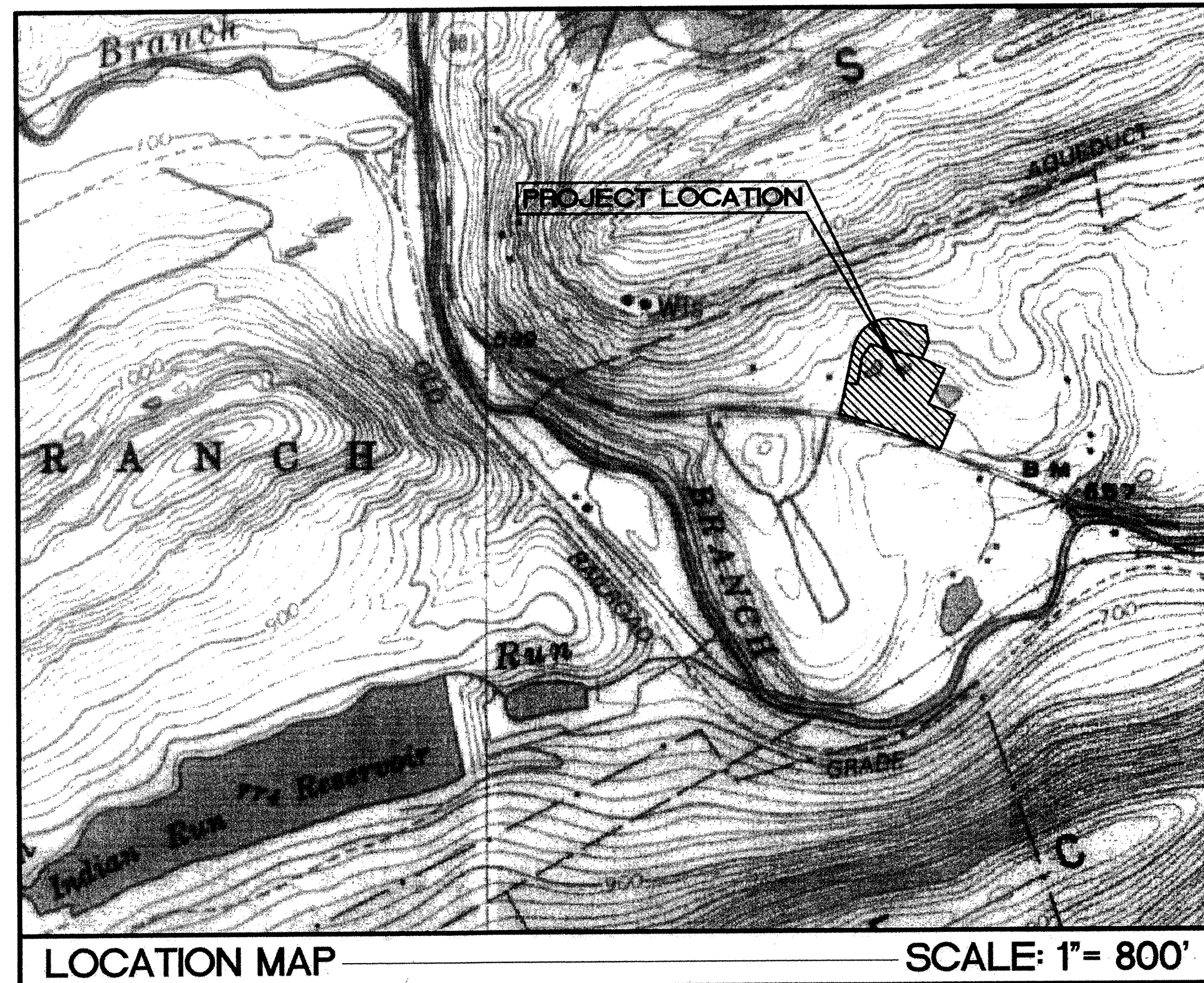


FINAL PLANS FOR SEIDERS HILL - LOT 114 - PHASE I NORTH MANHEIM TOWNSHIP SCHUYLKILL COUNTY, PA



WJP Engineers
1406 LAUREL BOULEVARD
POTTSTVILLE, PA 17901
(570)622-4550

SUBDIVISION AND LAND DEVELOPMENT NOTES

- RECORD OWNER AND SUBDIVIDER**
Seiders Hill Inc.
301 North Second Street
Pottsville, PA 17901
Deed Book 1432, Page 154
UPI No. 18-5-1
- SOURCE OF TITLE**
Conveyance from Helen A. Seiders, Administratrix of the Estate of Charles P. Seiders and Sherry Seiders, Executrix of the Estate of Henry Seiders to Seiders Hill Inc., by deed dated August 8, 1989 recorded in Deed Book 1432, Page 154.
- RECORD PLAN INFORMATION**
Lot 114 is part of the Seiders Hill Subdivision, Phase 6, as recorded March 31, 1998, Map Book 36 Page 17.
- TRACT ACREAGE**
Original Layout
Lot 114 - 398,634 Sq. Ft. (9.151 Acres)
Lot 115 - 129,525 Sq. Ft. (2.973 Acres)
Total - 528,159 Sq. Ft. (12.124 Acres)
Revised Lot Layout
Lot 114 - 408,629 Sq. Ft. (9.381 Acres)
Lot 115 - 119,530 Sq. Ft. (2.744 Acres)
Total - 528,159 Sq. Ft. (12.124 Acres)
- ZONING**
C-2 General Commercial
- ZONING INFORMATION**
C-2 Zoning
405.4 Minimum Lot Size
Per Construction Site - 20,000 Square Feet
Per Unit of Use - 10,000 Square Feet
405.5 Minimum Yard Dimensions
Front Yard - 25 feet
Each Side Yard - 20 feet
Rear Yard - 25 feet
Distance Between Buildings - 30 Feet
405.6 Maximum Building Coverage and Height
Maximum Building Coverage - 35%
Maximum Height (feet) - 25
Maximum Paved Area - 45%
- LAND USE**
Lot No. 114 is intended to be used in accordance with permitted uses under C-2 Zoning in the Township Zoning Ordinance.
- WATER SUPPLY**
Public water supply by the Schuylkill County Municipal Authority. Water line to be extended through the site as shown on the plan.
- SEWAGE DISPOSAL**
Community sewage collection, conveyance, and disposal by Seiders Hill Inc. The lot will be served by pump station and force main, connected to existing lines along Red Horse Road in Phase 6 of the development. A capped force main will also be extended through the site for the future extension of service to the south side of SR 901.
- SOILS**
CaD - Calvin shaly silt loam, 15 to 25% slopes
Du - Dumps, mine
KaB - Kedron silt loam
LdC - Laidig stony loam, 8 to 25% slopes
- ELEVATION DATUM AND CONTOURS**
Contours shown based on aerial photography prepared by Eastern Mapping Company as dated 4/22/98. A supplemental field survey was performed by WJP Engineers. The top of headwall at the southeast corner of the property near Pond 2, is at elevation 641.99.
- HIGHWAY OCCUPANCY PERMIT**
The site will be accessed from Red Horse Road. The intersection of Red Horse Road and SR 901, is a local road, as issued by Highway Occupancy Permit No. 05001900, dated September 25, 1997.
The lot owners will be responsible for acquiring a Highway Occupancy Permit from the state or municipality prior to constructing any new driveway pursuant to Section 420 of the Act of June 1, 1945 (PL1242, No.428), known as the "State Highway Law", and further required by Section 508(6) of the PA Municipalities Planning Code (MPC).
- Traffic Control**
If as a result of the development of Lot 114, or the operation of business on Lot 114, there is a vehicular traffic impact over and along SR 901 which results on the Pennsylvania Department of Transportation requiring a traffic study and/or improvements be made to said legislative route, the developer and property owner shall be responsible for the cost of the traffic study and for any improvements resulting from the traffic study which are required to be installed upon SR 901, including by way of example, but not limitations, alterations to the road surface or shoulders, or the necessity of the placement of new traffic control devices. The Township by this approval shall not be obligated to be the Permittee for any proposed traffic control improvements and/or any future maintenance or utility billing thereof.
- STORMWATER MANAGEMENT / EROSION AND SEDIMENT CONTROL PLAN**
A plan for stormwater management has been prepared for the site development. The plan is based on the Phase 6 plan previously approved, with updated information as needed to address the proposed construction.
Erosion and Sediment Control Plan and Post Construction Stormwater Management provisions for the NPDES permit have been prepared.
- OWNERSHIP AND MAINTENANCE OF STORMWATER FACILITIES**
All Stormwater Management Facilities within the boundary of the lot will be maintained by the lot owner. In case of negligence of such responsibility or neglect or deterioration of any or all storm water facility as determined by the Township in its sole discretion, the Township shall notify the property owner of any repair or maintenance as may be required, establishing a reasonable period within which such work must be complete. If the property owner fails to take the required action, the Township reserves the right to enter such property, effect the necessary maintenance or repairs, and to lien the property for the cost of said maintenance or repairs.
- STORMWATER NPDES PERMIT**
An NPDES Permit was obtained for the entire property. Permit No. PAG-2-0054-03-022.
- FLOOD PLAIN**
The area is not within an identified flood plain.
- LIGHTING**
Site lighting will be provided in accordance with the Township Ordinance. The lighting layout is indicated on the plan.
- OFF STREET PARKING**
Off street parking will meet the requirements of Section 508 of the Township Zoning Ordinance. Added information on parking is as shown on the site and paving plan.
- LANDSCAPING PLAN**
Landscaping for the proposed construction is indicated on the plan.
- WAIVERS**
Waiver from Section 4.2346 to allow sanitary sewage approval to be part of Final Plan approval.
- PRELIMINARY PLAN APPROVAL**
This is a Final Plan for Phase I of the Seiders Hill Lot 114 Land Development. Preliminary Plan approval for the Lot 114 Land Development was received from the North Manheim Township Board of Supervisors at a meeting on August 24, 2004.

DRAWING INDEX

- | | |
|----|-----------------------------|
| 1 | TITLE PAGE |
| 2 | PROPERTY PLAN |
| 3 | SITE and PAVING PLAN |
| 4 | GRADING and DRAINAGE PLAN |
| 5 | UTILITY PLAN |
| 6 | LIGHTING and LANDSCAPE PLAN |
| 7 | STORM PROFILES |
| 8 | STORM PROFILES |
| 9 | SANITARY SEWER PROFILES |
| 10 | DETAILS SHEET |
| 11 | DETAILS SHEET |
| 12 | SANITARY DETAILS SHEET |
| 13 | SANITARY DETAILS SHEET |

As-Built Drawing
May 2018

CERTIFICATION OF PARCEL NUMBERS ONLY
DOES NOT CERTIFY CONTENTS
OF THIS DOCUMENT
SCHUYLKILL COUNTY ASSESSMENT BUREAU

200600021076
Filed for Record in
SCHUYLKILL COUNTY, PA
A MATTHEW DUBISH
10-20-2006 At 12:34 PM
HAP OR SUBD 73.00

200600021076
SEIDERS HILL INC.
NORTH MANHEIM TWP
FINAL MAP BK 53 PG 8

CERTIFICATION OF ACCURACY

I hereby certify that the Plan shown and described hereon, as well as all drawings bearing my seal, are true and correct to the accuracy required by the North Manheim Township Land Subdivision Regulations, and were prepared by me or under my direction and for which I accept full responsibility. The perimeter monuments have been accurately placed as required by Article VI, Section 6.28.

