

SCHOOL SITE



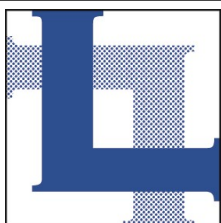
122-126 N. Pacific Coast Hwy, Redondo Beach
(corner of Vincent Street)

- * Three (3) buildings currently being used as preschool, education center & parish offices
- * Approximately 15,566 square feet of improvements situated on approximately 68,003 square feet of RBRH-2 (54,477 sf) & RBR-3 (13,526 sf) zoned land
- * Signalized intersection * Property backs to Central Court
- * Currently striped for 78 vehicles (5:1000)
- * Excellent main street (Pacific Coast Hwy) exposure & signage
- * Development opportunity available
- * Property tour & showing with acceptable offer (see attached photos)

\$13,850,000

Exclusively represented by PAUL P. LOCKER, CCIM, SIOR, PMC (DRE 01220314)
(Buyer to independently investigate all information contained herein)

FOR SALE



LOCKER
REALTY CORP.

818.956.8800

www.LockerRealtyCorp.com



Individual
Member



SIOR



PROPERTY MANAGEMENT CERTIFICATION

PROVIDING SERVICE WITH EXPERTISE

601 E. GLENOAKS BLVD., SUITE 200, GLENDALE, CA 91207-1736



7505 10
SHEET 1
SCALE 1" = 60'

1990

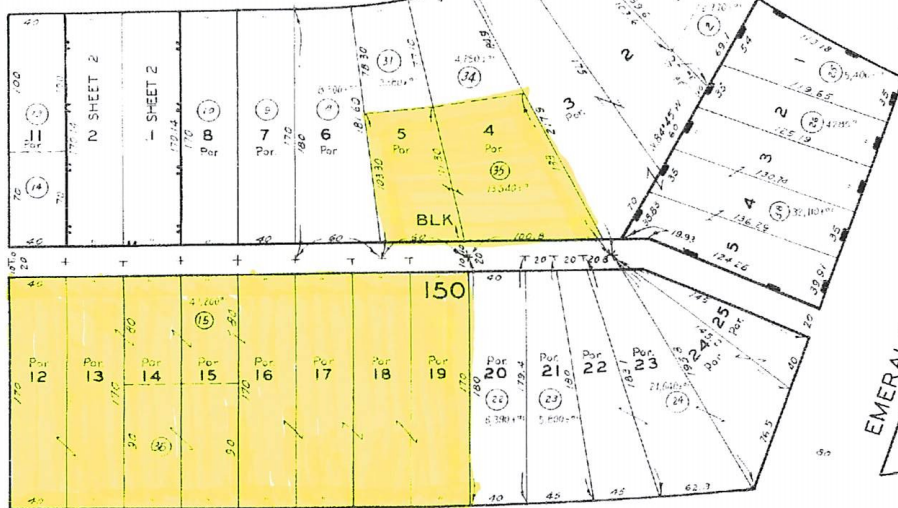
EL REDONDO

N. FRANCISCA

AVE.

VINCENT ST.

EMERALD ST.



CONDOMINIUM
PARCEL MAP
P.M. 210 - 13 - 14

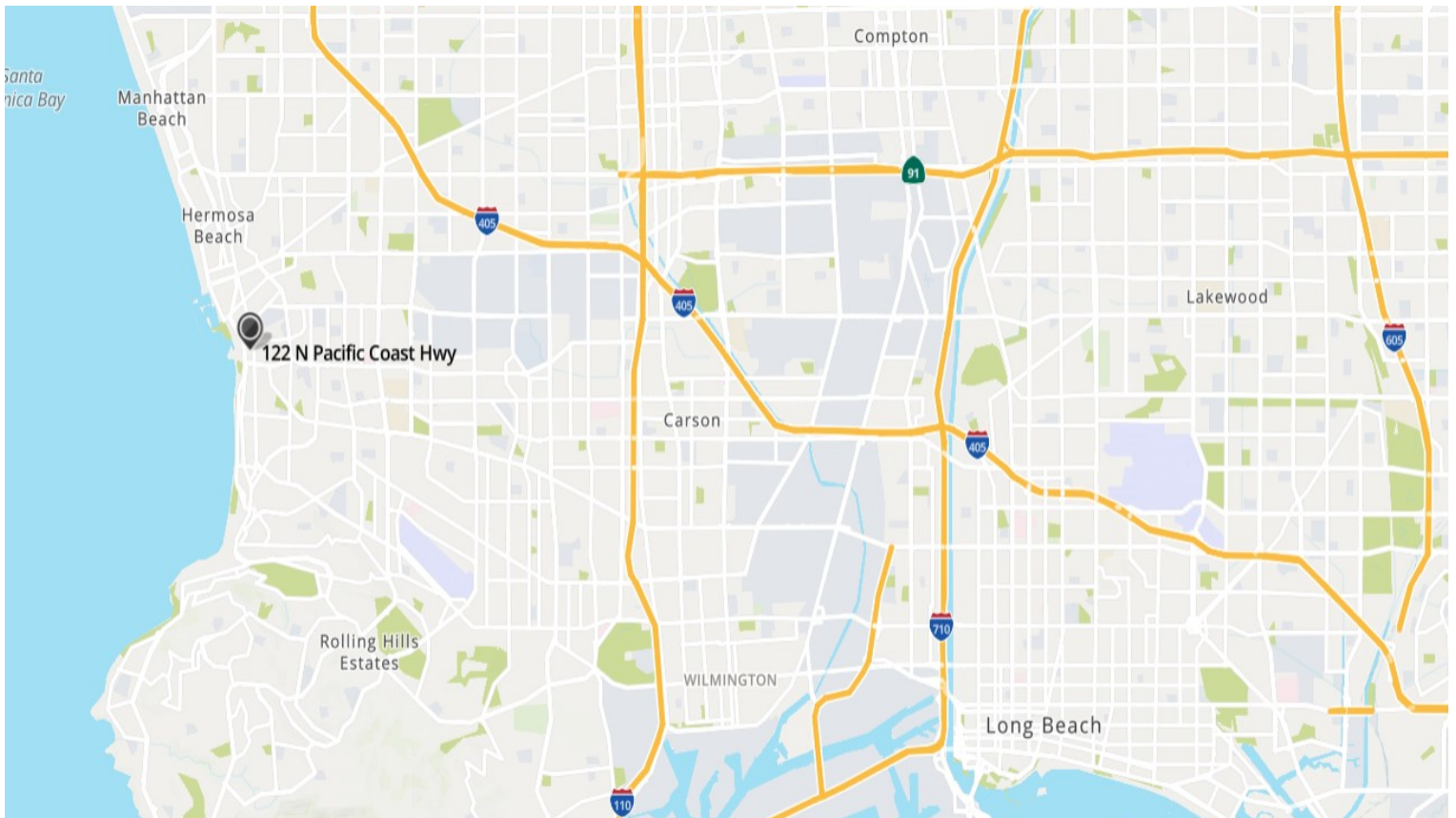
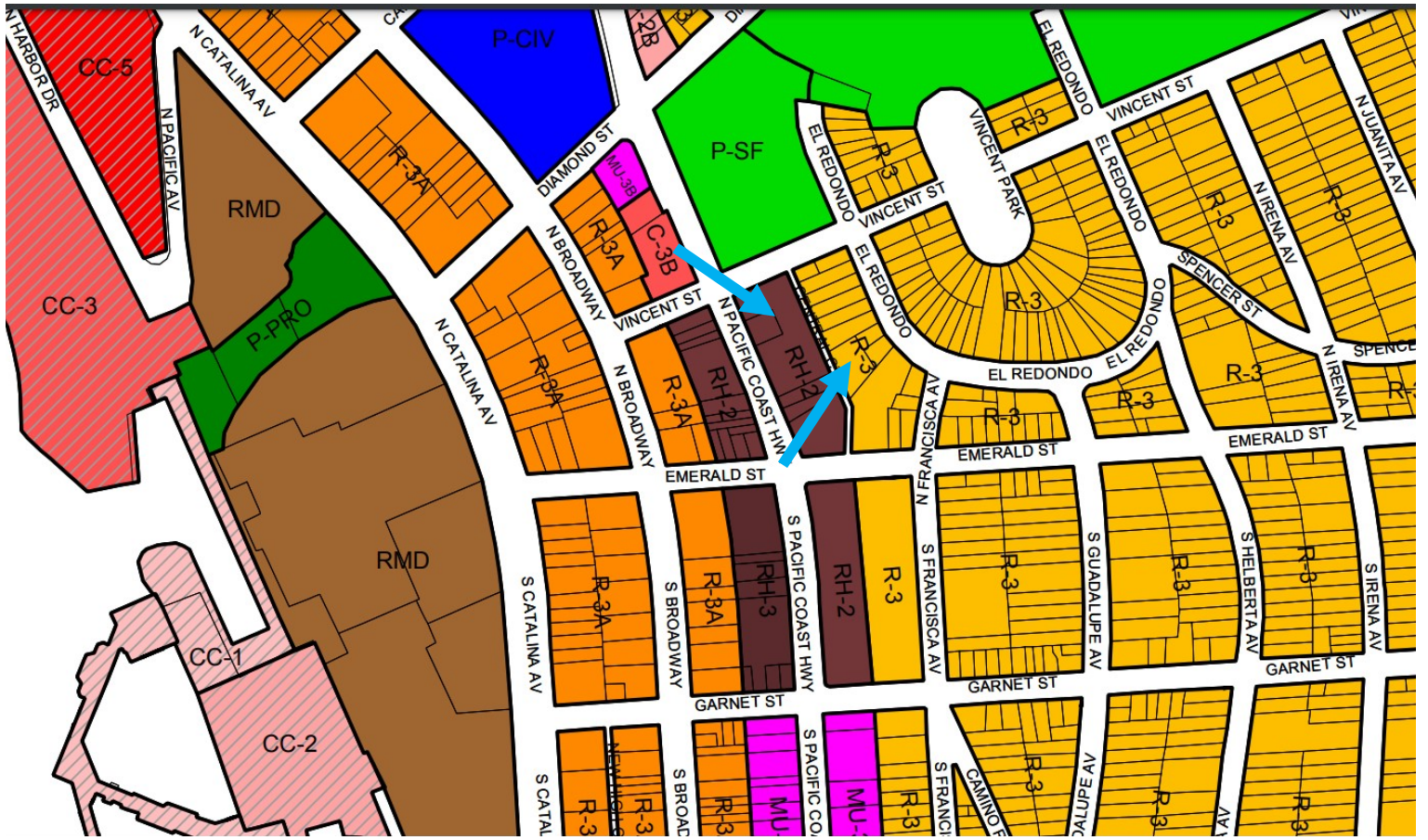
PACIFIC COAST HWY.
TOWNSITE OF REDONDO BEACH
M.R. 39-1-17

TRACT NO. 1383
M.B. 18-125

Reserved
6-18-58
3-23-59
5-7-59
4-30-60
8-10-64
6-11-65
8-20-65
4-21-66
3-24-67

CODE 8055
FOR PREV. ASSMT SEE 1722-10

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.







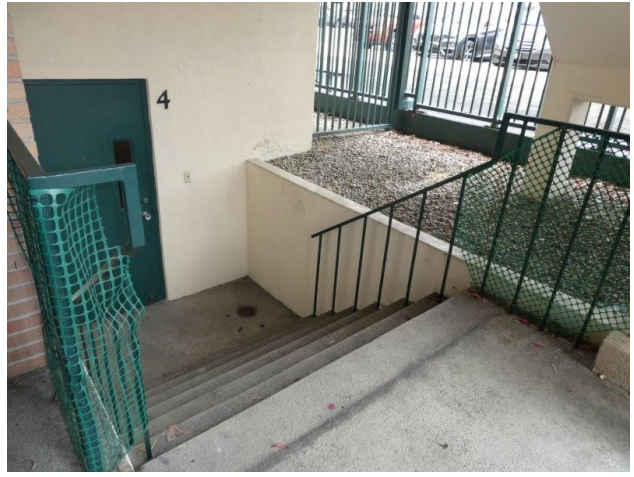
Education Center

4,290 square feet (approximate)
Two story structure with 2 large meeting rooms upstairs
& 2 large meeting rooms downstairs
Lounge and restroom upstairs and
Student restrooms downstairs
Year built—1953 (approximate)





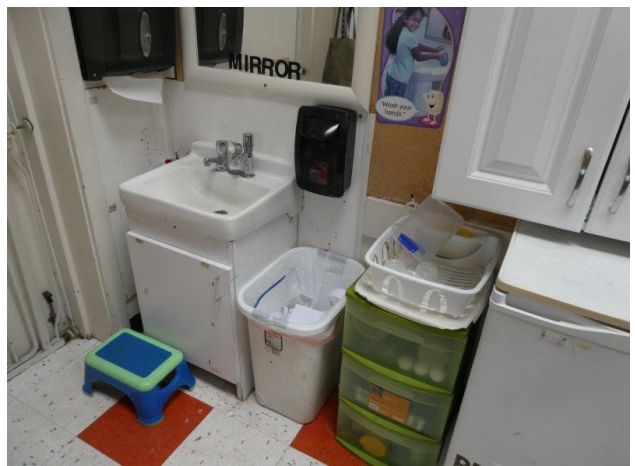


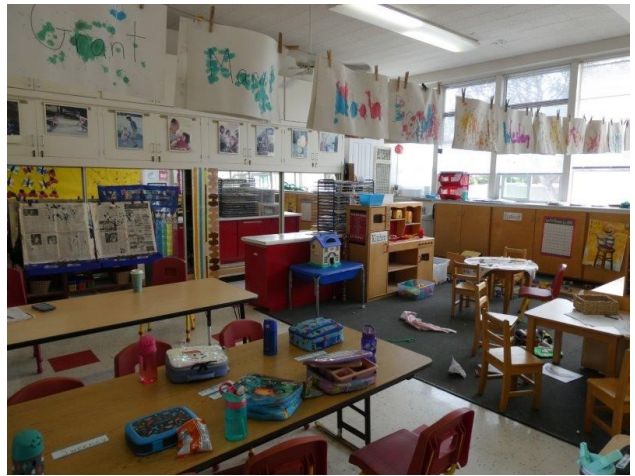


Preschool

6,024 square feet (approximate)
Approved for 50 children, plus staff
4 classrooms, reception and office, storage room,
Teachers' restroom and boys & girls student restrooms
Year built—1958 (approximate)



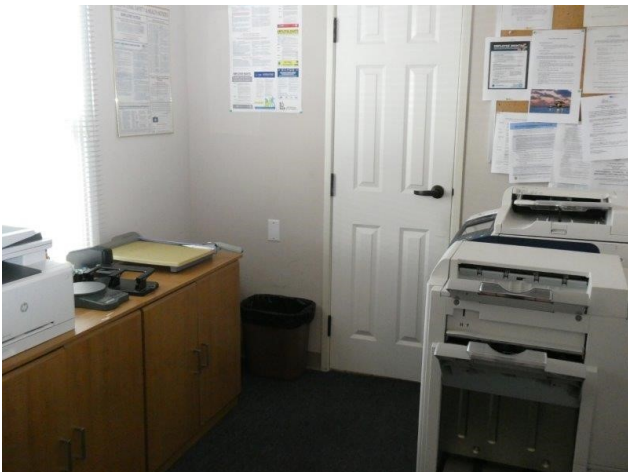
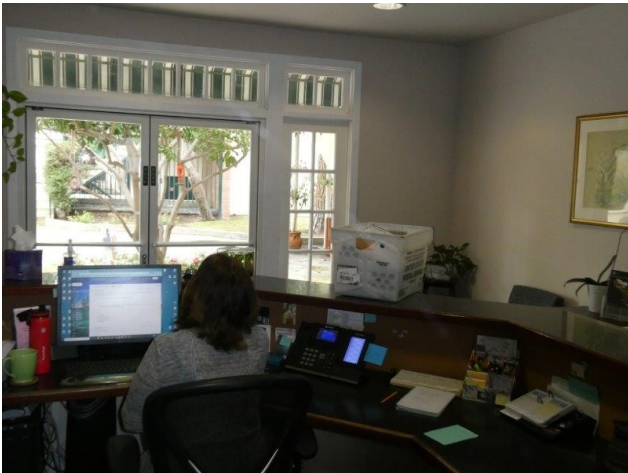


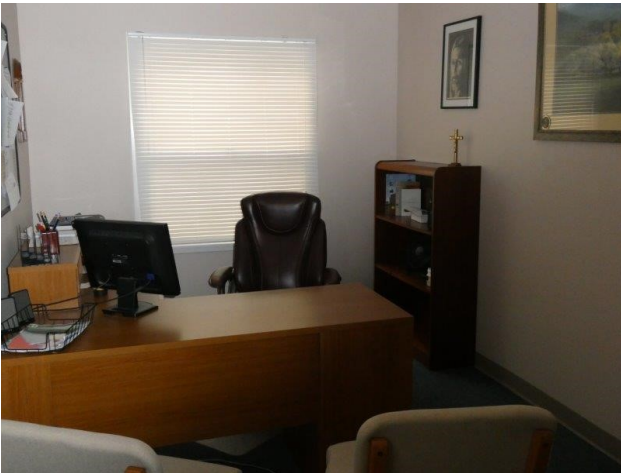




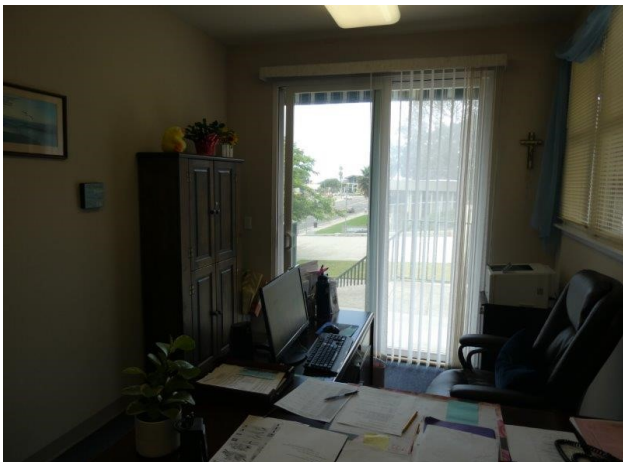
Parish Offices

5,252 square feet (approximate)
Two story office building, with 12+ offices,
Conference room, full kitchen, and multiple restrooms
Year built—1924/1933
Fully remodeled 1998 (approximate)



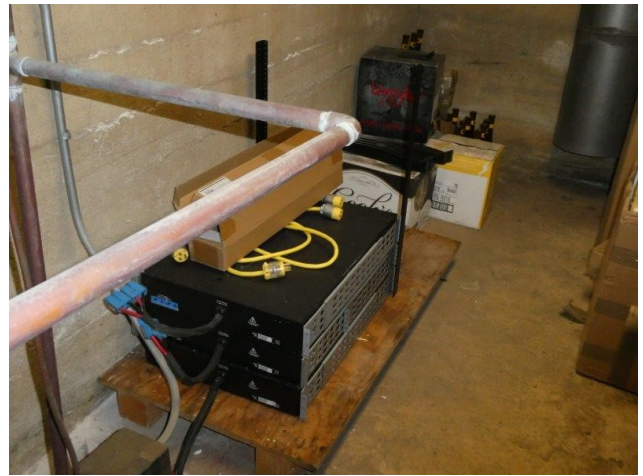
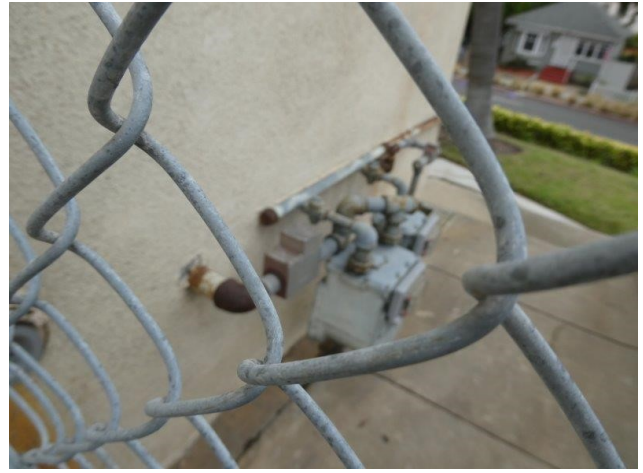






