

# PROPOSED APARTMENT BUILDING

## 369 - 371 WHITON STREET

### JERSEY CITY, HUDSON COUNTY, NJ

### BLOCK: 19001 | LOT: 8

**Weckenmann  
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**ZONING TABULATION CHART - LAFAYETTE PARK REDEVELOPMENT PLAN**

**BLOCK: 19001**  
**LOT: 8**  
**EXISTING USE: R-5 - ONE AND TWO FAMILY DWELLING**  
**PROPOSED USE: R-2 - MULTI-FAMILY RESIDENTIAL**  
**TOTAL LOT AREA: 4,000 S.F. (REQUIREMENTS NOTED ARE FOR LOTS 3,500 S.F. AND GREATER)**  
**FLOOD ZONE: ZONE AE (EL. 12.0 FEET)**

| ORDINANCE                | REQUIREMENT   | EXISTING                     | PROPOSED                                      | DEVIATION REQ'D |
|--------------------------|---|------------------------------|---|-----------------|
| PERMITTED PRINCIPAL USE  | RESIDENTIAL   | TWO-FAMILY DWELLING          | 20 RESIDENTIAL UNITS                          | NO              |
| PERMITTED ACCESSORY USE  | OFF STREET PARKING  | FENCES, PARKING              | OFF STREET PARKING (4 SPACES)                 | NO              |
| MIN. LOT AREA            | 2,500 S.F. (25 FT LOT WIDTH)  | 4,000 S.F. (40 FT LOT WIDTH) | 4,000 S.F. (40 FT LOT WIDTH)                  | NO              |
| MAX. PERMITTED HEIGHT    | 6 STORIES, 60 FT. (6+ DWELLING UNITS)                                     | 2 STORIES                    | 6 STORIES, 60'-11"                            | YES*            |
| MAX. APPURTENANCE HEIGHT | 10 FEET FROM FLR TO T.O. STRUCTURE.                                       | --                           | 9'-5"   | NO              |
| MAX. BLDG. COVERAGE      | 75 PERCENT  | 26% (1,064 S.F.)             | 67.2% (2,690.7 S.F.)                          | NO              |
| MIN. LOT DEPTH           | 100 FEET  | 100 FEET                     | 100 FEET                                      | NO              |
| MAX. DENSITY             | REQUIREMENT SHALL BE WAIVED 15% OF BR SHALL BE AFFORDABLE                 | 2 DWELLING UNITS             | 20 UNITS - 25 BRS<br>3.75 or 4 BRS AFFORDABLE | NO**            |
| FRONT YARD SETBACK       | PREDOMINANT   | 3.4' PREDOMINANT             | 3.4 FEET                                      | NO              |
| SIDE YARD SETBACK        | NO REQUIREMENT  | 5.6 FEET, 6.7 FEET           | 0 FEET  | NO              |
| REAR YARD SETBACK        | 25 FEET   | 55.96'                       | 28.5' 1ST FLR., 21.6' TO BAY WINDOWS          | YES             |
| MAX. SHAPE FACTOR        | 28  | 19.6                         | 19.6  | NO              |
| MIN. PARKING - RES. USES | 0.5 SPACE PER UNIT (STD. & 1BR EXCL.)<br>5 2BR + UNITS - 2.5 SPACES REQ'D | ONE SPACE***                 | 4 SPACES                                      | NO              |
| CURB CUTS                | NOT PERMITTED WHERE PROPERTY IS<br>ACCESSED VIA AN EXISTING REAR ALLEY    | EXISTING ALLEY               | EXISTING ALLEY, NO CURB CUT<br>PROPOSED       | NO              |
| BICYCLE PARKING          | 0.5 SPACE / UNIT - 10 SPACES  | --                           | 10 SPACES                                     | NO              |
| LOT COVERAGE             | NO REQUIREMENT  | 57.5% (2,300.6 S.F.)         | 55% (2,202 S.F.)****                          | N/A             |

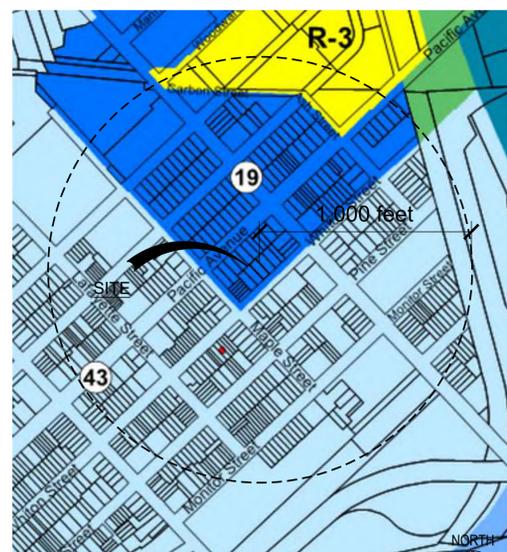
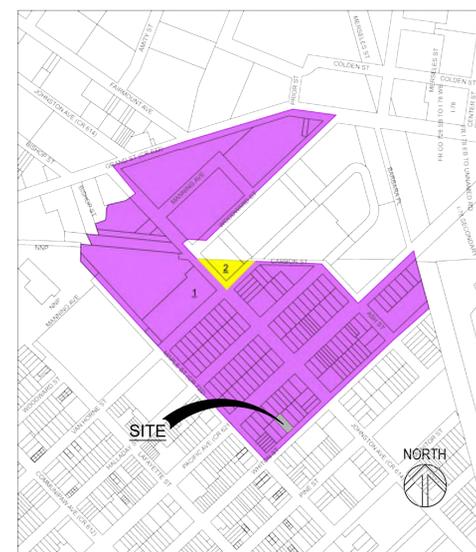
\* DEVIATIONS PERMITTED FOR INCREASE IN BUILDING HEIGHT NOT EXCEEDING 10% OF THE MAXIMUM PERMITTED HEIGHT. 0'-11" ADDITIONAL HEIGHT REQUESTED. PER 345-60: SECTION G, ITEM 6: WHERE A PROPERTY IS LOCATED WITHIN THE "ONE PERCENT (1%) ANNUAL CHANCE FLOOD HAZARD AREA," THE NUMBER OF FEET REQUIRED TO REACH THE BASE FLOOD ELEVATION PLUS ONE FOOT SHALL BE ADDED TO THE MAXIMUM PERMITTED HEIGHT OF THE BUILDING. THIS PROVISION SHALL APPLY TO ALL PROPERTY WITHIN ANY REGULAR ZONE DISTRICT OR WITHIN ANY DULY ADOPTED REDEVELOPMENT PLAN AREA. FIRST FLOOR ELEVATION IS +8.0', BFE PLUS ONE FOOT = +13.0'. FIVE FEET PERMITTED TO BE ADDED TO THE MAXIMUM PERMITTED HEIGHT OF THE BUILDING.

\*\* THE APPLICABLE DENSITY STANDARD FOR A DEVELOPMENT SITE SHALL BE WAIVED IF A DEVELOPER MEETS THE CONDITIONS OF THE BONUS DESCRIBED HEREIN. DEVELOPERS WILL BE REQUIRED TO FULFILL CERTAIN PERFORMANCE STANDARDS, INCLUDING BUT NOT LIMITED TO THE OBLIGATION TO PROVIDE COMMUNITY BENEFITS OF ON-SITE AFFORDABLE HOUSING AS DESCRIBED HEREIN. FOR THE SUCCESSFUL IMPLEMENTATION OF THE GOALS OF THE REDEVELOPMENT AGREEMENT WITH THE JERSEY CITY REDEVELOPMENT AGENCY (JCRA), FIFTEEN PERCENT (15%) OF ALL BEDROOMS CONSTRUCTED SHALL BE WITHIN UNITS DEDICATED AS AFFORDABLE HOUSING FOR A PERIOD OF A MINIMUM OF 30 YEARS FROM THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, IN ACCORDANCE WITH THE FAIR HOUSING ACT, N.J.S.A. 52:27D-301, ET SEQ., AND PURSUANT TO THE TERMS OF THE REDEVELOPMENT AGREEMENT WHICH SHALL SET FOR THE CONTROLS ON AFFORDABLE HOUSING TO BE CONSTRUCTED AS PART OF THE REDEVELOPMENT PROJECT. FOR THE PURPOSES OF THIS BONUS, DENSITY IS NOT REGULATED BY UNITS PER ACRE. INSTEAD, A "BUILDING ENVELOPE" IS DEFINED, DEPENDING ON THE SIZE AND SHAPE OF THE SITE AS WELL AS THE BULK REQUIREMENTS OUTLINED IN THIS PLAN. MINIMUM ROOM AND UNIT SIZES ARE REGULATED BY BUILDING CODE. STUDIO UNITS SHALL BE COUNTED AS 1 BEDROOM FOR THE PURPOSES OF THIS BONUS.

\*\*\* ONLY ONE LEGALLY SIZED PARKING SPACE EXISTS ON THE SUBJECT PROPERTY. EXISTING PARKING PATTERNS VARY  
\*\*\*\* BUILDING HAS 1,111 S.F. OF GREEN ROOF DECK. SUBTRACTING GREEN ROOF AREAS & PERVIOUS / POROUS PAVEMENT FROM BUILDING COVERAGE YIELDS 55% TOTAL LOT COVERAGE (IMPERVIOUS) FOR THE PROJECT SITE. PERVIOUS ASPHALT PAVEMENT IS PROPOSED AT REAR PARKING LOT.

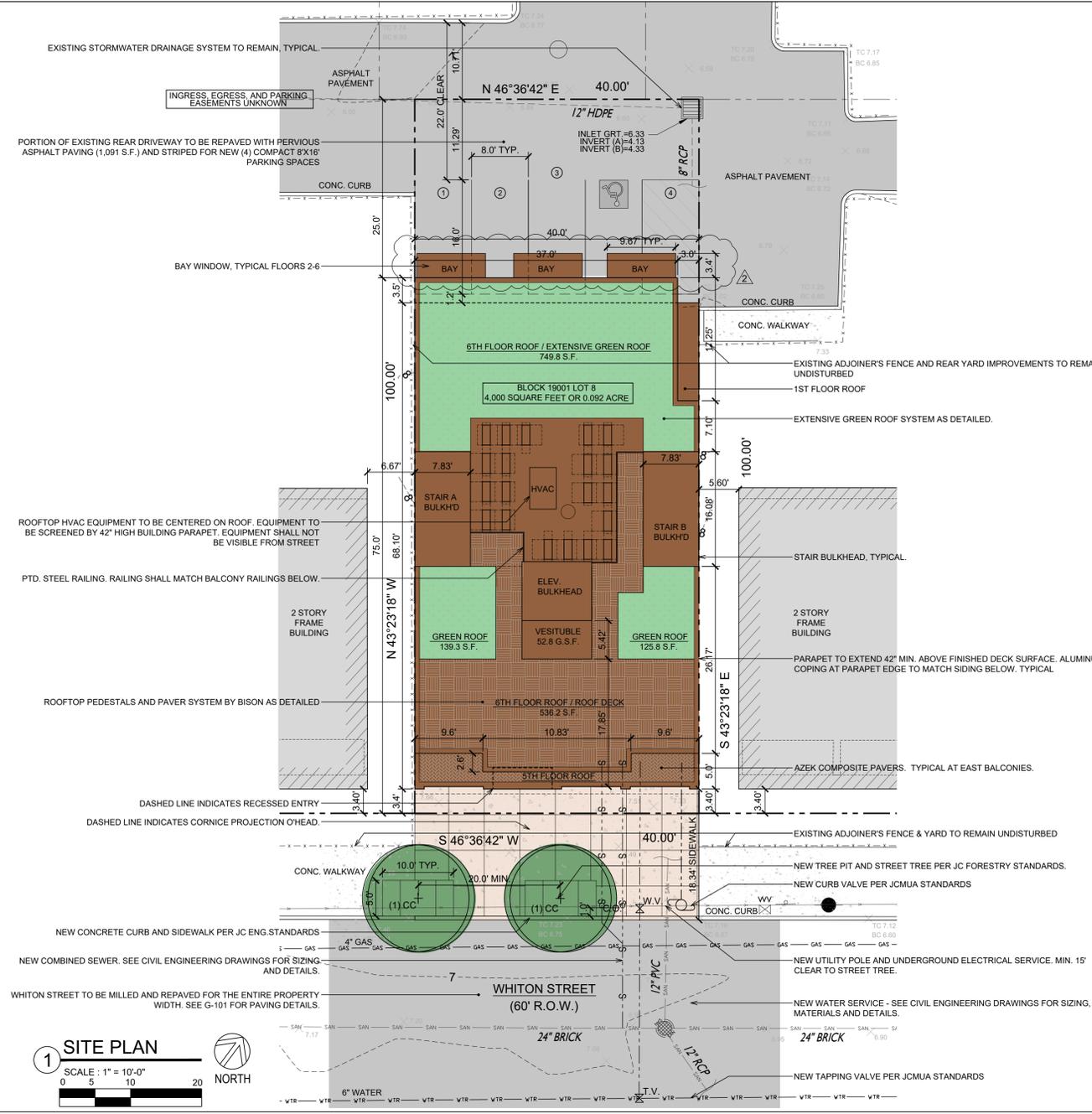
BICYCLE PARKING: 345-60 SUPPLEMENTAL ZONING REQUIREMENT APPLICABLE TO ALL ZONES & REDEVELOPMENT PLANS.  
DESIGN WAIVER REQUESTED FOR COMPACT PARKING SPACES. CHAPTER V) SECTION F, ITEM 6. NO ADDITIONAL DESIGN WAIVERS ARE REQUESTED.

