlin, P.E.
45 Little Road
Sharpsburg, Ga. 30277
Phone: (770) 592-9748
Fax: (770) 802-5495

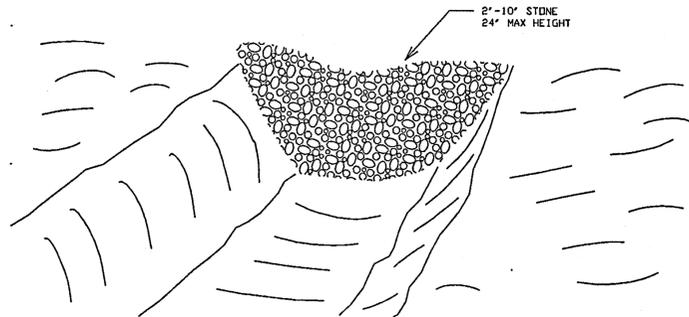


REV.	DATE	DESCRIPTION

RONNIE LOGGINS AND FRANK NEELY
EROSION CONTROL PLAN
DRAWN BY: rms
DATE: 11-06-02
SCALE: 1" = 30'



STORM DRAIN OUTLET PROTECTION (St)



CHECK DAM (Cd)

Ds2 - DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDINGS)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
RYEGRASS (ANNUAL)	40 LBS/ACRE	AUGUST - APRIL
MILLET, PEARL	50 LBS/ACRE	APRIL - AUGUST
RYE	168 LBS/ACRE	AUGUST - DECEMBER

- NOTES:
- OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
 - LIME AND FERTILIZATION ARE GENERALLY NOT REQUIRED EXCEPT WHEN DIRECTED BY THE ENGINEER.
 - MULCHING SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER USING DRY STRAW OR HAY AT A RATE OF 2.5 TONS/ACRE.

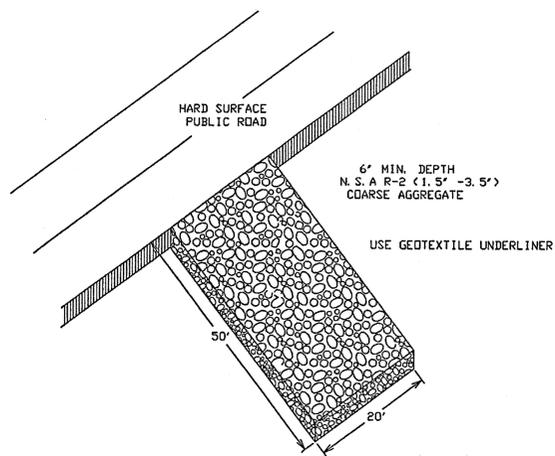
Ds3 - DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
BERMUDA, COMMON (HULLED)	6-10 LBS/ACRE	MARCH - JUNE
BERMUDA, COMMON (UN-HULLED)	6-10 LBS/ACRE	OCTOBER - FEBRUARY
FESCUE, TALL	30 -50 LBS/ACRE	AUGUST - OCTOBER MARCH - APRIL
LESPEDEZA	60 - 75 LBS/ACRE	JANUARY - DECEMBER

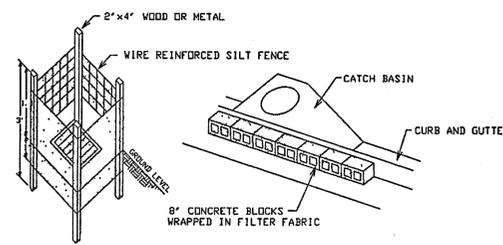
- NOTES:
- OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
 - MULCHING, LIME AND FERTILIZATION ARE REQUIRED. CONVENTIONAL PLANTING SHALL UTILIZE RECOMMENDED RATES DESCRIBED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" LIME SHALL BE APPLIED AS DIRECTED BY SOIL SCIENTIST OR AT THE RATE OF 1-2 TONS PER ACRE. MULCH USING STRAW OR HAY AT A RATE OF 2.5 TONS/ACRE.
 - HYDRAULIC SEEDING MIXTURES SHALL CONSIST OF APPROPRIATE AMOUNTS OF SEED, MULCH AND FERTILIZER AS DIRECTED BY THE ENGINEER.
 - SPECIES MAY BE MIXED TO OBTAIN OPTIMUM RESULTS.