Miscellaneous Site Photos





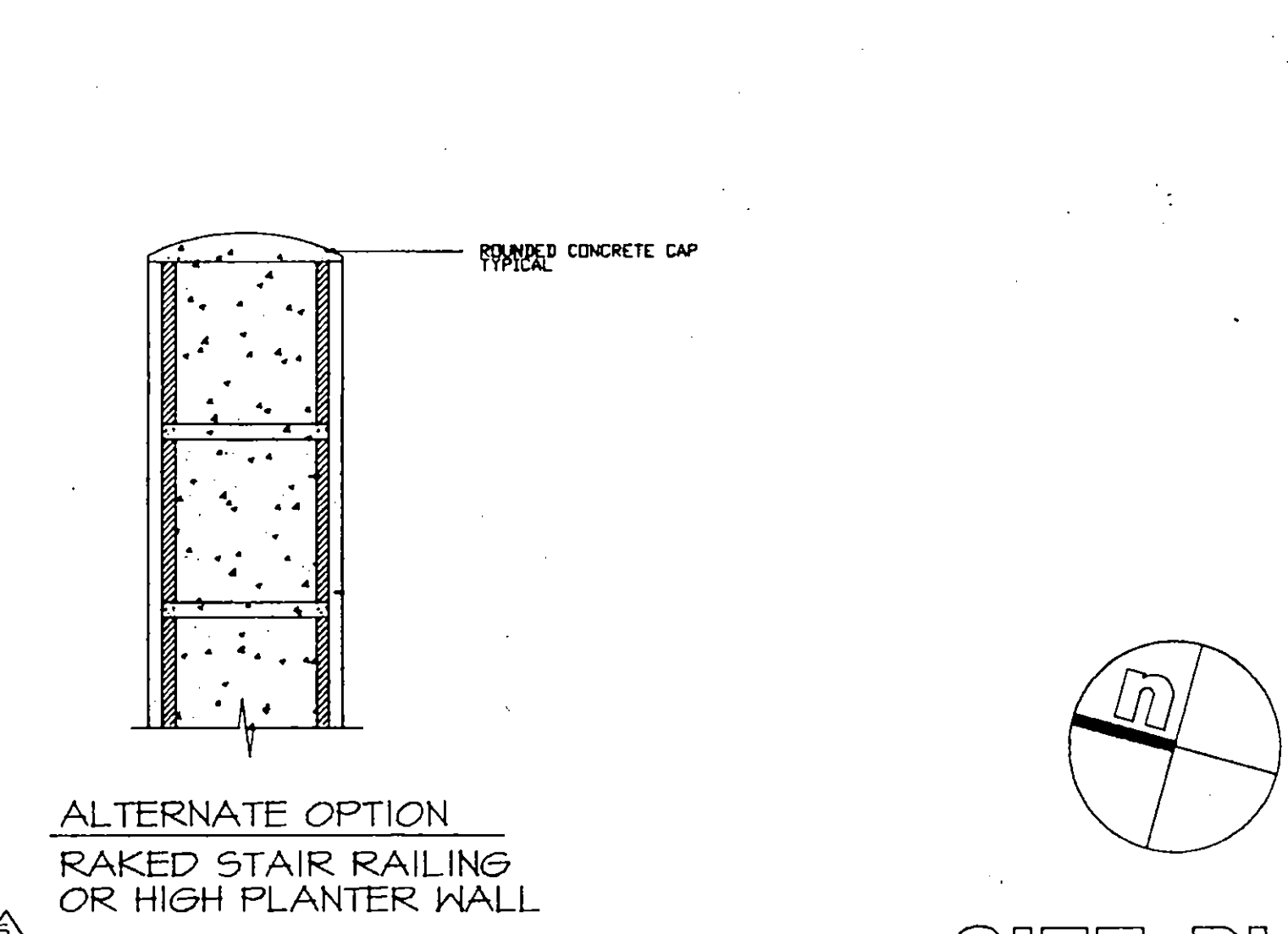
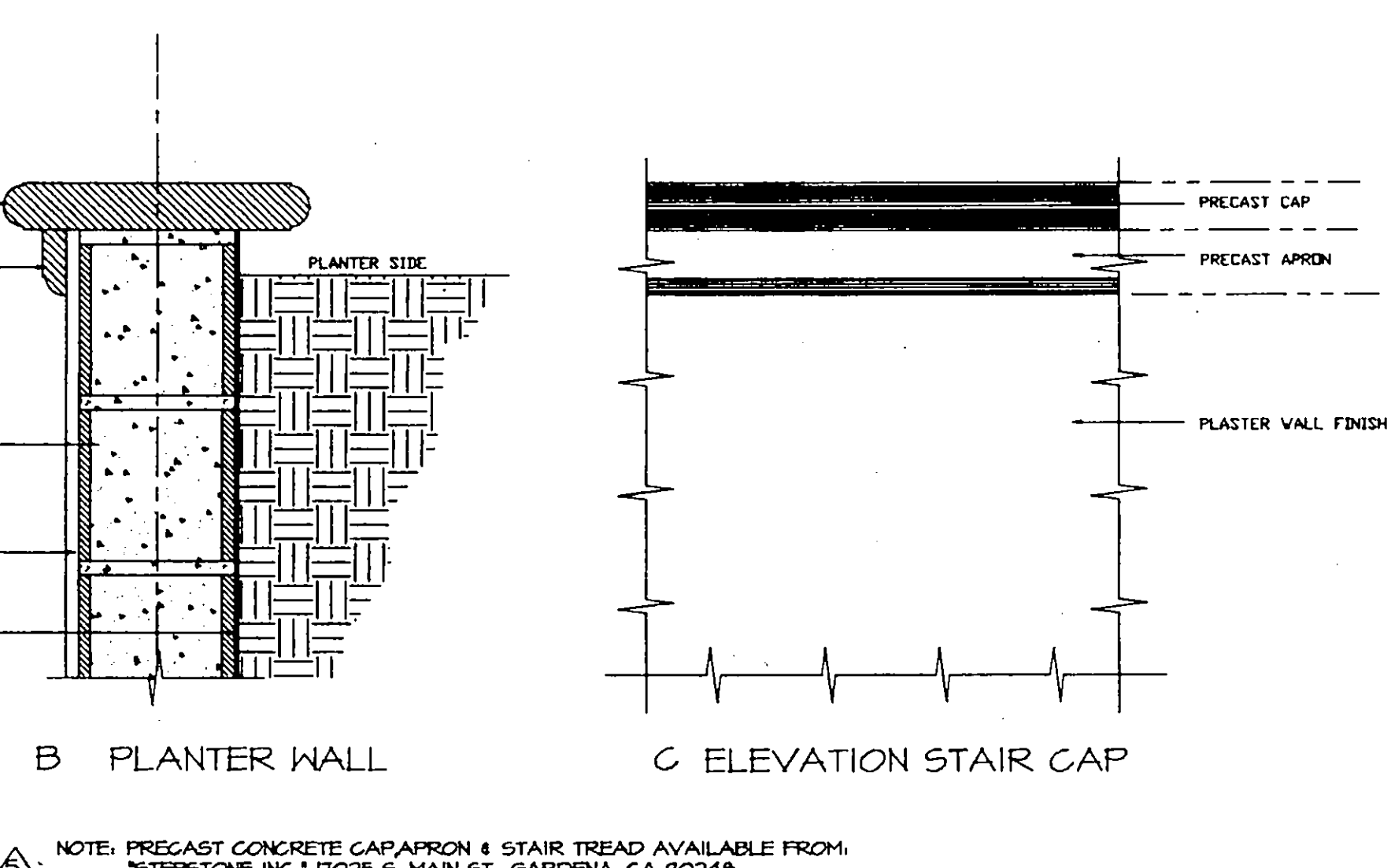
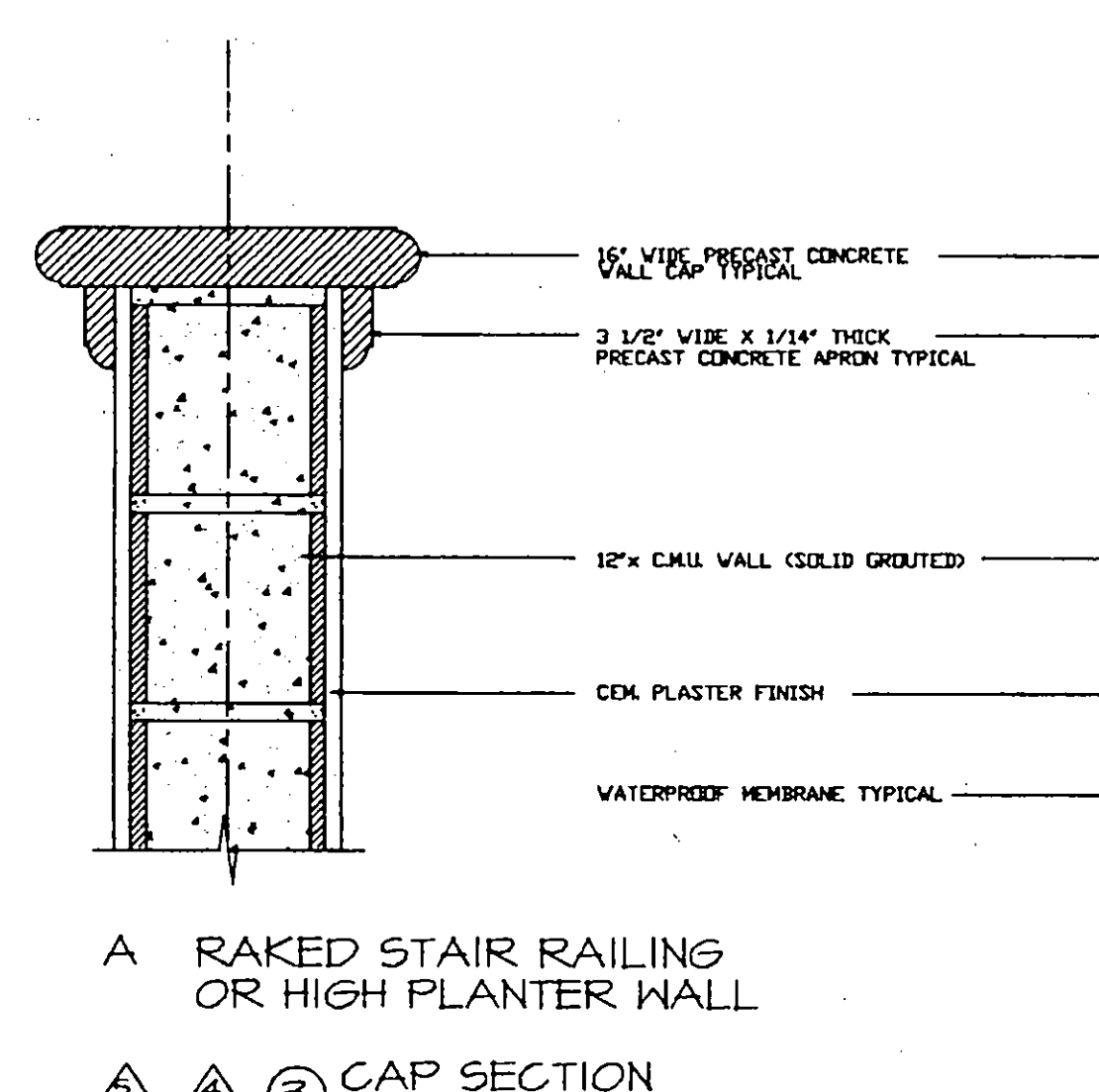
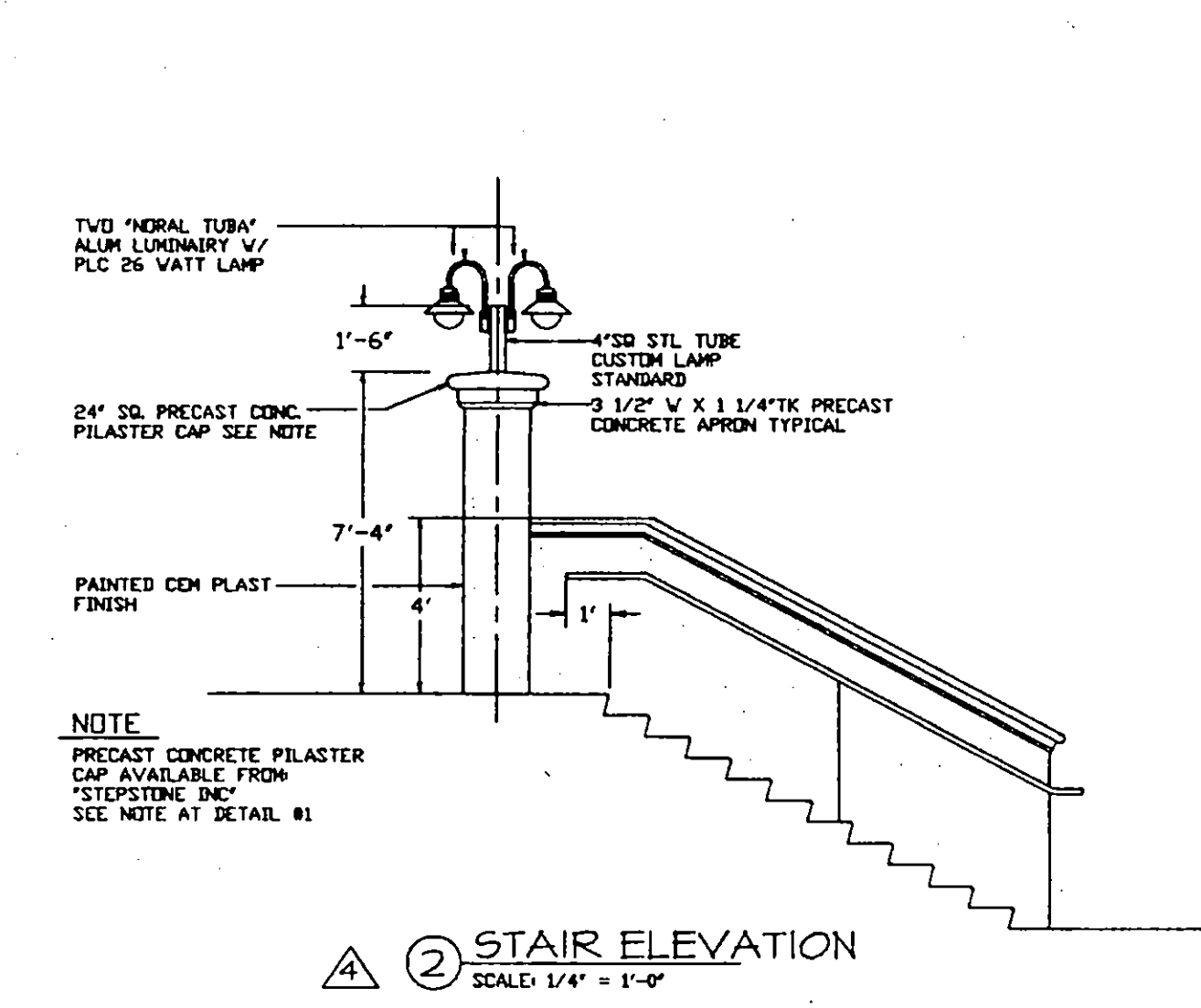
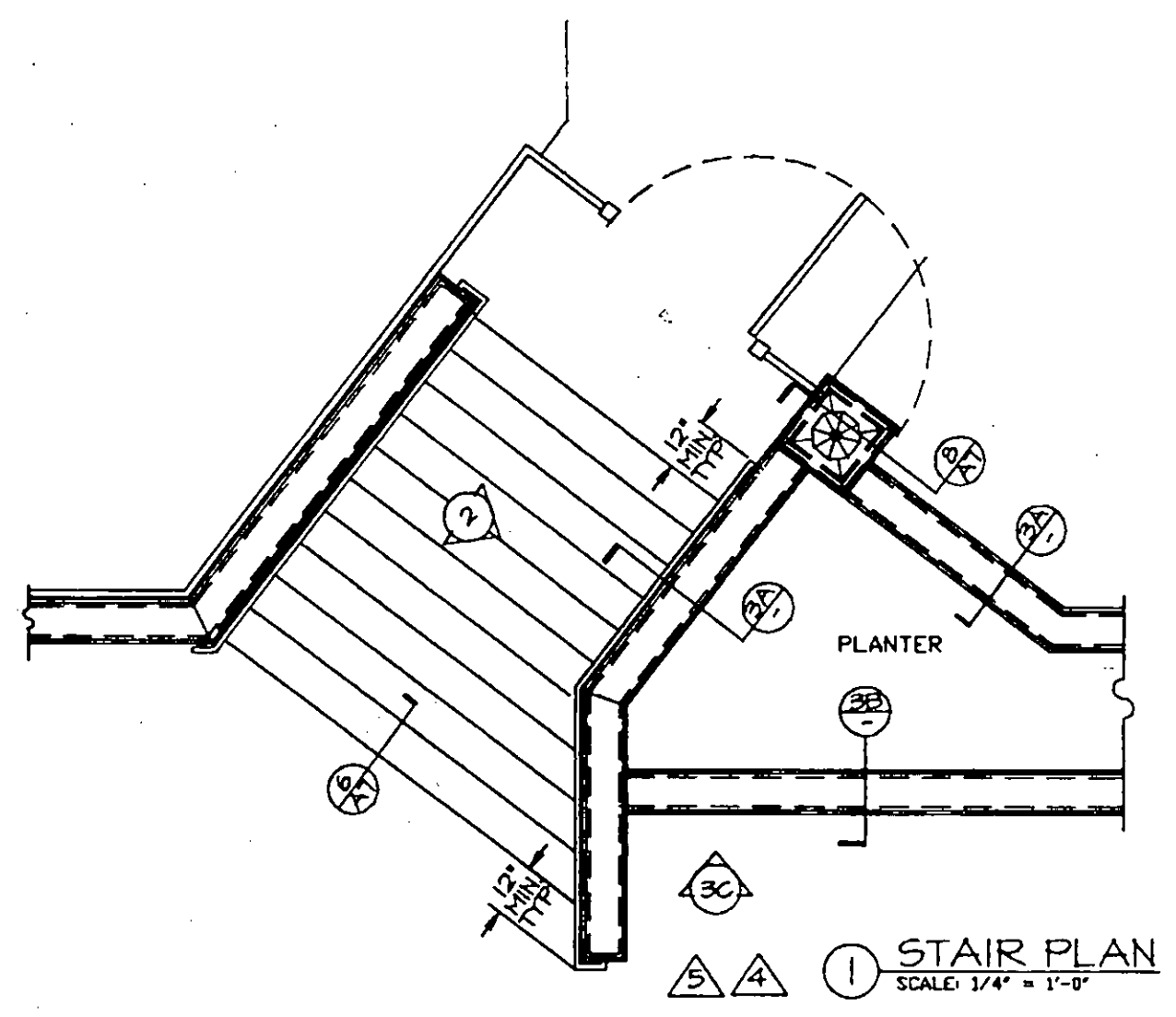
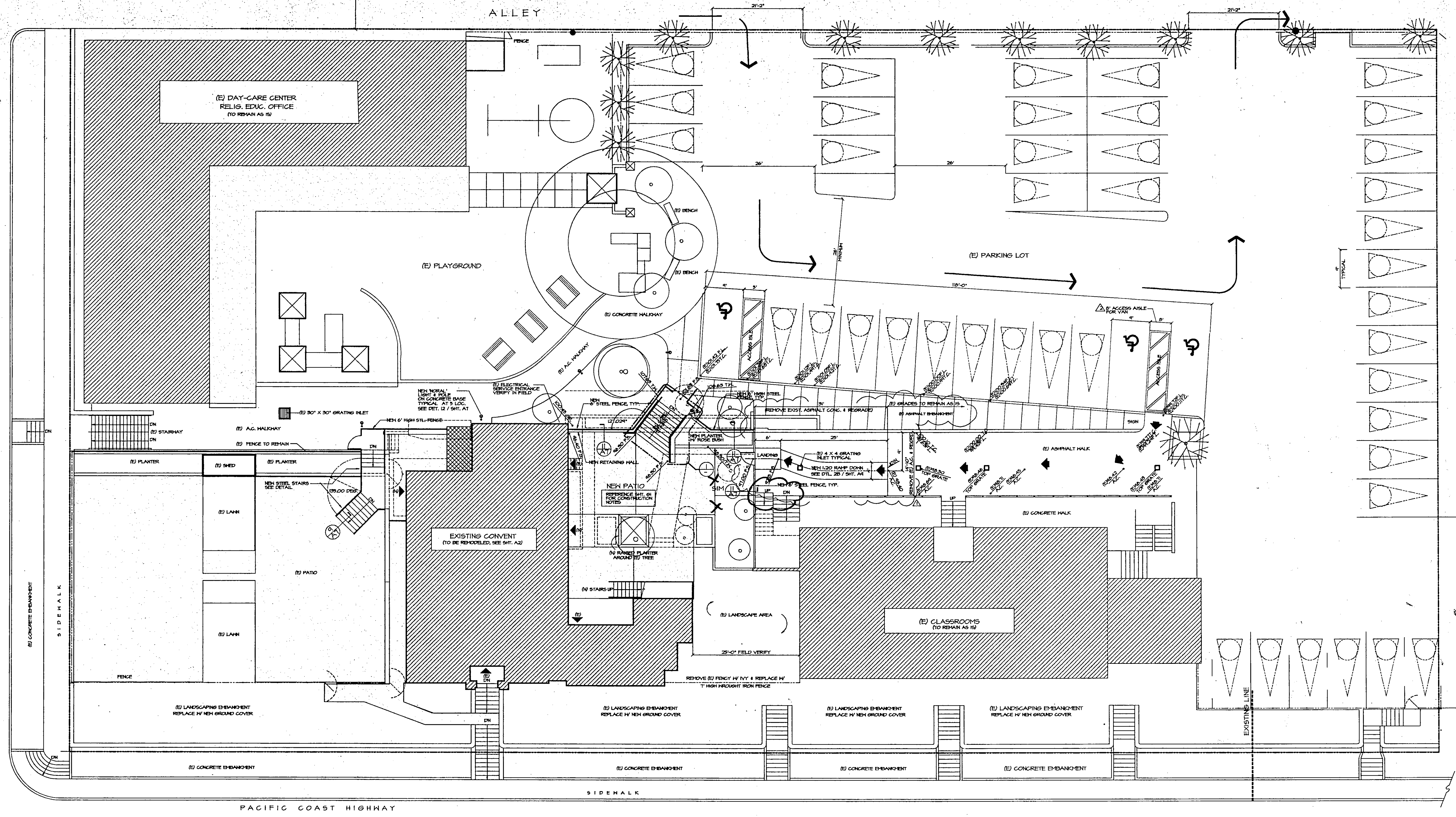
OFFICE OF THE STATE FIRE MARSHAL												
FOR MAINTENANCE RECORDS												
SPRINKLER												
STANDPIPE												
FIRE PUMP												
WATER TANK												
FOAM												
WATER SPRAY												
PRIVATE FIRE SERVICE MANSION												
MONTHLY MAINTENANCE RECORDS												
YEAR	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
2019												
2020												
2021												
2022												

OFFICE OF THE STATE FIRE MARSHAL
FOR MAINTENANCE RECORDS

Bay Fire, Inc.
14000 WILSON BLVD.
LOS ANGELES, CALIFORNIA 90054
(213) 375-6901
www.bayfire.com

OFFICE OF THE STATE FIRE MARSHAL
FOR MAINTENANCE RECORDS

Bay Fire, Inc.
14000 WILSON BLVD.
LOS ANGELES, CALIFORNIA 90054

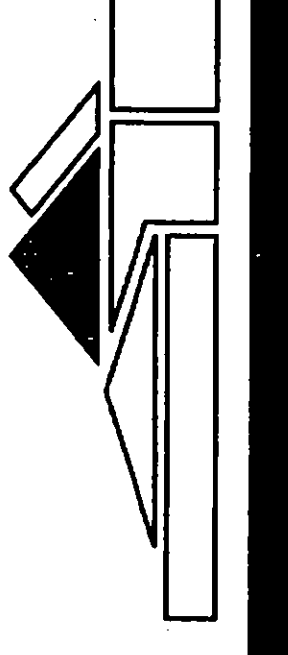


YOUNG & ASSOCIATES
PLANNERS & ARCHITECTS A.I.A.
118 SOUTH CATALINA AVENUE
REDONDO BEACH, CALIFORNIA 90263

ST. JAMES PARISH CENTER
122 N. PACIFIC COAST HIGHWAY, REDONDO BEACH, CA 90277
PASTOR: FR. TIM NICHOLS
JOB #9628
9628-2
1/18/99

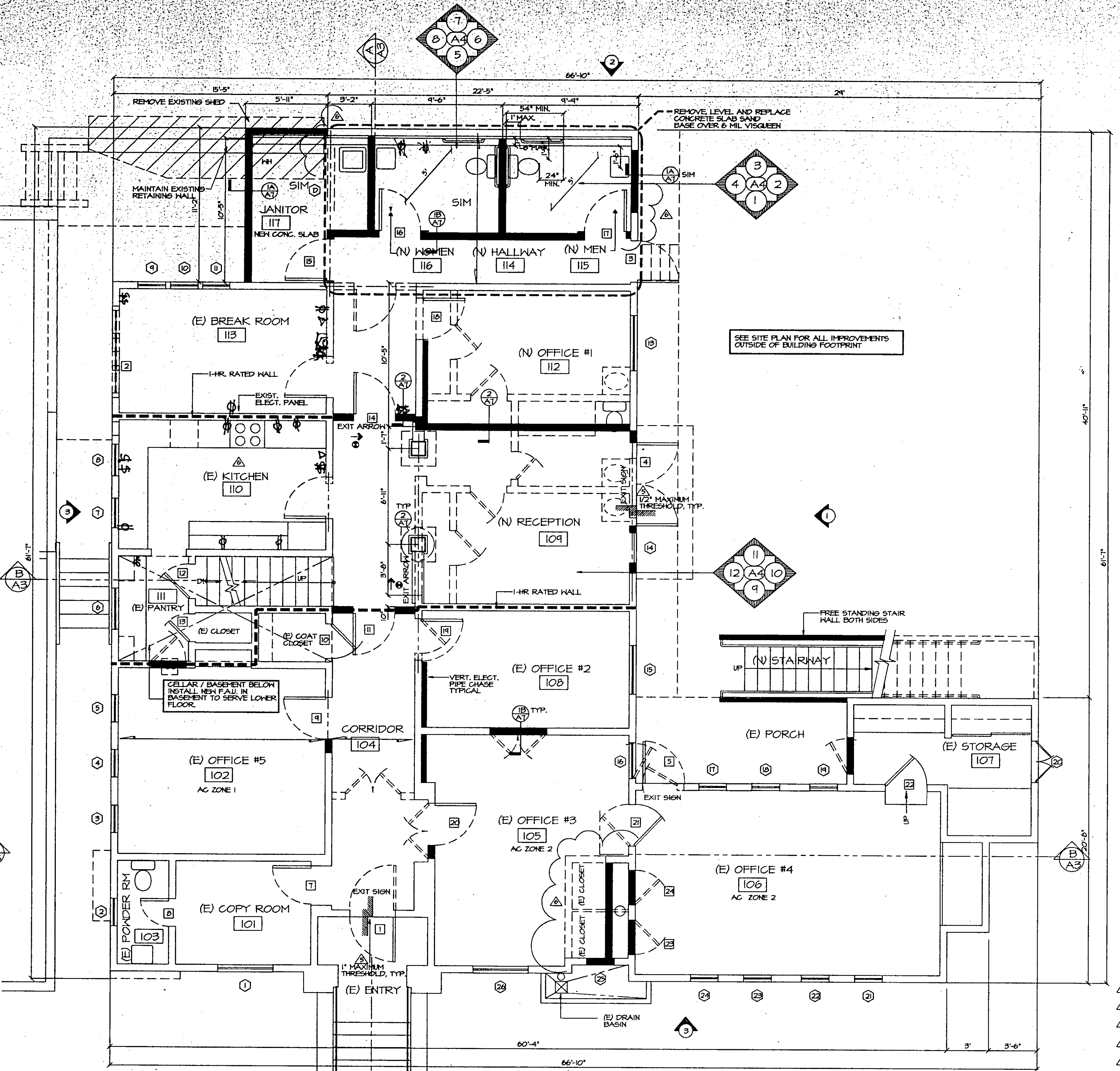
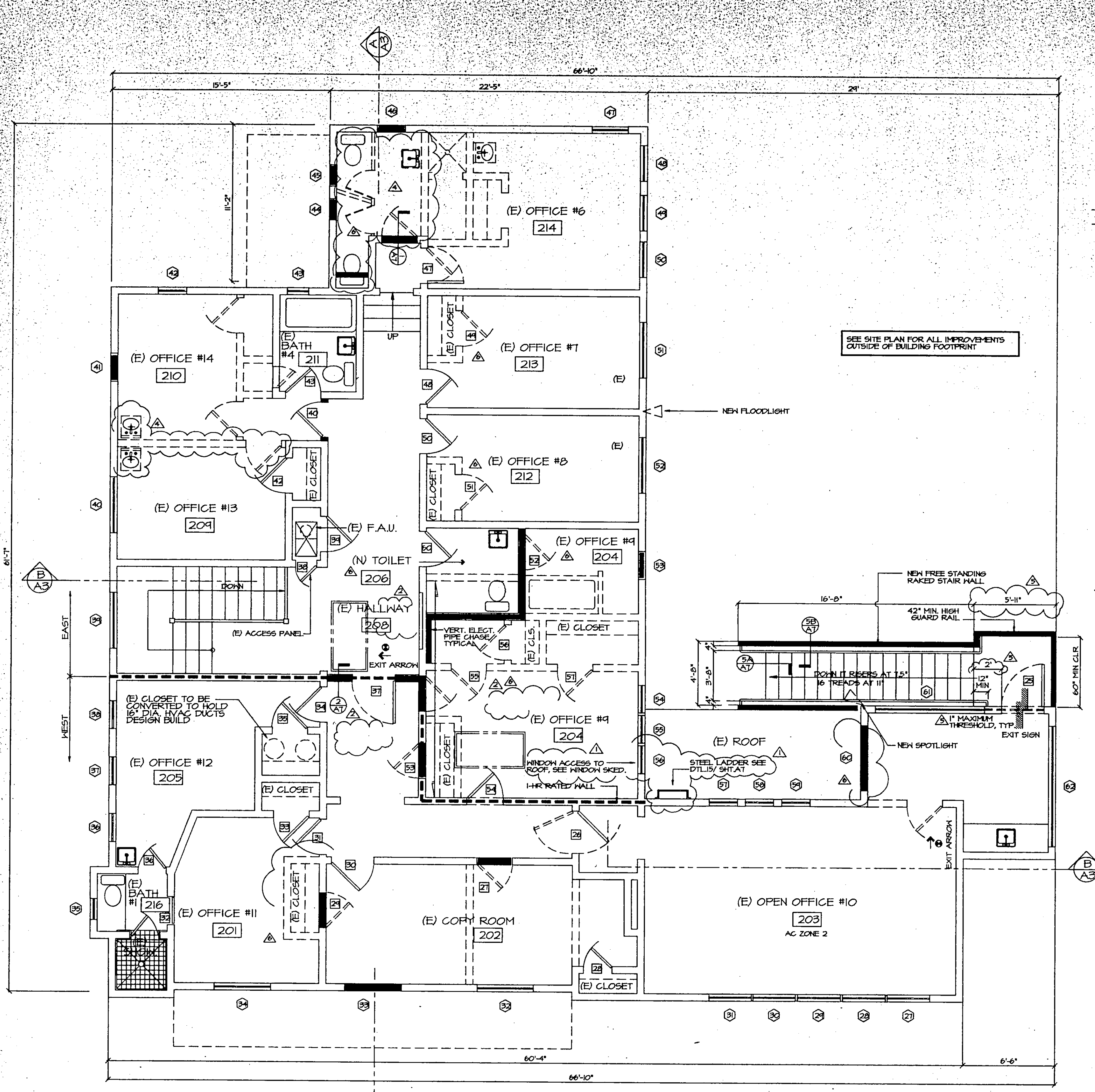
REVISIONS:
10-9-98 DESIGN CLARIF.
9-28-98 PLAN CHK.
8-28-98 REVISIONS
8-3-98 BID REVISIONS