**ZONING MAPS**



LAFAYETTE PARK REDEVELOPMENT PLAN  
MAP 2: LAND USE MAP  
APRIL 15, 2015  
SCALE: NOT TO SCALE

SCALE: 1" = 400'-0"



**EXISTING SITE PHOTOS**



WHITON STREET VIEW

WHITON STREET VIEW

REAR ALLEY VIEW

REAR ALLEY VIEW

| GROSS BUILDING AREA                |   | GROSS AREA (S.F.) |
|------------------------------------|---|-------------------|
| FLOOR - USE                        |   |                   |
| FIRST FLOOR                        | RESIDENTIAL LOBBY - 486.7 S.F.<br>OFFICE STUDIO - 312.4 S.F.<br>FITNESS CENTER - 447.7 S.F.<br>UTILITY / BOH - 1,443.9 S.F. | 2,690.7 S.F.      |
| SECOND FLOOR                       |   | 2,921.4 S.F.      |
| THIRD FLOOR                        |   | 2,921.4 S.F.      |
| FOURTH FLOOR                       |   | 2,835.7 S.F.      |
| FIFTH FLOOR                        |   | 2,835.7 S.F.      |
| SIXTH FLOOR                        |   | 2,786.6 S.F.      |
| ROOF BULKHEADS & AMENITY SPACE     | ROOF DECK - 555.7 S.F. (NOT INC. IN G.S.F.)   | 306.4 S.F.        |
| TOT. GROSS BUILDING SQUARE FOOTAGE |   | 17,297.9 S.F.     |

| UNIT COUNTS    |      |           |                            |
|----------------|------|-----------|----------------------------|
| UNIT TYPE      | QTY. | BEDROOMS* | AFFORDABLE UNITS           |
| STUDIO         | 5    | 5         | 2 (UNITS 201,501)          |
| 1 BEDROOM      | --   | --        | --                         |
| 1 BR + OFFICE  | 4    | 4         | --                         |
| 1 BR + BALCONY | 6    | 6         | --                         |
| 2 BEDROOM      | 5    | 10        | 1 (UNIT 302)               |
| TOTAL          | 20   | 25*       | 4 BRS, 3 UNITS (15% OF 25) |

\*NOTE: PER AFFORDABLE HOUSING BONUS - STUDIOS SHALL BE COUNTED AS 1 BEDROOM UNITS IN DET. BR. COUNT

| DRAWING LIST               |   |
|----------------------------|---|
| ARCHITECTURAL DRAWINGS     |   |
| G-100                      | ZONING CHART, ZONING MAPS, SITE PLAN AND PROJECT INFO   |
| G-101                      | SITE DEMO PLAN  |
| G-102                      | SITE DETAILS  |
| A-100                      | FIRST - FIFTH FLOOR PLANS                               |
| A-101                      | SIXTH FLOOR PLAN, ROOF PLAN, DETAILS AND SPECIFICATIONS |
| A-102                      | EAST (WHITON ST) AND WEST ELEVATIONS                    |
| A-103                      | NORTH ELEVATION   |
| A-104                      | SOUTH ELEVATION   |
| A-105                      | CONCEPTUAL RENDERING AND MATERIAL SELECTIONS            |
| A-106                      | SUN STUDY   |
| A-107                      | BLOCK PLAN AND MASSING STUDIES                          |
| CIVIL ENGINEERING DRAWINGS |   |
| C-1                        | COVER SHEET   |
| C-2                        | DEMOLITION PLAN   |
| C-3                        | SITE PLAN   |
| C-4                        | GRADING PLAN  |
| C-5                        | DRAINAGE & UTILITY PLAN                                 |
| C-6                        | LIGHTING PLAN   |
| C-7 - C-8                  | CONSTRUCTION DETAILS                                    |

| SIGNATURES |      |
|------------|------|
| CHAIRMAN   | DATE |
| SECRETARY  | DATE |
| ENGINEER   | DATE |

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William J Weckenmann, RA

*(Signature)*

NJ LIC.: 21AIO2029300  
NY LIC.: 038403

PROJECT NO.: 20043

**PROPOSED APARTMENT BUILDING**

369 - 371 WHITON STREET  
JERSEY CITY  
HUDSON COUNTY, NJ  
BLOCK: 19001 | LOT: 8

**ISSUE::**

| DATE:    | ISSUED FOR:         |
|----------|---------------------|
| 02.12.21 | PLANNING SUBMISSION |

**REVISION:**

| No.: | DATE:    | NOTES:            |
|------|----------|-------------------|
| 01   | 08.20.21 | PLANNING COMMENTS |
| 02   | 10.25.21 | PLANNING COMMENTS |

**CONSULTANTS:**

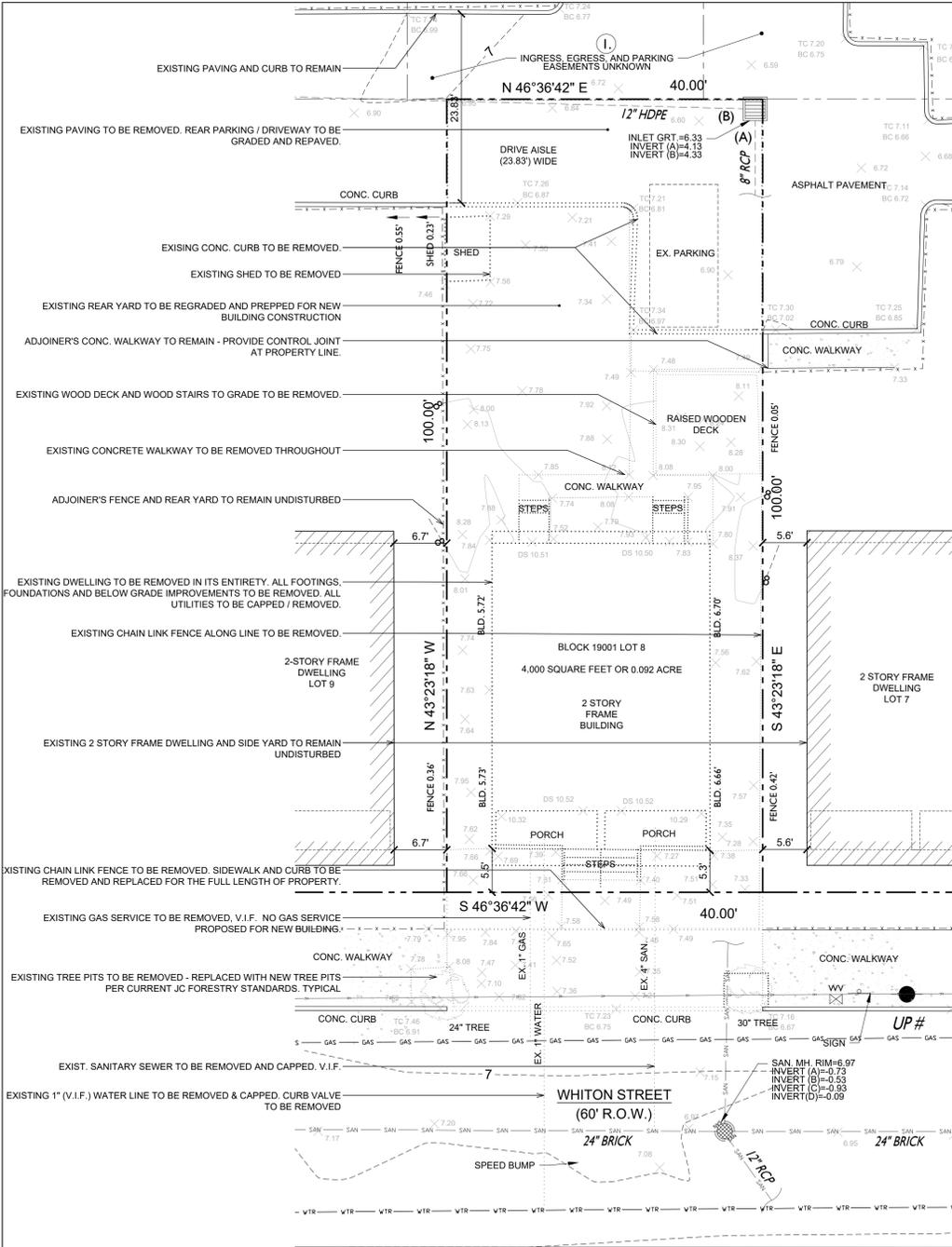
CIVIL ENGINEERING:  
STONEFIELD ENGINEERING & DESIGN  
92 PARK AVE, RUTHERFORD, NJ 07070  
201.340.4468

**ZONING CHART, ZONING MAPS, SITE PLAN AND PROJECT INFO.**

SHEET NUMBER:

**G-100**

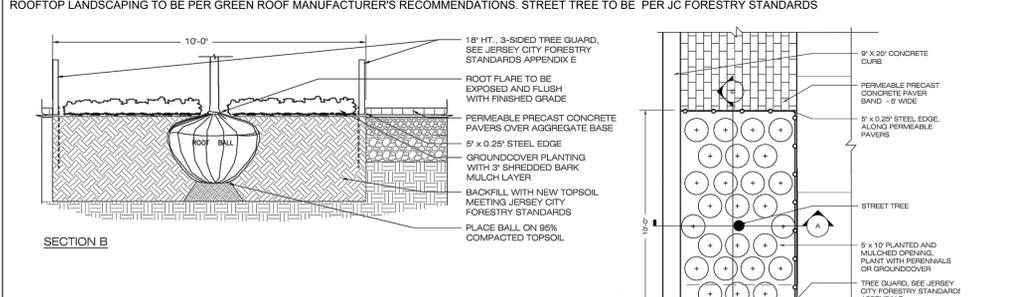
SCALE: AS SHOWN



**1 SITE DEMOLITION PLAN**  
SCALE: 1" = 10'-0"

**PLANTING SCHEDULE**

| KEY | BOTANICAL NAME       | COMMON NAME       | QTY. | SIZE        | CALIPER     | COMMENTS  |
|-----|----------------------|-------------------|------|-------------|-------------|---|
| CC  | CARPINUS CAROLINIANA | AMERICAN HORNBEAM | 2    | 20'-30' HT. | 3.5 MINIMUM | B&B, RECOMMENDED UNDER POWER LINES, 20-30 FT SPREAD |



**2 TREE PLANTING DETAILS**  
SCALE: NOT TO SCALE



**GENERAL SITE AND MUA NOTES:**

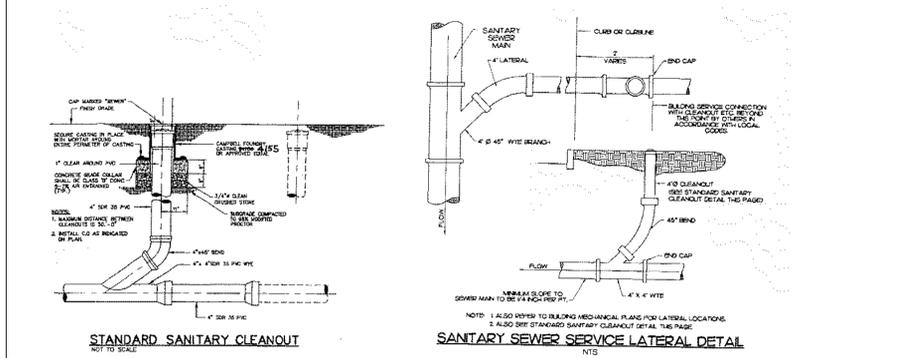
- JERSEY CITY MUNICIPAL UTILITIES AUTHORITY STANDARD REQUIREMENTS FOR NEW SANITARY, STORM SEWERS AND SERVICE LATERALS**
- 1) BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE NJDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, AS APPLICABLE.
  - 2) ALL SEWER SERVICE CONNECTIONS 6-INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER MAIN AND ALL CONNECTIONS 8-INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE. WHERE A CONNECTION TO A MANHOLE IS REQUIRED, MANHOLE BENCH AND CHANNEL SHALL BE REQUIRED TO BE CONSTRUCTED.
  - 3) THE JCMUA REQUIRES THAT SEWER SERVICE CONNECTIONS TO BE RE-USED BE TESTED TO VERIFY THEIR INTEGRITY AND THAT THE PIPE IS FREE FROM ANY DEFECTS.
  - 4) EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT (REFER TO ATTACHED DETAIL DRAWINGS). T-WYE CLEANOUTS WHICH ENABLE CLEANING IN BOTH DIRECTIONS SHOULD BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL.
  - 5) PROPOSED SEWER LATERAL CONNECTION TO JCMUA SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF PIPE (REFER TO ATTACHED SEWER SERVICE CONNECTION DETAILS).
  - 6) THE SIZE, MATERIAL, DEPTH, CONDITION, DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCMUA SEWER TO WHICH YOU PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY POSSIBLE AND PRACTICAL. IN ADDITION, MANHOLE INVERTS AND RIM ELEVATION MUST BE SHOWN ON PLANS. THIS VERIFICATION IS TO BE INC. ON THE PLANS FOR THE PROJECT.
  - 7) CIRCULAR HOLE SAWS WHICH ARE APPROXIMATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE JCMUA SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE THE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO PIPE.
  - 8) A DETAIL OF PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITION TO RIM, GRATE AND INVERT ELEVATIONS OF THE STRUCTURE AND ALL PIPES CONNECTED TO THE STRUCTURE MUST BE SHOWN ON PLANS. REFER TO JCMUA STANDARD DETAIL DRAWINGS FOR MANHOLES AND CATCH BASINS.
  - 9) PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCMUA SEWERS SHALL BE FURNISHED WITH CONCENTRIC MANHOLE COVERS AS MANUFACTURED BY CAMPBELL FOUNDRY CO., PATTERN #4428 OR EQUAL, WITH OUTSIDE COVER DIAMETER OF 31-3/4 INCHES AND INSIDE COVER DIAMETER OF 24 INCHES. THE LETTERS 'JCMUA' AND 'SEWER' SHALL BE CAST IN THE INSIDE COVER. MANHOLE FRAMES SHALL BE CAMPBELL FOUNDRY CO. PATTERN #4428 FOR 30-INCH OPENING OR #1206 FOR 41-INCH OPENING) OR EQUAL FURNISHED WITH A PATTERN #4428 CONCENTRIC COVER AS SPECIFIED IN THE PRECEDING PARAGRAPH. REFER TO JCMUA STANDARD DETAIL FOR MANHOLE FRAME AND COVERS.
  - 10) STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCMUA COMBINED SEWERS MUST BE FURNISHED WITH A SUMP AND TRAP AS PER JCMUA STANDARD DETAILS.
  - 11) THE JCMUA HAS COMBINED SEWER SYSTEM WHICH SURCHARGES DURING WET WEATHER PERIODS RESULTING IN POSSIBLE SEWAGE BACK-UPS THROUGH PLUMBING FIXTURES (SINKS, TOILETS, FLOOR DRAINS, ETC.) BELOW STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.
  - 12) A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE OUTLET PIPE FROM MANHOLE. REFER TO JCMUA STANDARD DETAIL FOR DROP MANHOLE CONNECTION (FR. 10.1).
  - 13) TEST PITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWERS AND SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES.
  - 14) ALL EXISTING SEWER MAINS AND SANITARY LATERALS TO BE ABANDONED MUST BE FILLED WITH CONCRETE SLURRY OR REMOVED FROM THE GROUND. CATCH BASINS AND MANHOLES MUST BE REMOVED FROM THE GROUND. CONNECTIONS MUST BE CUT AND SEALED AT THE MAIN AND PRECAUTIONS MUST BE UNDERTAKEN BY THE CONTRACTOR TO ENSURE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTIONS.
  - 15) ALL PROPOSED INLETS/CATCH BASINS MUST BE CONSTRUCTED WITH A BICYCLE SAE GRATE AND CAMPBELL FOUNDRY CO. TYPE "N" CURBPIECE WHERE REQUIRED.
  - 16) PROPOSED WATER SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE DIVISION OF WATERENGINEERING.
  - 17) THE CONTRACTOR FOR OBTAINING PERMITS FOR STREET OPENINGS FROM THE JERSEY CITY BUILDING DEPARTMENT LOCATED AT 30 MONTGOMERY STREET, JERSEY CITY, NJ AND ALL OTHER APPLICABLE PERMITS FROM AGENCIES HAVING JURISDICTION.
  - 18) THE SYSTEM DESIGNER IS ALSO RESPONSIBLE FOR COMPLIANCE WITH THE APPLICABLE REGULATIONS OF THE NEW JERSEY ADMINISTRATIVE CODE, NJDEP RULES AND REGULATIONS GOVERNING TREATMENT WORKS APPROVAL PROGRAM, LOCAL CODES AND ORDINANCES, FEDERAL AND STATE REGULATIONS ETC. IN ADDITION TO OTHER REQUIREMENTS THAT MAY BE IMPOSED BY THE JCMUA.