8/11/06
Date William J. Parulis (P.L.S.#29278E)

CERTIFICATION OF ACCURACY

I hereby certify that the Plan shown and described hereon, as well as all drawings bearing my seal, are true and correct to the accuracy required by the North Manheim Township Land Subdivision Regulations, and were prepared by me or under my direction and for which I accept full responsibility.

8/11/06
Date Dorothy A. Sterner (P.E.#044742-E)

CERTIFICATE OF MUNICIPAL APPROVAL

At a meeting held on August 29, 2006, the Board of Supervisors of the Township of North Manheim approved the Final Plan of Seiders Hill, Lot 114, Phase I, as shown herein.

James W. Eckert
James S. Bausz
Baron D. Dine

CERTIFICATE OF PLANNING COMMISSION APPROVAL

At a meeting held on August 17, 2006, the Planning Commission of the Township of North Manheim approved the Final Plan of Seiders Hill, Lot 114, Phase I, as shown herein.

William S. Seider
Carl L. Roper
Robert L. Roper
Stephen J. Zick
William D. Knecht
Robert L. Roper

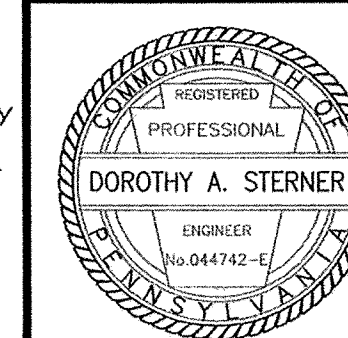
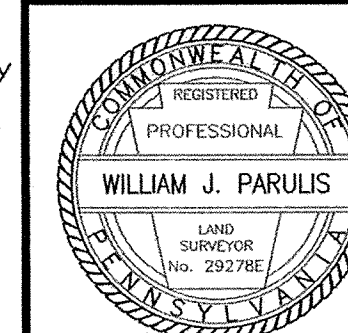
CERTIFICATION OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN

Commonwealth of Pennsylvania
County of Schuylkill

On this, the 10th day of August, 2006, before me, the undersigned officer, personally appeared the undersigned, who being duly sworn according to law, depose and says that they are the Owners of the property shown on this Plan, that the Subdivision Plan thereof, was made at its direction, and that it acknowledges the same to be its act and Plan and desires the same to be recorded as such according to law.

David A. Verdon
Patricia C. Schock
Attest: *Patricia C. Schock*
Notary

NOTARY SEAL

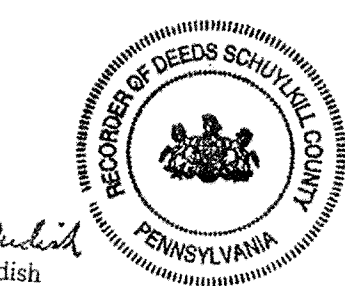


SCHUYLKILL COUNTY PLANNING COMMISSION REVIEWED

This review does not include an in-depth examination of the plan relative to subdivision design standards or other ordinance requirements of the municipality or a judgment as to the merit or adequacy of the development layout since these items are covered in the municipal level review.

Charles M. Rose
10-30-06
COUNTY PLANNING COMMISSION

I hereby CERTIFY that this document is recorded in the office of the Recorder of Deeds in and for the County of Schuylkill and Commonwealth of Pennsylvania.



A. Matthew Dubish
A. Matthew Dubish
Recorder of Deeds

RECORDER OF DEEDS

5	08/11/06	REVISED FOR CONSTRUCTION	AFJ
4	08/23/05	REVISED PER TOWNSHIP AND AUTHORITY REVIEW	AFJ
3	6/24/05	REVISED PER AUTHORITY REVIEW	AFJ
2	05/27/05	REVISED PER TOWNSHIP REVIEW	AFJ
1	04/29/05	REVISED PER TOWNSHIP REVIEW	AFJ
REVISION	DATE	DESCRIPTION	BY

SEIDERS HILL
LOT 114
FINAL PLAN - PHASE I

DATE
04/01/05

DRAWN BY
MTG/AFJ

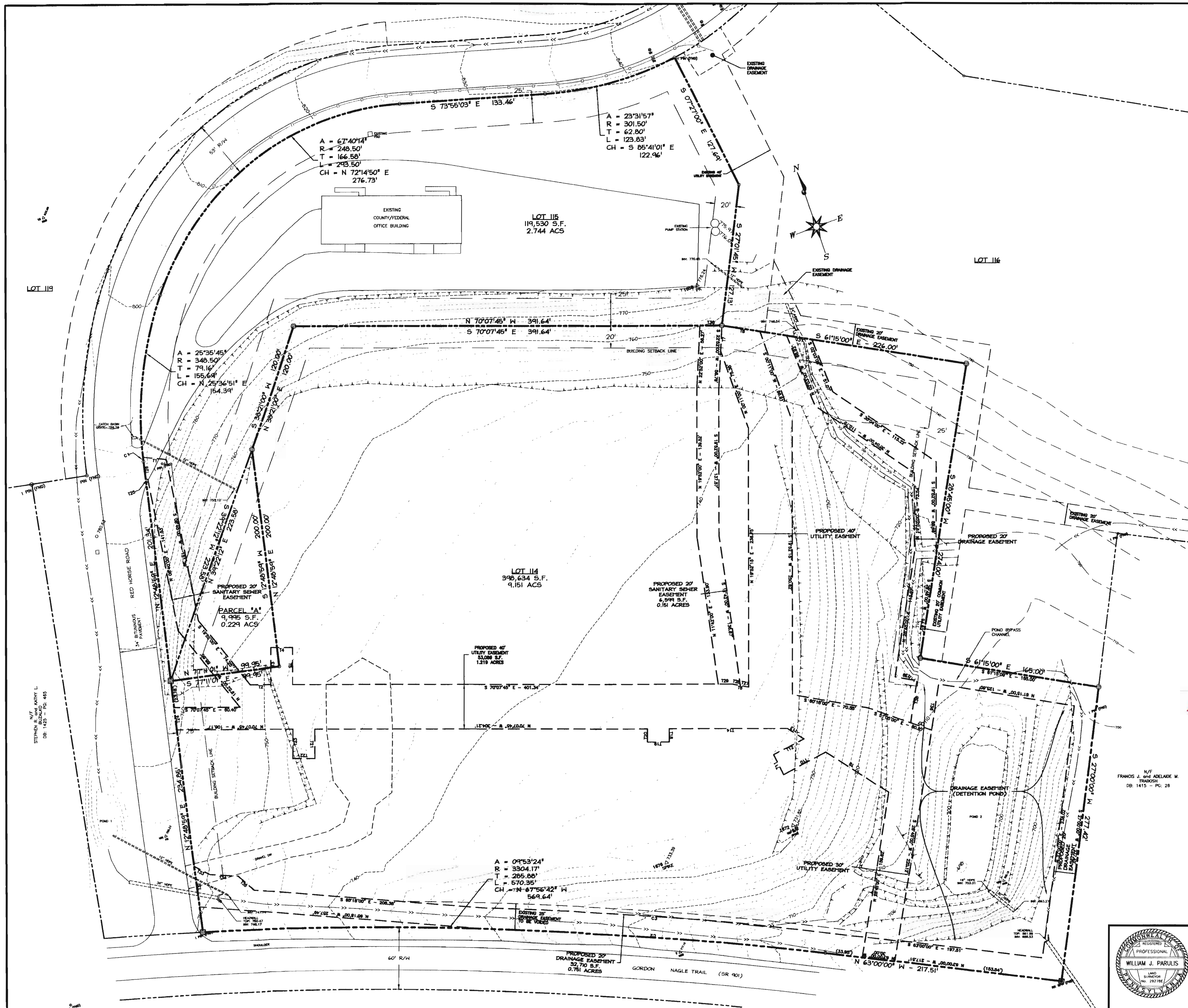
WJP Engineers

Pottsville, PA 17901
Telephone (570) 622-4550

DRAWING NO.
9607-12

TITLE PAGE

SHEET NO.
1



EASEMENT CURVE TABLE					
NUMBER	ANGLE	RADIUS	TANGENT	LENGTH	CHORD
C1	07°49'17"	348.50	2.06	4.12	N 15°01'17" E - 4.12
C2	06°29'24"	3304.17	156.47	346.64	N 65°44'46" E - 346.57
C3	06°20'55"	3324.17	154.14	310.06	S 65°44'27" E - 317.93

EASEMENT TANGENT TABLE					
NUMBER	BEARING	DISTANCE	NUMBER	BEARING	DISTANCE
T1	S 64°30'00" E	21.22	T21	S 19°52'15" W	26.90
T2	S 70°07'46" E	16.47	T22	N 70°07'46" W	20.00
T3	N 19°52'15" E	32.42	T23	N 19°52'15" E	26.90
T4	S 70°07'46" E	20.00	T24	N 12°40'54" E	20.24
T5	S 19°52'15" W	32.42	T25	N 64°30'00" W	1.90
T6	S 64°30'00" E	16.47	T26	N 12°40'54" E	16.36
T7	N 22°52'00" E	23.31	T27	N 64°40'12" W	7.83
T8	S 61°15'00" E	35.31	T28	N 60°46'47" W	8.10
T9	N 30°16'00" W	67.41	T29	N 70°07'46" W	12.40
T10	S 62°27'12" E	43.31	T30	S 70°07'46" E	20.25
T11	N 07°52'48" W	20.00	T31	S 61°15'00" E	23.28
T12	N 82°27'12" E	31.44	T32	N 12°40'54" E	40.04
T13	N 30°16'00" W	17.90	T33	S 41°08'00" E	16.37
T14	N 70°07'46" W	108.00	T34	S 64°30'00" E	26.94
T15	S 19°52'15" W	12.00	T35	S 20°49'00" E	20.56
T16	N 70°07'46" W	20.00	T36	S 28°46'00" W	41.86
T17	N 19°52'15" E	12.00	T37	N 51°08'00" W	20.32
T18	N 70°07'46" W	20.00	T38	N 28°46'00" E	36.26
T19	N 19°52'15" E	12.00	T39	N 61°15'00" W	20.00

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CONTOUR LINE
- TOP/BOTTOM BANK
- SHALE
- (*) IRON PIN TO BE SET
- (*) CONCRETE MONUMENT TO BE SET

(*) MONUMENTS/IRON PINS TO BE SET FOR FINAL PLANS

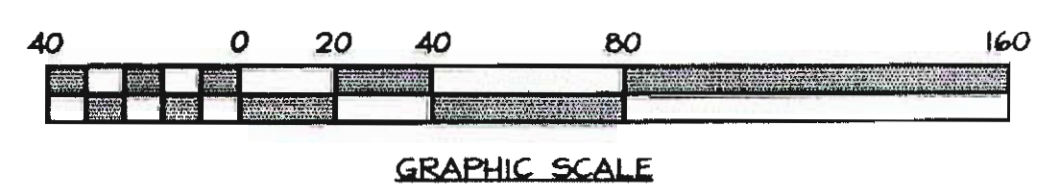
Parcel "A" will be taken from Lot 115 and added to Lot 114

Original Layout
Lot 114 - 398,634 Sq. Ft. (9.151 Acres)
Lot 115 - 129,525 Sq. Ft. (2.973 Acres)
Total - 528,159 Sq. Ft. (12.124 Acres)

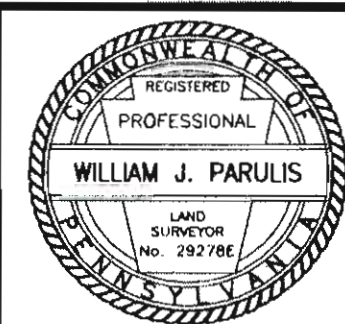
Revised Lot Layout
Lot 114 - 408,629 Sq. Ft. (9.381 Acres)
Lot 115 - 119,530 Sq. Ft. (2.744 Acres)
Total - 528,159 Sq. Ft. (12.124 Acres)