SITE PLAN A1
SCALE: 1" = 10'



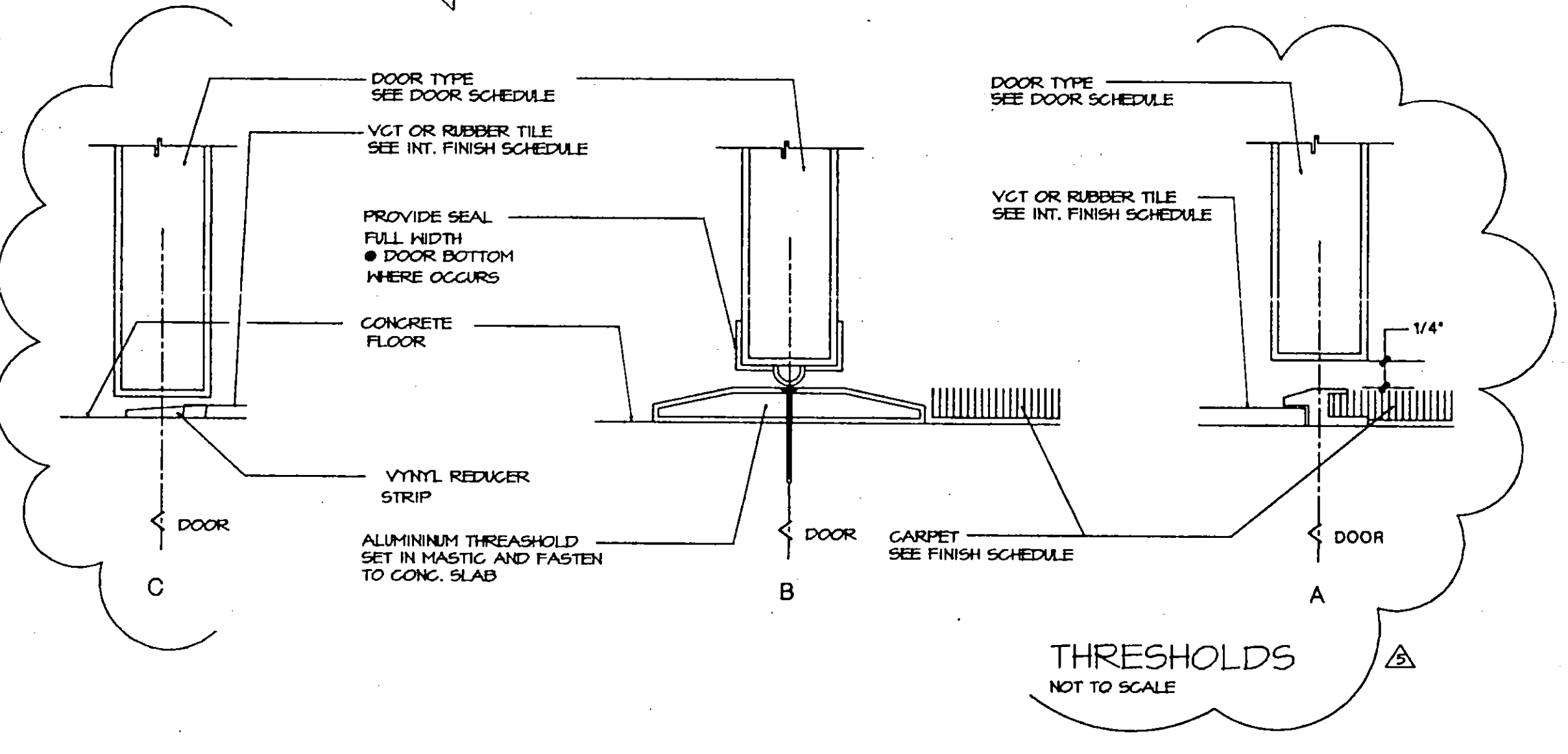
- 8-3-98 810 REVISIONS
- 9/28/98 BLDG. P. C. CORR.
- 10-9-98 DESIGN CLARIF.
- 10/27/98 REVISIONS
- 11/18/99 REVISIONS

ST. JAMES PARISH CENTER
123 N. PACIFIC COAST HIGHWAY, REDWOOD BEACH, CA 90227
PASTOR FR. TIM VINCIGU
JOB #4628
92652 1/16/99 926242



UPPER FLOOR
SCALE 1/4" = 1'

EAST - 1316 SQ. FT.	192.00
	169.00
	29.00
	14.00
	19.00
	71.00
	85.00
TOTAL	689.00 SQ. FT.
WEST - 1260 SQ. FT.	204.00
	17.00
	44.00
	19.00
	15.00
	85.00
TOTAL	485.00 SQ. FT.



THRESHOLDS
NOT TO SCALE

NOTES

1. LOWER FLOOR 2562
2. UPPER FLOOR 4955 SF
3. TOTAL 7517 SF
4. THE PROPOSED IMPROVEMENTS DO NOT CHANGE THE BUILDING FOOTAGE
5. SMOKE DETECTORS SHALL BE PROVIDED IN THIS BUILDING.
6. ALL WORK AND MATERIALS SHALL COMPLY WITH THE IBC, UFG, UFG, UFG AND IBC, NEC AND T-24 ENERGY CONSERVATION AND DISABLED ACCESS REGULATIONS.

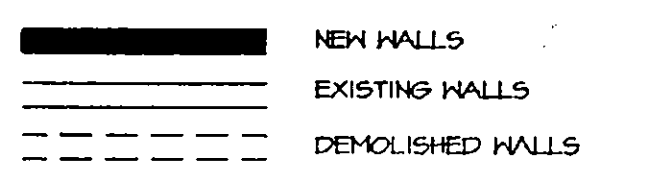
FRAMING NOTES

1. STRAP ACROSS ALL BREAKS OF DOUBLE TOP PLATES TO NEW BEAMS W/ MST. 21 TYP.

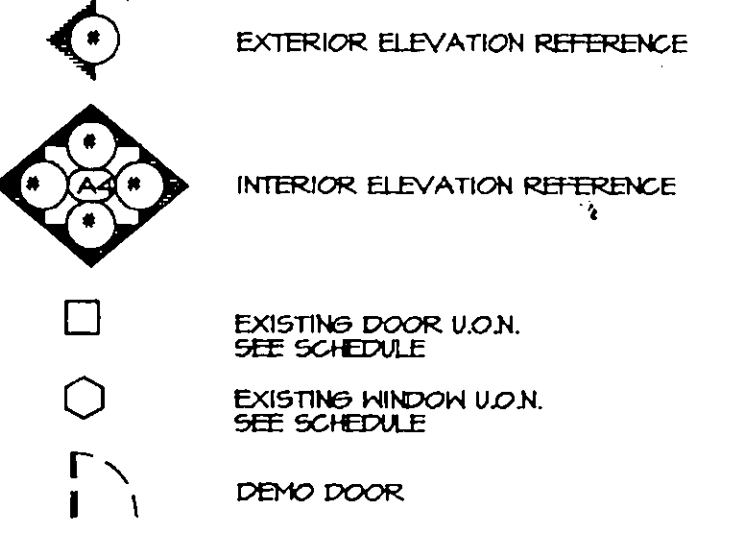
SCOPE OF WORK

1. SHORE ALL EXISTING STRUCTURES AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY DURING THE DEMOLITION PROCESS.
2. SNAK/CUT, DEMOLISH AND HAIL OUT ALL EXISTING STRUCTURES NOTED ON THE PLAN AND AS REQUIRED FOR WORK.
3. SNAK/CUT, EXCAVATE, AND REMOVE ALL DEMOLISHED CONCRETE, EARTH, AND OTHER SITE STRUCTURES PER NOTED AT SITE PLAN AND AS REQUIRED FOR WORK.
4. INSTALL NEW STRUCTURAL SUPPORTS AND PARTITIONS AS NOTED ON PLAN.
5. REVISE PLUMBING AS NOTED AT PLAN.
6. REVISE LIGHTING AND ELECTRICAL POWER OUTLETS AS NOTED AT PLAN.
7. EXISTING EXTERIOR WINDOWS TO REMAIN AS-IS UNLESS OTHERWISE NOTED AT PLAN.
8. REPLACE ALL EXTERIOR DOORS UNLESS OTHERWISE NOTED AT PLAN.
9. PAINT ALL EXTERIOR 4 INTERIOR SURFACES
10. PROVIDE NEW FLOOR FINISH AT ALL AREAS.
11. SEE OTHER PLAN NOTES AND PROJECT MANUAL FOR DETAILED DESCRIPTION OF WORK.

WALL LEGEND



SYMBOL LEGEND



**UBC 1994
BUILDING INFORMATION:**

FIRST FLOOR AREA	2,503.0 S.F.
SECOND FLOOR EAST	826.6 S.F.
SECOND FLOOR WEST	941.0 S.F.
SECOND FLOOR CLOSETS	684.4 S.F.
TOTAL:	4,955.0 S.F.

TABLE 3-A OCCUPANCY:
OCCUPANCY CLASSIFICATION: B

TABLE 5-B: BASIC ALLOWABLE FLOOR AREA

CONSTRUCTION	OCCUPANCY	BASIC ALLOWABLE AREA
V-N	B	8,000 S.F./4,550 (OK)

SECTION 505.3 AUTOMATIC SPRINKLERS
NOT REQUIRED / NO NEW FLOOR AREA

TABLE 6-A: TYPES OF CONSTRUCTION - FIRE RESISTIVE REQUIREMENTS (IN HOURS)

TYPE V-N	HOURS
1. EXTERIOR BEARING WALLS	N
2. INTERIOR BEARING WALLS	N
3. EXTERIOR NONBEARING WALLS	N
4. STRUCTURAL FRAME	N
5. PERMANENT PARTITIONS	N
6. SHAFT ENCLOSURES	1
7. FLOOR AND FLOOR CEILINGS	N
8. ROOFS AND ROOF CEILINGS	N
9. EXTERIOR DOORS AND WINDOWS	SEC. 606.3
10. STAIRWAY CONSTRUCTION	SEC. 606.4

SECTION 1003 - EXITS REQUIRED
ONE HOUR SEPARATION WALLS ARE USED TO LIMIT THE OCCUPANCY LOAD, THEREFORE A CORRIDOR IS NOT REQUIRED. SEE SECTION 1003.1, EXCEPTION 1. SECOND STORIES HAVING AN OCCUPANT LOAD OF LESS THAN 10 MAY BE PROVIDED WITH ONLY ONE EXIT.

SECTION 1004.4 - DOORS
SECTION 1004.4 PANIC HARDWARE SHALL BE MOUNTED AT A HEIGHT OF NOT LESS THAN 30 INCHES OR MORE THAN 44 INCHES ABOVE THE FLOOR. THE UNLATCHING FORCE SHALL NOT EXCEED 15 POUNDS WHEN APPLIED IN THE DIRECTION OF TRAVEL.

SECTION 1013 - EXIT SIGNS
WHEN TWO OR MORE EXITS ARE REQUIRED FROM A ROOM OR AREA, EXIT SIGNS SHALL BE INSTALLED AT THE REQUIRED EXITS FROM THE ROOM OR AREA AND WHERE OTHERWISE NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS. EXCEPTION 1: MAIN EXTERIOR EXIT DOORS WHICH OBVIOUSLY AND CLEARLY ARE IDENTIFIABLE AS EXITS NEED NOT BE SIGNED WHEN APPROVED BY THE BUILDING OFFICIAL.

**Sheet Index
Architectural Drawings**

- T1 Title Sheet / UBC Analysis / Vicinity Map
- G1 Grading Plan
- A1 Site Plan
- A2 Floor Plans / Scope of Work
- A3 Elevations / Sections
- A4 Interior Elevations
- A5 Roof Plan / Reflected Ceiling Plan
- A6 Schedules / Finish Plans
- A7 Details
- A8 ADA Notes
- A9 ADA Details
- A10 Specifications

Other Contract Information

Color/Materials Board
Project Manual
City Permit Documents
Legal Owner
Roman Catholic Archbishop of
Los Angeles, a Corporation Sole
c/o Department of Construction
3424 Wilshire Blvd., Los Angeles, CA 90010-2241
(310) 637-7853

Legal Description

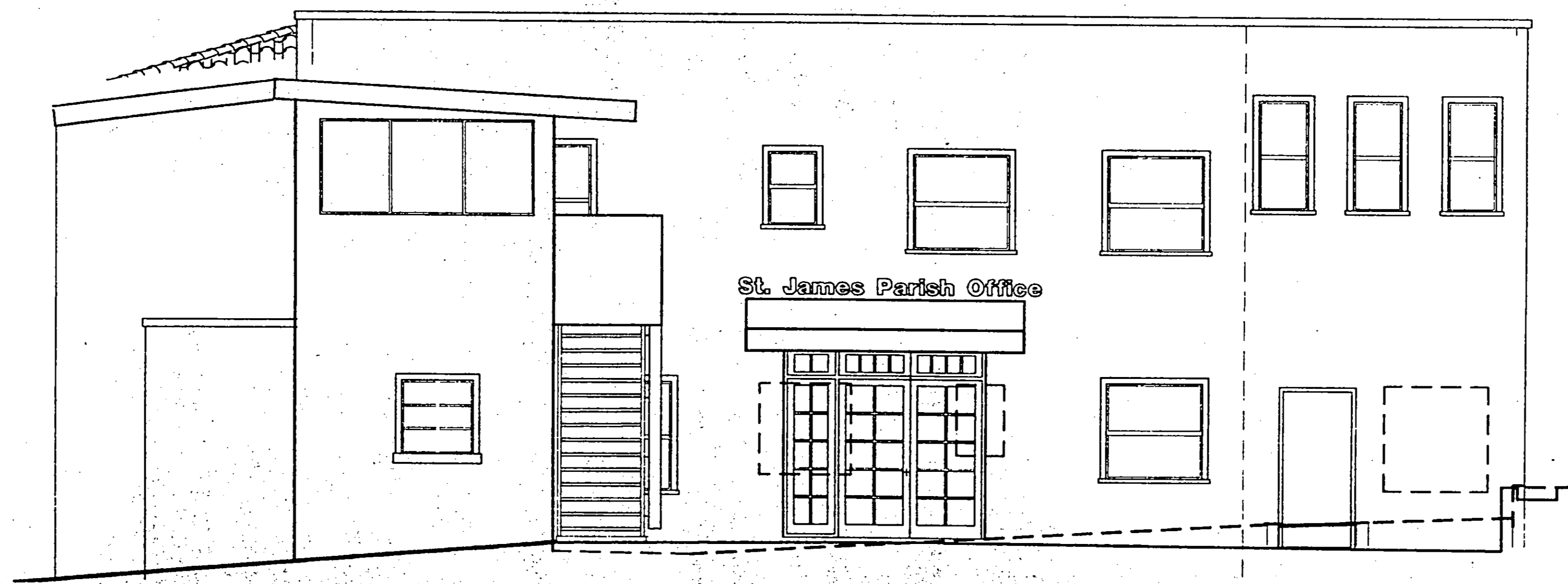
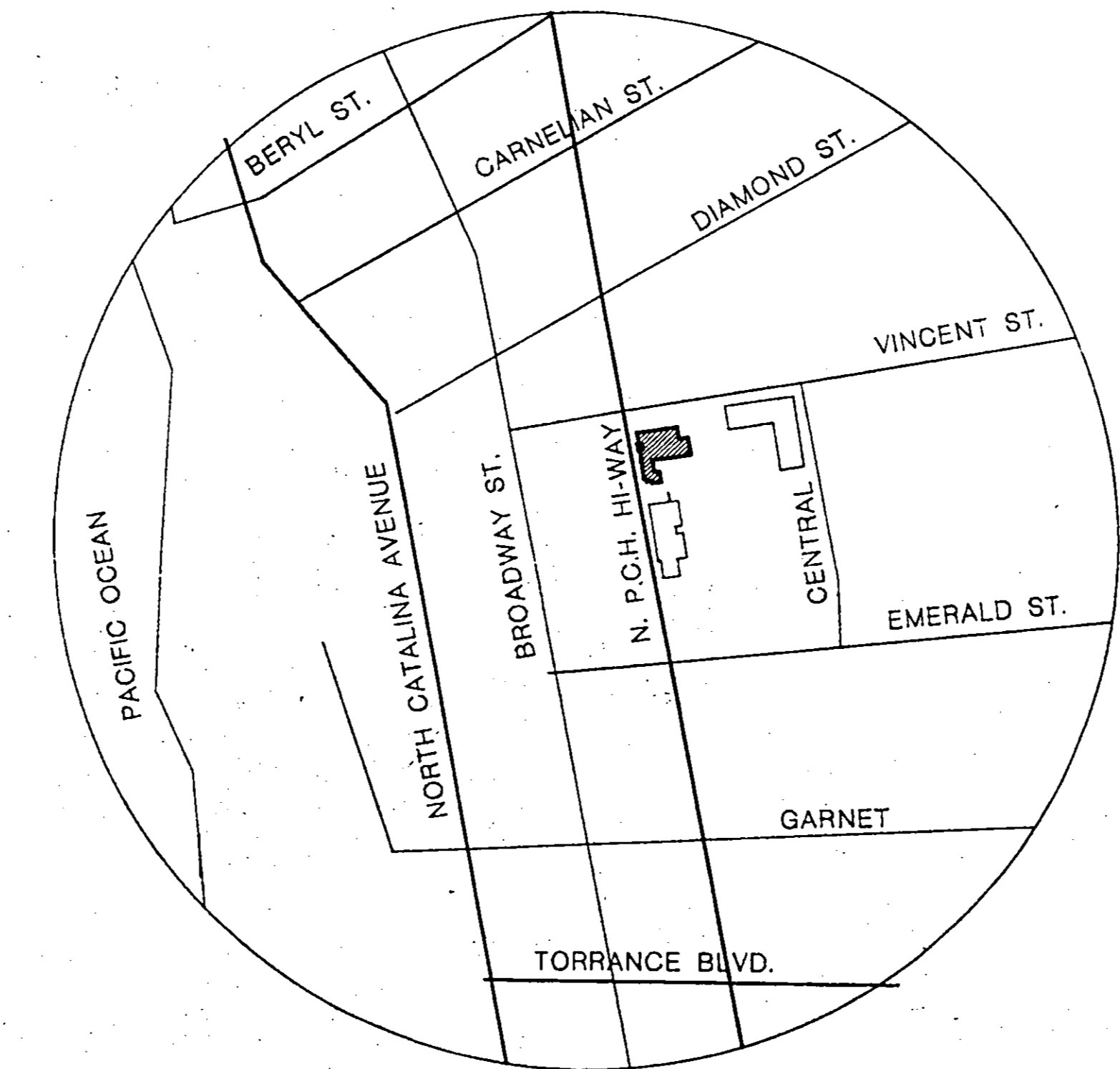
Architect
L. A. Young & Associates, Inc.
115 S. Catalina Ave., Redondo Beach, CA 90277
(310) 376-8803
Contact: Dan Young AIA

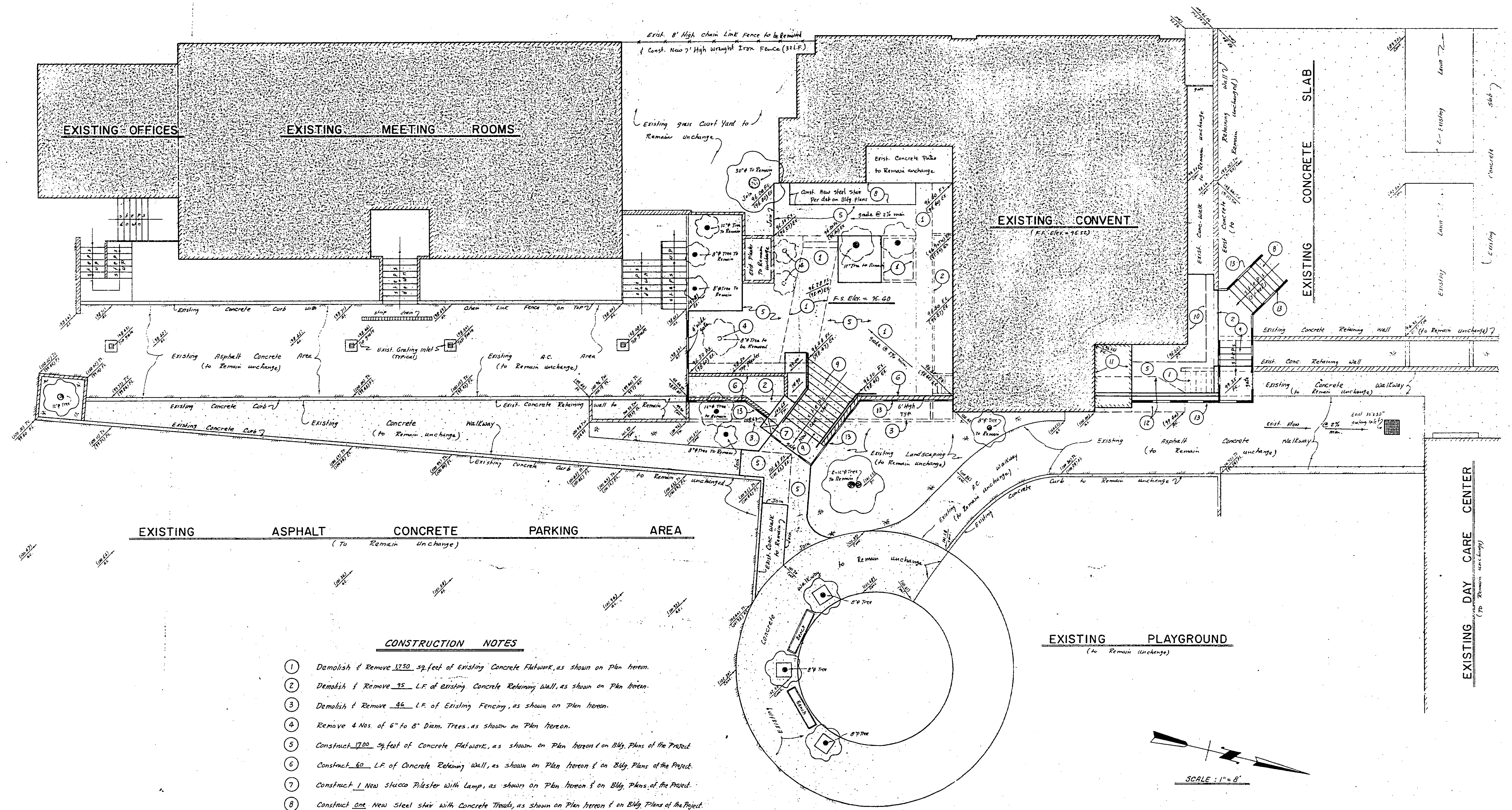
Structural Engineer
Aart Assink & Assoc.
1611 El Prado Ave.
(310) 618-0782
Contact: Aart Assink

FIRE DEPT. NOTES

1. GEN. CONTRACTOR TO PROVIDE FIRE ALARM PLANS & SHALL BE SUBMITTED ON A SEPARATE PERMIT.
2. GEN. CONTRACTOR TO PROVIDE A SUFFICIENT NUMBER OF 2A10BC FIRE EXTINGUISHERS SO THAT A FIRE EXTINGUISHER CAN BE REACHED WITHIN 75 FT. OF NORMAL TRAVEL FROM ANY POINT IN THE BUILDING. PLEASE TAKE INTO CONSIDERATION THAT FIRE EXTINGUISHERS SHOULD ALSO BE LOCATED NEAR EXITS. FIRE EXTINGUISHERS TO BE LOCATED IN THE FIELD.
3. PROVIDE AN ADDRESS ON THE FRONT OF THE BUILDING TO BE LEGIBLE FROM THE STREET USING MINIMUM 3 INCH NUMERALS IN A CONTRASTING COLOR TO THE BACKGROUND. SEC. 9014.4, 1994 U.F.C.
4. PROVIDE FLAME CERTIFICATE FOR NEW AWNING. FLAME SPREAD AND SMOKE DENSITY IS CLASS A OR CLASS 1. SEE SHT. A3 FOR AWNING NOTE.
5. EMERGENCY LIGHTING SHALL BE INSTALLED THROUGHOUT THIS ESTABLISHMENT USING AN EMERGENCY GENERATOR OR EMERGENCY LIGHT BATTERY PACKS TRICKLE CHARGED BY 110 VOLT A.C. GEN. CONTRACTOR TO PROVIDE EMERGENCY BATTERY PACKS TRICKLE CHARGED BY 110 VOLT A.C. AS PART OF ELECTRICAL PLANS SUBMITTAL.
6. AN INSPECTION BY THE FIRE PREVENTION BUREAU MUST BE MADE TO INSURE THAT COMPLIANCE HAS BEEN MADE WITH ALL OF THE ABOVE REQUIREMENTS PRIOR TO OPENING THE ESTABLISHMENT TO THE PUBLIC.