**THE JERSEY CITY MUNICIPAL UTILITIES AUTHORITY REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS:**

- 1) ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCMUA'S BUREAU OF WATER ENGINEERING FOR REVIEW AND APPROVAL. ALL PLANS MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY.
- 2) SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS, SIZE 24 INCHES X 36 INCHES, INCLUDED SHALL BE A SITE PLAN SHOWING ADJACENT STREETS WITH WATER MAIN, SERVICE, AND DETAILS INDICATED. ALSO INCLUDED SHALL BE A KEY MAP SHOWING GENERAL LOCATION WITHIN THE CITY.
- 3) INDICATE THE SIZE OF TAP, LOCATION OF TAPPING AND CURB GATE VALVES, DETAILED METER SET-UP, AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY RECEIVING THE WATER SERVICE.
- 4) ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN, IN ACCORDANCE WITH JCMUA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLATION OF NEW TAP. THE MAXIMUM OF ONE (1) TAP SHALL BE MADE FOR BOTH DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MAXIMUM OF ONE (1) SIZE SMALLER THAN THE CITY WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY UNITED WATER JERSEY CITY (UWJC) UNLESS APPROVED BY JCMUA.
- 5) ONLY ONE DOMESTIC/FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL CHECK METERS ON INDIVIDUAL BRANCH CONNECTIONS DOWNSTREAM OF DOMESTIC METER SETUP WHERE THERE IS MORE THAN ONE OWNER/ TENANT FOR A FACILITY. HOWEVER, ONLY ONE WATER BILL WILL BE ISSUED FOR THE BLDG.
- 6) A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-415 TAPPING SLEEVE OR APPROVED EQUAL, SHALL BE UTILIZED FOR ALL TAPS 2-INCHES AND LARGER. THE TAPPING SLEEVE SHALL PASS PRESSURE TESTING BEFORE IT IS MADE.
- 7) FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT: A TAPPING VALVE, LOCATED AT THE TAP AND CURB VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE FURNISHED OPENED RIGHT. ALL TAPPING AND CURB VALVES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE WET TAP UP TO 12 INCHES SHALL BE PERFORMED BY UWJC.
- 8) FOR TAPS OFF MAINS SIXTEEN (16) INCHES AND LARGER, THE APPLICANT SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE, & WRITTEN APPROVAL IS ISSUED BY THE JCMUA.
- 9) VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVES / STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES/ STOPS SHALL BE USED AT THE TAP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER.
- 10) ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 350 PSI, CEMENT-LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS.
- 11) THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. IF THE BUILDING LINE IS IN EXCESS OF 75 FT. FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.
- 12) FOR A REGULAR FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE LARGER THAN 2"), A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (AMES 5000 SS, AMES 5000 RPD OR WATTS 909 RPD) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTOR (AMES 4000 SS OR WATTS 909) (REFER TO FIGURE 1) ON THE LIMITED FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 1" OR 2"). A FIRE LINE DETECTOR CHECK WITH A SINGLE CHECK VALVE (AMES 1000 DCV) SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTOR (AMES 4000 SS OR WATTS 909) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS (REFER TO FIGURE 1). ALL REGULAR FIRE SUPPRESSION SYSTEMS MUST HAVE OS&Y VALVE. LIMITED FIRE SUPPRESSION SYSTEMS MAY USE BALL VALVES (VICI/AULIC SERIES 728 FIRELOCK) INSTEAD OF OS&Y VALVES. THE FIRE UNIT SHALL BE FURNISHED WITH A 5/8 INCH X 3/4 INCH METERED BYPASS. BYPASS METERS SHALL BE JERSEY CITY STANDARD SINGLE DISPLACEMENT SENSUS METERS WITH TOUCHPAD AND RADIO READ CAPABILITIES. THE SAME RADIO METER UNIT SHALL BE USED FOR A COMBINED DOMESTIC AND FIRE SERVICE.
- 13) FOR A LIMITED FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 1" OR 2") A REDUCED PRESSURE BACKFLOW PREVENTOR (AMES 4000 SS OR WATTS 909) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE CITY'S DISTRIBUTION SYSTEM WATER QUALITY IN ACCORDANCE WITH THE PLUMBING SUBCODE OF THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE, NJAC 5:23-3.15 AND THE NEW JERSEY SAFE DRINKING WATER ACT NJAC 7:10-10 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAINMENT. SOME SERVICES WHICH REQUIRE SUCH DEVICES INCLUDE: A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND A FACILITY WITH SEWAGE EJECTORS.
- 14) IF A REDUCED PRESSURE BACKFLOW PREVENTOR IS NOT REQ'D ON THE DOM. SERVICE, A CHECK VALVE SHOULD BE INSTALLED DOWNSTREAM OF THE TEST TEE.
- 15) METERS SIZES 2 INCHES THROUGH 6 INCHES SHALL BE SINGLE COMPOUND METERS AND ALL METERS 8 INCHES AND LARGER SHALL BE DUPLEX COMPOUND MANIFOLD METERS.
- 16) ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR WALL OR OTHER APPROVED MEANS SUCH AS UNIFLANGES WHERE INTERNAL PIPE PRESSURE AND FLOW WARRANT SUCH RESTRAINTS. METERS, DETECTOR CHECKS, AND VALVES MAY BE SEATED ON CONCRETE BLOCK AND TAPERED SHIMS TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 36" ABOVE FLOOR GRADE.
- 17) ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND REPLACEMENT.
- 18) EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED FROM JCMUA OR ITS AUTHORIZED AGENT.
- 19) METERS 2" & LARGER SHALL BE FURNISHED W/ SENSUS ECRWP REMOTE TOUCH PAD MODULES AND RADIO METER UNITS FOR BOTH TYPES OF READING CAPABILITIES.
- 20) REMOTE TOUCH PAD MODULE WIRE SHALL BE CONNECTED TO THE METER REGISTER UTILIZING A GEL CAP FOR WATERTIGHT SEALING OF ALL TERMINAL CONNECTIONS. TOUCH PADS MAY BE WALL MOUNTED OR LID MOUNTED WHERE A METER PIT IS UTILIZED. TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALL FACING THE STREET AND LOCATED AS CLOSE AS POSSIBLE TO STREET. RADIO METER UNIT MUST BE INSTALLED WITH MOUNTING BRACKET AND LIKEWISE IS TO BE INSTALLED IN PROXIMITY TO STREET.
- 21) ALL INSTALLATIONS OF EQUIPMENT AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 22) ALL METERS INCLUDING TOUCH PAD MODULES, AND RADIO METER UNITS SHALL BE PURCHASED THROUGH THE PERMIT CLERK AT JCMUA OFFICE. APPROVED PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS.
- 23) AFTER OBTAINING THE REQUIRED PERMITS (STREET OPENING, TAP, AND METER) THE APPLICANT SHALL CALL UWJC AT (201) 239-1108 TO SCHEDULE THE TAP. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED TAP, AND VERIFIED BY JCMUA OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHEETING AND SAFETY.
- 24) UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS. TO THE JCMUA'S BUREAU OF WATER ENGINEERING. THE JCMUA WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT" DRAWINGS.
- 25) EXISTING DOMESTIC WATER SERVICE LINE IS TO BE CUT AND CAPPED AT THE WATER MAIN IN ACCORDANCE WITH JCMUA STANDARDS. PROVIDE FOR INSPECTION BY JCMUA 24 HOURS AFTER NEW WATER SERVICE INSTALLATION.
- 26) EXISTING DOMESTIC WATER SERVICE LINE IS TO BE CUT AND CAPPED AT THE WATER MAIN IN ACCORDANCE WITH JCMUA STANDARDS. PROVIDE FOR INSPECTION BY JCMUA 24 HOURS AFTER NEW WATER SERVICE INSTALLATION.

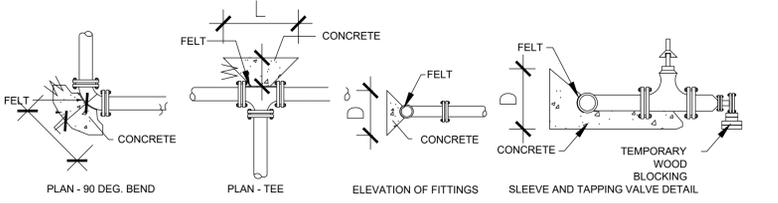
**LANDSCAPE MAINTENANCE NOTES:**

1. ALL EXTERIOR GROUND AREAS WITHIN THE LIMIT OF THE CONTRACT, EXCEPT SURFACES FINISHED BY BUILDING AND PAVING, SHALL RECEIVE GRASS SEED, MULCH OR PLANTS AS SHOWN ON THE DRAWINGS. LANDSCAPE CONTRACTOR TO FURNISH TOPSOIL, FINISH GRADINGS, PREPARE SEEDBED, SEED, ALL PLANTS AND MAINTAIN AREAS ON THE DRAWINGS.
2. ALL PLANTING INCLUDING SEED FOR LAWN AREAS SHALL BE INSTALLED BETWEEN MARCH 15 AND JUNE 15 OR BETWEEN SEPTEMBER 15 AND NOVEMBER 30 UNLESS DICTATED BY UNUSUAL SEASONAL OR OTHER CONDITIONS.
3. ALL NEW PLANTING BEDS ARE TO RECEIVE A MINIMUM DEPTH OF 3 INCHES OF SHREDDED CEDAR BARK MULCH, OR SHREDDED HARDWOOD BARK MULCH, CONTINUOUS.
4. ALL PLANTING BEDS TO BE EDGED AND DEFINED WITH STEEL OR NEOPRENE.
5. LANDSCAPE CONTRACTOR SHALL GUARANTEE TO THE OWNER THE LIFE OF ALL PLANT MATERIAL INSTALLED FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL NEW PLANT MATERIAL WITH 50% OR LESS LIVING TWIGS, STEMS AND BRANCHES SHALL BE REMOVED AND REPLACED WITH NEW FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND OWNER ACCEPTANCE. OWNER SHALL BE RESPONSIBLE FOR ALL NORMAL MAINTENANCE OF THE LAWNS AFTER THE THIRD MOWING AND ESTABLISHMENT OF A THICK AND UNIFORM CATCH OF GRASS, AND OF ALL OTHER PLANTS IMMEDIATELY AFTER FINAL COMPLETION OF ALL INSTALLATION, AND ACCEPTANCE OF THE PROJECT BY THE OWNER.
6. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE LEGAL REMOVAL OF ALL SITE DEBRIS AND SITE RUBBISH FROM THE PROPERTY. ALL EXISTING VEGETATION AND STREET TREES (IF ANY) TO BE REMOVED PRIOR TO THE START OF WORK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPERTY LINES PRIOR TO START OF ANY WORK.
8. CONTRACTOR TO REVIEW LIGHTING, POSTS, FENCING, GATES, WALK SURFACES AND PROPOSED BUILDINGS FOR COORDINATION PURPOSES.
9. ALL PLANT MATERIAL TO BE REVIEWED WITH OWNER PRIOR TO ORDER. ANY SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED IN WRITING BY THE ARCHITECT. CONTRACTOR MUST REVIEW ACCEPTABLE SUBSTITUTIONS WITH ARCHITECT PRIOR TO ORDERING. UNAUTHORIZED SUBSTITUTIONS OF GENUS, SPECIES AND SIZES MUST BE REMOVED IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
10. ANY LANDSCAPING WHICH IS NOT RESISTANT TO THE ENVIRONMENT OR THAT DIES WITHIN TWO (2) YEARS OF PLANTING SHALL BE REPLACED BY THE DEVELOPER.



**3 SANITARY SEWER LATERAL**  
SCALE: NOT TO SCALE

**THRUST BLOCK DETAILS**



- 1) WHERE A SEWER LATERAL IS TO CONNECT TO A JCMUA SEWER CONSTRUCTED OF BRICK OR OTHER SUITABLE MATERIAL, AN ASSEMBLY CONSISTING OF A HUBBED FITTING AND A RISER CLAMP WILL BE USED. THE RISER CLAMP SHALL BE SET SO THAT THE LENGTH OF PIPE INSERTED INTO THE JCMUA SEWER IS EQUAL TO THE THICKNESS OF THE MAIN AS SHOWN IN TH DETAIL. THE ENTIRE CIRCUMFERENCE OF THE ASSEMBLY SHALL BE GROUTED WITH CEMENT TO SECURE IN PLACE.
- 2) CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE ASSEMBLY. THE DIAMETER OF THE HOLE IN THE SEWER MAIN TO ACCEPT THE LATERAL SHALL BE NO MORE THAN 1/8" WIDER THAN THE PIPE TO BE INSERTED INTO THE SEWER.

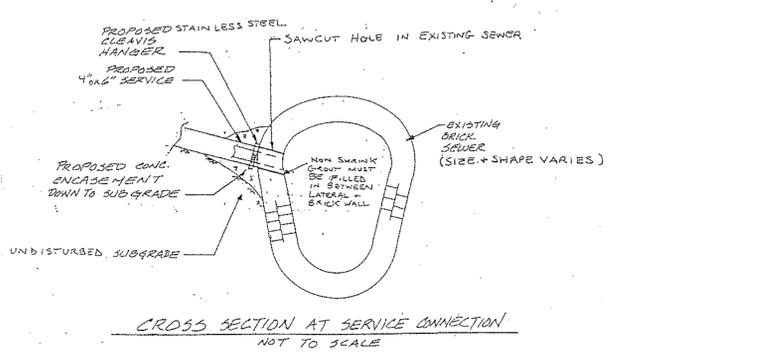
**THRUST BLOCK SCHEDULE**

| PIPE SIZE | 22" |      | 45"  |      | 90"  |      |
|-----------|-----|------|------|------|------|------|
|           | TEE | BEND | BEND | BEND | BEND | BEND |
| 6"        | 18" | 15"  | 18"  | 12"  | 18"  | 15"  |
| 8"        | 24" | 18"  | 18"  | 12"  | 24"  | 18"  |
| 12"       | 36" | 24"  | 24"  | 12"  | 36"  | 24"  |

ALL CONC. SHALL BE 3000 PSI COMPRESSIVE STRENGTH @ 28 DAYS

**NUMBER OF "I" RODS REQUIRED**

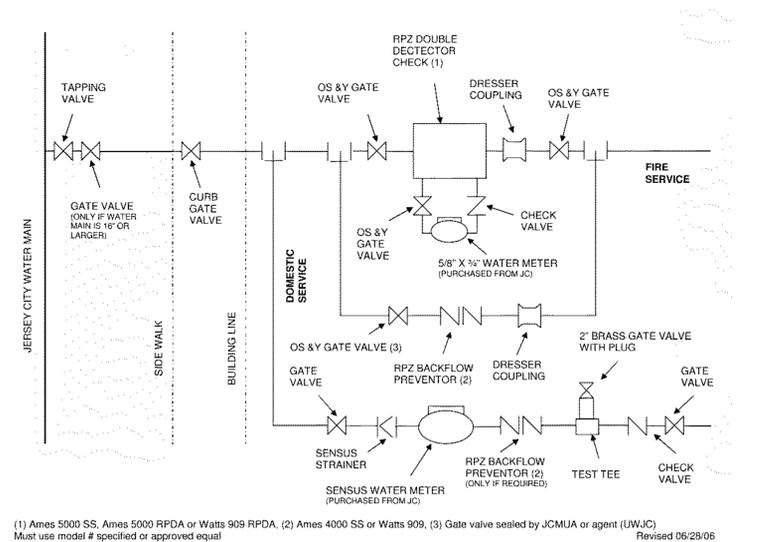
| PIPE SIZE      | 12" AND LESS | 14" AND 16" | 18" AND 20" | 24" |
|----------------|--------------|-------------|-------------|-----|
| NUMBER OF RODS | 2            | 4           | 6           | 8   |



- 1) WHERE A SEWER LATERAL IS TO CONNECT TO A JCMUA SEWER CONSTRUCTED OF BRICK OR OTHER SUITABLE MATERIAL, AN ASSEMBLY CONSISTING OF A HUBBED FITTING AND A RISER CLAMP WILL BE SET SO THAT THE LENGTH OF PIPE INSERTED INTO THE JCMUA SEWER IS EQUAL TO THE THICKNESS OF THE MAIN AS SHOWN IN TH DETAIL. THE ENTIRE CIRCUMFERENCE OF THE ASSEMBLY SHALL BE GROUTED WITH CEMENT TO SECURE IN PLACE.
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**4 BRICK SEWER DETAILS**  
SCALE: NOT TO SCALE