AS-BUILT DRAWING
MAY 2018

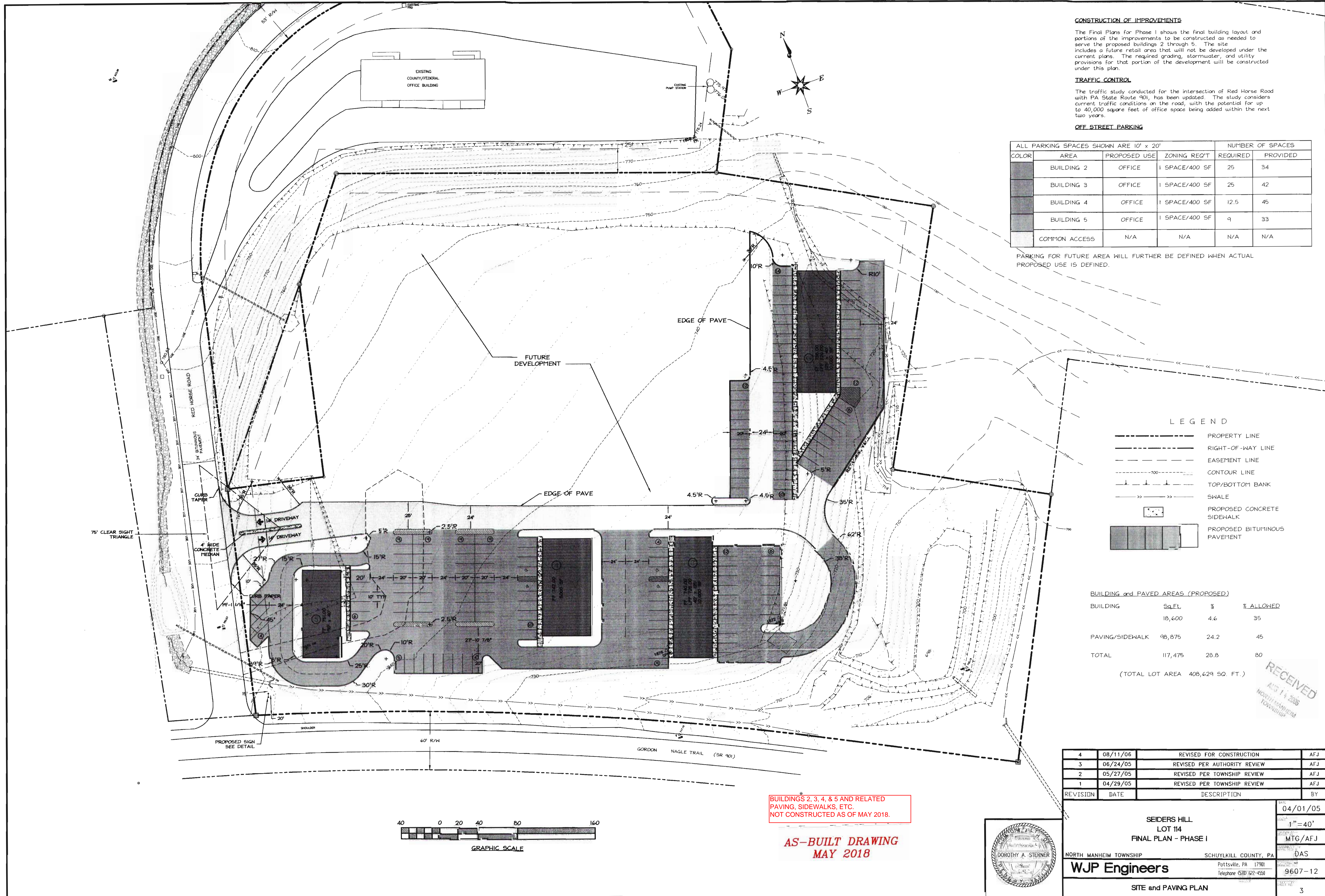
RECEIVED
AUG 18 2018
NORTH MANHEIM TOWNSHIP



W/F
FRANCIS J. and ADELAIDE M.
TRABOSH
DB: 1415 - PG: 28



REVISION	DATE	DESCRIPTION	BY
2	08/11/06	REVISED FOR CONSTRUCTION	AFJ
1	06/24/05	REVISED PER AUTHORITY REVIEW	AFJ
		DESCRIPTION	BY
SEIDERS HILL LOT 114 FINAL PLAN - PHASE I			
NORTH MANHEIM TOWNSHIP			DATE 04/01/05
SCHUYLKILL COUNTY, PA			SCALE 1"=40'
WJP Engineers			DRAWN BY MTG/AFJ
Pottsville, PA 17901			APPROVED BY WJP
Telephone (570) 622-4550			DRAWING NO. 9607-12
PROPERTY PLAN			SHEET NO. 2



CONSTRUCTION OF IMPROVEMENTS
The Final Plans for Phase I shows the final building layout and portions of the improvements to be constructed as needed to serve the proposed buildings 2 through 5. The site includes a future retail area that will not be developed under the current plans. The required grading, stormwater, and utility provisions for that portion of the development will be constructed under this plan.

TRAFFIC CONTROL
The traffic study conducted for the intersection of Red Horse Road with PA State Route 901, has been updated. The study considers current traffic conditions on the road, with the potential for up to 40,000 square feet of office space being added within the next two years.

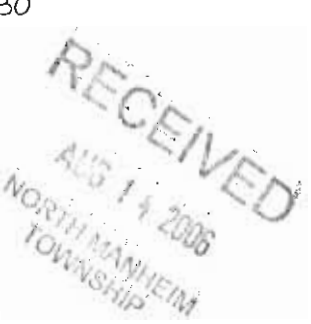
ALL PARKING SPACES SHOWN ARE 10' x 20'				NUMBER OF SPACES	
COLOR	AREA	PROPOSED USE	ZONING REQ'T	REQUIRED	PROVIDED
	BUILDING 2	OFFICE	1 SPACE/400 SF	25	34
	BUILDING 3	OFFICE	1 SPACE/400 SF	25	42
	BUILDING 4	OFFICE	1 SPACE/400 SF	12.5	45
	BUILDING 5	OFFICE	1 SPACE/400 SF	9	33
	COMMON ACCESS	N/A	N/A	N/A	N/A

PARKING FOR FUTURE AREA WILL FURTHER BE DEFINED WHEN ACTUAL PROPOSED USE IS DEFINED.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CONTOUR LINE
- TOP/BOTTOM BANK
- SWALE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS PAVEMENT

BUILDING and PAVED AREAS (PROPOSED)			
BUILDING	Sq.Ft.	%	% ALLOWED
	18,600	4.6	35
PAVING/SIDEWALK	98,875	24.2	45
TOTAL	117,475	28.8	80
(TOTAL LOT AREA 408,629 SQ. FT.)			

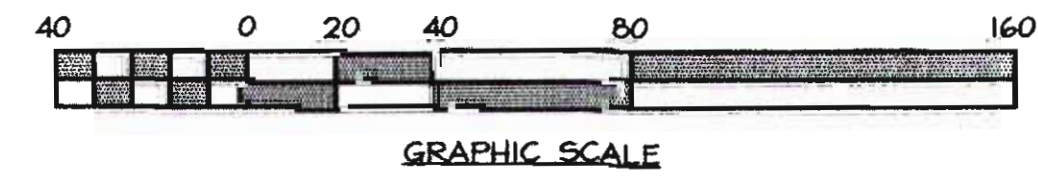


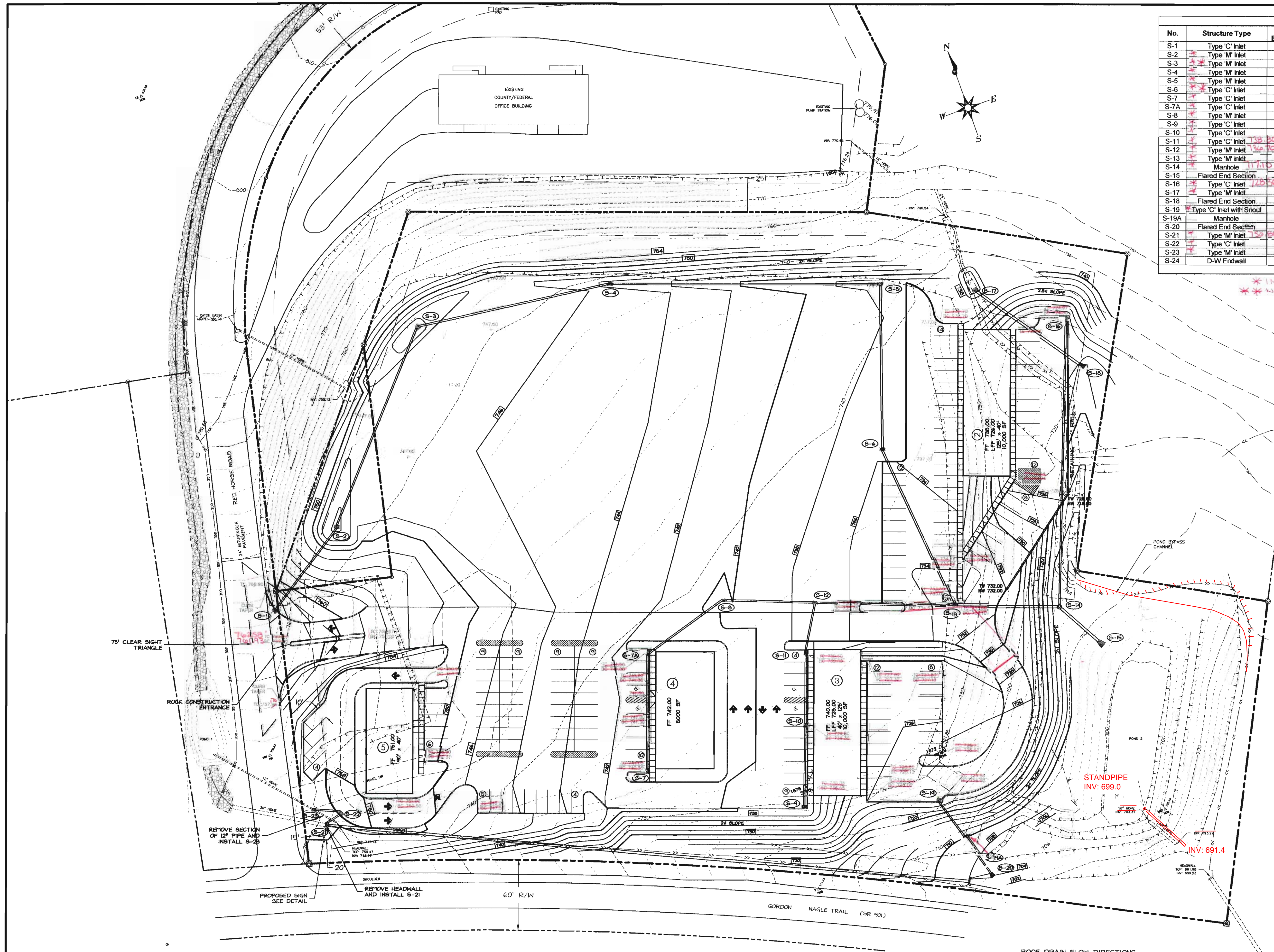
BUILDINGS 2, 3, 4, & 5 AND RELATED PAVING, SIDEWALKS, ETC. NOT CONSTRUCTED AS OF MAY 2018.