Vicinity Map
See 1997 edition of
"Thomas Brothers"
mapbook - 762-J5





CONSTRUCTION NOTES

- 1 Demolish & Remove 3250 sq. feet of existing Concrete Footwork, as shown on Plan herein.
- 2 Demolish & Remove 35 LF of existing Concrete Retaining Wall, as shown on Plan herein.
- 3 Demolish & Remove 45 LF of existing Fencing, as shown on Plan herein.
- 4 Remove 4 Nos. of 6" to 8" Diam. Trees, as shown on Plan herein.
- 5 Construct 1700 sq. feet of Concrete Footwork, as shown on Plan herein & on Bldg. Plans of the Project.
- 6 Construct 60 LF of Concrete Retaining Wall, as shown on Plan herein & on Bldg. Plans of the Project.
- 7 Construct 1 New Stucco Plaster with Lamp, as shown on Plan herein & on Bldg. Plans of the Project.
- 8 Construct 2 New Steel Stair with Concrete Treads, as shown on Plan herein & on Bldg. Plans of the Project.
- 9 Construct 2 New Concrete Stair on Grade, as shown on Plan herein & on Bldg. Plans of the Project.
- 10 Construct 2 New Awning Overhead, as shown on Plan herein & on Bldg. Plans of the Project.
- 11 Construct New Addition, as shown on Plan herein & on Bldg. Plans of the Project.
- 12 Demolish & Remove Existing Shed, as shown on Plan herein.
- 13 Install 155 LF of Steel Ticking Fence, as shown on Plan herein & on the Bldg. Plans of the Project.
- 14 Provide New Planting & Landscaping, as shown on Plan herein & on the Bldg. Plans of the Project.

NOTE: For Additional Notes and Information, see sheet No. A-1, X.

Prepared By: John H. Rich, L.S. No. 5850, Exp. 12-31-1998, Date: June 20, 1998
John H. Rich, R.C.E. No. 55374, Exp. 9-30-1999
 22630 Loye Drive, Torrance, Calif. 90505, Tel. (310) 375-6606, Fax (310) 375-5060



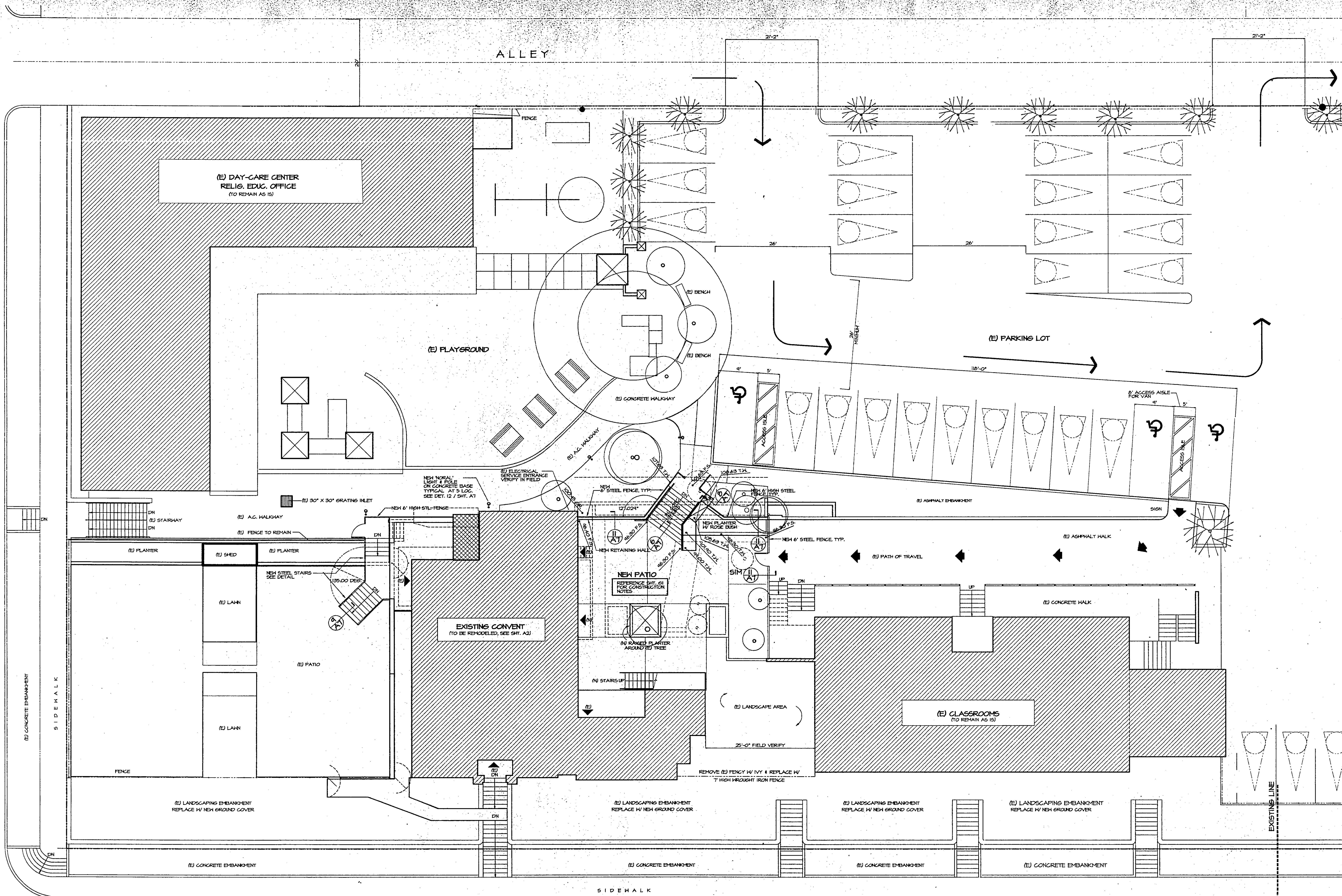
GRADING PLAN
SCALE 1" = 8'

ST. JAMES PARISH CENTER
 11550 S. GARDEN HIGHWAY, REDONDO BEACH, CA 90277
 PASTOR: FR. J. M. GIBSON
 JOB PRINTER 94361 1/1/97

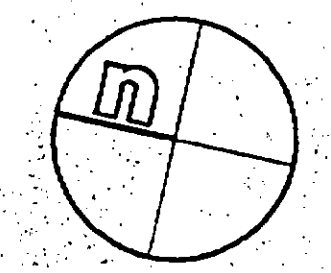
G1

VINCENT STREET

ALLEY



PACIFIC COAST HIGHWAY



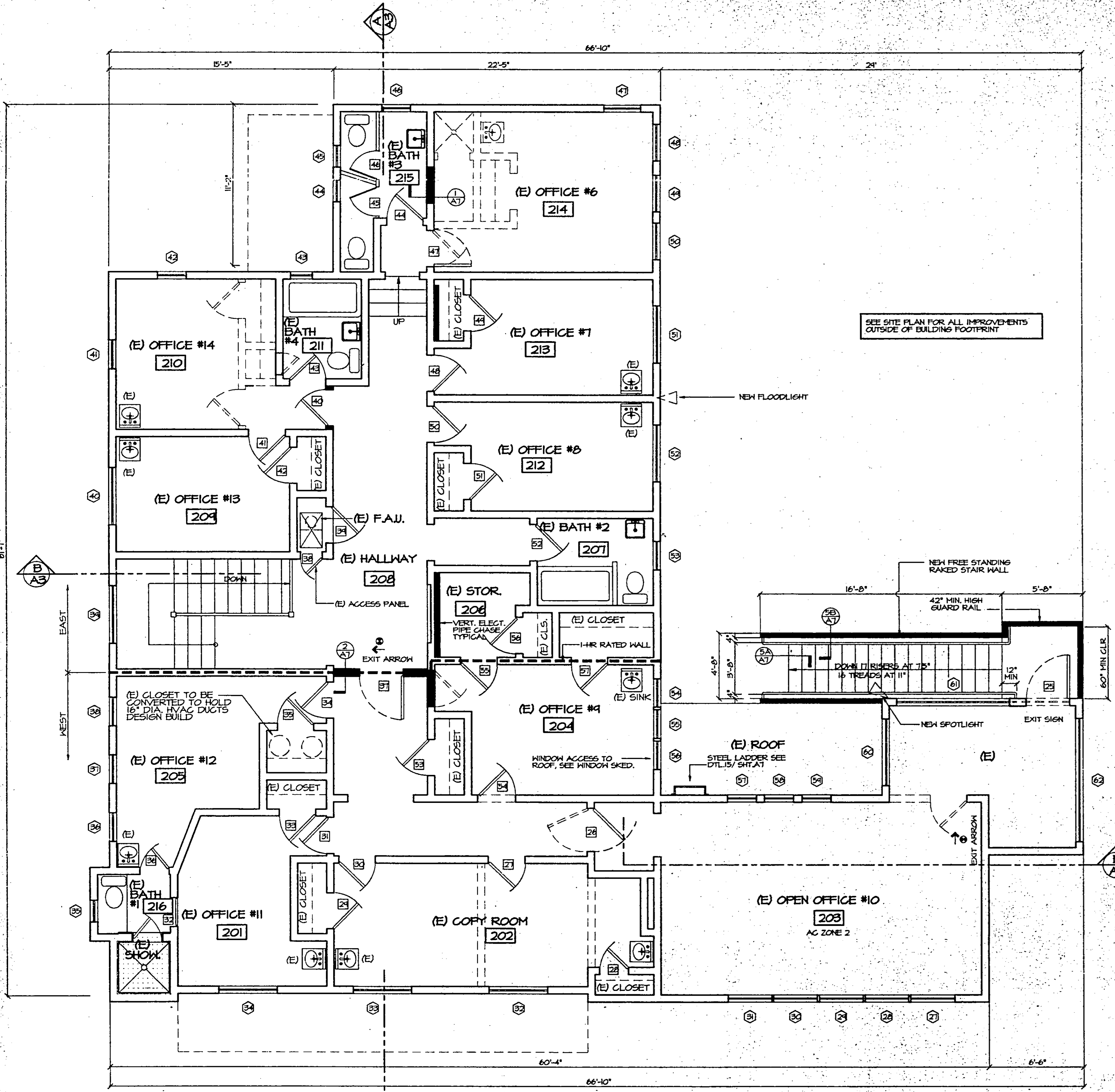
PLANNERS & ARCHITECTS AIA
 115 SOUTH CALIFORNIA AVENUE
 REDONDO BEACH, CALIFORNIA 90277-4000

YOUNG & ASSOCIATES

ST. JAMES PARISH CONVENT REMODEL
 122 N. PACIFIC COAST HIGHWAY, REDONDO BEACH, CA 90277
 PASTOR FR. TIM NICHOLS
 902343 9023-3
 JOB #9028
 8/5/98

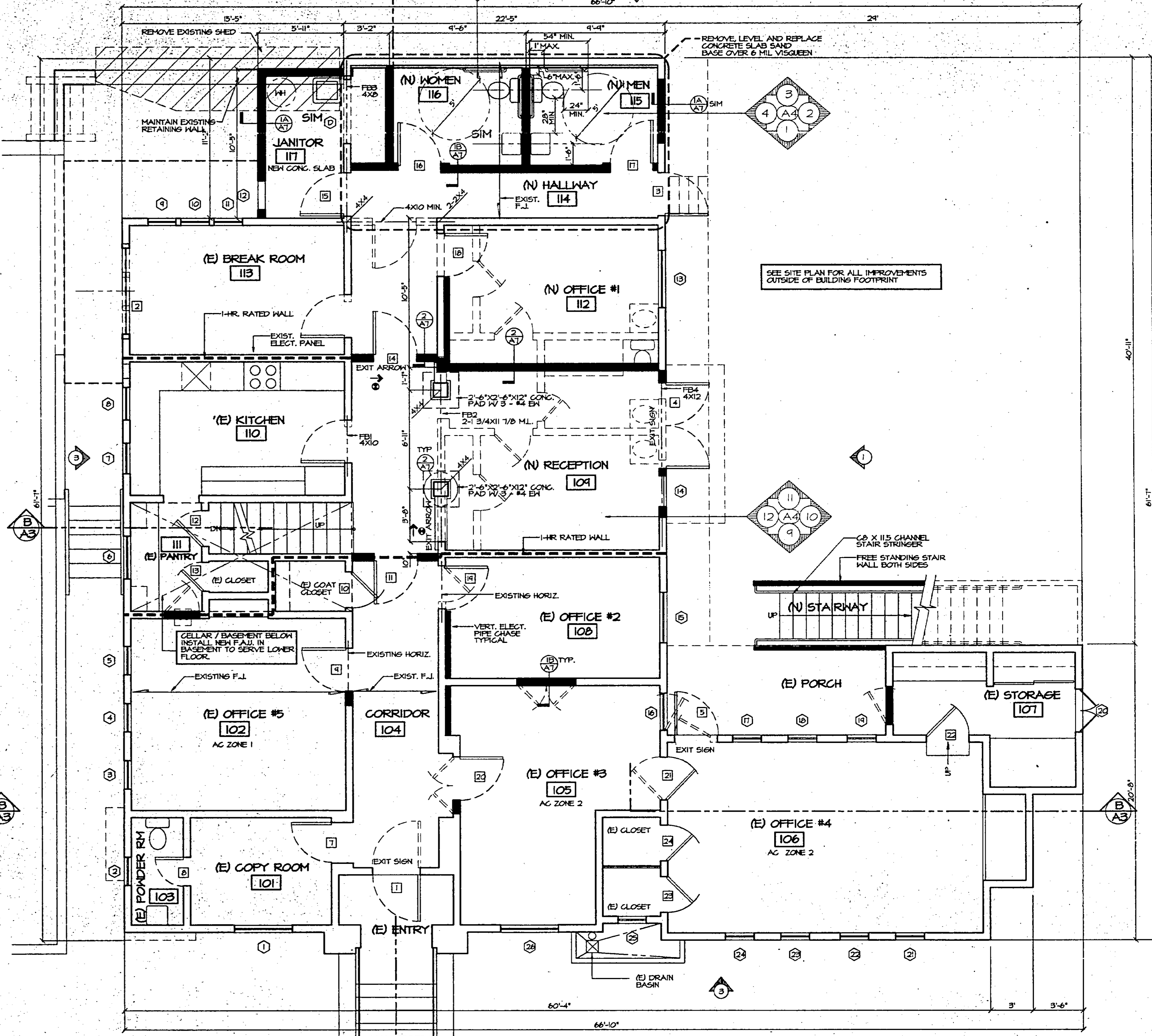
SITE PLAN
 SCALE: 1/8" = 1'-0"

A1



UPPER FLOOR
SCALE 1/4" = 1'

EAST - 1,216 SQ. FT.
132.00
160.00
232.00
14.00
15.00
71.00
65.00
TOTAL 828.00 SQ. FT.
WEST - 1,268 SQ. FT.
224.00
71.00
45.00
33.00
15.00
19.00
TOTAL 441 SQ. FT.



LOWER FLOOR
SCALE 1/4" = 1'

NOTES

- LOWER FLOOR 2,232
UPPER FLOOR 4,055 SF
TOTAL
1. THE PROPOSED IMPROVEMENTS DO NOT CHANGE THE BUILDING FOOTAGE IN THIS BUILDING.
 2. SMOKE DETECTORS SHALL BE PROVIDED IN THIS BUILDING.
 3. ALL WORK AND MATERIALS SHALL COMPLY WITH THE IBC, UBC, IRC, UPC AND IEBC, NEC AND T-24 ENERGY CONSERVATION AND DISABLED ACCESS REGULATIONS.

FRAMING NOTES

1. STRAP ACROSS ALL BREAKS OF DOUBLE TOP PLATES TO NEW BEAMS IN INST. 21 TYP.

SCOPE OF WORK

1. SHORE ALL EXISTING STRUCTURES AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY DURING THE DEMOLITION PROCESS.
2. SANGUIN, DEMOLISH AND HALL OUT ALL EXISTING STRUCTURES NOTED ON THE PLAN AND AS REQUIRED FOR WORK.
3. SANGUIN, EXCAVATE, AND REMOVE ALL DEMOLISHED CONCRETE, EARTH AND OTHER SITE STRUCTURES PER NOTES AT SITE PLAN AND AS REQUIRED FOR WORK.
4. INSTALL NEW STRUCTURAL SUPPORTS AND PARTITIONS AS NOTED ON PLAN.
5. REVISE PLUMBING AS NOTED AT PLAN.
6. REVISE LIGHTING AND ELECTRICAL POWER OUTLETS AS NOTED AT PLAN.
7. EXISTING EXTERIOR WINDOWS TO REMAIN AS-IS UNLESS OTHERWISE NOTED AT PLAN.
8. REPLACE ALL EXTERIOR DOORS UNLESS OTHERWISE NOTED AT PLAN.
9. PAINT ALL EXTERIOR & INTERIOR SURFACES.
10. PROVIDE NEW FLOOR FINISH AT ALL AREAS.
11. SEE OTHER PLAN NOTES AND PROJECT MANUAL FOR DETAILED DESCRIPTION OF WORK.