**FIGURE 1. J.C.M.U.A. REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS**



**5 DOMESTIC/SPRINKLER SERVICE SCHEMATIC**  
SCALE: NOT TO SCALE

**Weckenmann Architecture, LLC**  
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William J Weckenmann, RA  
NJ LIC.: 21A102029300  
NY LIC.: 038403

PROJECT NO.: 20043  
PROPOSED APARTMENT BUILDING  
369 - 371 WHITON STREET  
JERSEY CITY  
HUDSON COUNTY, NJ  
BLOCK: 19001 | LOT: 8

ISSUE:  
DATE: 02.12.21  
ISSUED FOR: PLANNING SUBMISSION

REVISION:  
No.: DATE: NOTES:  
01 08.20.21 PLANNING COMMENTS  
02 10.25.21 PLANNING COMMENTS

CONSULTANTS:  
CIVIL ENGINEERING:  
STONEFIELD ENGINEERING & DESIGN  
92 PARK AVE, RUTHERFORD, NJ 07070  
201.340.4468

SITE DETAILS

SHEET NUMBER:

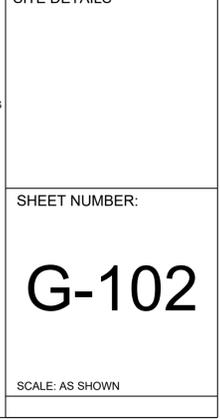
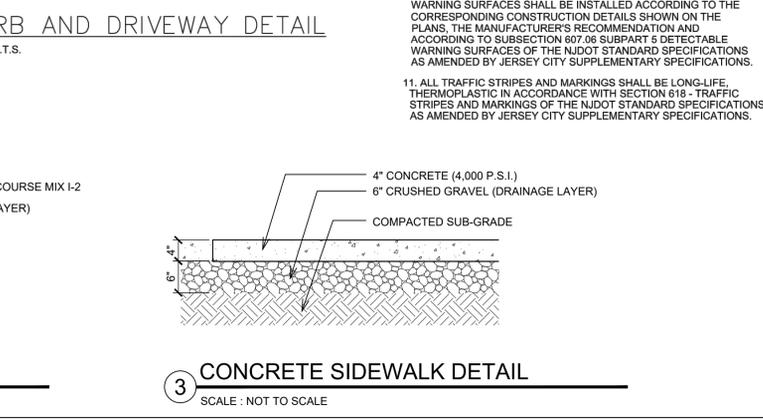
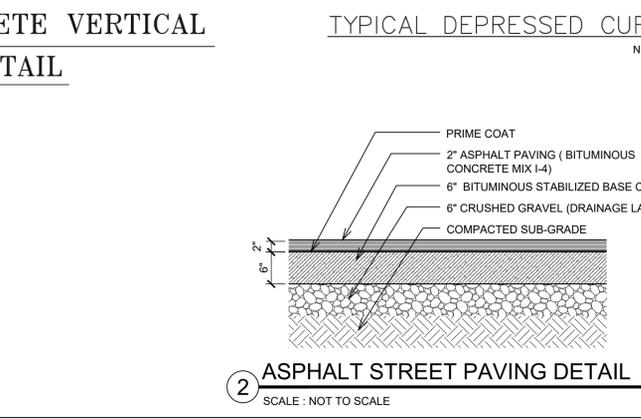
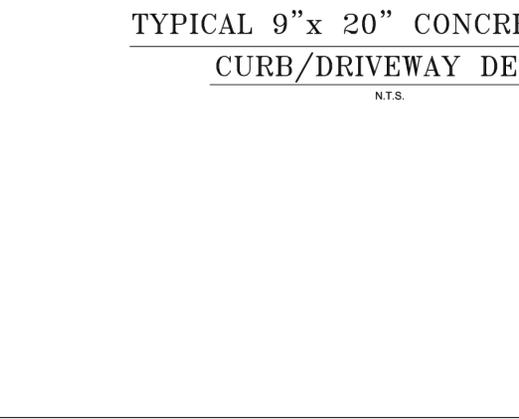
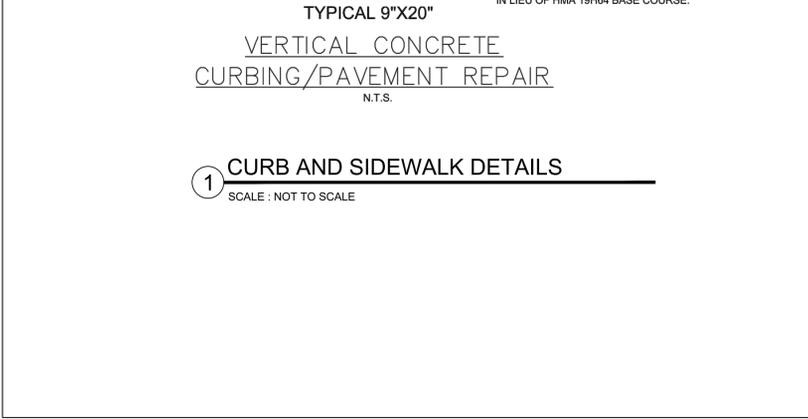
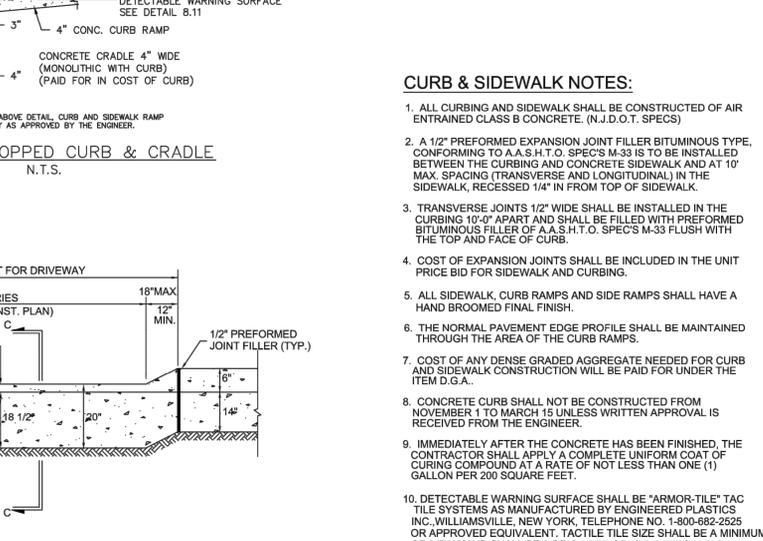
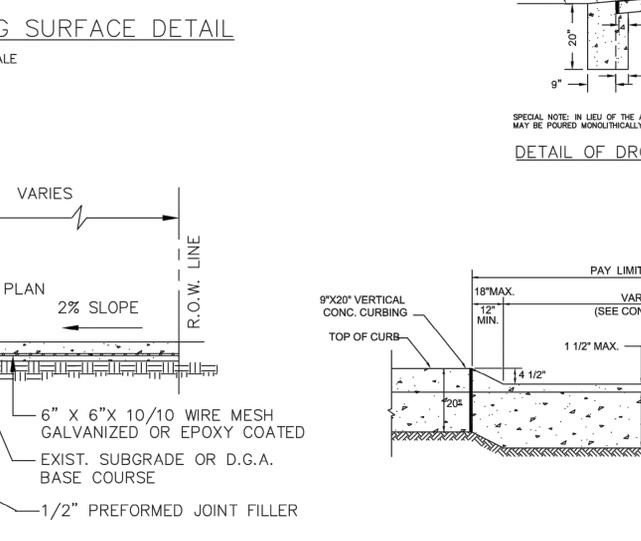
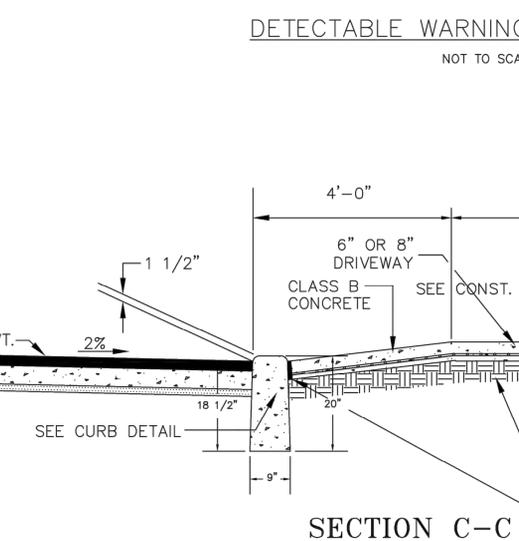
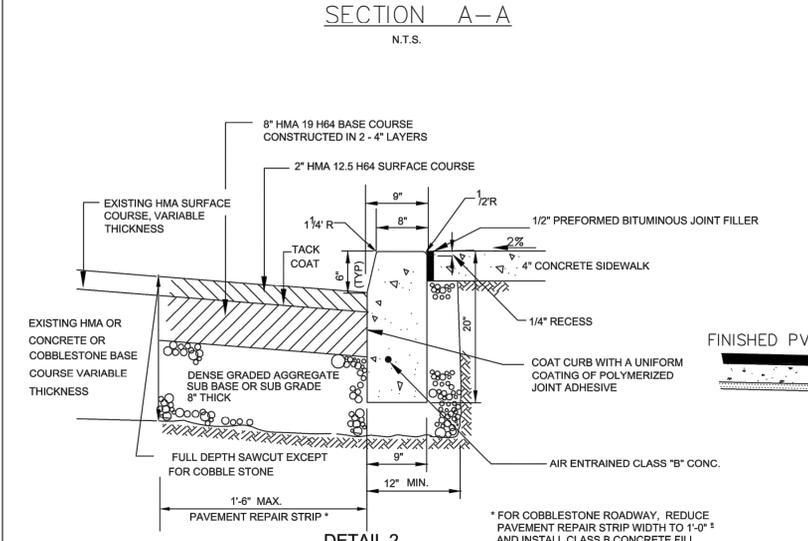
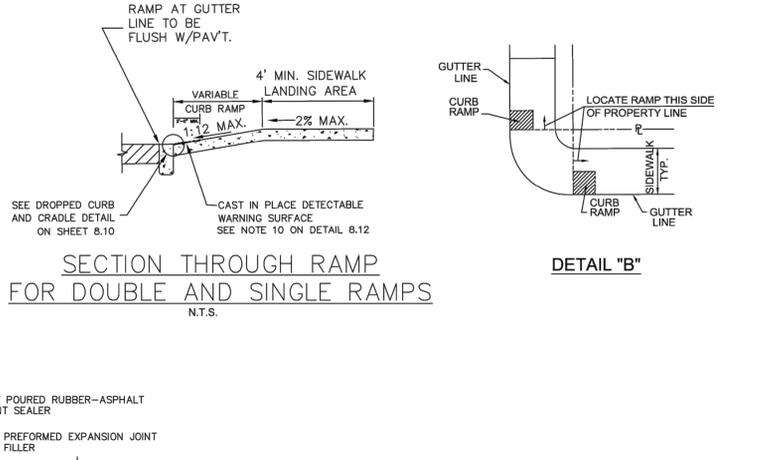
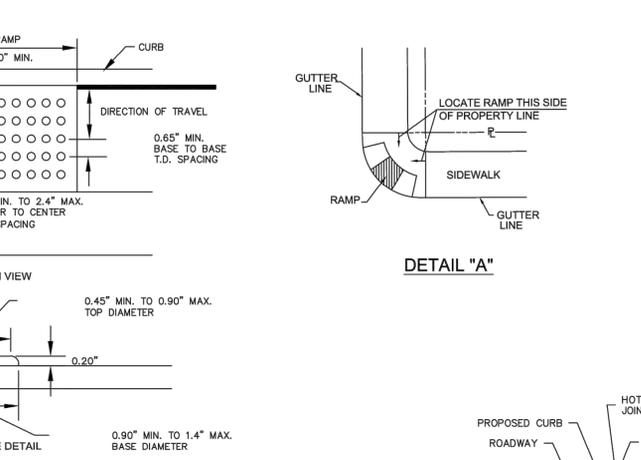
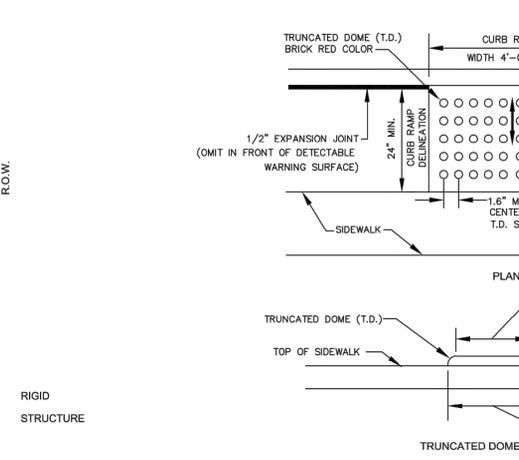
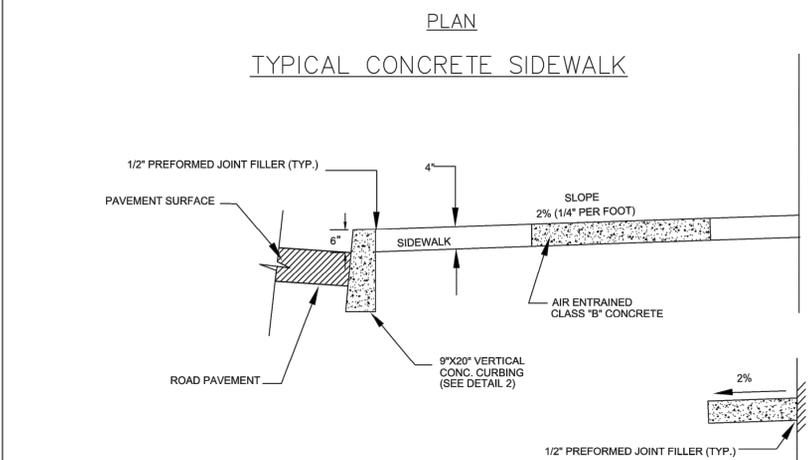
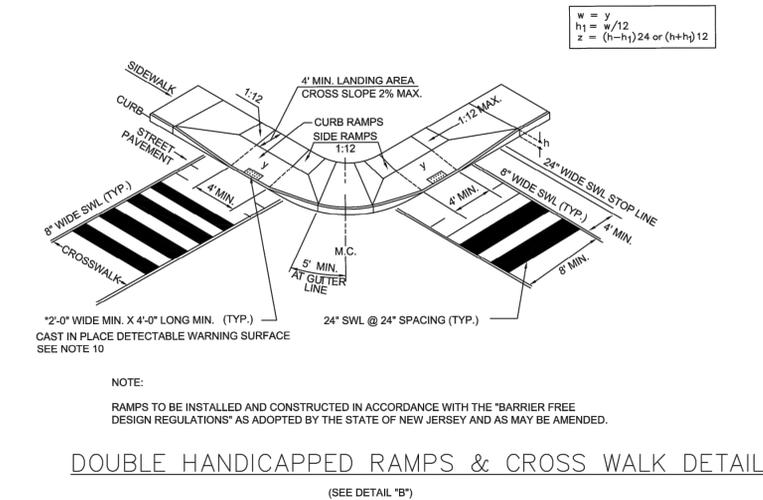
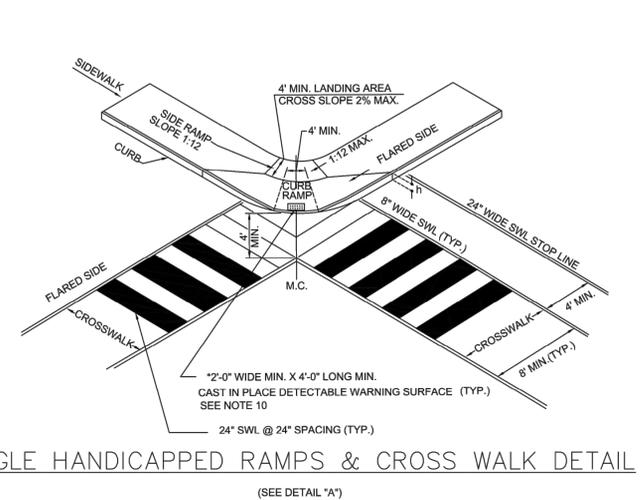
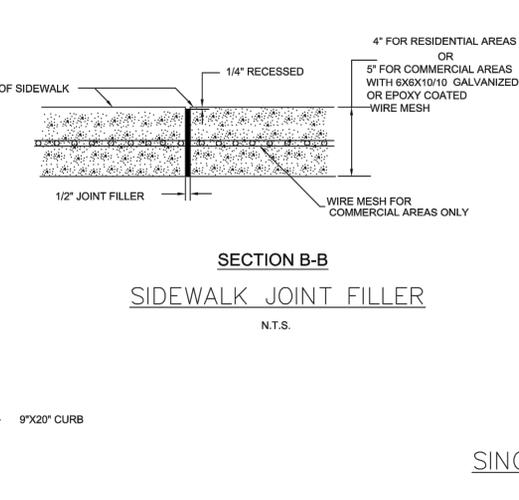
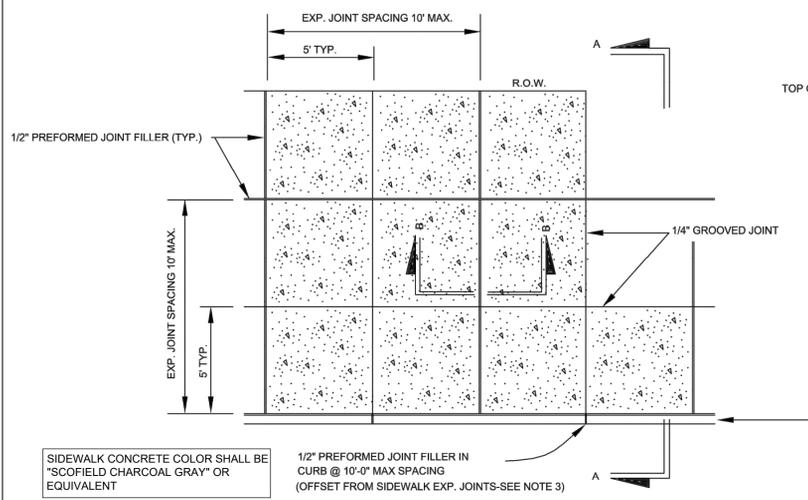
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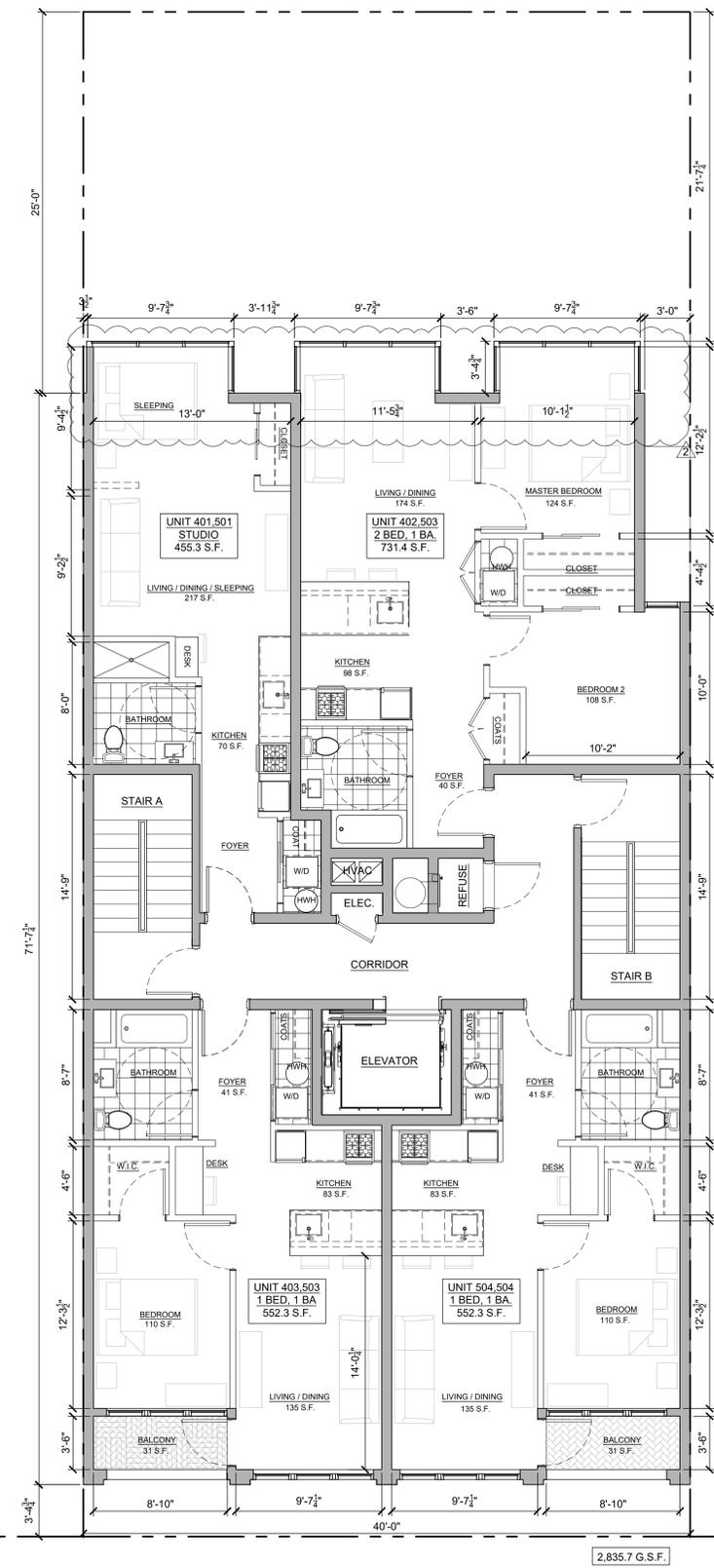
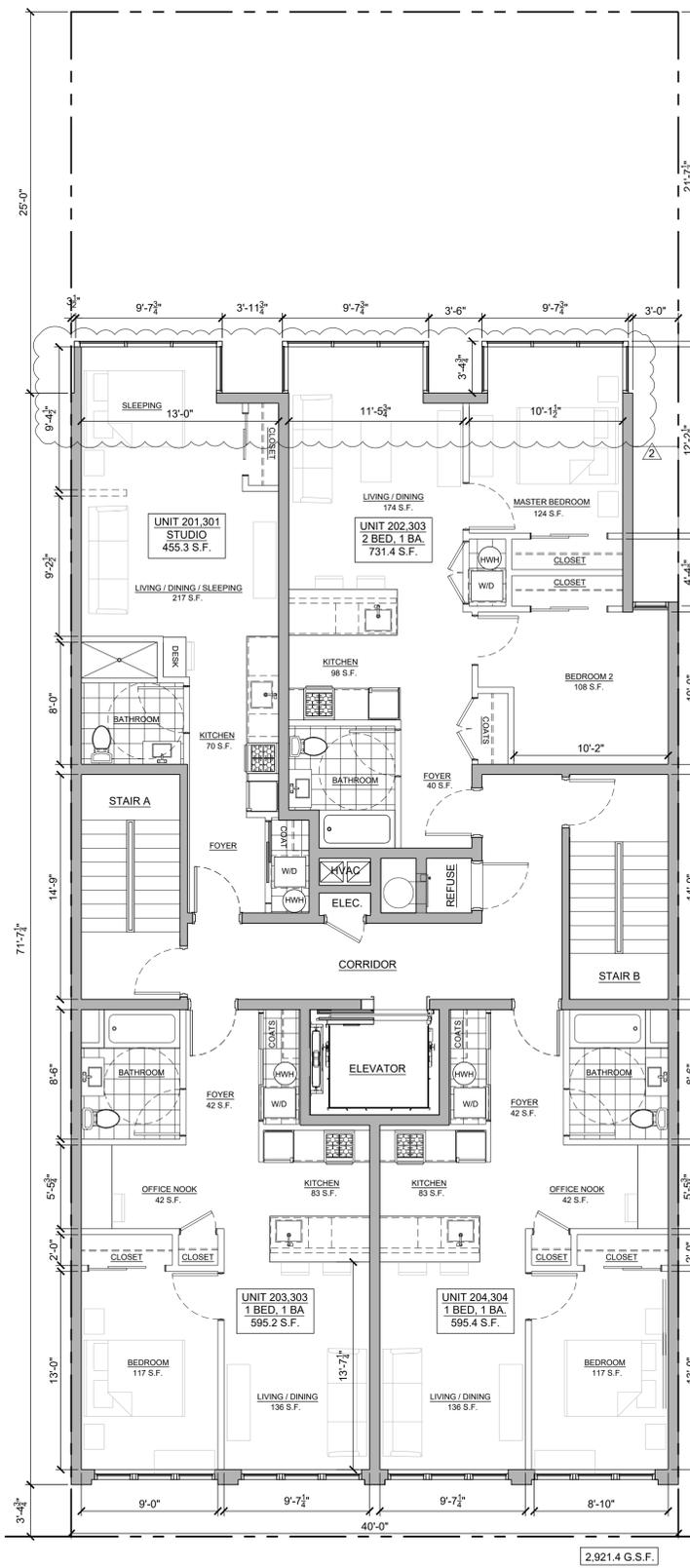
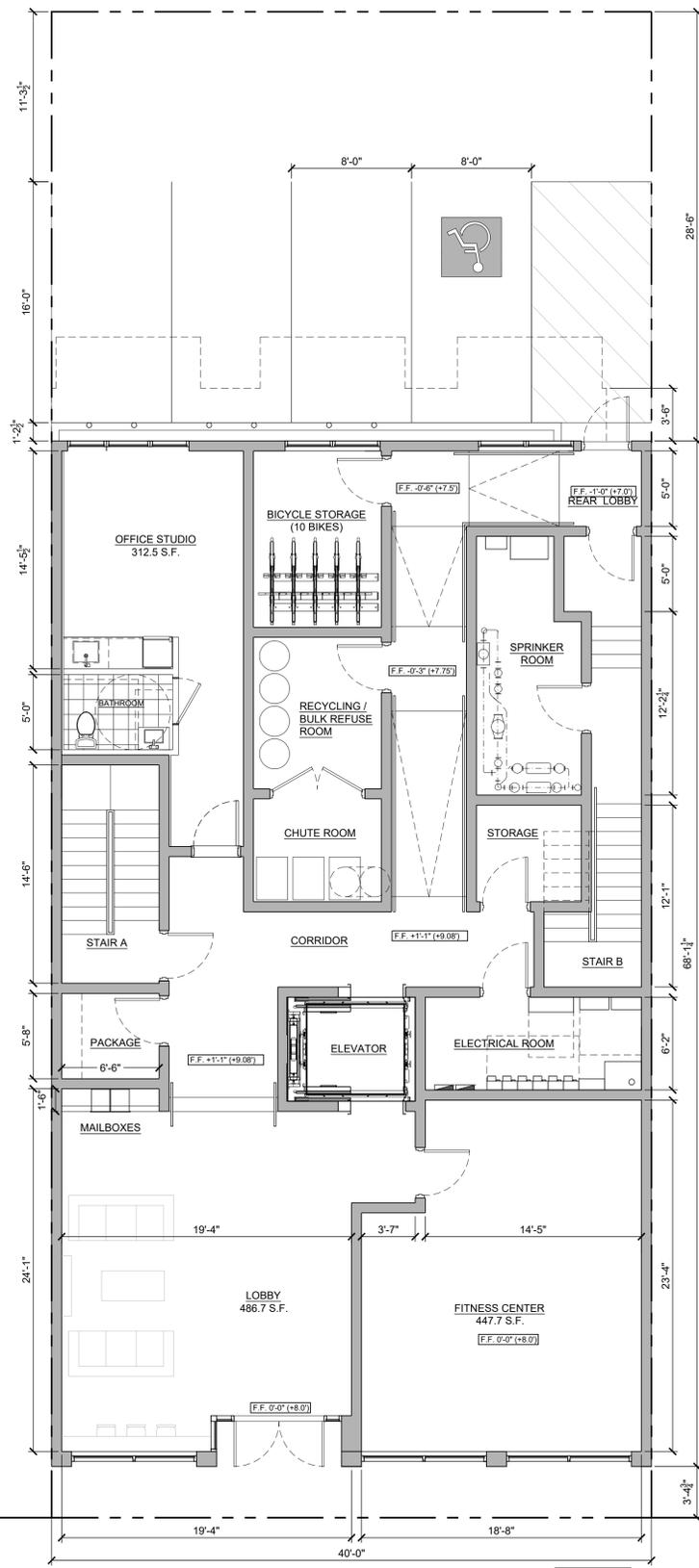
SCALE: AS SHOWN