AS-BUILT DRAWING
MAY 2018



REVISION	DATE	DESCRIPTION	BY
4	08/11/06	REVISED FOR CONSTRUCTION	AFJ
3	06/24/05	REVISED PER AUTHORITY REVIEW	AFJ
2	05/27/05	REVISED PER TOWNSHIP REVIEW	AFJ
1	04/29/05	REVISED PER TOWNSHIP REVIEW	AFJ
REVISION DATE DESCRIPTION BY			
SEIDERS HILL LOT 114 FINAL PLAN - PHASE I			04/01/05
NORTH MANHEIM TOWNSHIP			1"=40'
SCHUYLKILL COUNTY, PA			MTG/AFJ
DAS			
WJP Engineers			9607-12
Pottsville, PA 17901 Telephone (610) 622-4550			
SITE and PAVING PLAN			3





Proposed Drainage Structure Table							
No.	Structure Type	Grate Elevation	Invert Elevation			Length Out	Diameter Out (in)
			N	S	E		
S-1	Type 'C' Inlet	704.00			762.10	89	15
S-2	Type 'M' Inlet	743.50	740.90	741.00	12" Roof Drain	179	15
S-3	Type 'M' Inlet	743.50			738.98	165	18
S-4	Type 'M' Inlet	743.50			737.21	227	18
S-5	Type 'M' Inlet	737.00			733.50	138	18
S-6	Type 'C' Inlet	738.00	732.48	732.48	12" Roof Drain	145	18
S-7	Type 'C' Inlet	740.55	737.55			90	15
S-7A	Type 'C' Inlet	741.00		735.63	735.53	71	15
S-8	Type 'M' Inlet	739.75			733.91	71	15
S-9	Type 'C' Inlet	738.35	735.35			66	15
S-10	Type 'C' Inlet	739.30		734.03	733.93	58	15
S-11	Type 'C' Inlet	738.00	732.67	732.77		41	15
S-12	Type 'M' Inlet	737.00		731.87	731.77	115	18
S-13	Type 'M' Inlet	733.00	728.60		728.50	86	24
S-14	Manhole	716.00	710.10		708.96	710.10	24
S-15	Flared End Section	724.30		721.48		240	15
S-16	Type 'C' Inlet	735.50		730.22		114	24
S-17	Type 'M' Inlet		721.21			35	15
S-18	Flared End Section	724.00		718.00		30	15
S-19	Type 'C' Inlet with Snout	709.00	704.80	704.70		35	15
S-19A	Manhole					30	15
S-20	Flared End Section	751.00			704.00	550	36
S-21	Type 'M' Inlet	749.50	742.00		742.00	14	15
S-22	Type 'C' Inlet	751.00	745.60		743.50	18	12
S-23	Type 'M' Inlet				748.00		
S-24	D-W Endwall				704.00		

* Contractor to confirm 12" pipe

* INVERTS IN ACCESSIBLE - SLOPE NOT VERIFIED
** NOT FIELD VERIFIED

STORMWATER MANAGEMENT FACILITIES

Storm Drainage Materials
All storm drainage pipe to be smooth-walled High Density Polyethylene (HDPE) Pipe, Advanced Drainage Systems N-12, or an approved equal, sized as shown on the plan. All end sections, fittings, etc. shall be HDPE, provided by the same manufacturer as selected for the pipe. Pipe to have Hrink Holed HDPE Connections, or equal, allowing a 3-degree deflection.

All standard inlets to be PA DOT Standard Precast Concrete Boxes. Inlet Taps to be Type C or Type M, as indicated on the plan.

Detention Basin

The detention basin was designed and constructed with the lower portion intended to recharge retained water to groundwater. If the basin fails to empty by infiltration, the property owner will be required to re-evaluate the basin design and make alterations as needed. If the property owner fails to take the required action, the Township reserves the right to enter the property, effect the necessary maintenance or repairs, and to lien the property for the cost of said maintenance or repairs.

OWNERSHIP AND MAINTENANCE OF STORMWATER FACILITIES

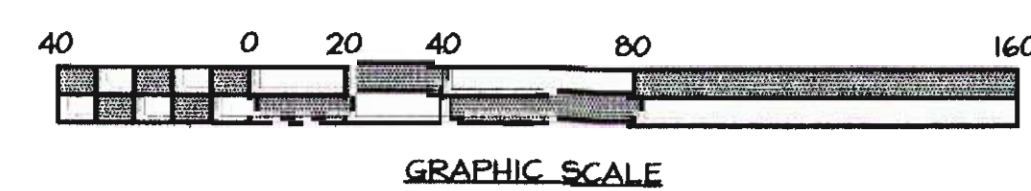
All Stormwater Management Facilities within the boundary of the lot will be maintained by the lot owner. In case of negligence of such responsibility or neglect or deterioration of any or all storm water facility as determined by the Township in its sole discretion, the Township shall notify the property owner of any repair or maintenance as may be required, establishing a reasonable period within which such work must be complete. If the property owner fails to take the required action, the Township reserves the right to enter such property, effect the necessary maintenance or repairs, and to lien the property for the cost of said maintenance or repairs.

LEGEND

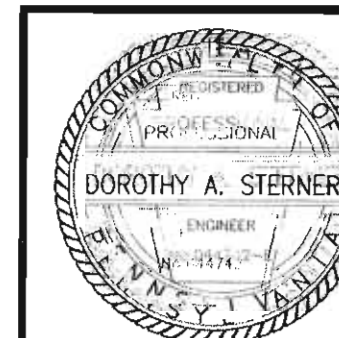
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	CONTOUR LINE
---	TOP/BOTTOM BANK
---	EXISTING SWALE
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	PROPOSED TOP/BOTTOM CURB
---	PROPOSED TOP/BOTTOM WALL
---	PROPOSED CATCH BASIN
---	PROPOSED STORM LINE
---	EXISTING STORM LINE

ROOF DRAIN FLOW DIRECTIONS

BUILDING	FLOW TO STRUCTURE
2	1/2 TO S-6 1/2 TO S-16
3	ALL TO S-19
4	1/2 TO S-11 1/4 TO S-7 1/4 TO S-7A
5	S-22



AS-BUILT DRAWING
MAY 2018



REVISION	DATE	DESCRIPTION	BY
3	08/11/06	REVISED FOR CONSTRUCTION	AFJ
2	05/25/05	REVISED PER TOWNSHIP REVIEW	AFJ
1	04/29/05	REVISED PER TOWNSHIP REVIEW	AFJ
SEIDERS HILL LOT 114 FINAL PLAN - PHASE I			
NORTH MANHEIM TOWNSHIP			04/01/05
SCHUYLKILL COUNTY, PA			1"=40'
WJP Engineers			MTG/AFJ
Pottsville, PA 17901			DAS
Telephone (570) 622-4550			9607-12
GRADING and DRAINAGE PLAN			4



1. All main gravity sanitary sewer pipe and fittings to be 8-inch diameter and lateral fittings material shall be class SDR 35 PVC, or approved equal. Pressure sewer pipe to be SDR 21 PVC, sized on shown flow. The Sewer main shall be constructed according to North Plainfield Township Authority's rules and regulations for sewer system and treatment facilities.
2. Sanitary sewer manholes to be precast concrete, as shown in the details.
3. Building laterals to be constructed at the time of building construction, under the contract for the building. PVC running traps are approved in lieu of cast iron traps.
4. The sanitary sewer system shall be tested in accordance with the North Plainfield Township Authority's rules and regulations or the Pennsylvania Department of Environmental Protection.
5. All sanitary sewer manholes within yard area shall have bell-down watertight frames and covers. All manholes without watertight frames and covers shall have double valve inverts installed.
6. Wherever sanitary sewer lines are proposed outside of the building and sanitary sewer main lines or laterals, the manhole tops shall extend a minimum of 18-inches above finished grade or watertight manhole frames and covers shall be installed.
7. Wherever there is less than 18-inches of vertical separation between sanitary and sanitary sewer main lines or laterals, the sanitary sewer line shall be concrete-encased as required. The concrete encasement shall extend a minimum of 10 feet on both sides of the crossing.
8. No floor drains shall be connected to the sanitary sewer system.
9. The pump station and force mains serving Lot 114 shall be owned and maintained by the Seiders Hill Cooperative Association.
10. The proposed sewage flows for this facility will contain domestic sewage only.
11. A watertight plug shall be installed at the end of the 6" lateral to allow for air testing of the lateral along with the 8" main. The 6" lateral manhole to building sewer connections shall be made until the proposed sanitary sewer mains, lateral(s), and manholes are tested and certified for use by the Authority.

1. Pumps shall be Barnes series OGP2022L; 2-HP, 230 Volt; 1-Phase; 3450 RPM full stage centrifugal grinder pumps. Pumps shall be capable of heads to 200 feet and flows to 20 gpm.
2. Pumps shall be in a 48-inch diameter duplex wetwell with 4-foot level system (high water alarm, on, lag on, and off).
3. Concrete thrust blocks shall be used at all bends, tees, capped or valved fittings, and where directed by the Engineer on the proposed force mains.

1. Municipal water service, by the Schuykill County Municipal Authority, proposed for all lots. Water line to be constructed in locations indicated on the plans.
2. All water under line to be 8-inch ductile iron pipe, cement-lined, Class 52. Fittings to be mechanical joint, ductile iron pipe, cement-lined.
3. All material to be in accordance with AWWA specifications and the Schuykill County Municipal Authority's requirements.
4. Concrete thrust blocks to be placed at all fittings and fire hydrant assemblies.
5. Water line to be tested according to Schuykill County Municipal Authority's specifications. Representatives from the Authority to be present during testing.
6. Water lines must be constructed with a minimum cover of five feet.
7. Individual building services to be sized and constructed as needed for the proposed use.
8. Fire hydrants to be provided, as shown on the plan.
9. All gate valves to open right.