WALL LEGEND

- NEW WALLS
- EXISTING WALLS
- DEMOLISHED WALLS

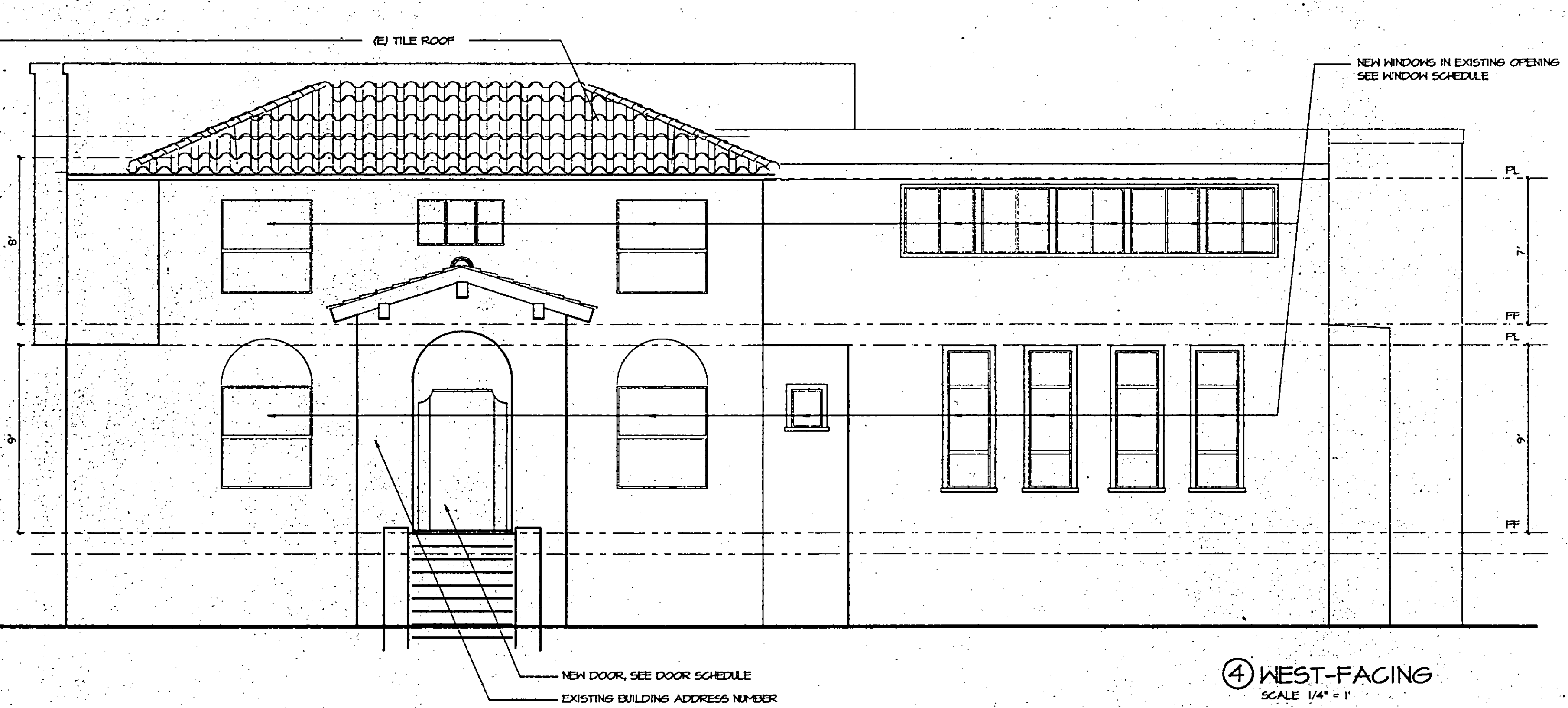
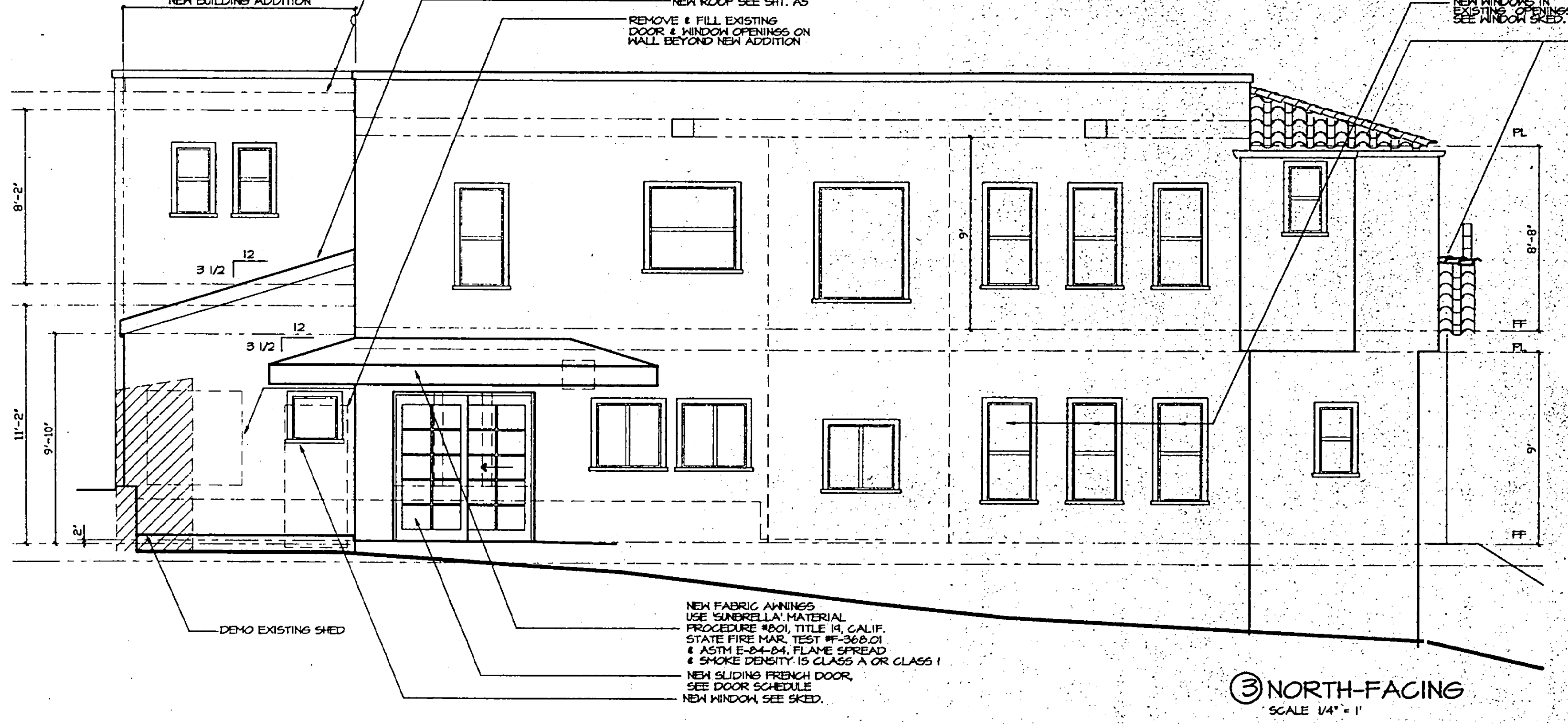
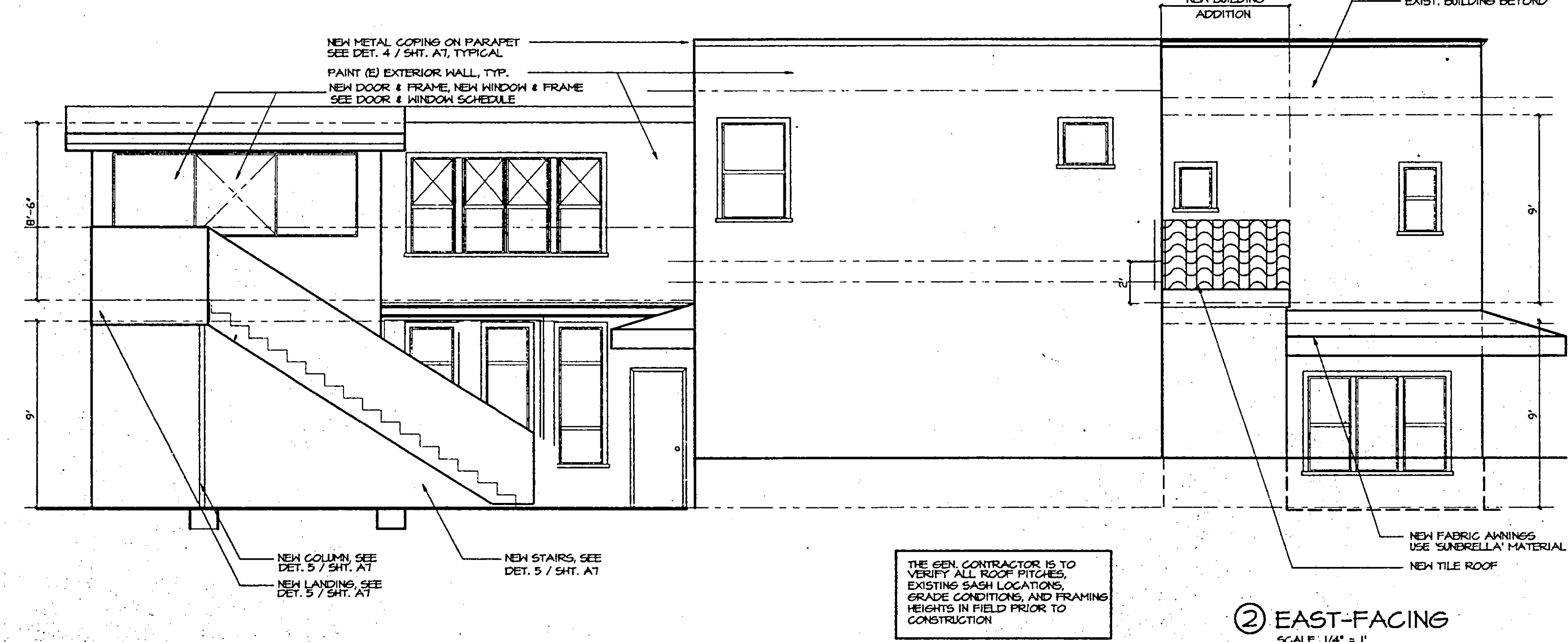
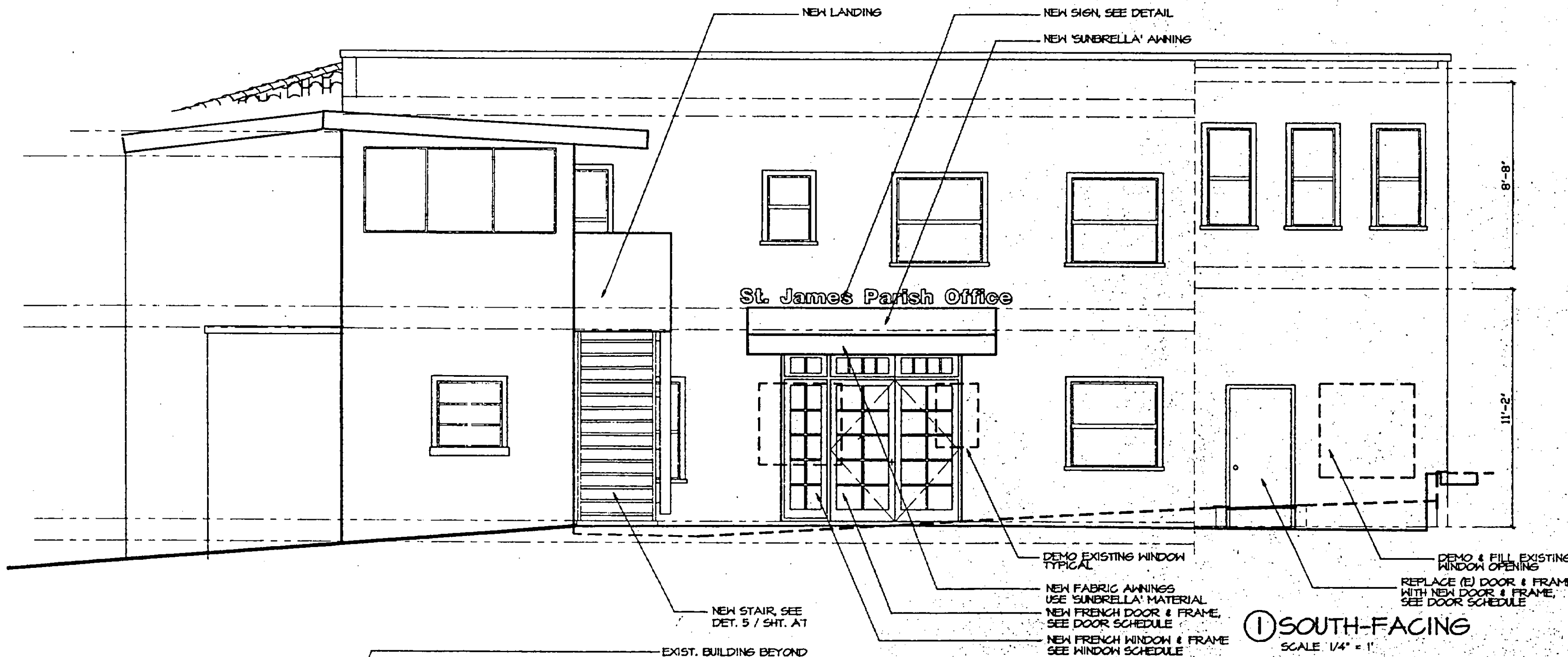
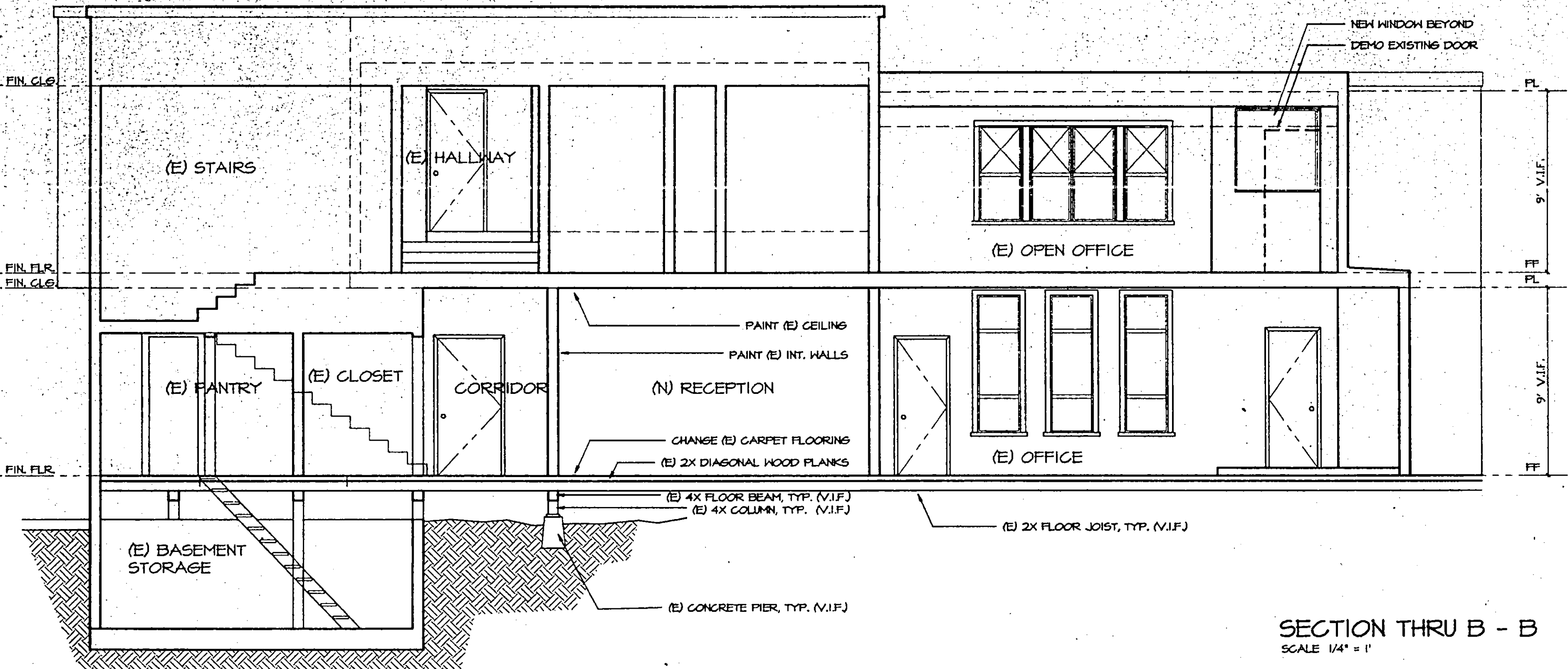
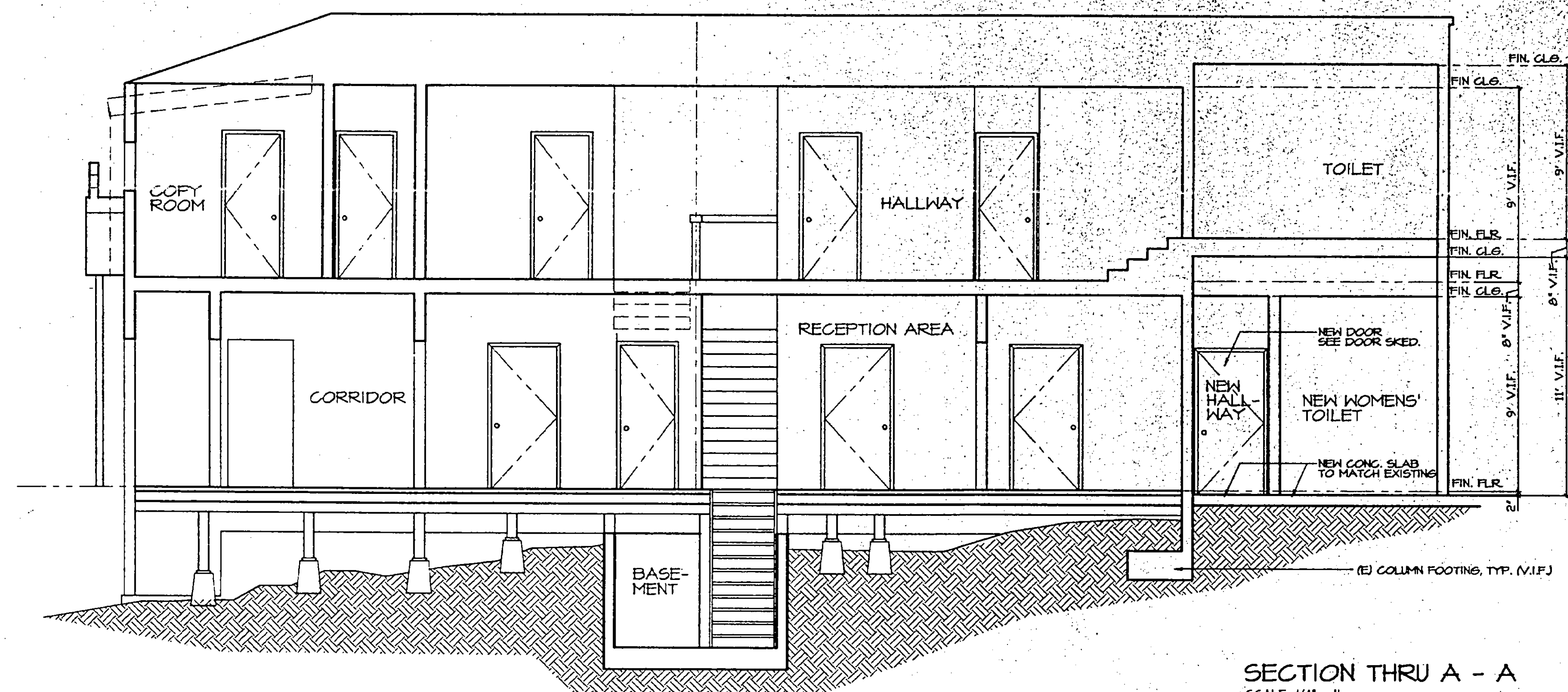
SYMBOL LEGEND

- EXTERIOR ELEVATION REFERENCE
- INTERIOR ELEVATION REFERENCE
- EXISTING DOOR U.O.N. SEE SCHEDULE
- EXISTING WINDOW U.O.N. SEE SCHEDULE
- DEMO DOOR

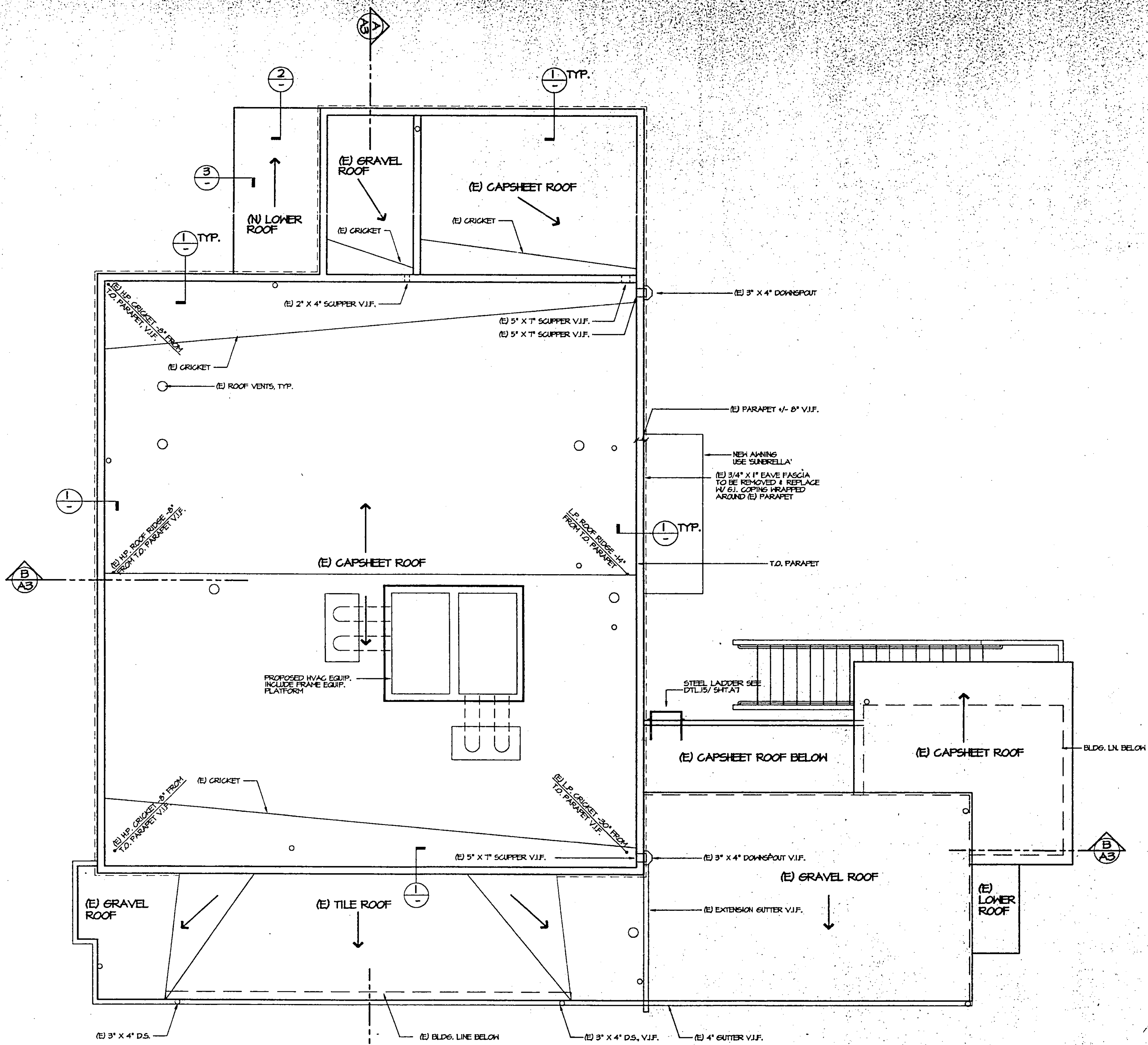
THE GEN. CONTRACTOR IS TO VERIFY ALL ROOF PITCHES, EXISTING SASH LOCATIONS, GRADE CONDITIONS, AND FRAMING HEIGHTS IN FIELD PRIOR TO CONSTRUCTION.

SEE SITE PLAN FOR ALL IMPROVEMENTS OUTSIDE OF BUILDING FOOTPRINT

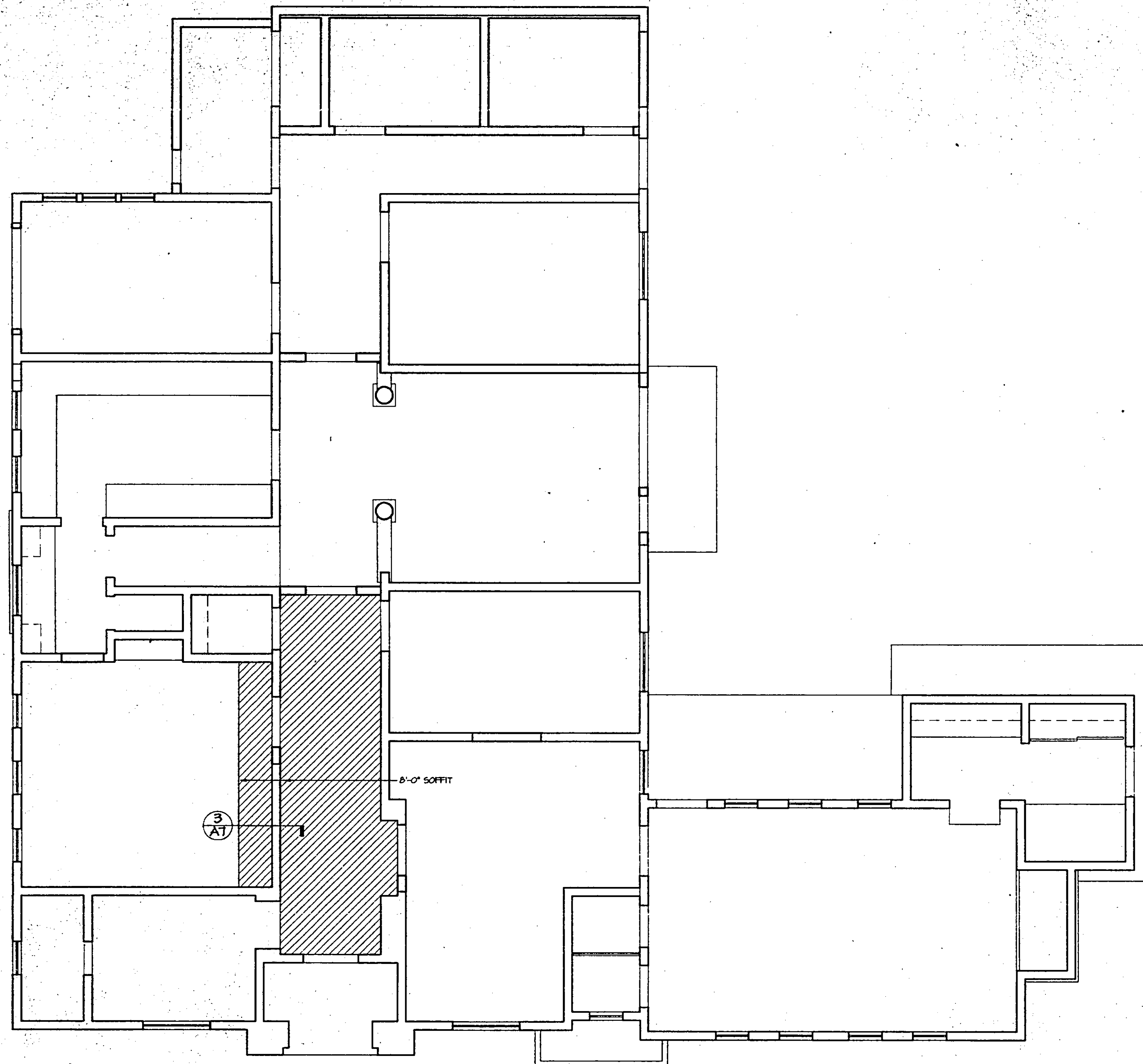
SEE SITE PLAN FOR ALL IMPROVEMENTS OUTSIDE OF BUILDING FOOTPRINT



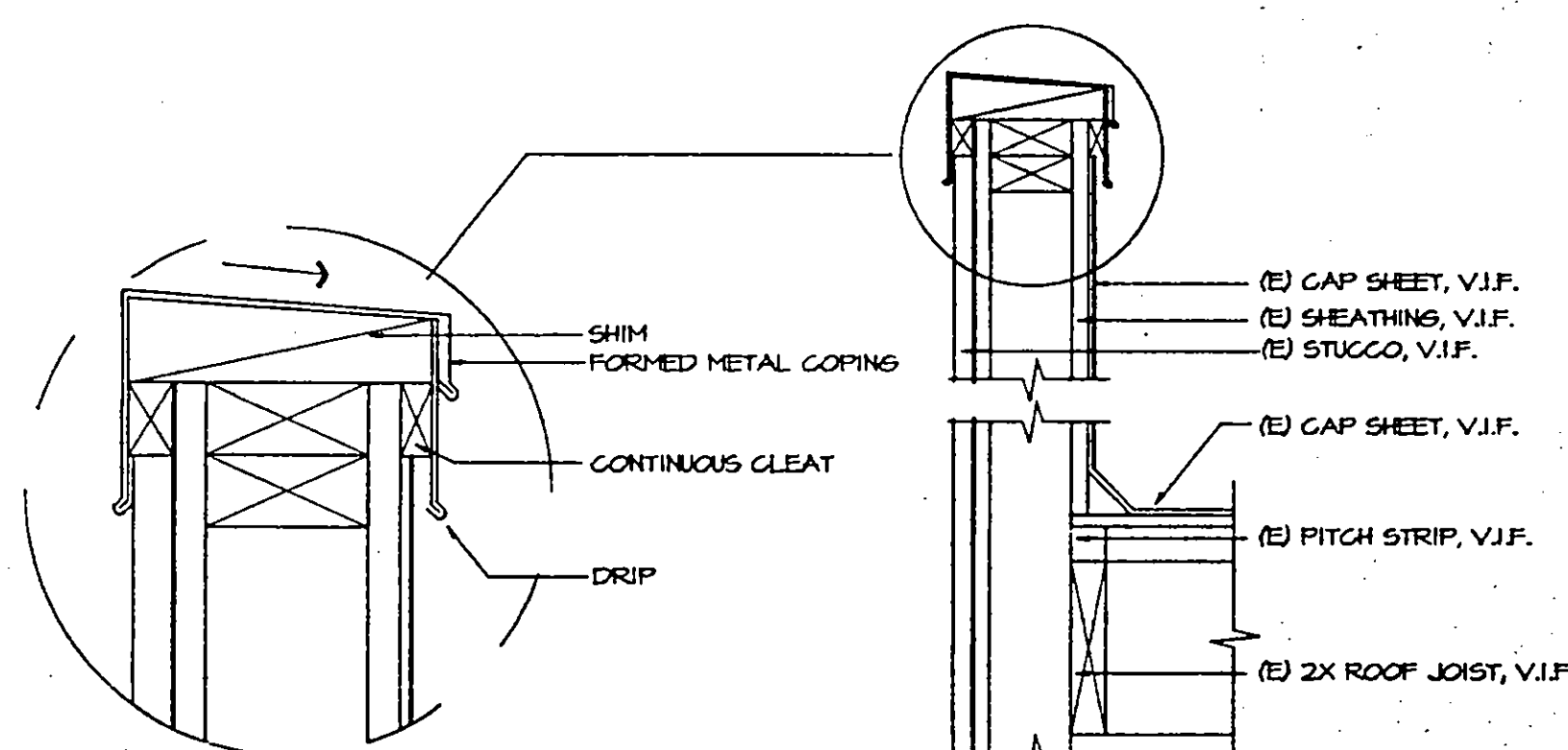
THE GEN. CONTRACTOR IS TO VERIFY ALL ROOF PITCHES, EXISTING SASH LOCATIONS, GRADE CONDITIONS, AND FRAMING HEIGHTS IN FIELD PRIOR TO CONSTRUCTION.