$$w = y/12$$

$$h_1 = w/12$$

$$z = (h-h_1)/24 \text{ or } (h+h_1)/12$$

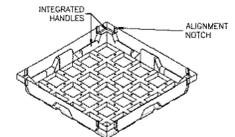
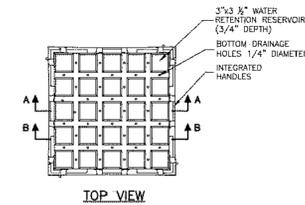
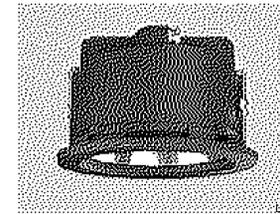




EXTERIOR LIGHT FIXTURE SCHEDULE

| SYMBOL | MANUF. / MODEL   | TYPE        | WATTAGE  | LAMP                    | FINISH | NOTES  |
|--------|------------------|-------------|----------|-------------------------|--------|--|
| L1     | HUBBARDTON FORGE | WALL SCONCE | 50W MAX  | MR-16 REFLECTOR         | BLACK  | 307861-SKT-10-GG0189 - COLOR COASTAL BLACK                   |
| L2     | BEGA -24817-K3   | RECESSED DL | 8.3W LED | 1194 LUMENS, 3000K, 21" | BLACK  | PROVIDE AT FRONT BALCONIES AND BLDG. ENTRY AND AT BIKE STOR. |

FIXTURE FEATURES REFLECTORS TO PREVENT GLARE TO ADJACENT PROPERTIES AND TOWARDS SKY.