PROPERTY LINE

RIGHT-OF-WAY LINE

EXISTING EASEMENT LINE

PROPOSED EASEMENT LINE

CONTOUR LINE

TOP/BOTTOM BANK

EXISTING SWALE

PROPOSED 8" GRAVITY SEWER LINE

PROPOSED 6" BUILDING SEWER

PROPOSED 6" SEWER LATERAL

EXISTING 4" FORCE MAIN

PROPOSED 4" FORCE MAIN

EXISTING 1 1/2" FORCE MAIN

PROPOSED 2" FORCE MAIN

EXISTING GAS LINE

PROPOSED GAS LINE

EXISTING WATER LINE

PROPOSED WATER LINE

PROPOSED WATER SERVICE

PROPOSED FIRE HYDRANT ASSEMBLY

0 20 40 80 160

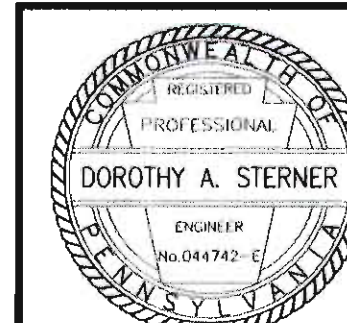
FHA

RECEIVED JUL 14 2005 NORTH HAMPSHIRE TOWNSHIP

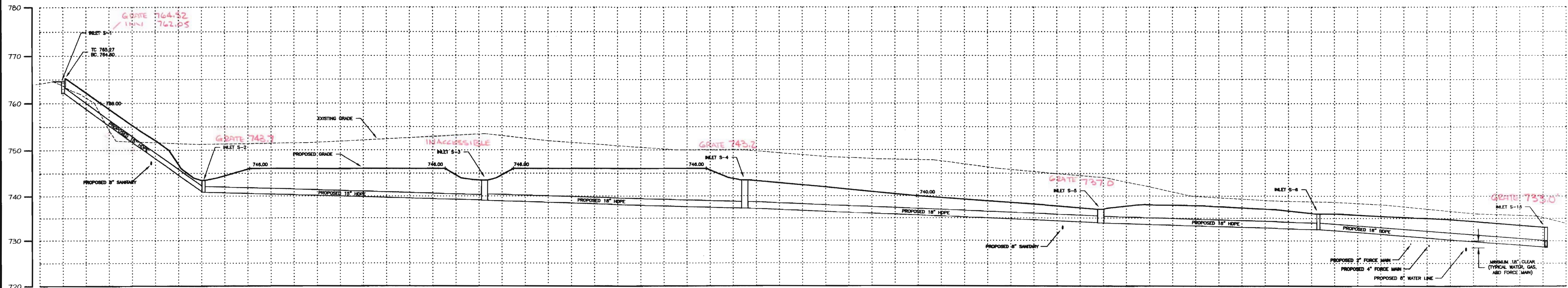
6	8/11/06	REVISED FOR CONSTRUCTION	AFJ
5	08/23/05	REVISED PER AUTHORITY REVIEW	AFJ
4	7/26/05	REVISED PER AUTHORITY REVIEW	AFJ
3	06/24/05	REVISED PER AUTHORITY REVIEW	AFJ
2	05/27/05	REVISED PER TOWNSHIP REVIEW	AFJ
1	04/29/05	REVISED PER TOWNSHIP REVIEW	AFJ
REVISION	DATE	DESCRIPTION	BY

UTILITY PLAN

9607-12

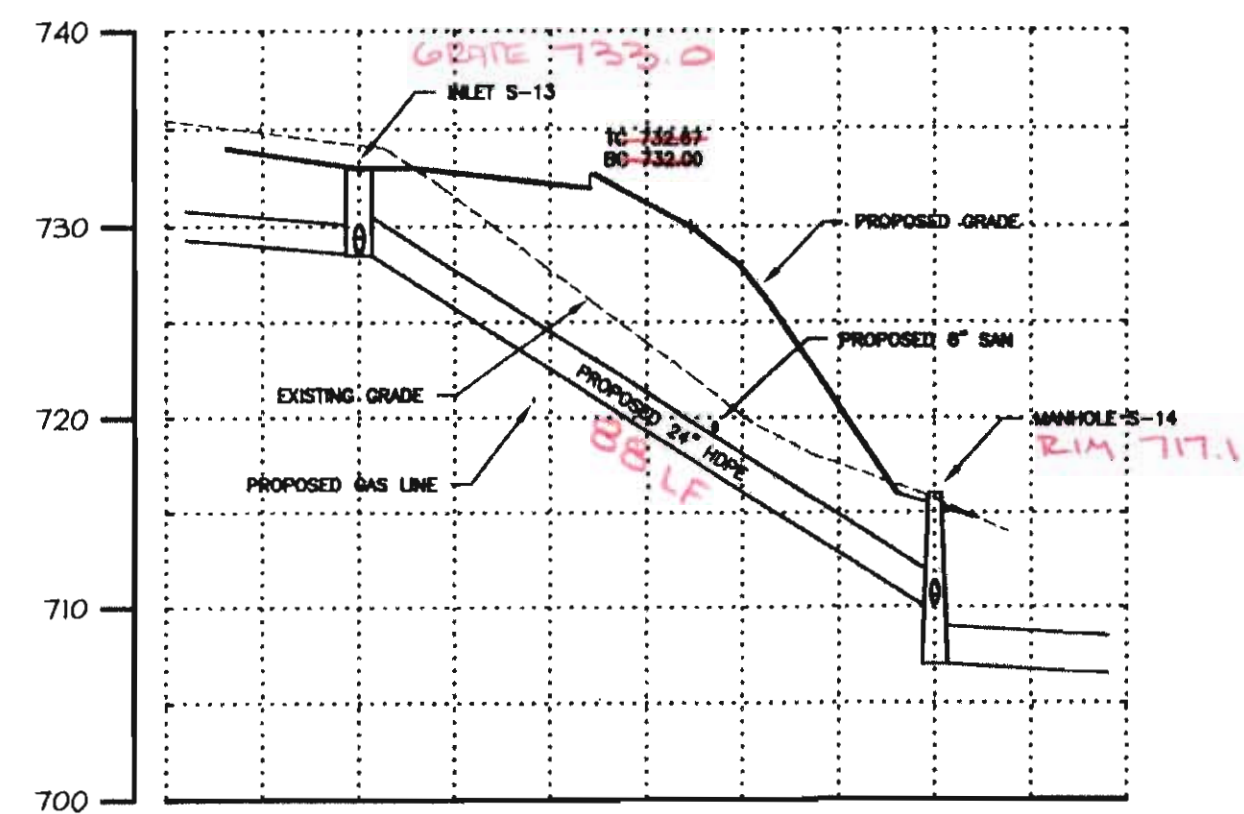






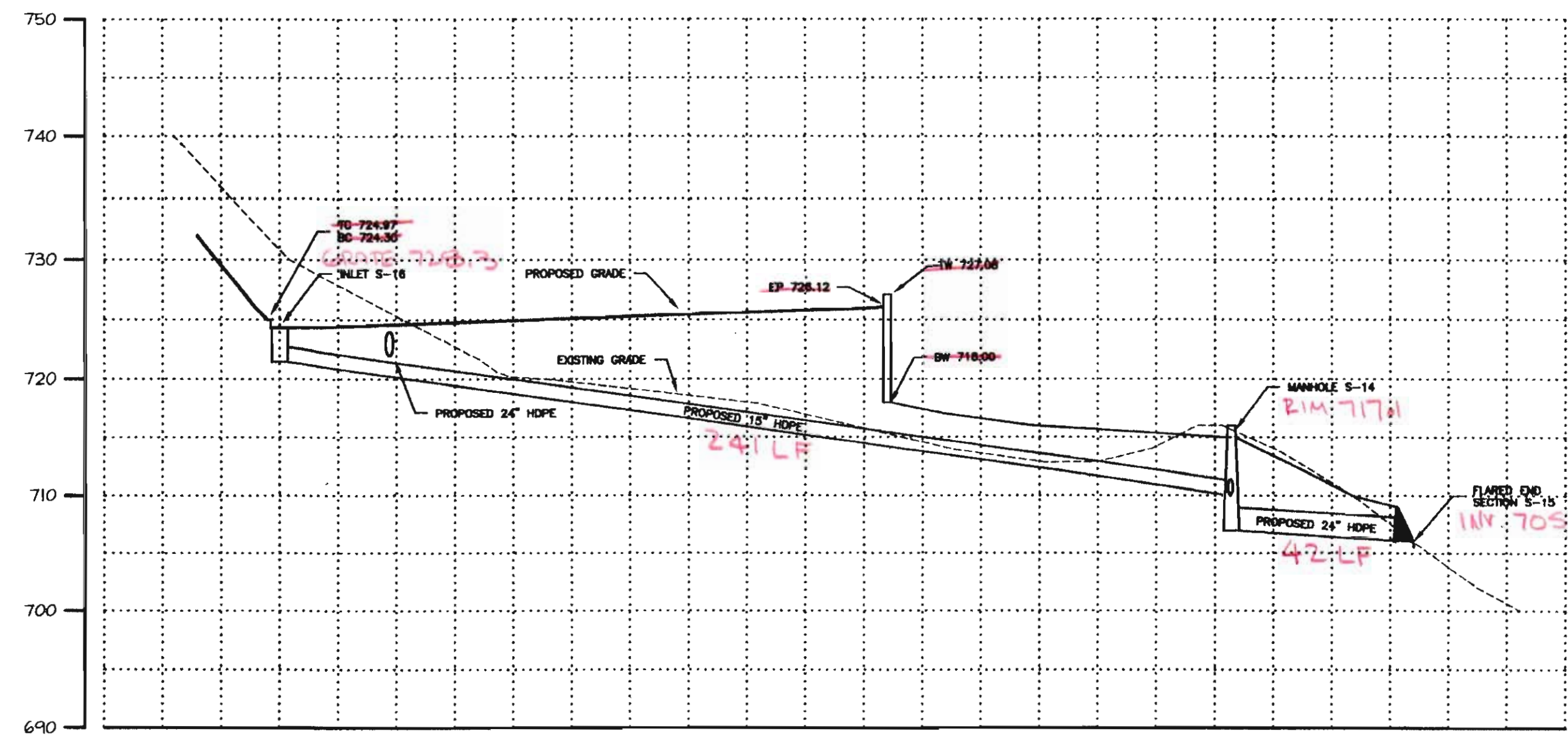
PROPOSED STORM PROFILE S-1 TO S-13

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)



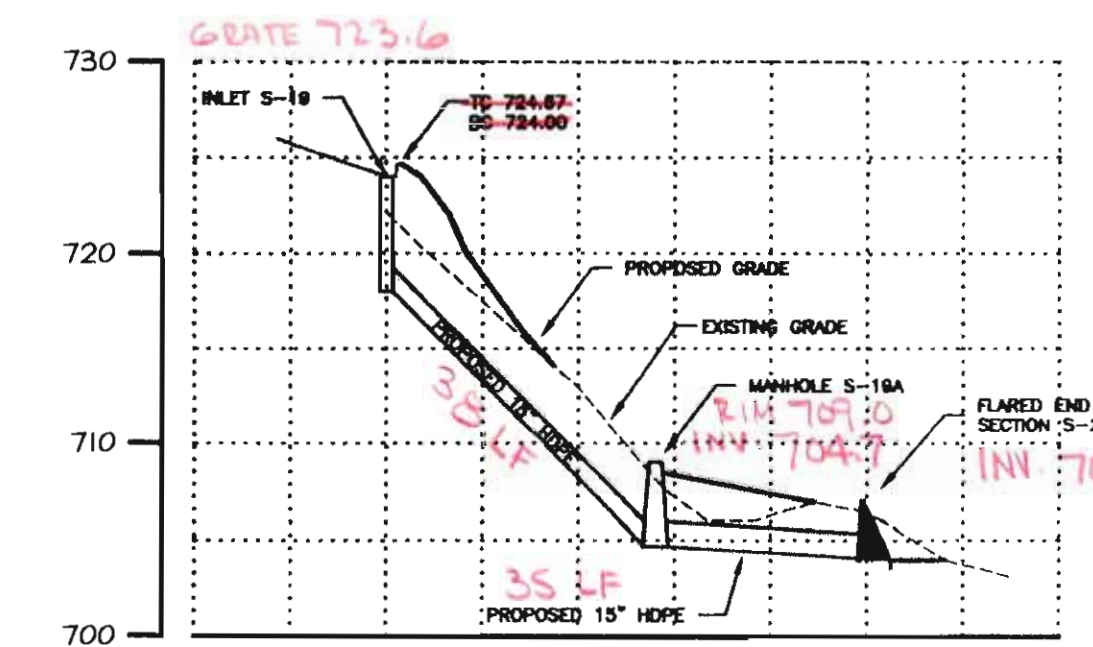
PROPOSED STORM PROFILE S-13 TO S-14

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)



PROPOSED STORM PROFILE S-16 TO S-15

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)



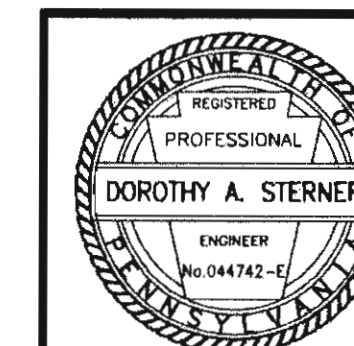
PROPOSED STORM PROFILE S-19 TO S-20

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)