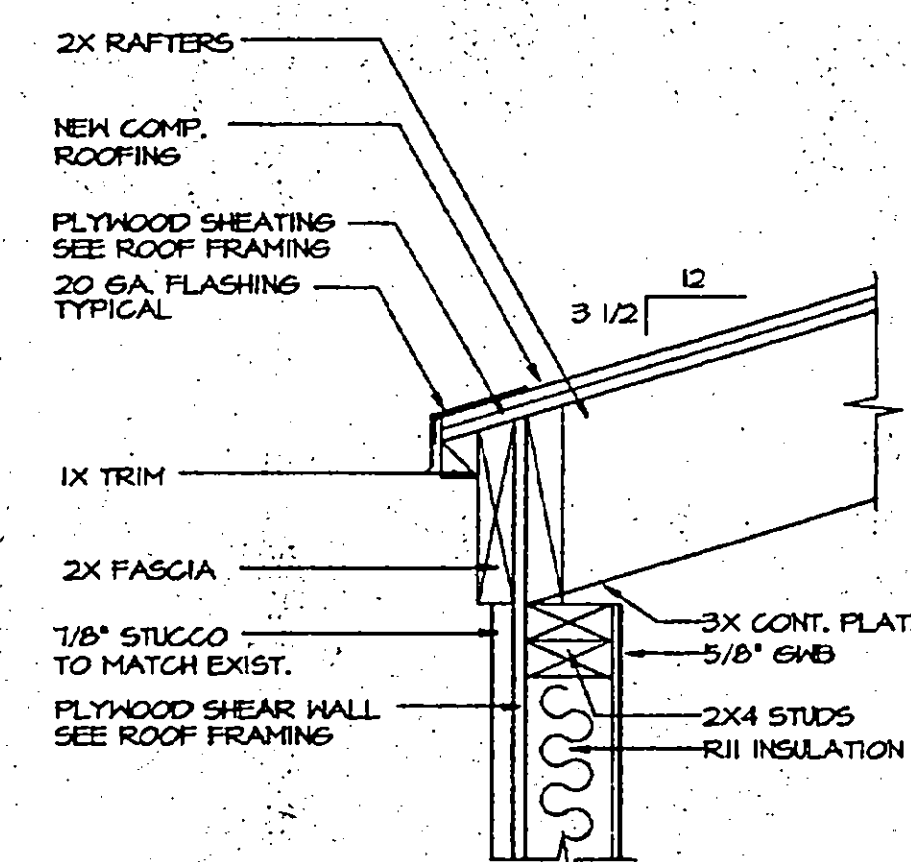
ROOF PLAN
SCALE: 1/4" = 1'-0"



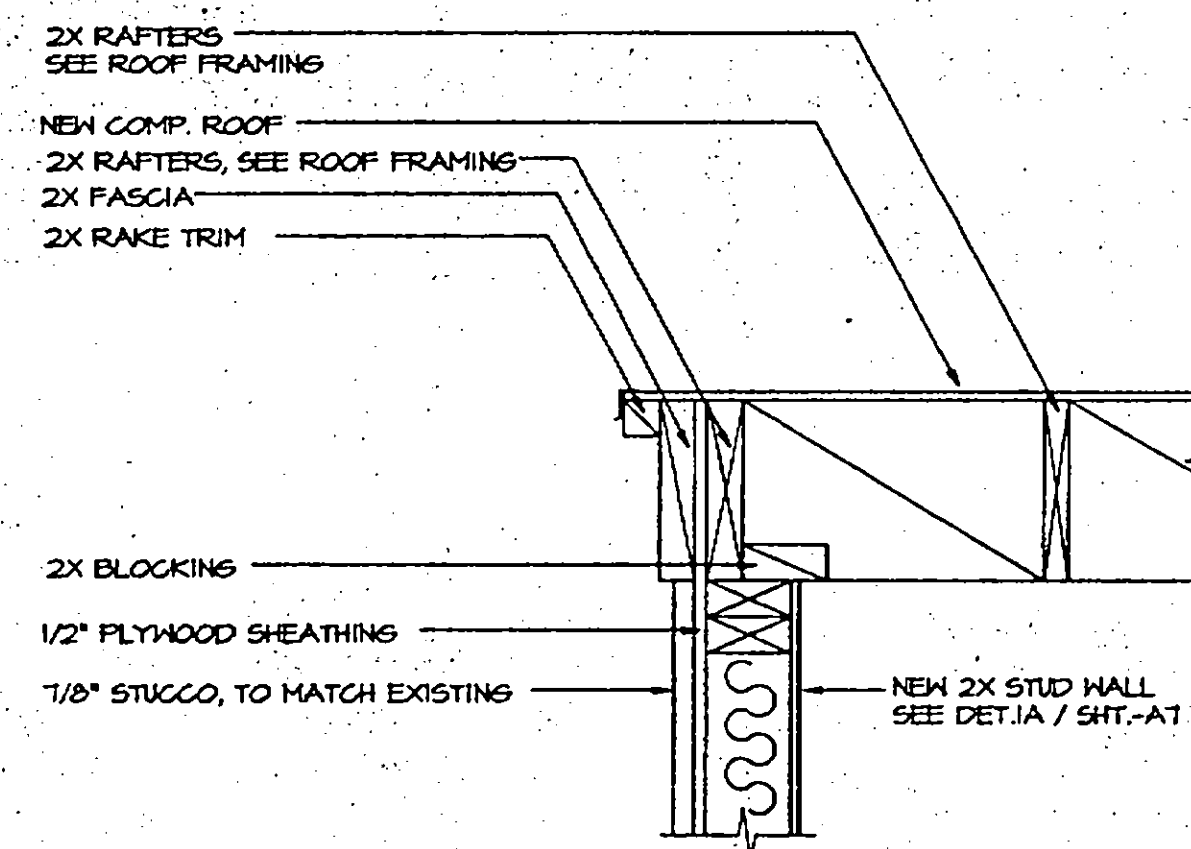
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 FLASHING DETAIL AT PARAPET WALL
SCALE: 1 1/2" = 1'-0"