SYSTEM TYPE: EXTENSIVE  
MANUFACTURER: GREENGRID  
PRODUCT #: G4 MODULE  
SIZE: 2'-0" X 2'-0" X 0'-4 1/2"  
WEIGHT: 30 LBS  
VEGETATION: SUCCULENT GROUND COVERS, PERENNIALS AND NATIVE GRASSES. CUSTOM VEGETATION BLEND DESIGNED BY MANUFACTURER DURING CONSTRUCTION

3 GREEN ROOF SYSTEM

SCALE: NOT TO SCALE



PEDESTAL PAVERS

TYPE: IPE WOOD TILES  
MANUFACTURER: BISON  
PRODUCT #: WT-FSC-100%-IPE-24 WITH VERSADJUST / SCREWJACK PEDESTAL SYSTEM  
DIMENSIONS: 23.875" X 23.875" X 1.69"  
WEIGHT: 24 LBS  
WEIGHT PSF: 6 PSF  
COLOR: BROWN

4 6TH FLOOR ROOF DECK PEDESTAL PAVERS

SCALE: NOT TO SCALE

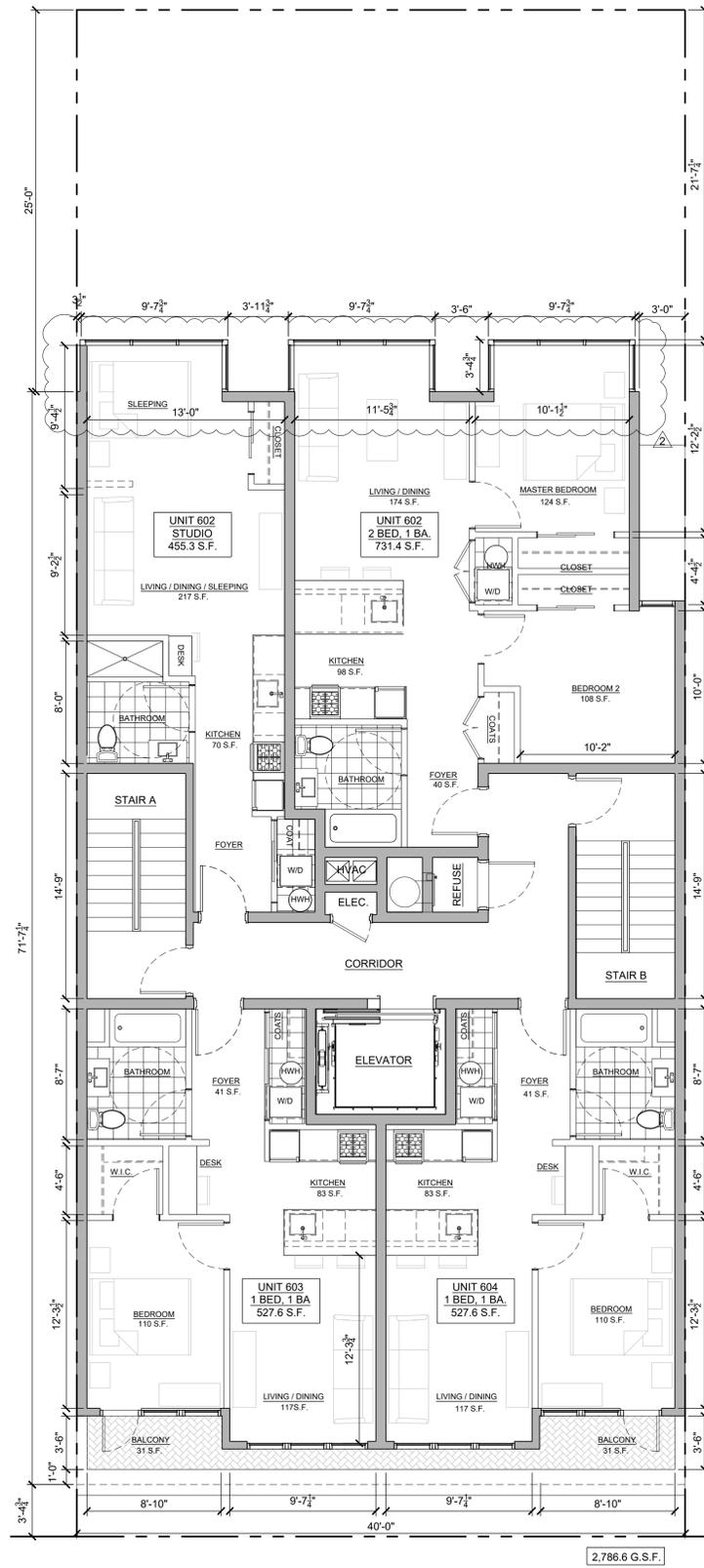


BALCONY PAVERS

TYPE: INTERLOCKING COMPOSITE ROOF PAVERS  
MANUFACTURER: AZEK  
PRODUCT #: N/A  
DIMENSIONS: 16"X16" GRID WITH 8"X8", 4"X8" OR 4" X4" X 1.75"TH. PAVERS  
WEIGHT PSF: 16.1 POUNDS  
COLOR: GRAY - WATERWHEEL - SEL. BY OWNER

5 5TH FLOOR ROOF AND BALCONY PAVERS

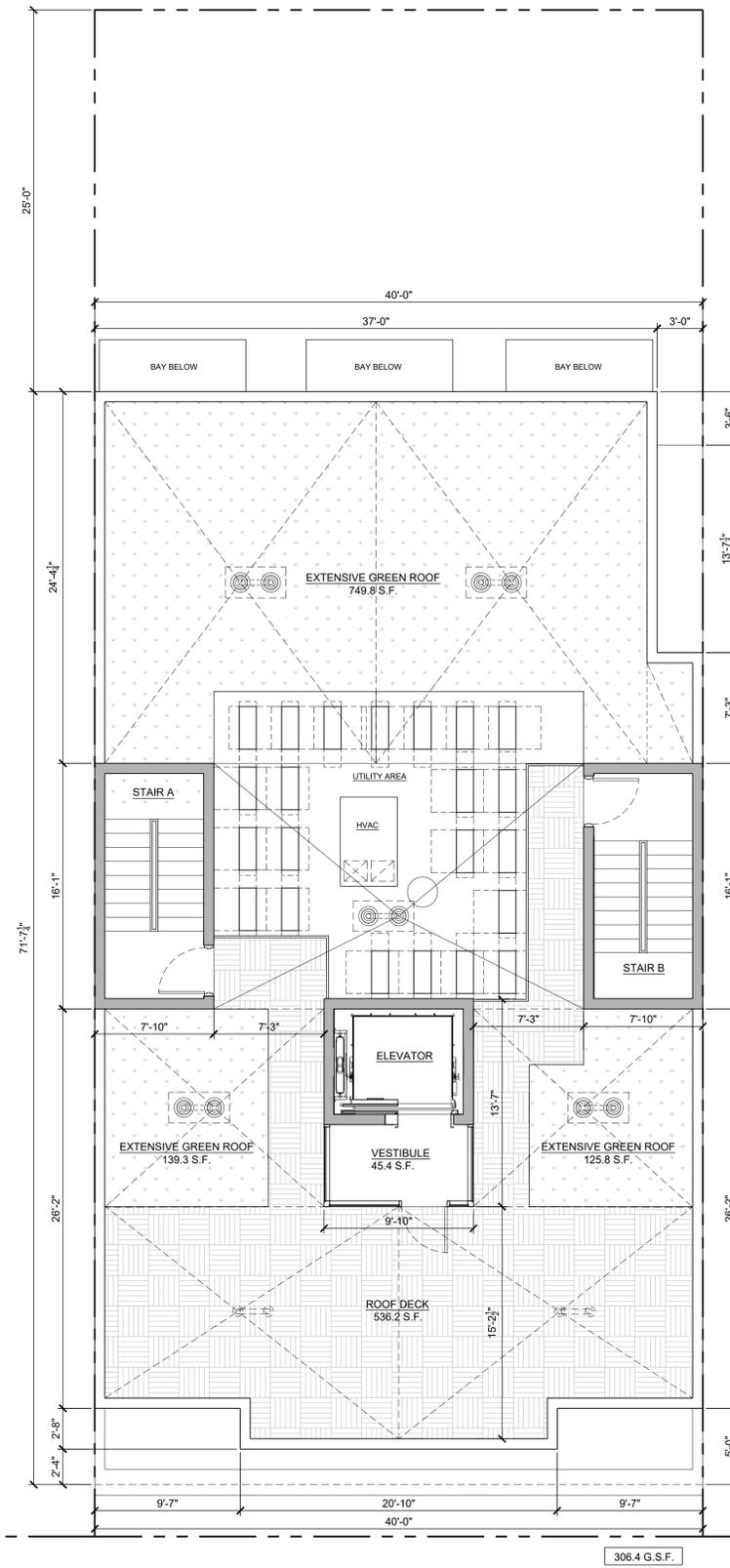
SCALE: NOT TO SCALE



1 SIXTH FLOOR PLAN

SCALE: 3/16" = 1'-0"

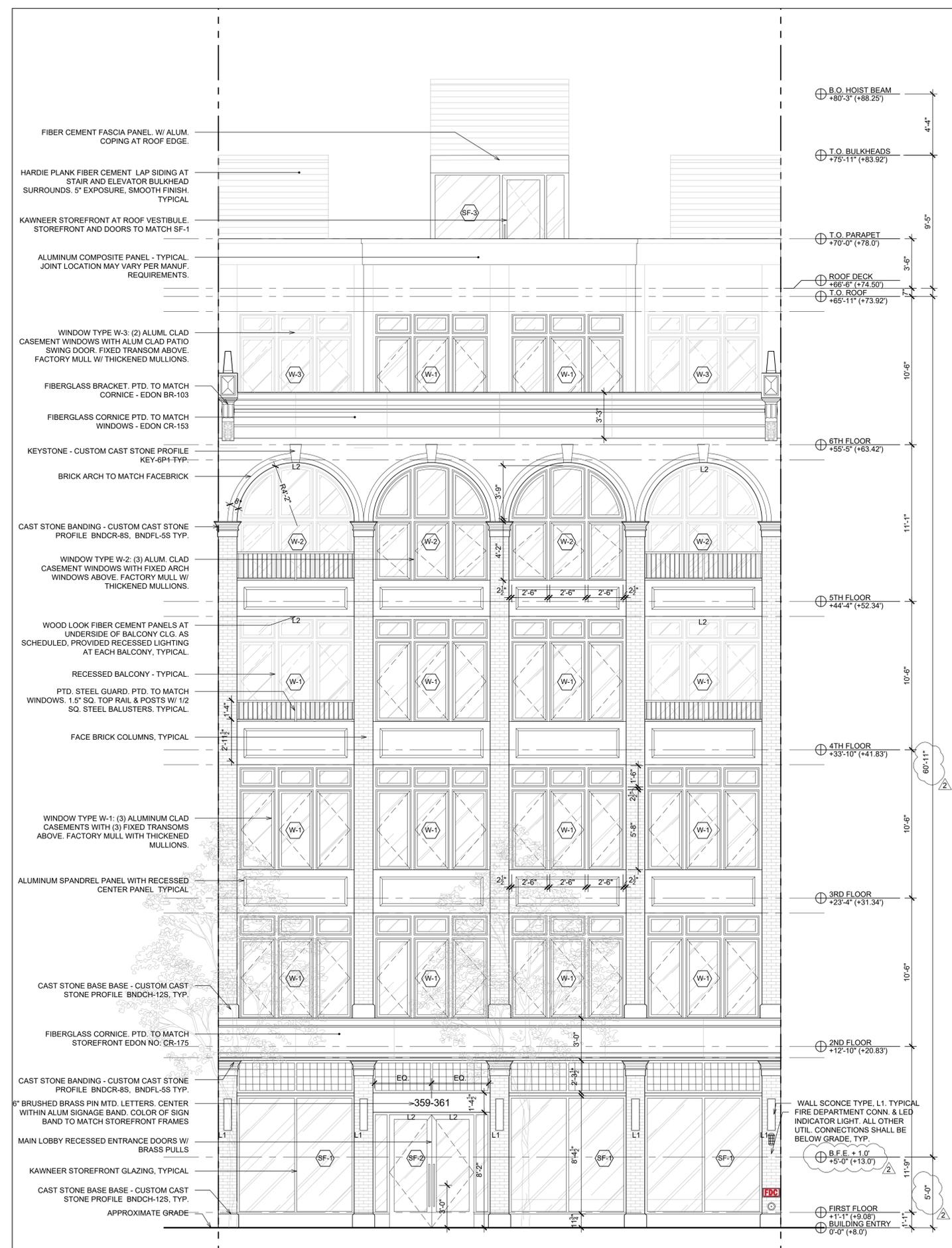
2,786.6 G.S.F.



2 ROOF PLAN

SCALE: 3/16" = 1'-0"

306.4 G.S.F.



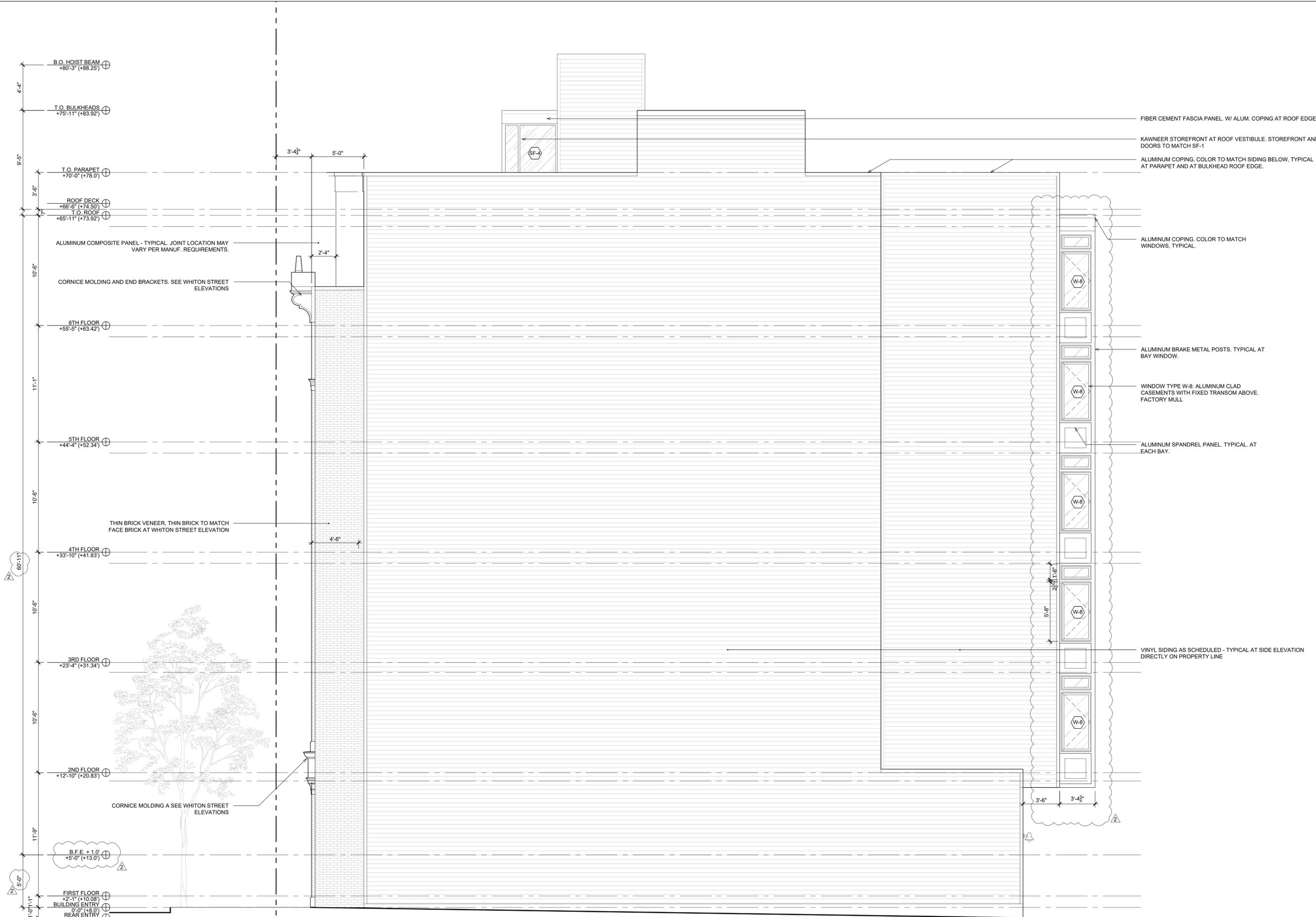
1 WHITON STREET (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