FERTILIZER RATES FOR PERMANENT VEGETATION AND/OR TEMPORARY VEGETATION (IF REQUIRED)

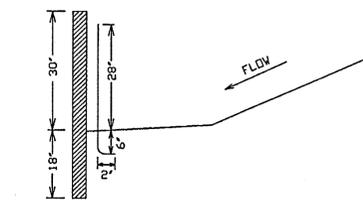
TYPE OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS/ACRE)	N TOP DRESSING RATE (LBS/ACRE)
COOL SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	1000	---
	MAINTENANCE	10-10-10	400	30
WARM SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	800	50-100
	MAINTENANCE	10-10-10	400	30



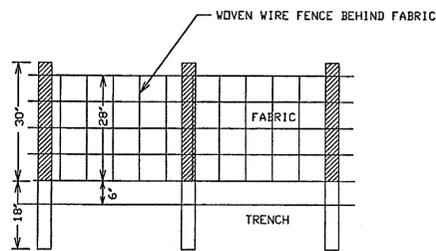
CONSTRUCTION EXIT (Co)



INLET SEDIMENT TRAP (Sd2)

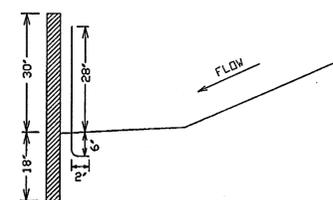


SIDE VIEW

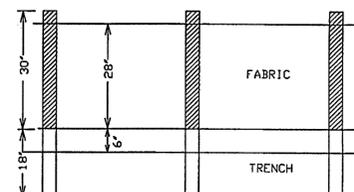


USE 36" D. D. T. APPROVED FABRIC
USE WOOD OR STEEL POSTS

SEDIMENT BARRIER (Sd1)
SILT FENCE - TYPE C



SIDE VIEW



USE 36" D. D. T. APPROVED FABRIC
USE WOOD OR STEEL POSTS

SEDIMENT BARRIER (Sd1)
SILT FENCE - TYPE A

TEMPORARY SEDIMENT BASIN #3 DESIGN DATA

VOLUME CALCULATIONS:
TOTAL AREA DRAINING TO BASIN = 5.17 AC.
TOTAL DISTURBED AREA = 2.18 AC.
VOL. OF SEDIMENT = 67 CY/AC X 2.18 = 146.1 CY
VOL. AT CLEAN OUT = 22 CY/AC X 2.18 = 48.0 CY

SURFACE AREA/CONFIGURATION DESIGN:
SURFACE AREA AT RISER CREST = 2820 SF
LENGTH TO WIDTH RATIO = 2:1

RUNOFF:
Q(2) = 9.85 CFS
Q(25) = 17.73 CFS

PRINCIPAL SPILLWAY:
SPILLWAY CAPACITY = Q(2) = 9.85 CFS
H = 2.0'
OUTLET PIPE LENGTH = 30'
DIA. OF PRINCIPAL SPILLWAY = 24"
CAPACITY OF PRINCIPAL SPILLWAY = 13.5 CFS
DIA. OF RISER = 30"
TRASH RACK DIA. = 42"
MIN. DIST. BETWEEN RISER CREST AND EMERGENCY SPILLWAY CREST = 1.0'

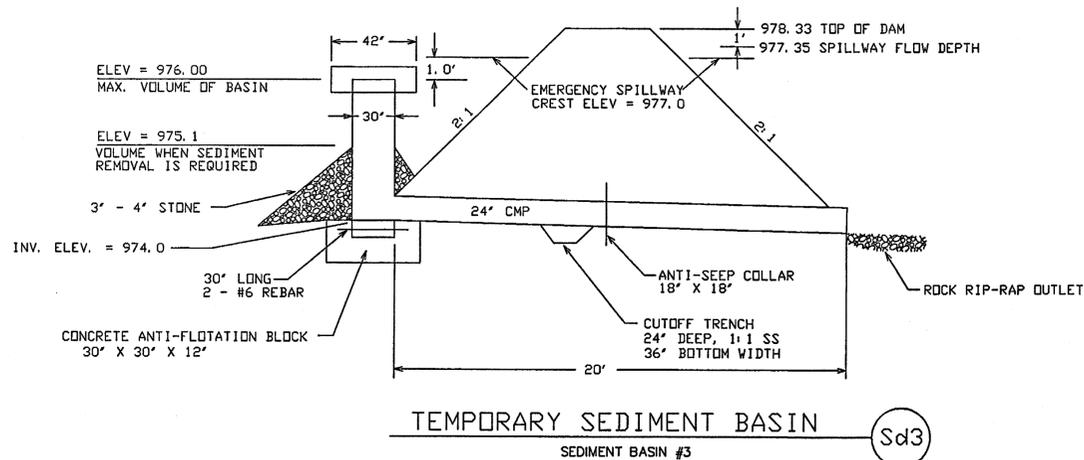
CONCRETE RISER BASE DESIGN:
VOLUME OF CONCRETE TO PREVENT FLOTATION = 1.54 CF/WF X 2.5 = 3.9 CF
ASSUME BASE THICKNESS = 12"
RISER BASE LENGTH = 30"
RISER BASE WIDTH = 30"