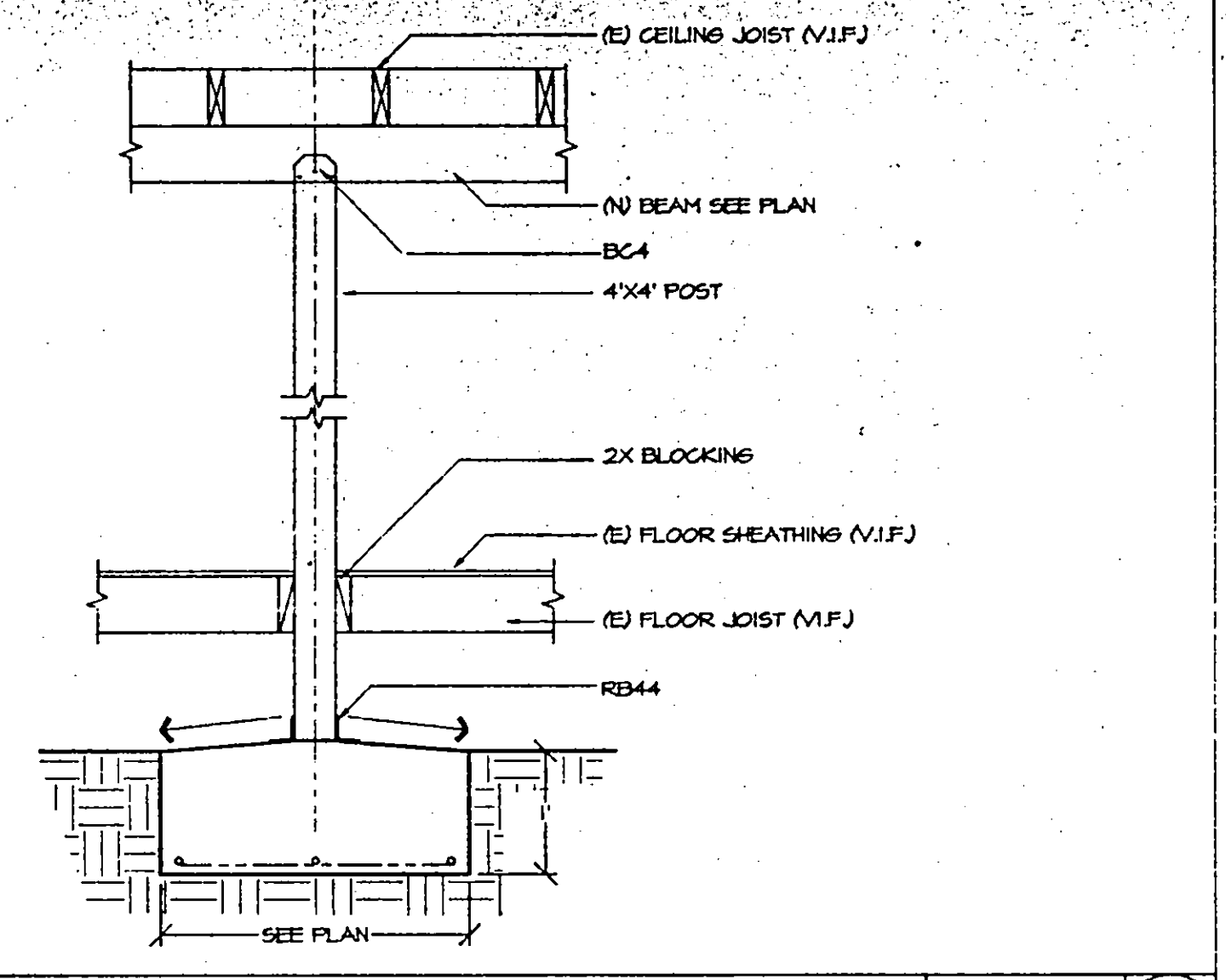


2 EAVE DETAIL AT STUD WALL
SCALE: 1 1/2" = 1'-0"

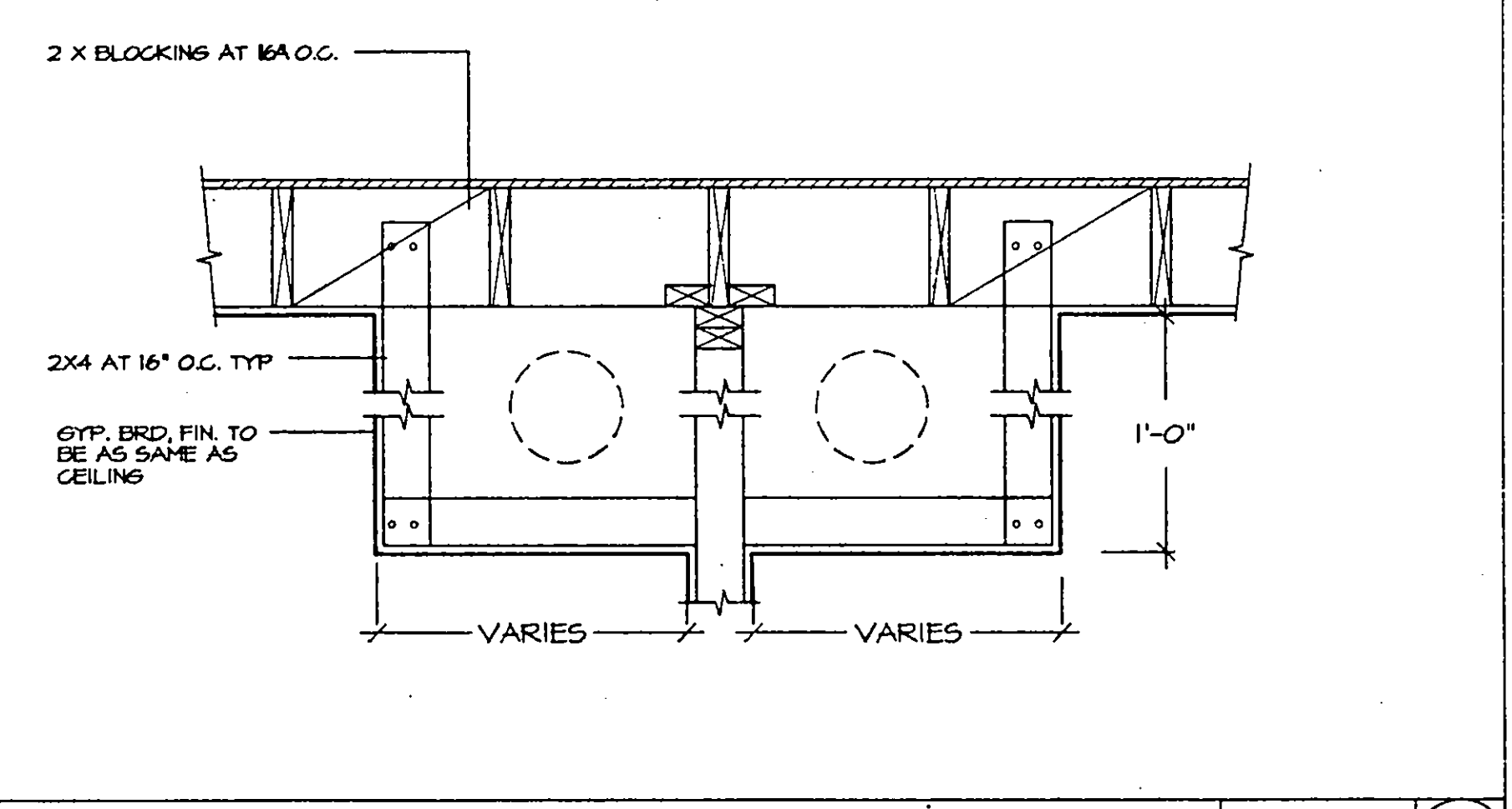


3 RAKE DETAIL AT STUD WALL
SCALE: 1 1/2" = 1'-0"

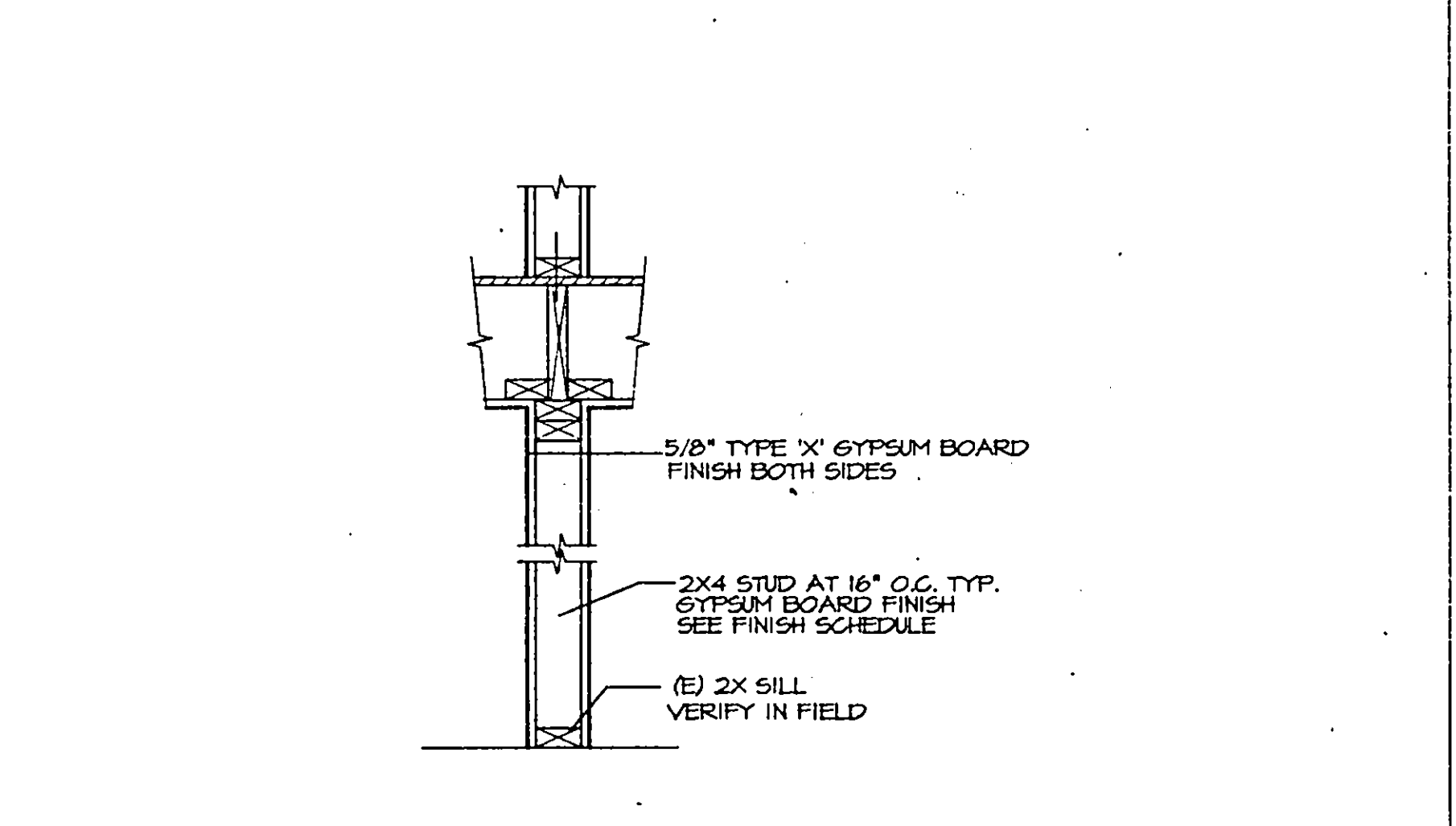
ROOF PLAN & REFLECTED CEILING PLAN



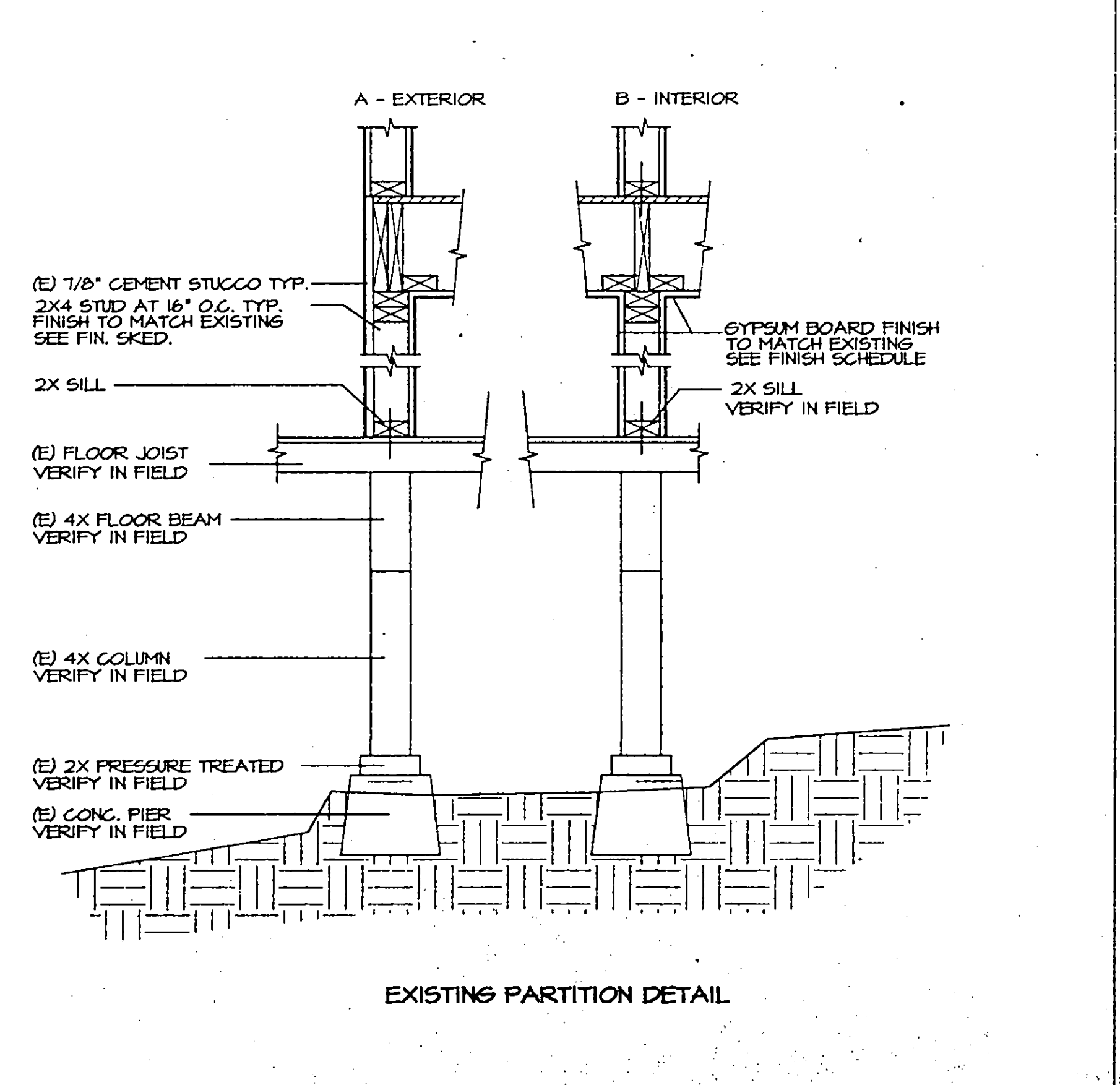
CONNECTION DETAIL SCALE 3/4" = 1'-0" 4



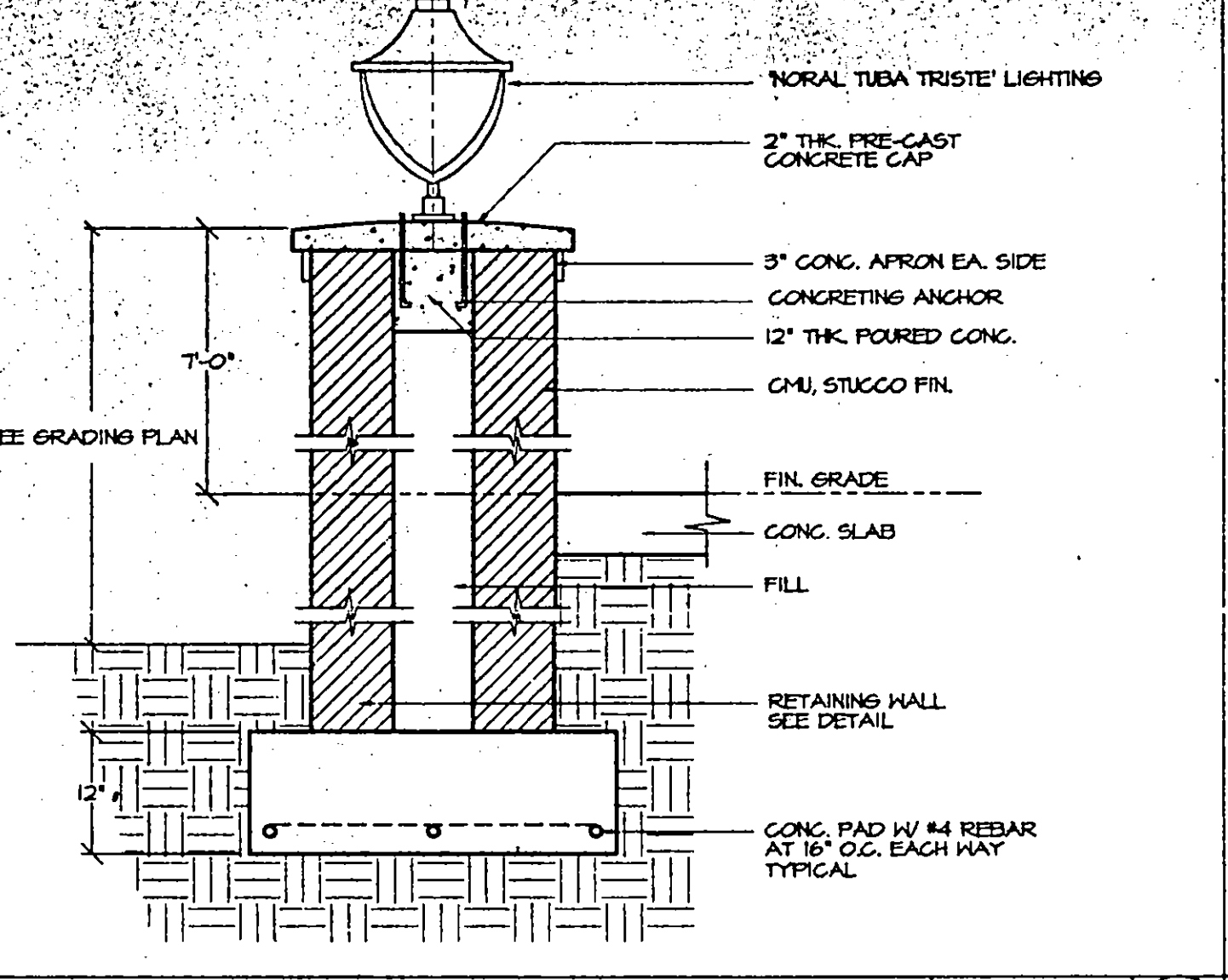
SOFFIT DETAIL SCALE 1" = 1' 3



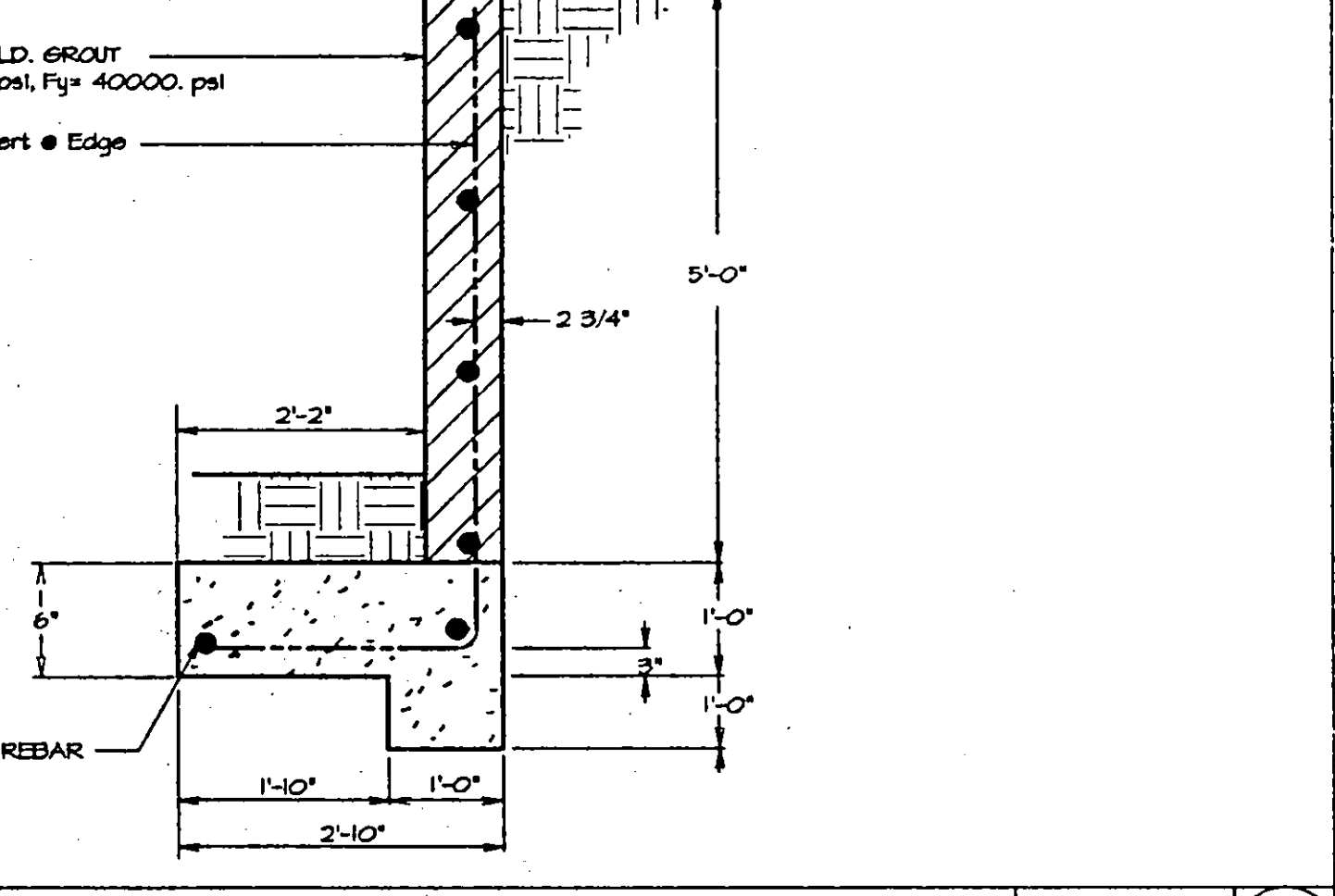
1-HOUR WALL DETAIL SCALE 1" = 1' 2



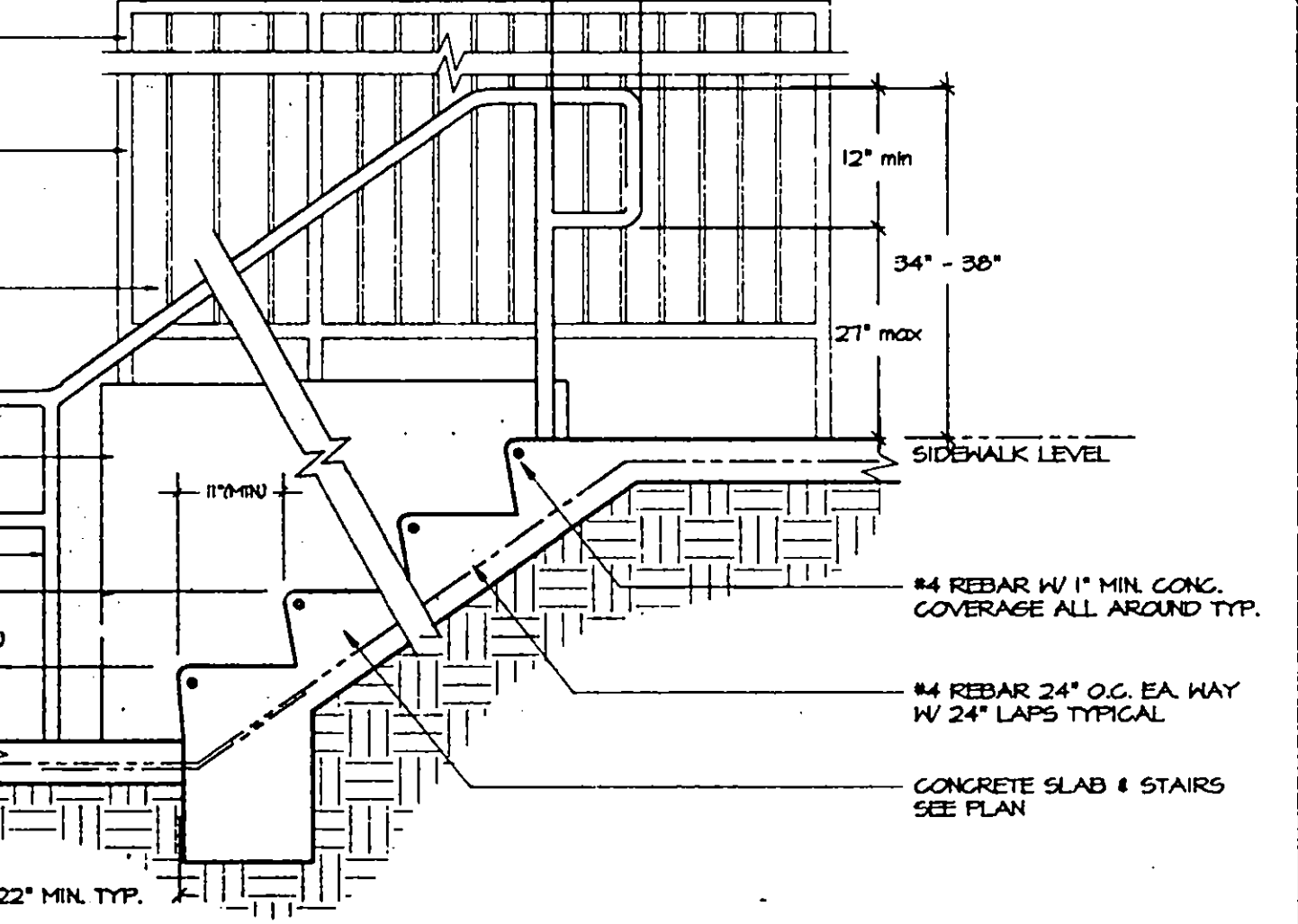
WALL DETAILS SCALE 1" = 1' 1



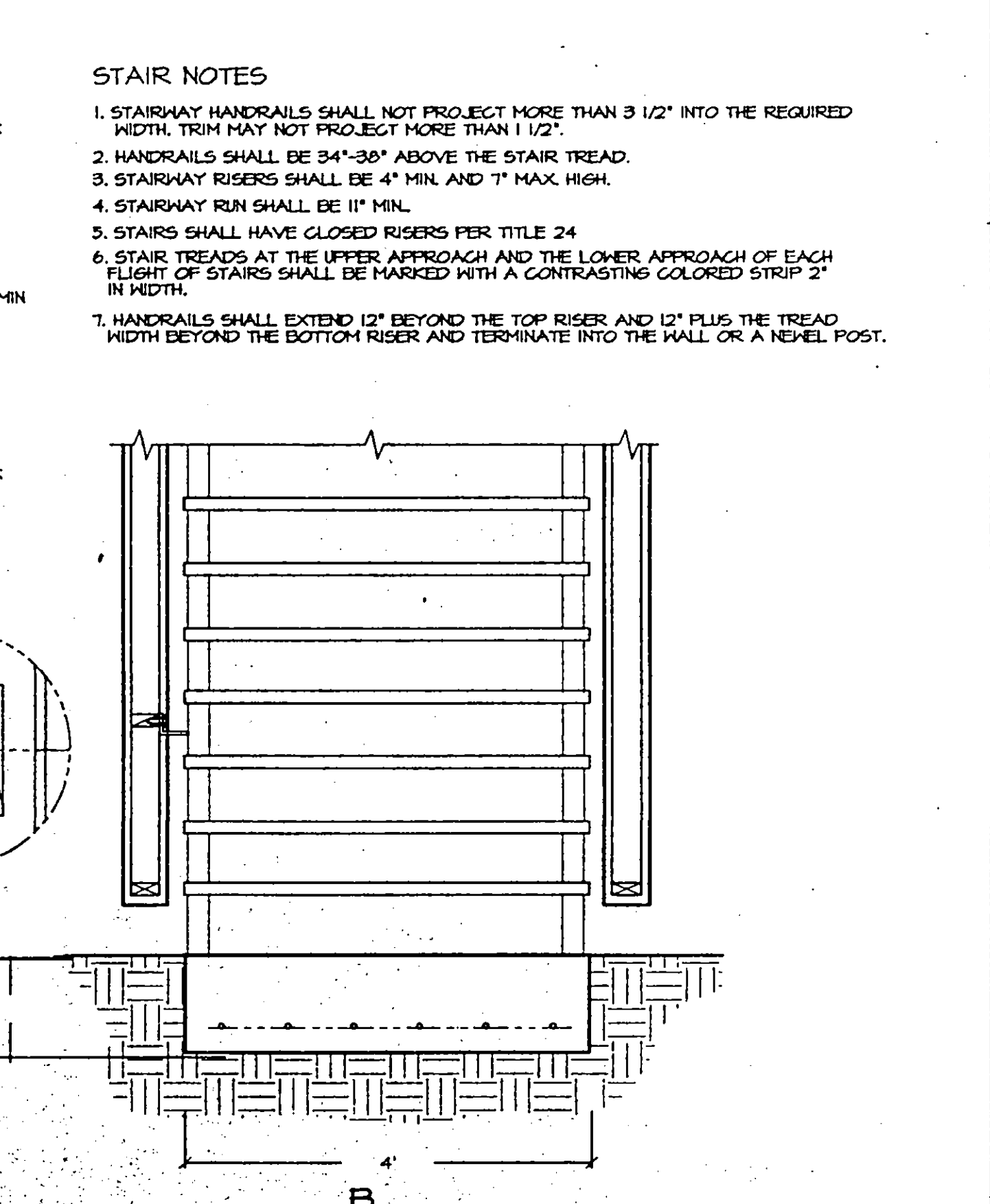
PILASTER DETAIL SCALE 3/4" = 1'-0" 8



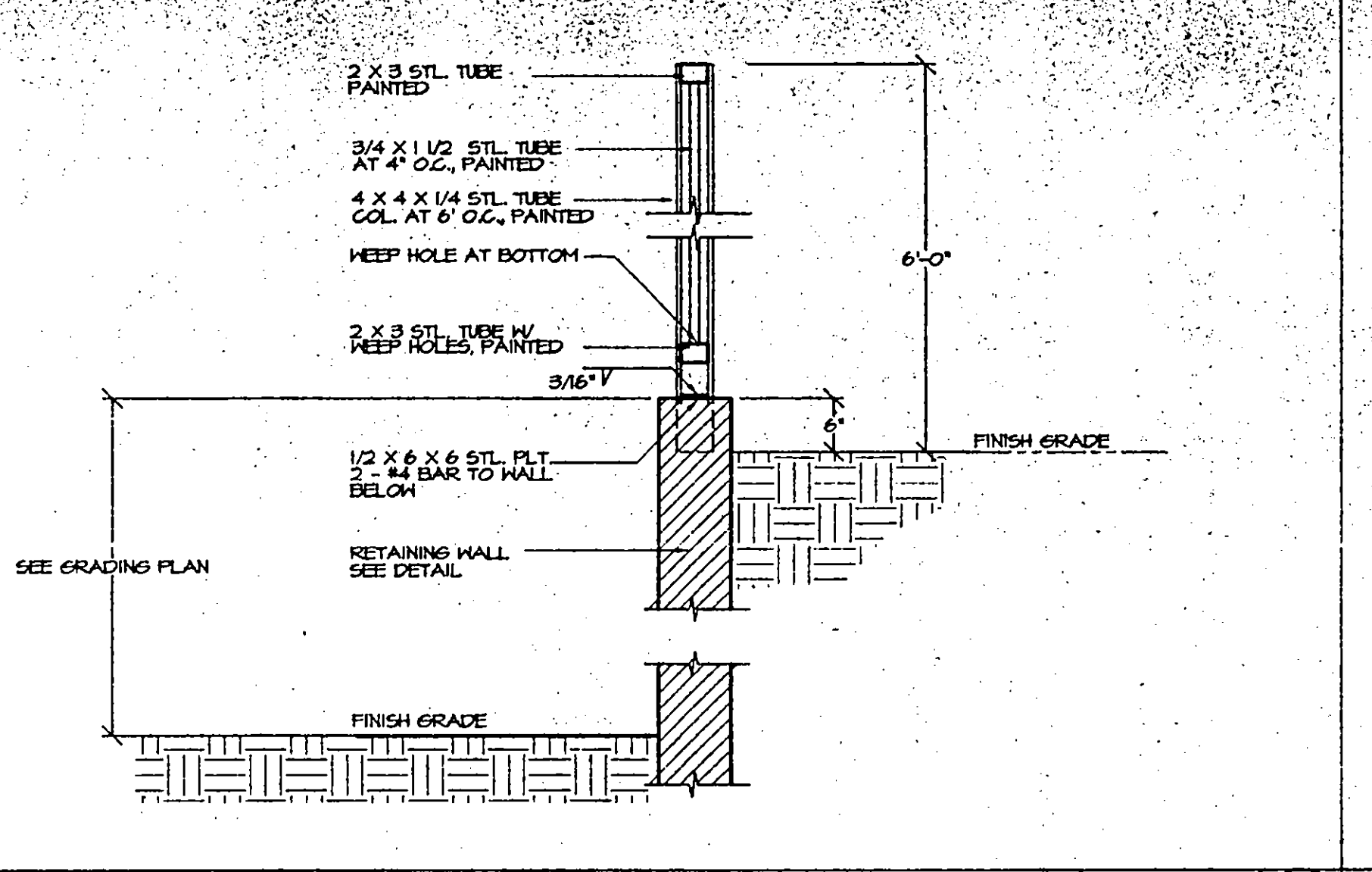
RETAINING WALL DETAIL SCALE NO SCALE 7



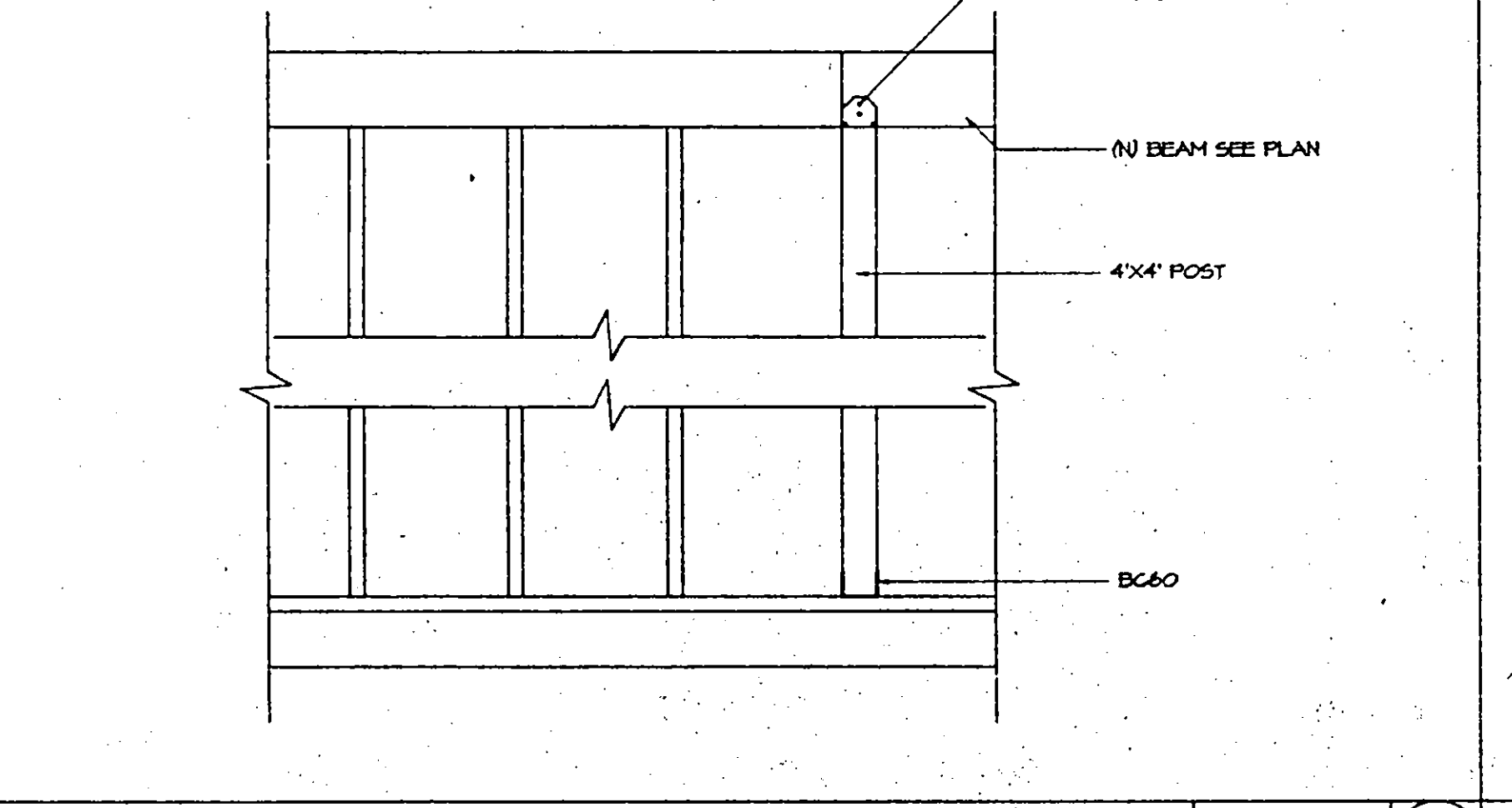
STAIR ON GRADE DETAIL SCALE 3/4" = 1' 6



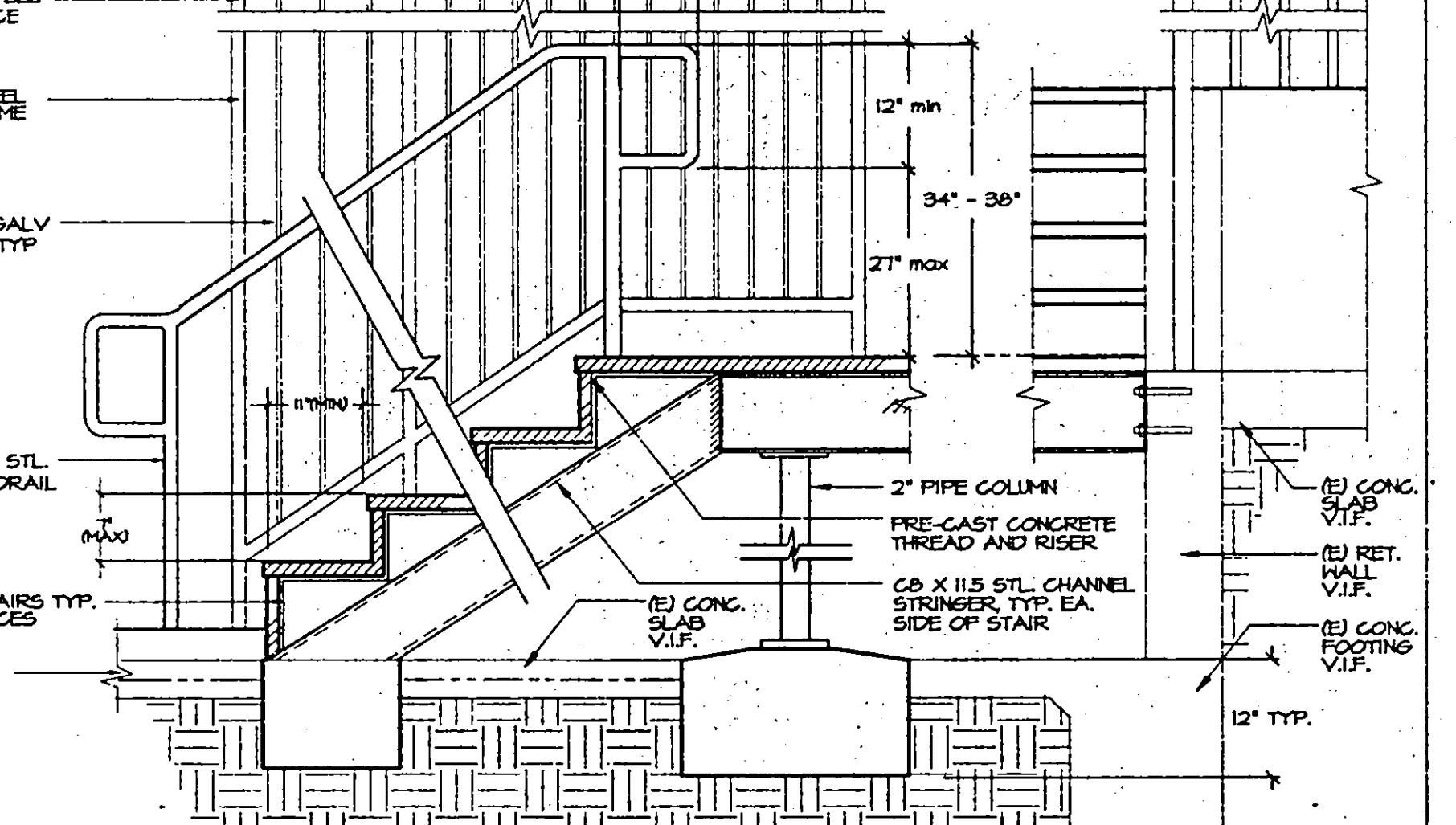
STEEL STAIR DETAIL SCALE 3/4" = 1' 5



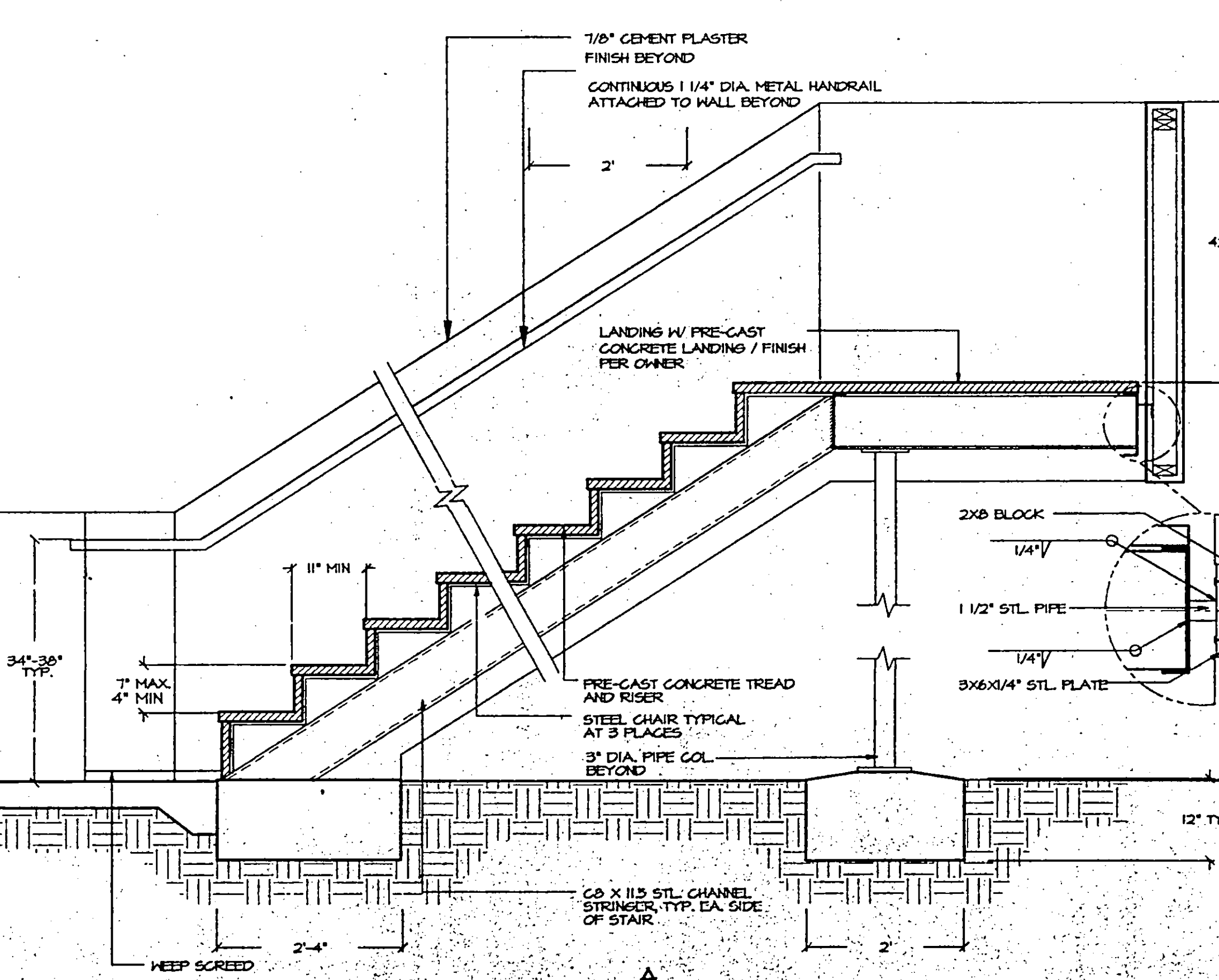
STEEL FENCE DETAIL SCALE 3/4" = 1'-0" 11