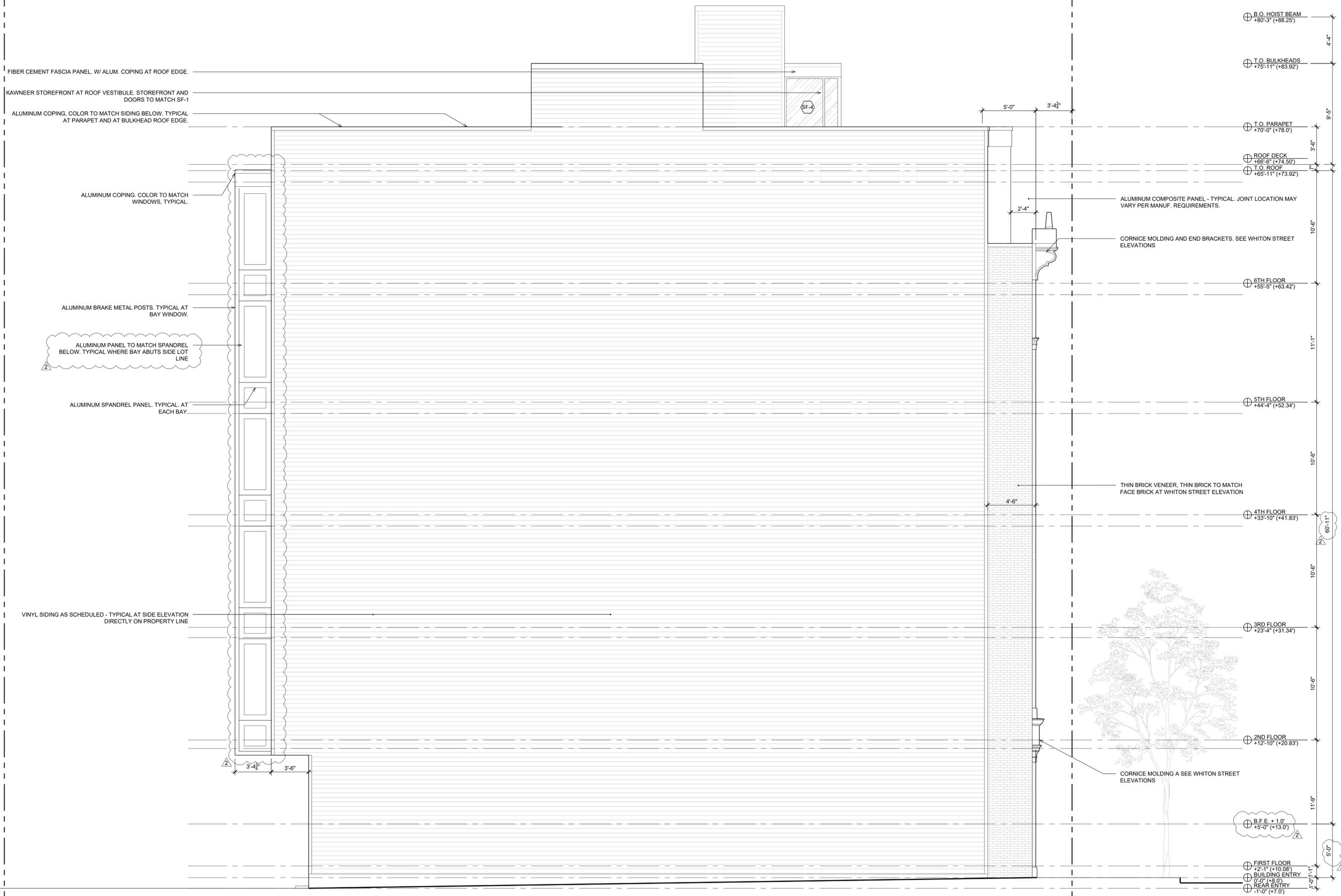
2 WEST (REAR) ELEVATION

SCALE: 1/4" = 1'-0"



**1 NORTH (SIDE) ELEVATION**

SCALE: 1/4" = 1'-0"



**1 SOUTH (SIDE) ELEVATION**  
SCALE: 1/4" = 1'-0"



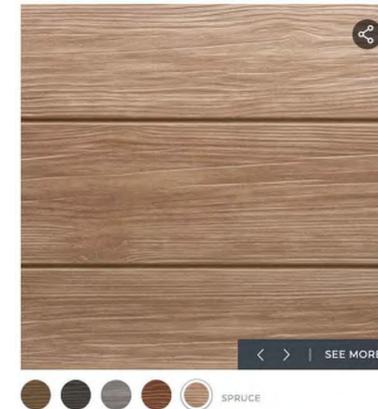
1 WHITON STREET RENDERING  
SCALE: NOT TO SCALE



**BRICK** - GLEN-GERY 1-HB OR ARCHITECT APPROVED EQUIVALENT COLOR/TEXTURE, MODULAR AND THIN BRICK SIZING. GLEN-GERY G302 MORTAR OR ARCH. APPROVED EQUIVALENT



**CAST STONE** - CUSTOM CAST STONE - SEE ELEVATIONS FOR STONE PROFILES. COLOR: NATURAL OR NATURAL WHITE - SMOOTH FINISH.



**BALCONY SOFFIT PANELS**: NICHIIHA VINTAGEWOOD FIBER CEMENT SIDING, CEDAR FINISH. AWP3030.



**LAP SIDING** - SIDE AND REAR ELEVATIONS. HARDIEPLANK - COLOR: LIGHT MIST. 5" EXPOSURE. TYPICAL. 3.5"x0.75" TH. WINDOW / DOOR CASING AND CORNER TRIM TO MATCH SIDING. ALUM. COPING TO MATCH SIDING COLOR. SEE ELEVATIONS



**ALUMINUM ACM PANELS**: CENTRIA, REYNOBOND OR ALUCOBOND COMPOSITE PANEL. MANUF. TO BE SELECTED PRIOR TO CONSTRUCTION. SEE ELEVATIONS FOR PANEL SIZING AND JOINT LOCATIONS (MAY VARY PER MANUFACTURER'S REQUIREMENTS). COLOR TO MATCH CENTRIA RICH BLACK FOR SPANDREL PANELS. COORDINATE WITH WINDOW / STOREFRONT COLORS. CENTRIA STEEL GRAY FOR SIXTH FLOOR FACADE PANELS.

|                     |                    |   |                     |                    |
|---------------------|--------------------|---|---------------------|--------------------|
| 178 Regal White     | 996 Crushed Ice    | 983 CR White *                            | 995 Cambridge White | 100 Bone White     |
| 994 Colonial White  | 502 Maple          | 992 Len Ivory *                           | 103 Seaside         | 100 Greenish *     |
| 142 Sunny Ridge *   | 990 Light Beamed * | 991 Pebble                                | 997 Prim Yellow     | 5444 Apple Copper  |
| 977 Moss            | 993 Cypress Olive  | 979 Harbor Green                          | 983 Evergreen       | 9922 Harford Green |
| 977 Side Blue       | 999 Arabian Blue   | 974 Teal Blue                             | 9928 Cherokee Blue  | 200 Deep Blue Sea  |
| 9800 High Motion    | 9923 Granite       | 971 Chromium Grey                         |                     |                    |
| 997 Light Grey *    | 9978 Dove Grey *   | 999 Poshion Grey                          |                     |                    |
| 91 Steel Grey *     | 9922 Steel Grey    | 9921 Charcoal Grey                        |                     |                    |
| 994 Midnight Bronze | 104 Dark Bronze    | 9995 Rich Black                           |                     |                    |
| 995 Side Brown      | 1042 Henna         | 9927 Henna                                |                     |                    |
| 996 Colonial Red    | 999 Aspen Gold     | 999 Polyester Artic Ice Interior Use Only |                     |                    |



**VINYL SIDING**: (ELEVATIONS ABUTTING SIDE PROP. LN. ONLY): GEORGIA PACIFIC - COMPASS FINYL SIDING PANEL. 8"x150" DOUBLE 4 TRADITIONAL PROFILE. COLOR: IRON OR ALTERNATE MANUFACTURER'S EQUIVALENT



**STOREFRONTS**: KAWNEER TRIFAB VERSAGLAGE 451T. COLOR: BLACK

|                |                  |                 |
|----------------|------------------|-----------------|
| BLACK          | SANDSTONE        | ANTIQUE GREEN   |
| BOYDENBERRY*   | ANTIQUE BRONZE   | DOVE GRAY       |
| MILITARY SLIP* | BOHEM WHITE      | CLASSIC BRONZE  |
| CHARCOAL       | CLARET RED       | DEEP BLUE       |
| DARK GREEN     | MOONLIGHT BLUE   | INTENSIVE GREEN |
| LIGHT GRAY*    | ROSET DARK GRAY* | REDWOOD         |
| BRICK RED      | SHADE GRAY       | DARK BIRCH      |
| MEDIUM BLUE    | SHADE GRAY       | MEDIUM BRONZE   |
| MILK WHITE     | LIGHT GRAY       | SEA WOLF        |
| ATLANTIC GRAY  | SEPA BROWN*      |                 |
| ROSE           | JAVA BROWN       | SUMMER YELLOW*  |

**NOTE**: ALL S.F. ENTRY DOORS, APARTMENT WINDOWS, PATIO DOORS, BALCONY RAILINGS AND BUILDING CORNICES AND BRACKETS TO MATCH STOREFRONT ALUMINUM. SEE ELEVATIONS

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William J Weckenmann, RA

NJ LIC.: 21AIO2029300  
NY LIC.: 038403

PROJECT NO.: 20043

PROPOSED  
APARTMENT BUILDING  
369 - 371 WHITON STREET  
JERSEY CITY  
HUDSON COUNTY, NJ  
BLOCK: 19001 | LOT: 8

ISSUE:  
DATE: 02.12.21  
ISSUED FOR: PLANNING SUBMISSION

REVISION:  
No.: 01  
DATE: 08.20.21  
NOTES: PLANNING COMMENTS

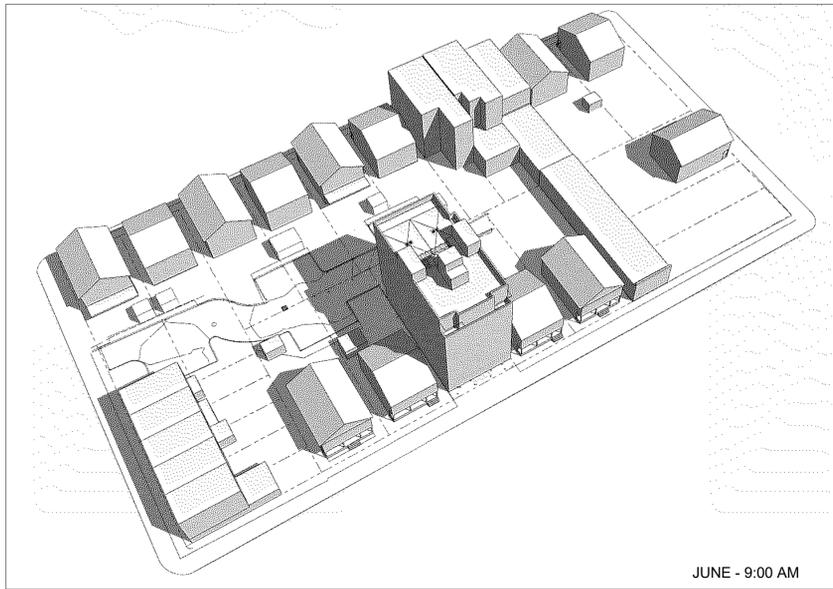
CONSULTANTS:  
STONEFIELD ENGINEERING & DESIGN  
92 PARK AVE, RUTHERFORD, NJ 07070  
201.340.4468

CONCEPTUAL RENDERING  
AND MATERIAL  
SELECTIONS

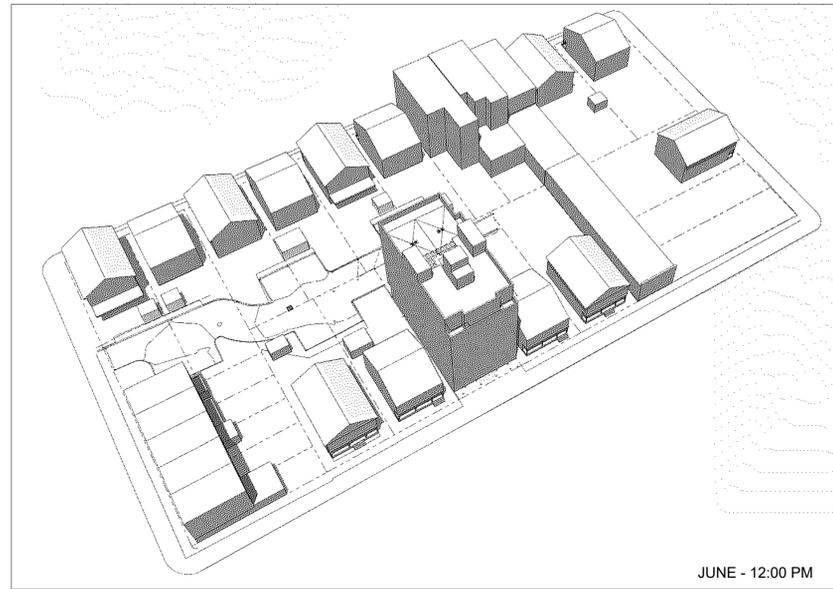
SHEET NUMBER:

A-105

SCALE: AS SHOWN



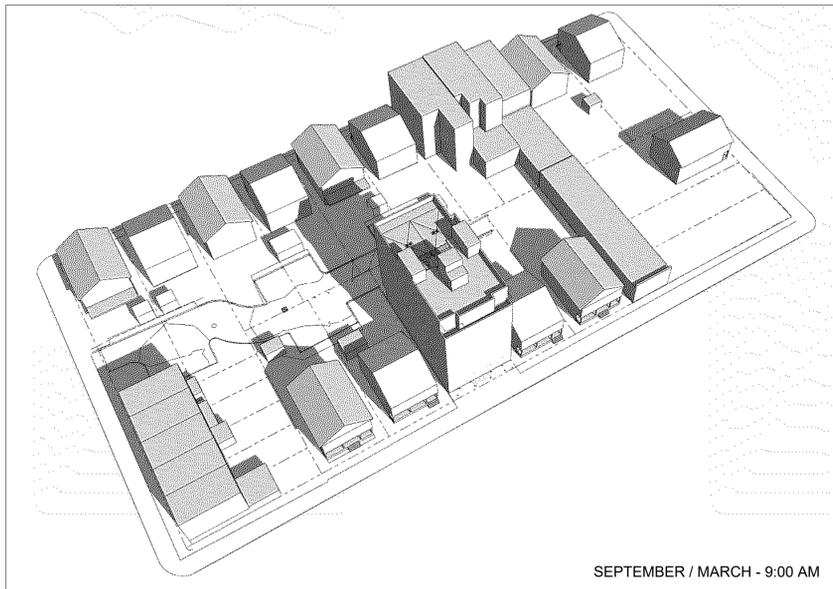
JUNE - 9:00 AM



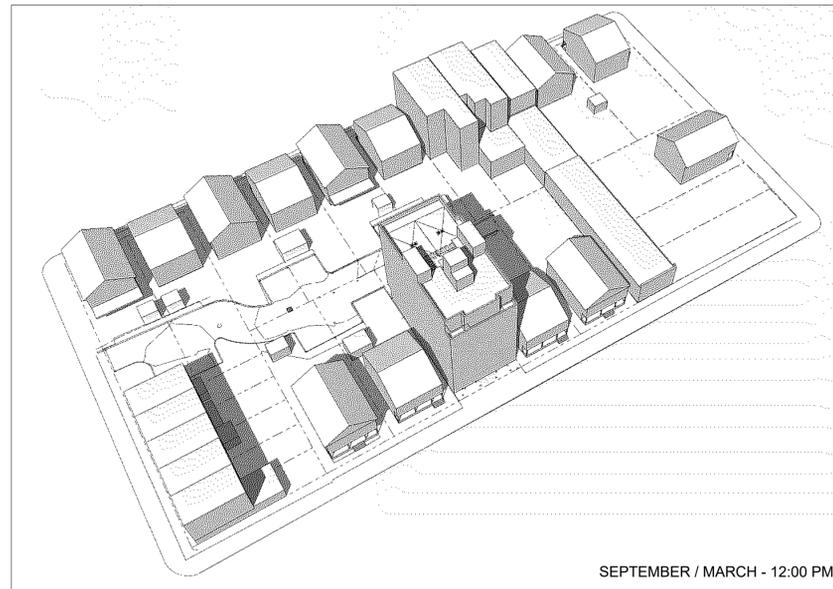
JUNE - 12:00 PM



JUNE - 4:00 PM



SEPTEMBER / MARCH - 9:00 AM



SEPTEMBER / MARCH - 12:00 PM



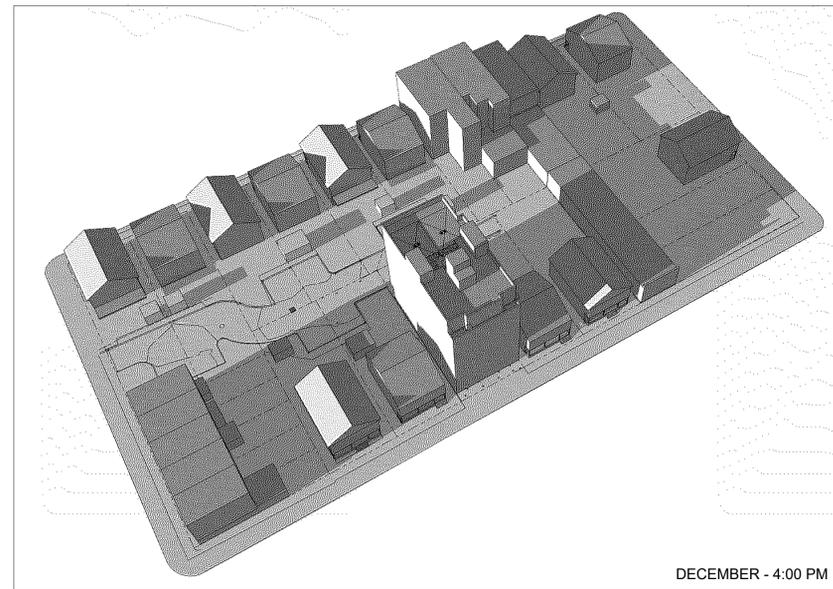
SEPTEMBER / MARCH - 4:00 PM



DECEMBER - 9:00 AM



DECEMBER - 12:00 PM



DECEMBER - 4:00 PM

**Weckenmann  
Architecture, LLC**

PO BOX 1024  
Maplewood, NJ 07040  
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William J Weckenmann, RA

NJ LIC.: 21AIO2029300  
NY LIC.: 038403

PROJECT NO.: 20043

**PROPOSED  
APARTMENT BUILDING**

369 - 371 WHITON STREET  
JERSEY CITY  
HUDSON COUNTY, NJ  
BLOCK: 19001 | LOT: 8

**ISSUE::**

| DATE:    | ISSUED FOR:         |
|----------|---------------------|
| 02.12.21 | PLANNING SUBMISSION |
|          |                     |
|          |                     |
|          |                     |

**REVISION:**

| No.: | DATE:    | NOTES:            |
|------|----------|-------------------|
| 01   | 08.20.21 | PLANNING COMMENTS |
| 02   | 10.25.21 | PLANNING COMMENTS |
|      |          |                   |
|      |          |                   |

**CONSULTANTS:**

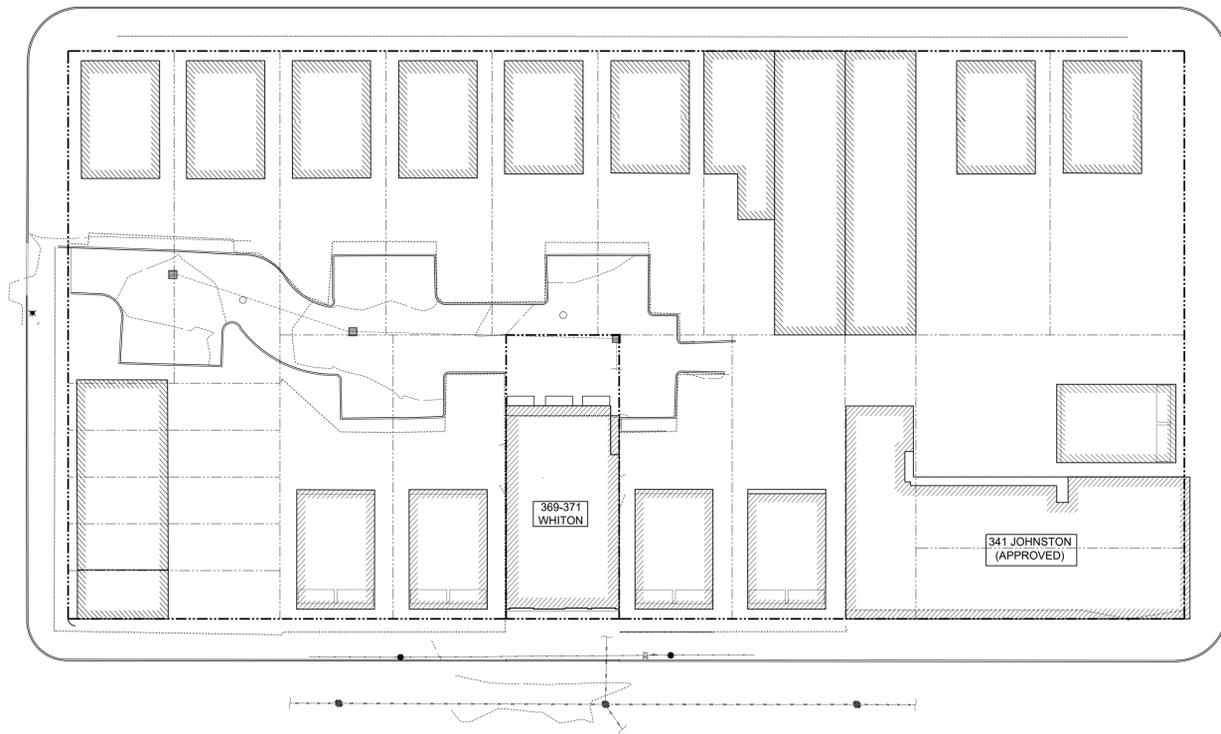
CIVIL ENGINEERING:  
STONEFIELD ENGINEERING & DESIGN  
92 PARK AVE., RUTHERFORD, NJ 07070  
201.340.4468

**SUN STUDIES**

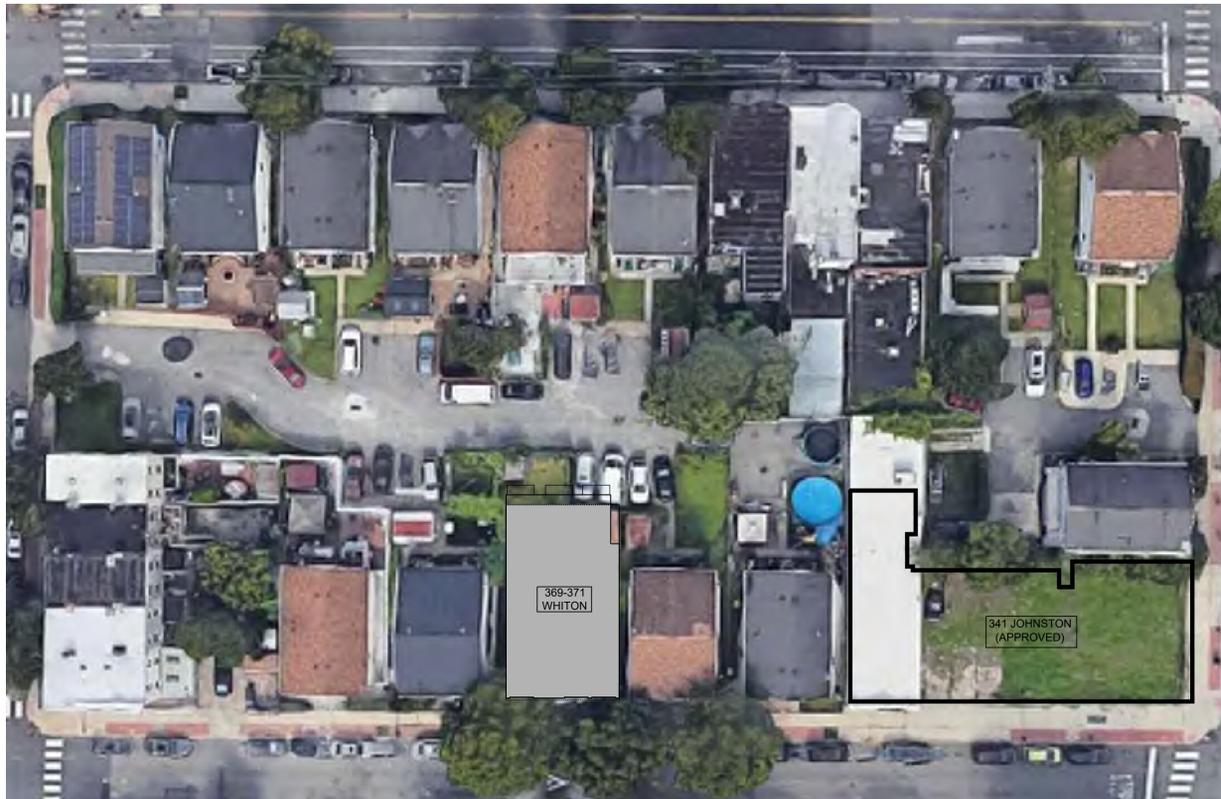
**SHEET NUMBER:**

**A-106**

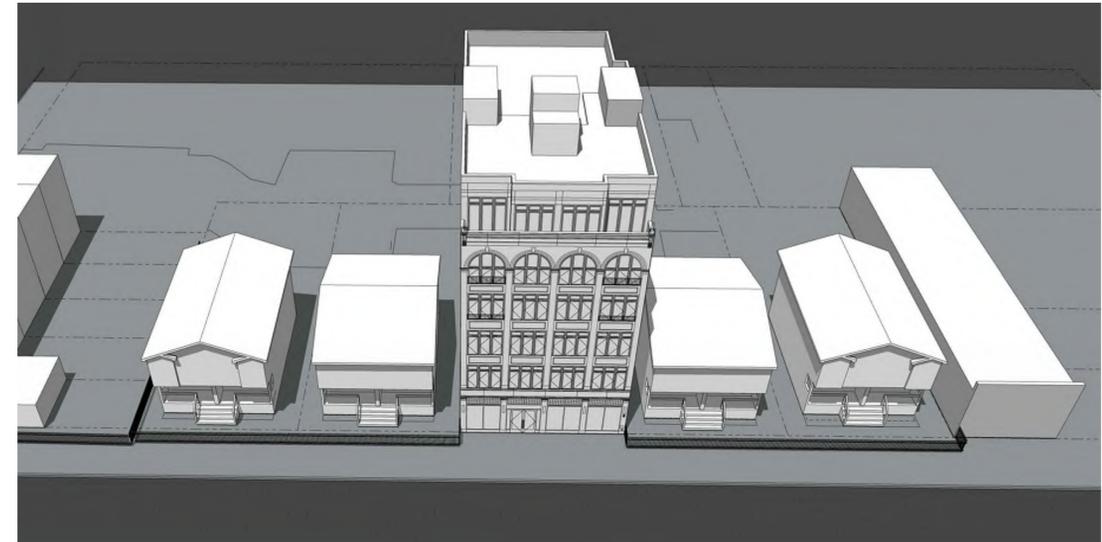
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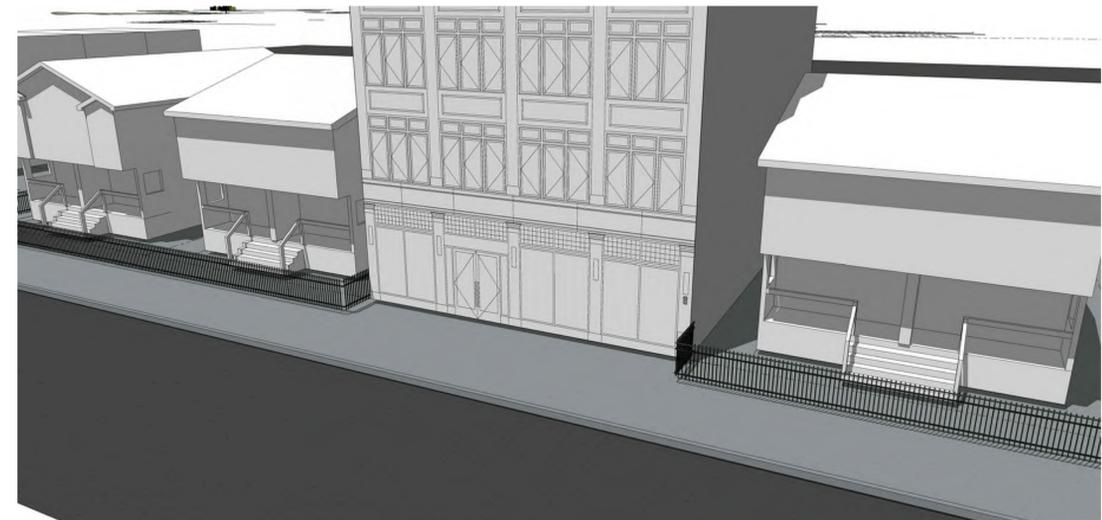
1 BLOCK PLAN - PREDOMINANT FRONT YARD  
SCALE: 1" = 30'-0"



2 AERIAL VIEW OVERLAY - PREDOMINANT FRONT YARD  
SCALE: 1" = 30'-0"



OVERHEAD VIEW OF FRONT YARDS - 0 FT. FRONT YARD SETBACK



OBLIQUE VIEW OF FRONT YARDS FROM WHITON STREET - 0 FT. FRONT YARD SETBACK



STREET VIEW OF PROPOSED BUILDING FROM WHITON STREET - 0 FT. FRONT YARD SETBACK

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STONEFIELD ENGINEERING & DESIGN  
92 PARK AVE., RUTHERFORD, NJ 07070  
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BLOCK PLAN AND MASSING  
STUDIES

SHEET NUMBER:

A-107

SCALE: AS SHOWN