ANTI-SEEP COLLAR DESIGN:
ANTI-SEEP COLLAR REQUIRED? YES
18" PROJECTION REQUIRED

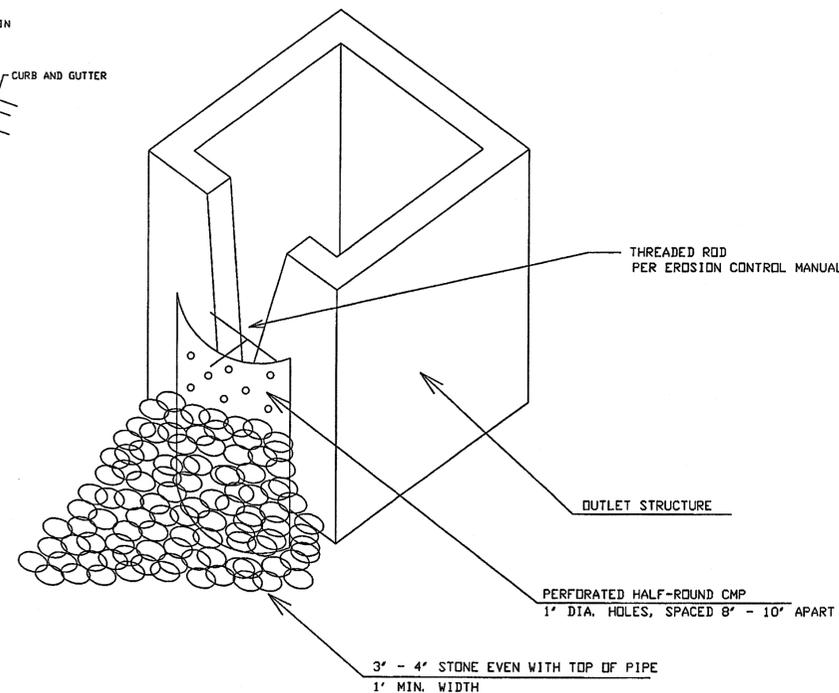
EMERGENCY SPILLWAY:
MIN. CAPACITY = Q(25) - Q(PS) = 4.23 CFS
BOTTOM WIDTH = 6'
STAGE (H) = 0.35'
VELOCITY = 3.0 FPS
SLOPE = 3.0%
SPILLWAY SHOULD BE GRASSED

VOLUME OF SEDIMENT POND:

ELEV.	AREA (SF)	VOLUME (CF)
816	200	0
818	7600	7800
820	12350	27750
TOTAL VOL. = 27,750 CU. FT.		
27750/27 = 1027.8 CU. YD.		



TEMPORARY SEDIMENT BASIN (Sd3)
SEDIMENT BASIN #3

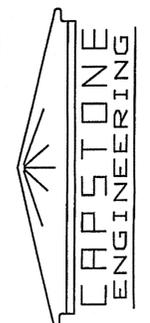


RETROFITTING SPECIFICATIONS:

USE PERFORATED HALF ROUND CMP (18" DIA.)
1" DIA. HOLES SPACED 8' - 10' APART
COVER WITH 3' - 4" MIN. DIA. STONE TO TOP OF WEIR