CONNECTION DETAIL SCALE 3/4" = 1' 10

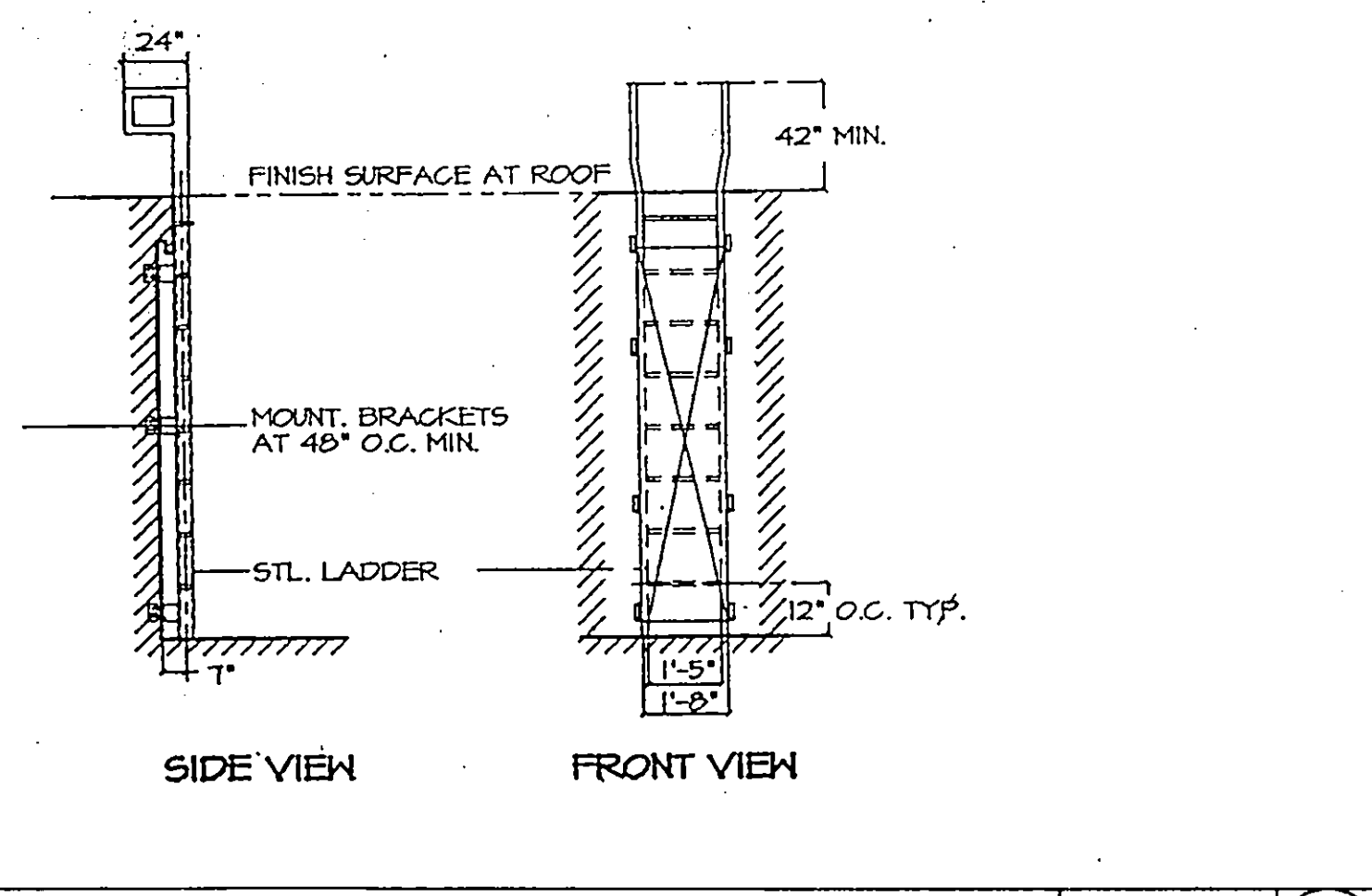


STAIR DETAIL SCALE 3/4" = 1' 9

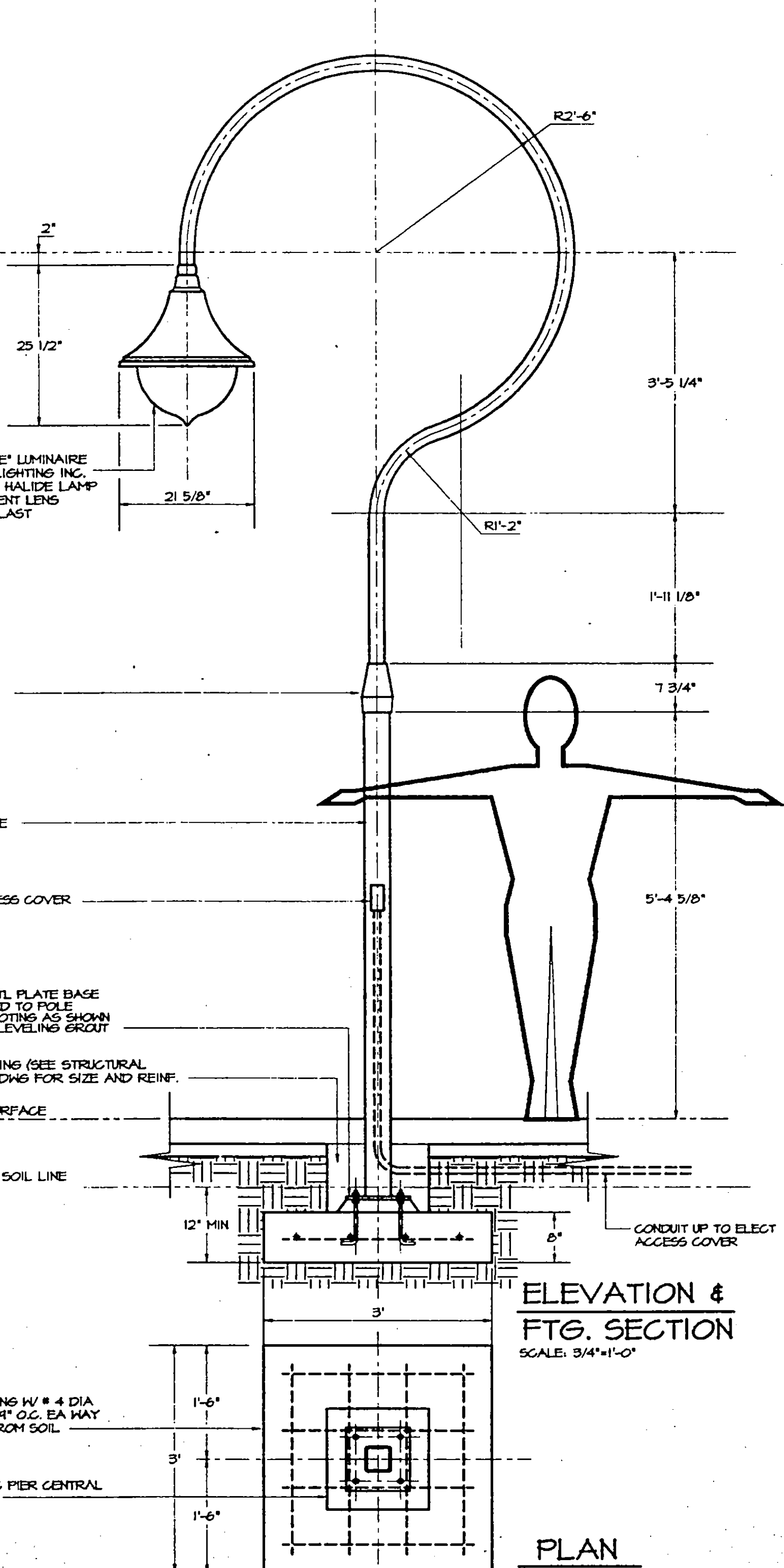


STAIR DETAIL SCALE 3/4" = 1' 9

STAIR NOTES
1. STAIRWAY HANDRAILS SHALL NOT PROJECT MORE THAN 3 1/2" INTO THE REQUIRED WIDTH. TRIM MAY NOT PROJECT MORE THAN 1 1/2".
2. HANDRAILS SHALL BE 34"-36" ABOVE THE STAIR TREAD.
3. STAIRWAY RISERS SHALL BE 4" MIN. AND 7" MAX. HIGH.
4. STAIRWAY RUN SHALL BE 11" MIN.
5. STAIRS SHALL HAVE CLOSED RISERS PER TITLE 24
6. STAIR TREADS AT THE UPPER APPROACH AND THE LOWER APPROACH OF EACH FLIGHT OF STAIRS SHALL BE MARKED WITH A CONTRASTING COLORED STRIP 2" IN WIDTH.
7. HANDRAILS SHALL EXTEND 12" BEYOND THE TOP RISER AND 12" PLUS THE TREAD WIDTH BEYOND THE BOTTOM RISER AND TERMINATE INTO THE WALL OR A NEHEL POST.



LADDER DETAIL SCALE NO SCALE 15



ELEVATION & FTG. SECTION SCALE: 3/4" = 1'-0" PLAN SCALE: 3/4" = 1'-0" SCALE 12

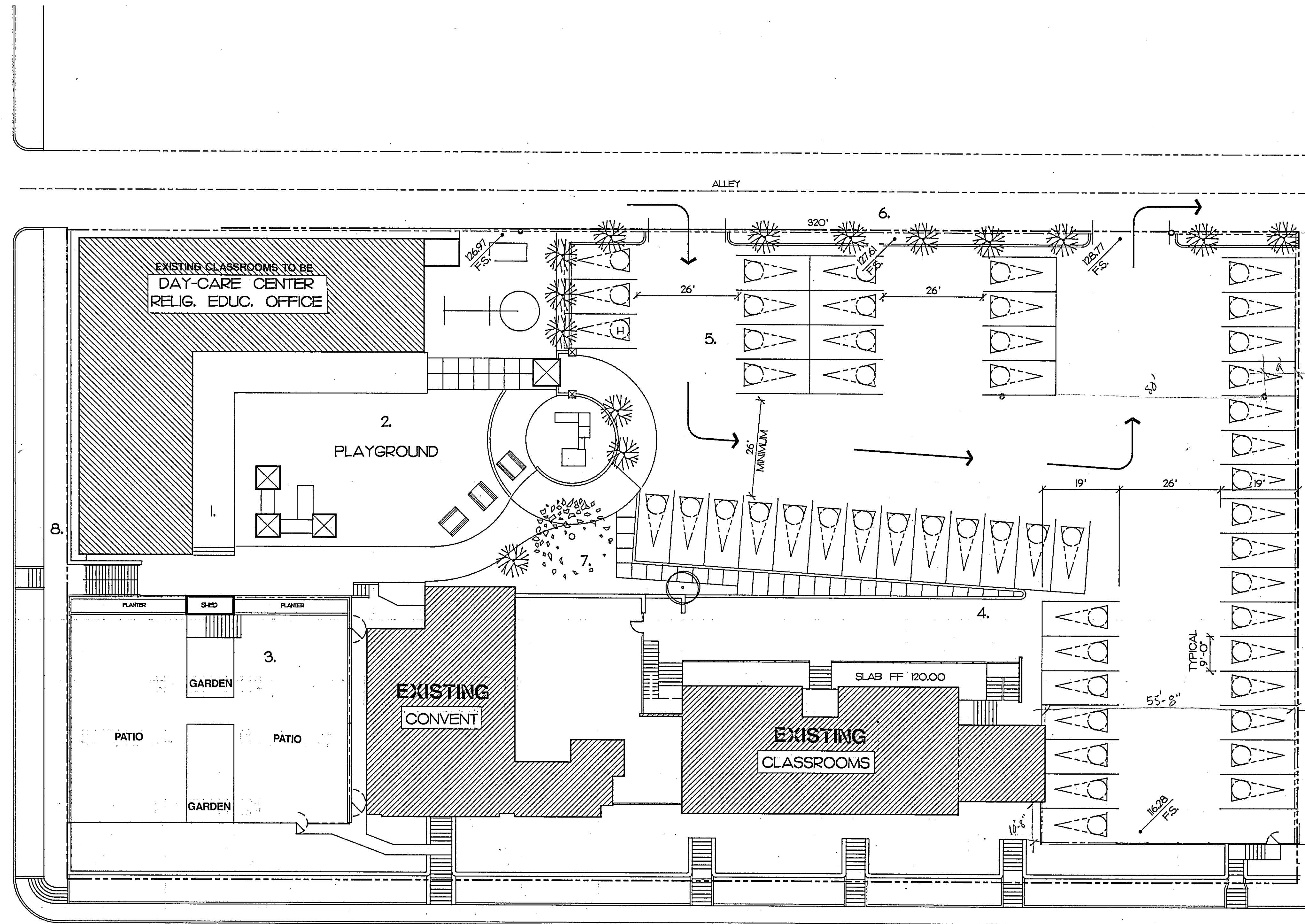
SCALE 16

SCALE NO SCALE 15

SCALE 3/4" = 1' 12

SCALE 12

VINCENT STREET



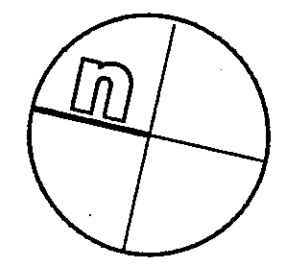
PLANNING NOTES:

- PROPOSED USE: DAY-CARE FACILITY / MAX. 50 CHILDREN
PARTIAL INTERIM OFFICE USE
- PROPOSED PARKING: 50 STANDARD CARS + 1 HANDICAP
ONE-WAY INGRESS & EGRESS
- LEGAL DESCRIPTION: LOTS 12-18 INCL. BLOCK 150, REDONDO
BEACH TOWNSITE, LOS ANGELES COUNTY,
MB. 39, PP. 7

NOTES:

1. REVISE THE EXISTING BATHROOMS (SEE PROPOSED FLOOR PLAN)
2. INSTALL PLAYGROUND IMPROVEMENTS
3. INSTALL ACCESS STAIRWAY TO LOWER YARD AREA.
4. INSTALL NEW CONCRETE CURB & ISLAND AS SHOWN.
5. RESTRIPE PARKING LOT AREA.
6. INSTALL NEW 8' HIGH FENCING ALONG ALLEY WITH GATES AS SHOWN.
7. INSTALL NEW PLANTING & IRRIGATION.
8. INSTALL NEW SIGNAGE.

SITE PLAN
SCALE: 1/16" = 1'
383 SITE



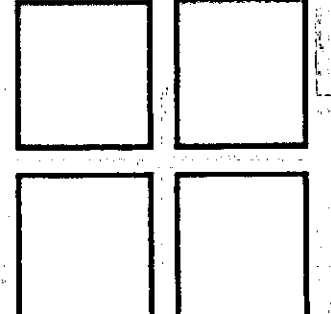
St. James Religious Education & Day Care Center

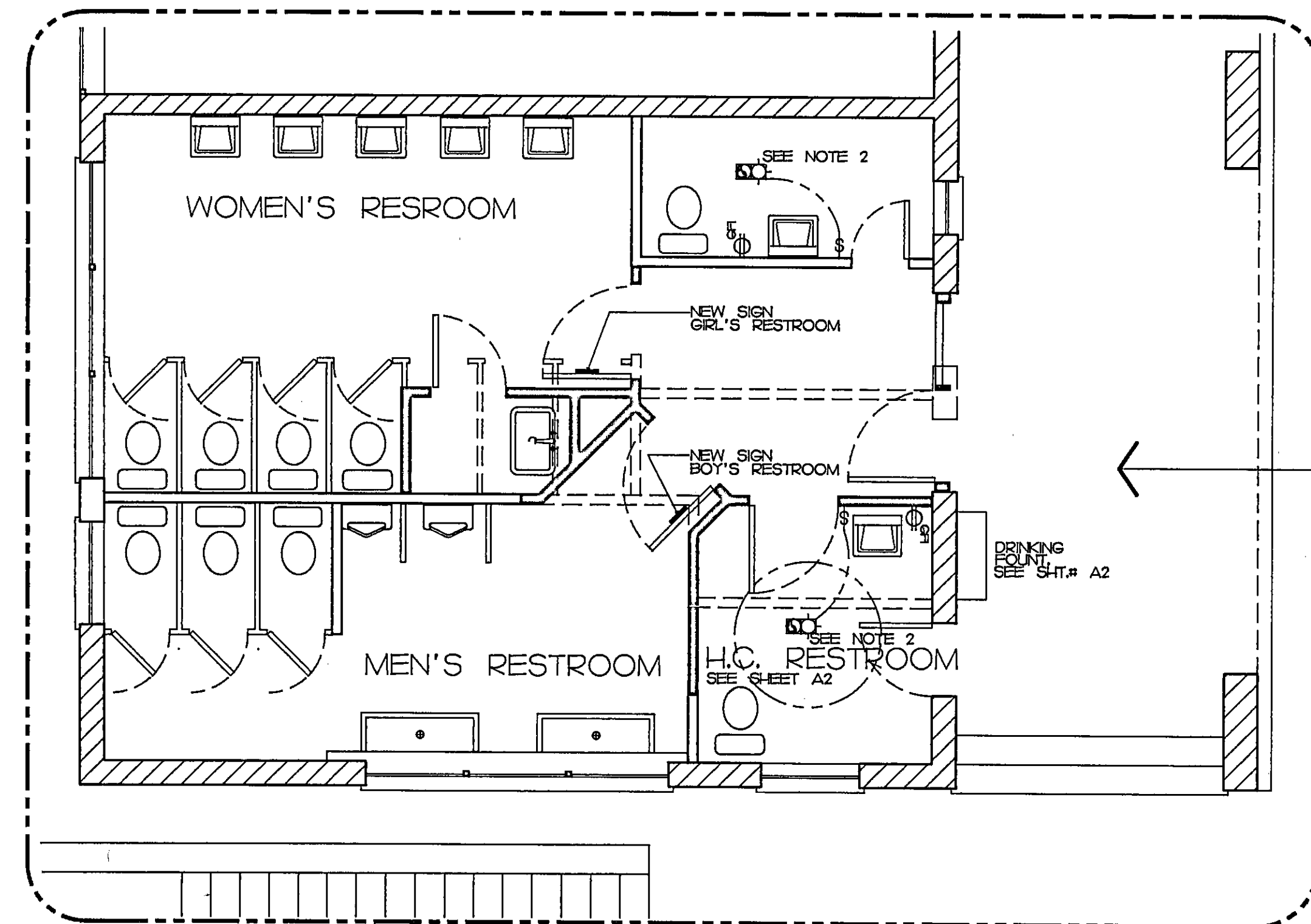
45 VINCENT STREET / REDONDO BEACH / CA

PASTOR - REV. TIMOTHY NICHOLS

Handwritten signature

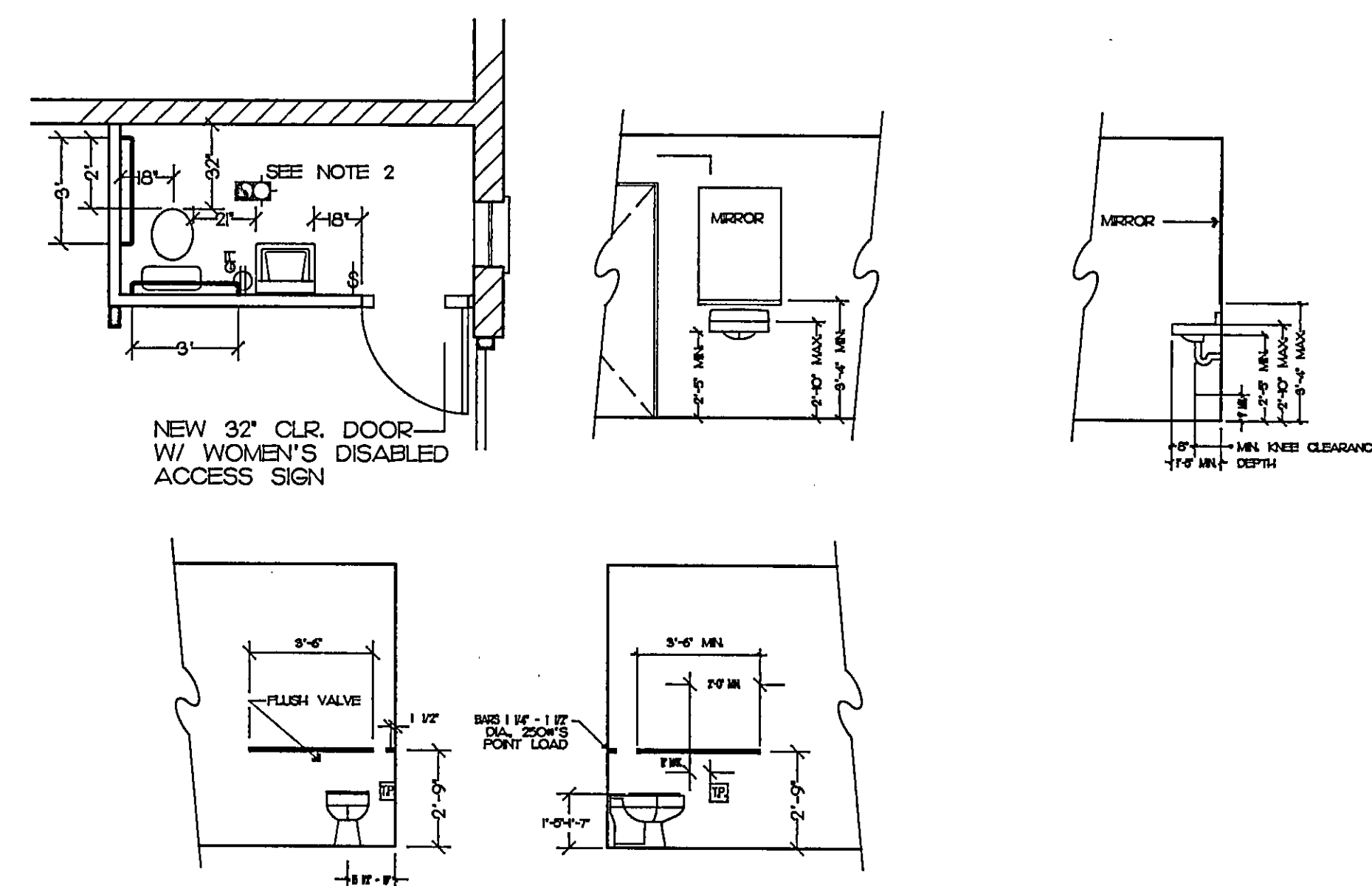
A1



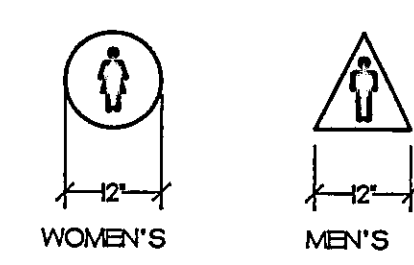


CUT EXISTING MASONRY WALL SECTION AT LINTEL LEVEL / AND INSTALL NEW METAL DOOR & SIDELITE
 REMOVE EXISTING WALLS (DASHED LINES)
 INSTALL NEW STUD WALLS & FINISH W/ 5/8" TYPE 'X' GYP BRD BOTH SIDES
 REMOVE EXISTING PLUMBING FIXTURES / INSTALL NEW FIXTURES AS SHOWN
 INSTALL HANDICAP ACCESSIBLE TOILET / GRAB BARS AND OTHER TYPICAL FEATURES AT THIS BATHROOM
 REMOVE EXISTING DOORS AT ALL TOILET PARTITIONS
 INSTALL NEW DOOR SIGNAGE INDICATING 'BOY'S / GIRL'S / & HANDICAP ACCESSIBLE' W/ ANY REQ'D SYMBOLS

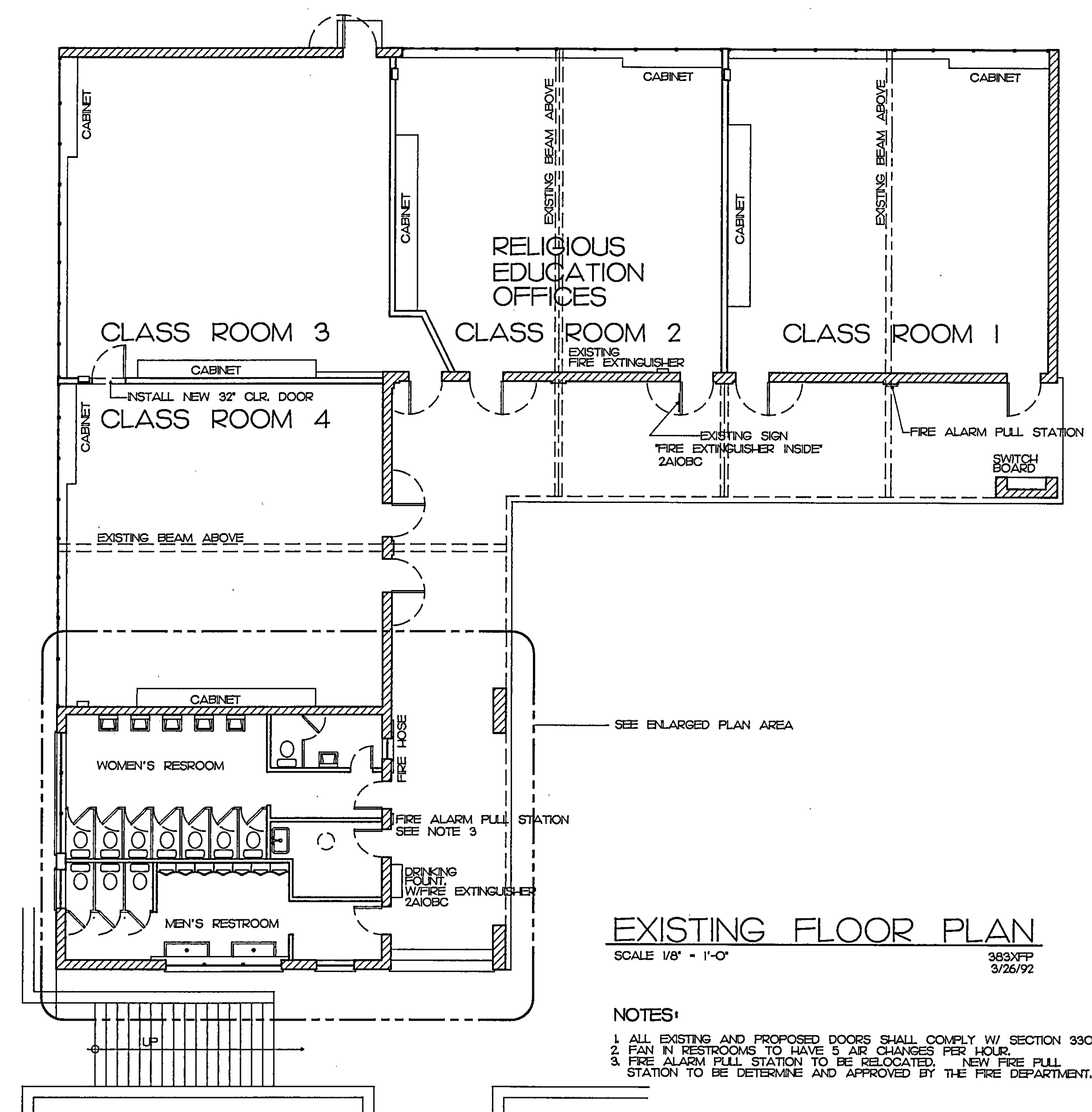
PROPOSED FLOOR PLAN
 SCALE 1/4" = 1'



WOMEN'S RESTROOM ELEVATION
 SCALE 1/4" = 1'



RESTROOM SIGNS



EXISTING FLOOR PLAN
 SCALE 1/8" = 1'-0"
 383XFP
 3/26/92

NOTES:
 1. ALL EXISTING AND PROPOSED DOORS SHALL COMPLY W/ SECTION 3303(a) 1988 UBC
 2. FAN IN RESTROOMS TO HAVE 5 AIR CHANGES PER HOUR
 3. FIRE ALARM PULL STATION TO BE RELOCATED. NEW FIRE PULL STATION TO BE DETERMINE AND APPROVED BY THE FIRE DEPARTMENT.

h. c. james