* Storm inverts inaccessible

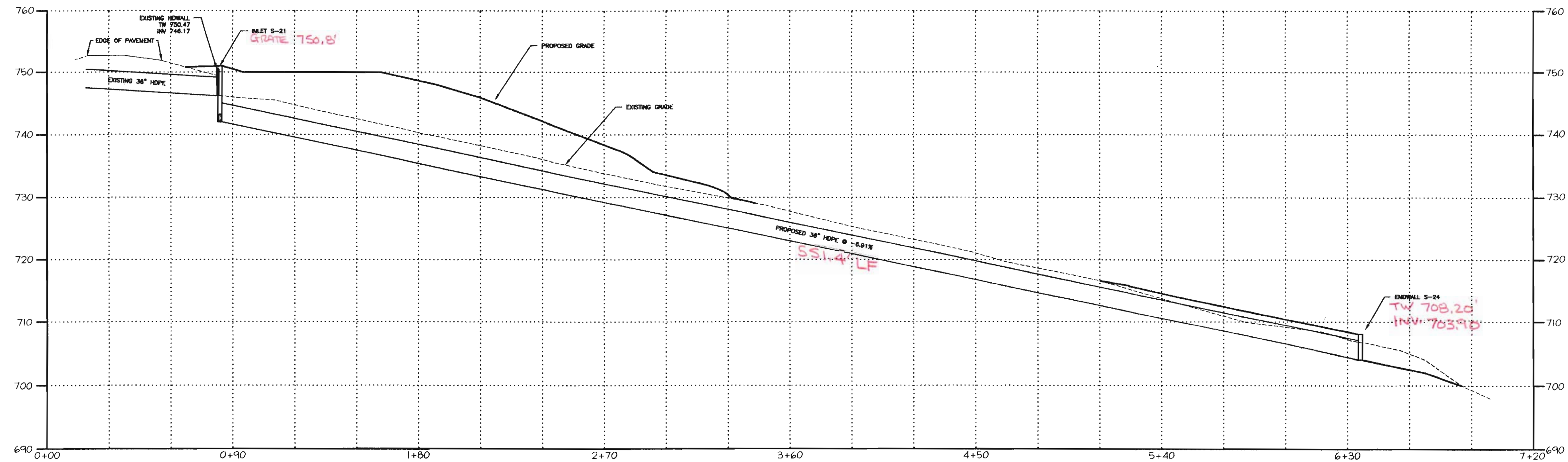
NOTE: SEE GRADING AND DRAINAGE PLAN FOR
INVERTS, SLOPES, AND STRUCTURE INFORMATION

AS-BUILT DRAWING
MAY 2018



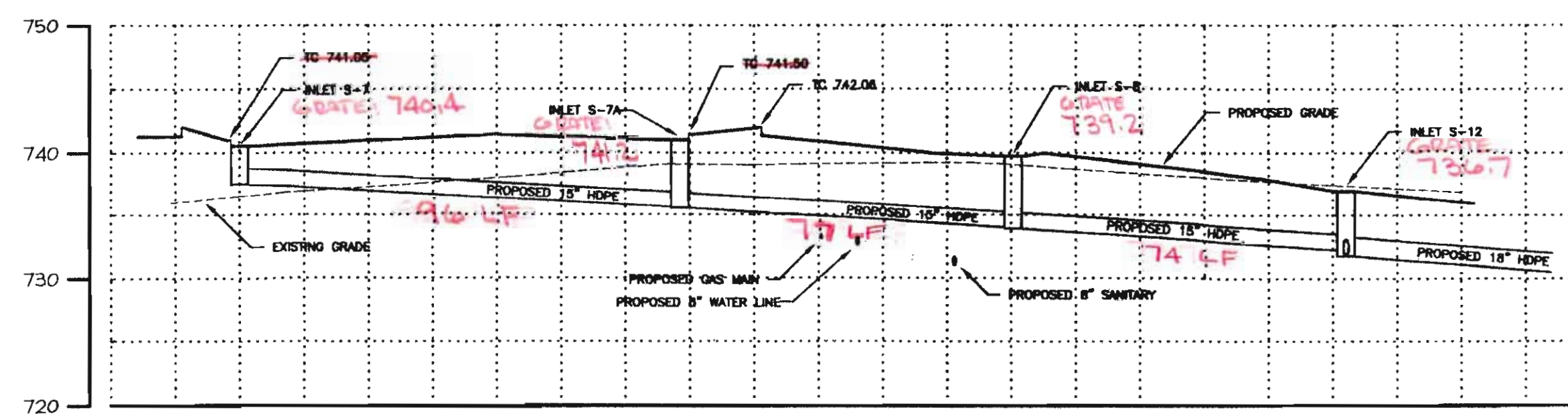
REVISION	DATE	DESCRIPTION	BY
2	08/11/06	REVISED FOR CONSTRUCTION	AFJ
1	06/24/05	REVISED PER AUTHORITY REVIEW	AFJ

SEIDERS HILL LOT 114 FINAL PLAN - PHASE I		DATE 04/01/05
NORTH MANHEIM TOWNSHIP		SCALE NOTED
SCHUYLKILL COUNTY, PA		DRAWN BY MTG/PDZ
Pottsville, PA 17901		APPROVED BY DAS
Telephone (610) 622-4550		DRAWING NO. 9607-12
WJP Engineers		SHEET NO. 7
PROPOSED STORM PROFILES		



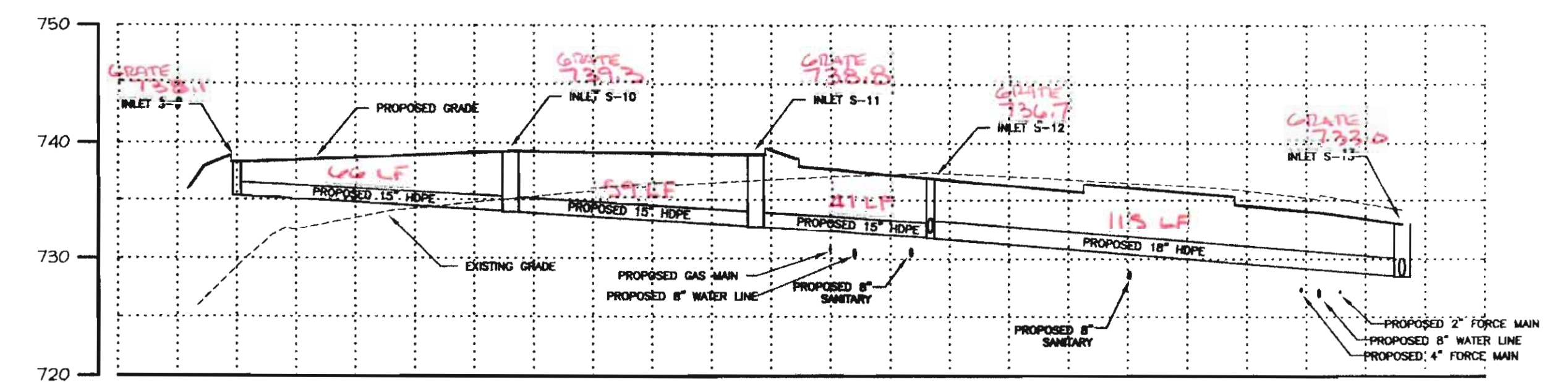
PROPOSED STORM PROFILE S-21 TO S-24

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)



PROPOSED STORM PROFILE S-7 TO S-12

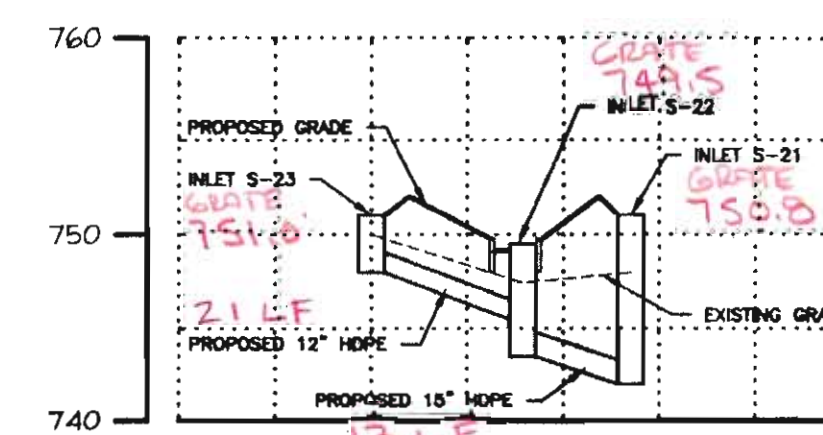
SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)



PROPOSED STORM PROFILE S-9 TO S-13

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)