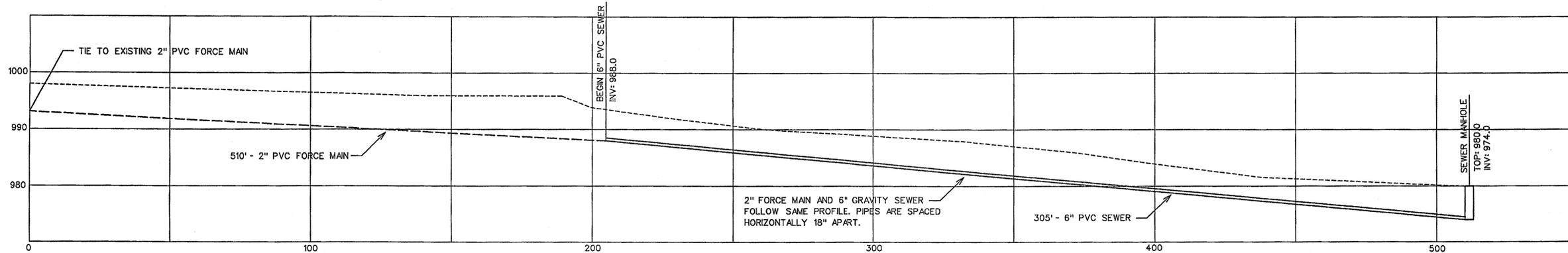
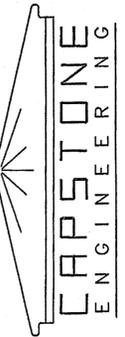
RETROFITTING (Rt)

Neal Spradlin, P.E.
45 Little Road
Sharpsburg, Ga. 30277
phone: (770) 562-9748
pager: (770) 562-5495

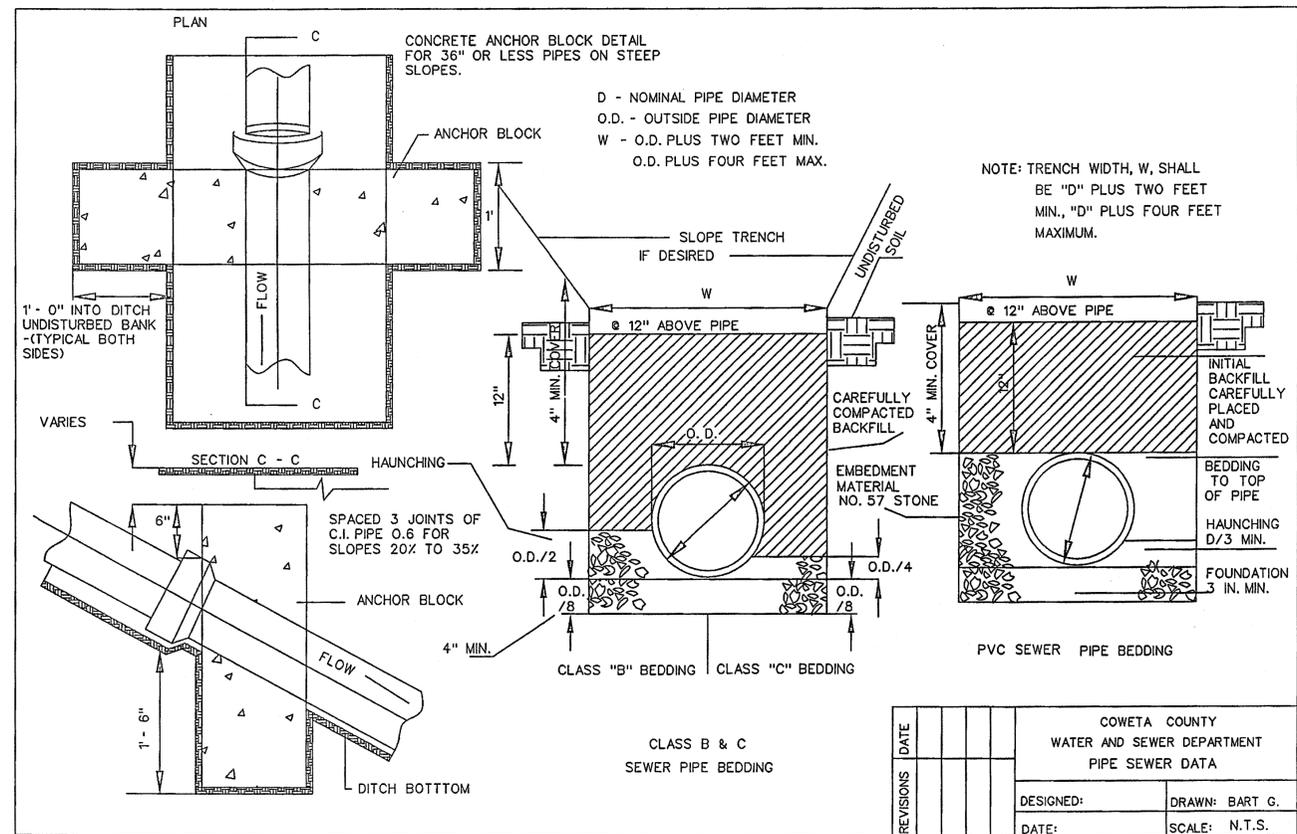
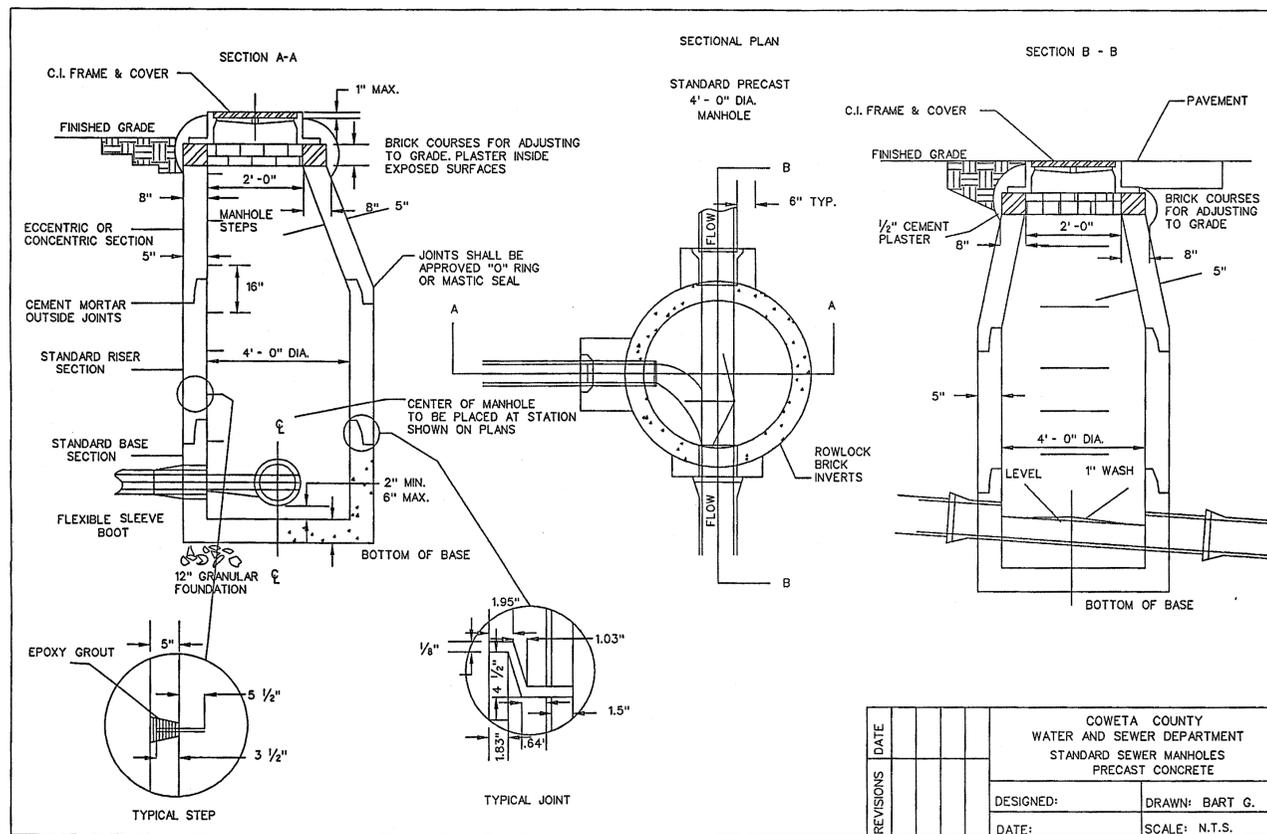


REV.	DATE	DESCRIPTION

RONNIE LOGGINS AND FRANK NEELY
EROSION CONTROL DETAILS
DATE: 11-06-02
DRAWN BY: mms
SCALE: NONE



SEWER PROFILE FOR SULLIVAN TOWERS PROJECT



REV.	DATE	DESCRIPTION

RONNIE LOGGINS AND FRANK NEELY

UTILITY DETAILS

DATE: MARCH 2002 DRAWN BY: MNS SCALE: 1"=20'

SHEET

8