* STORM INVERTS INACCESSIBLE



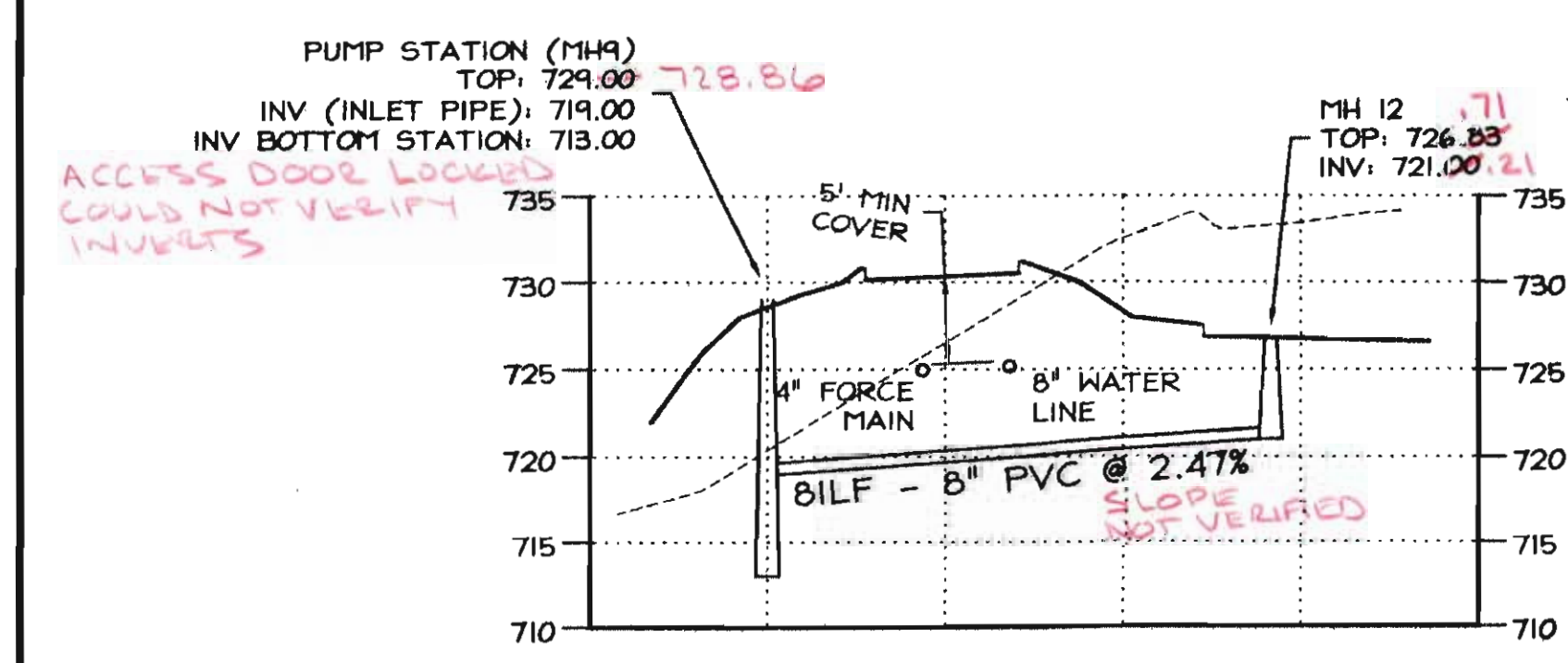
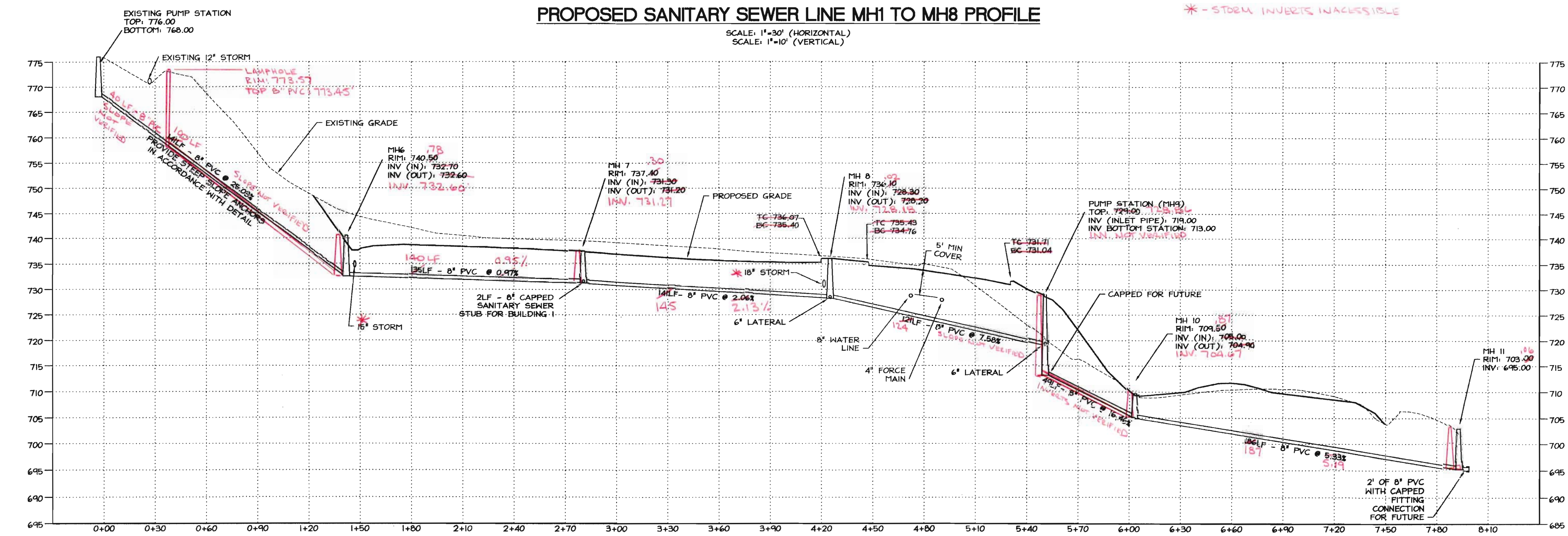
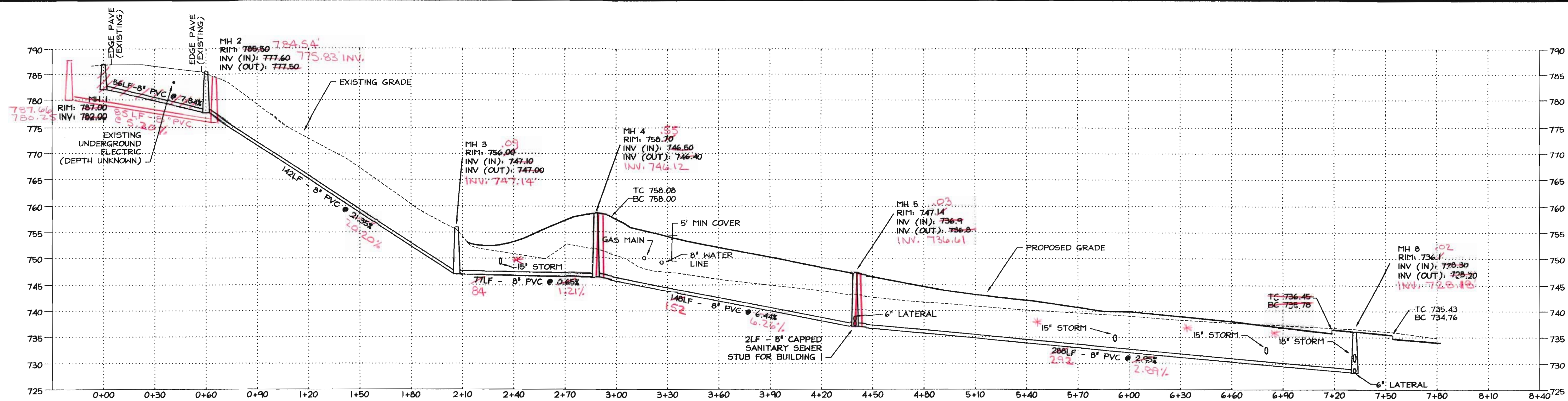
PROPOSED STORM PROFILE S-23 TO S-21

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)

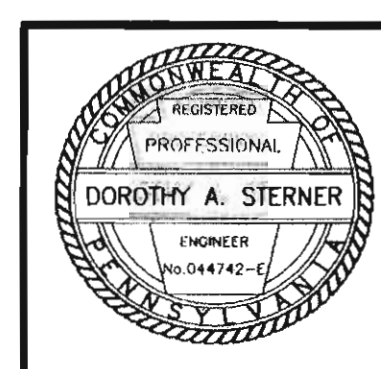
AS-BUILT DRAWING
MAY 2018

NOTE: SEE GRADING AND DRAINAGE PLAN FOR
INVERTS, SLOPES, AND STRUCTURE INFORMATION

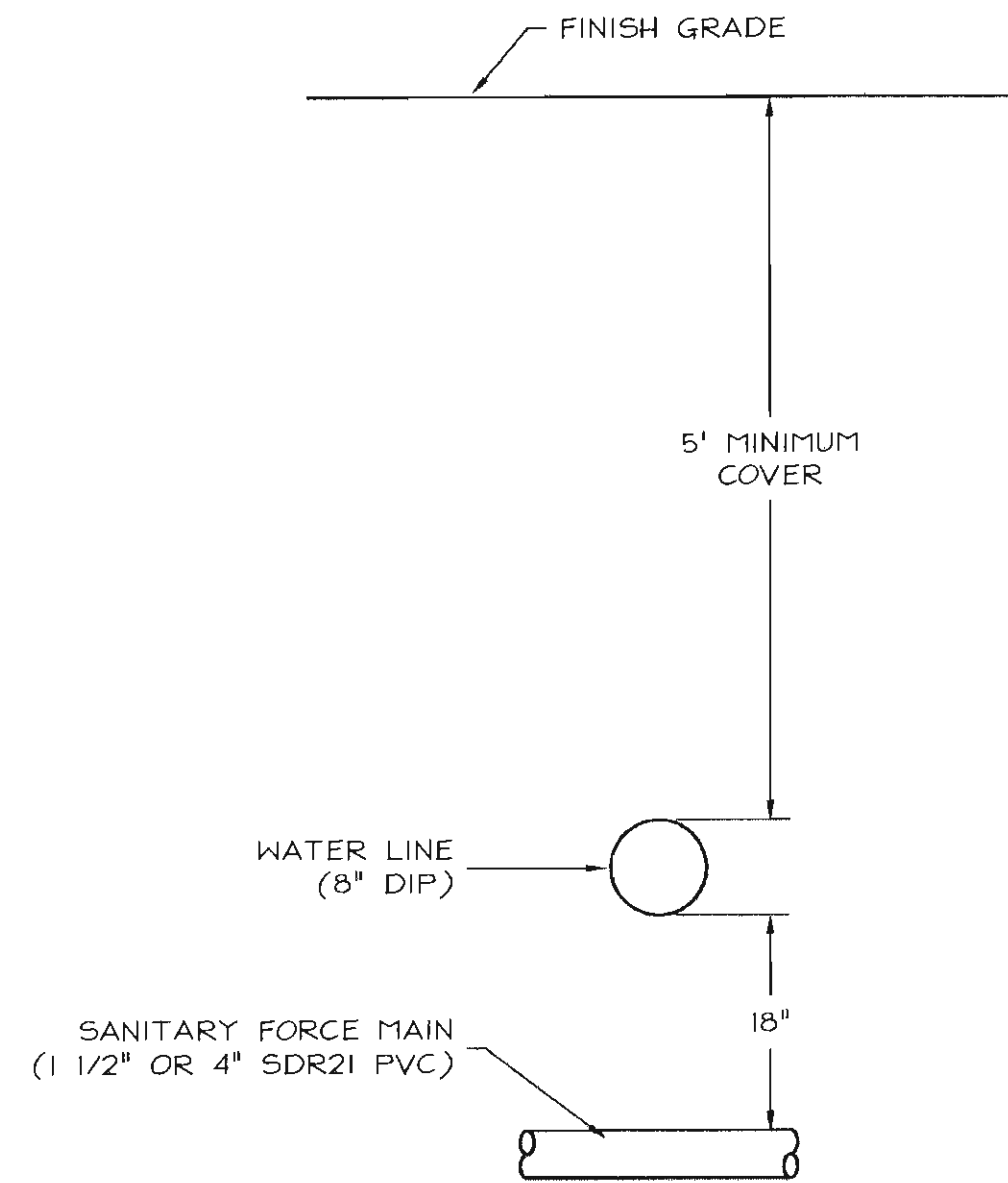
1	08/11/06	REVISED FOR CONSTRUCTION	AFJ
REVISION	DATE	DESCRIPTION	BY
<p style="text-align: center;">SEIDERS HILL LOT 114 FINAL PLAN - PHASE I</p>			DATE 04/01/05
			SCALE NOTED
			DRAWN BY AFJ/PDZ
			APPROVED BY DAS
NORTH MANHEIM TOWNSHIP		SCHUYLKILL COUNTY, PA	
<p style="text-align: center;">WJP Engineers</p>		Pottsville, PA 17901	DRAWING NO.
		Telephone: (610) 622-4330	9607-12
PROPOSED STORM PROFILES			SHEET NO. <p style="text-align: center;">8</p>



AS-BUILT DRAWING
MAY 2018

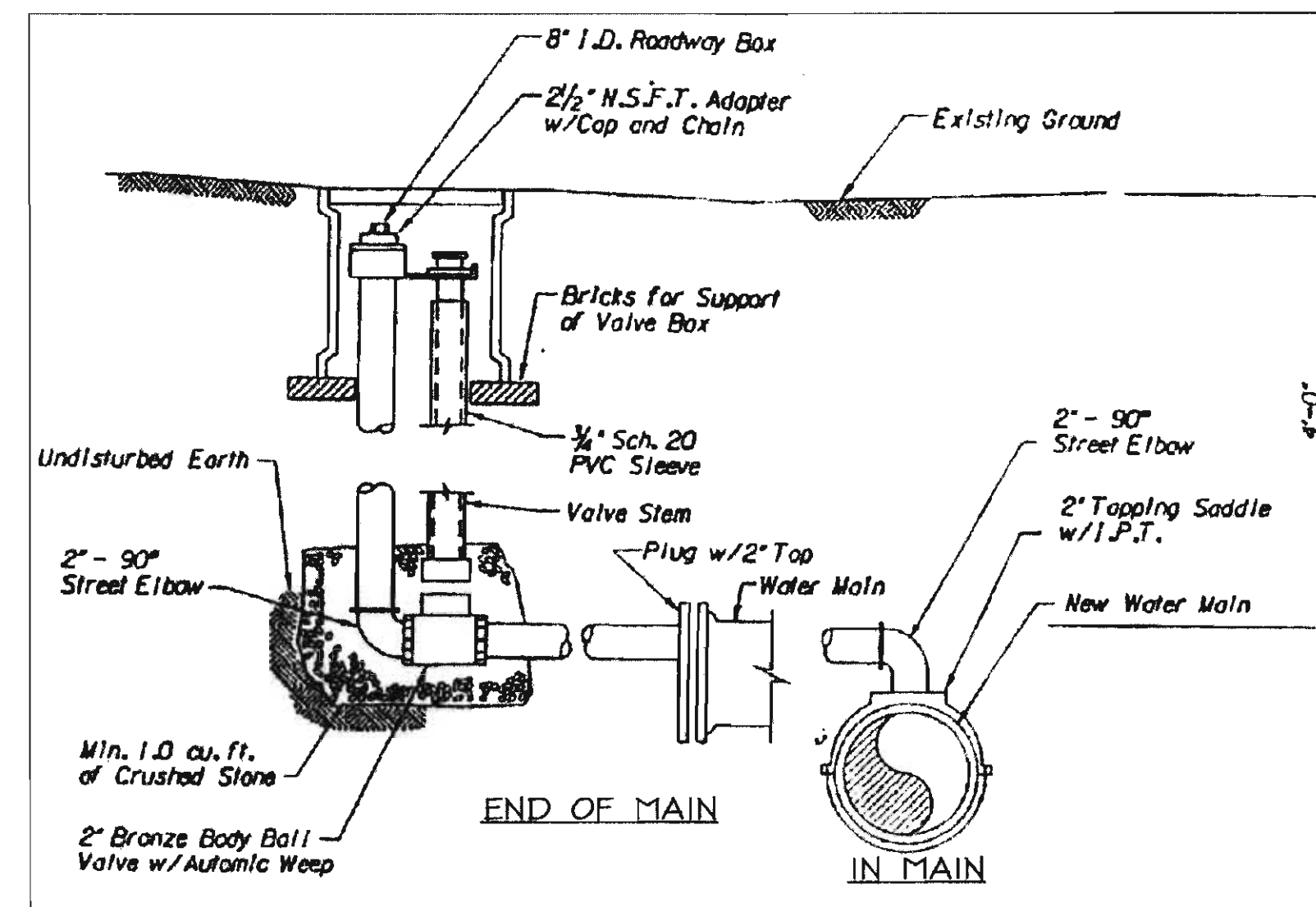


REVISION	DATE	DESCRIPTION	BY
2	08/11/08	REVISED FOR CONSTRUCTION	
1	06/24/05	REVISED PER AUTHORITY REVIEW	AFJ
SEIDERS HILL LOT 114 FINAL PLAN - PHASE I			04/01/05
NORTH MANHEIM TOWNSHIP			NOTED
SCHUYLKILL COUNTY, PA			AFJ
Pottsville, PA 17901			DAS
Telephone (610) 622-4530			9607-12
SANITARY SEWER PROFILE			9



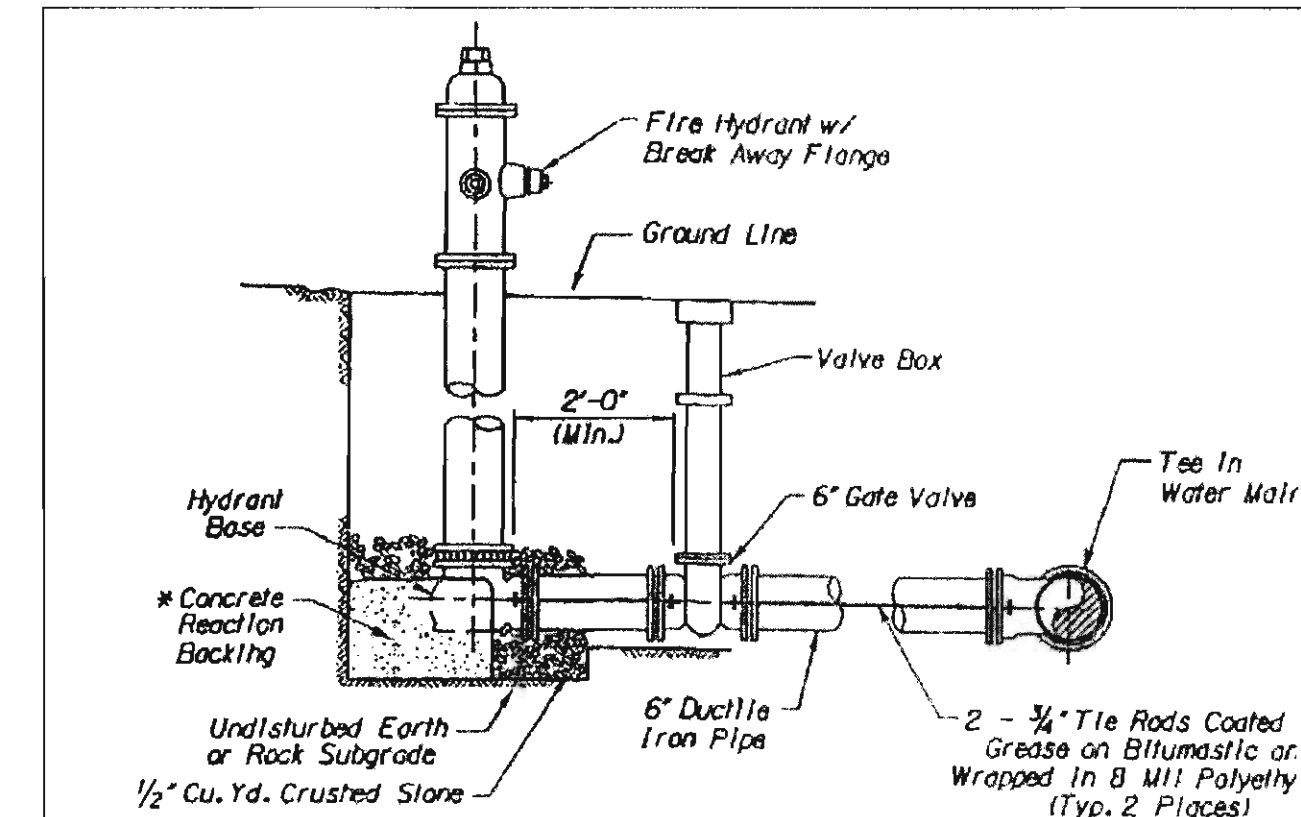
**TYPICAL WATER LINE - SANITARY
FORCE MAIN CROSSING**

N.T.S.



BLOW-OFF DETAIL

N.T.S.



- NOTES:**
- COORDINATE FIRE HYDRANT THREAD SPECIFICATION WITH LOCAL CITY, BOROUGH OR TOWNSHIP FIRE COMPANY
 - HYDRANTS SHALL BE AMERICAN DAWSON B-44-BB
 - HYDRANT AND VALVE SHALL BE "OPEN RIGHT"

FIRE HYDRANT ASSEMBLY (FHA)

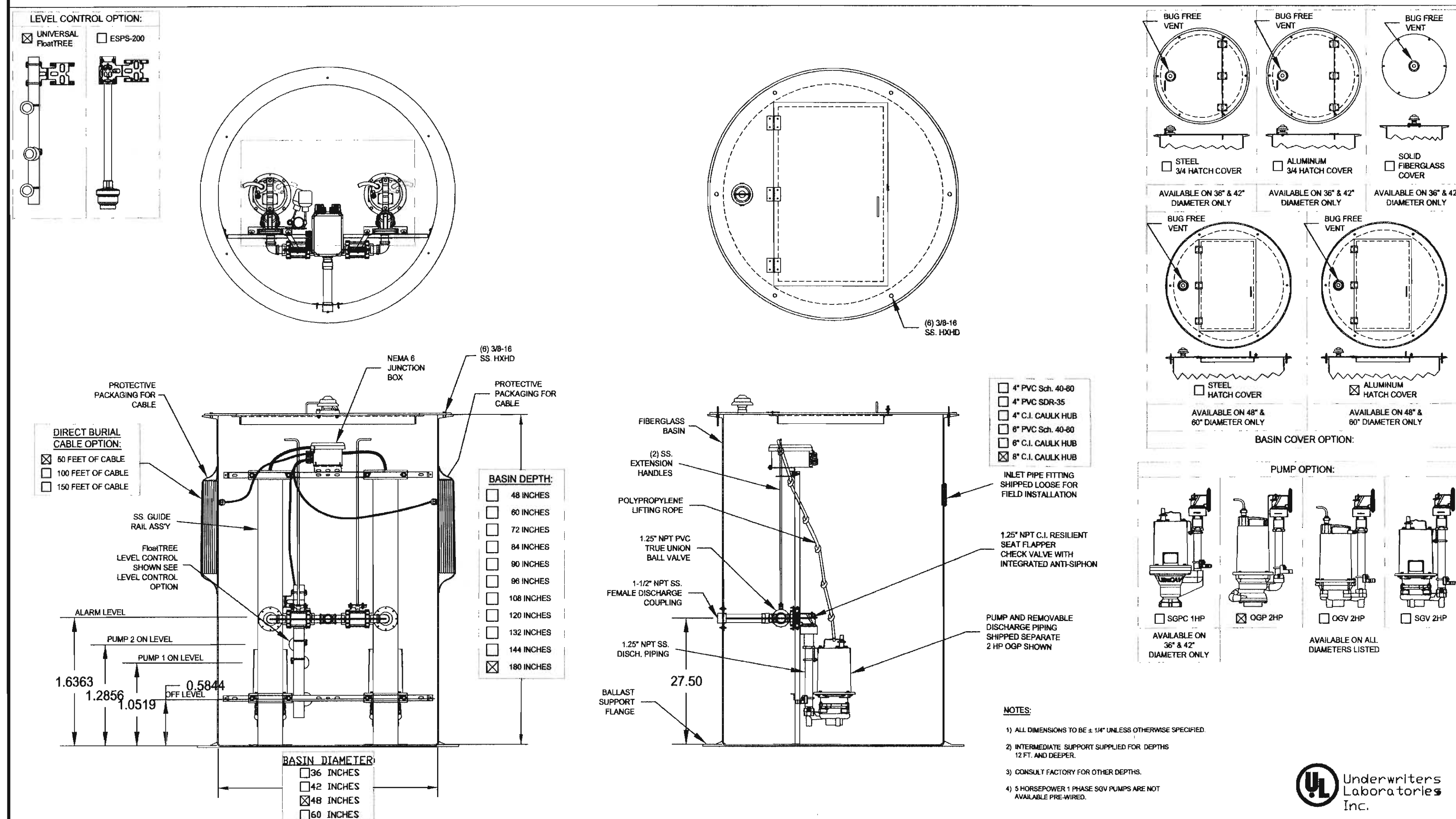
N.T.S.

ENTRANCE SIGN
NOT CONSTRUCTED AS OF MAY 2018.



ENTRANCE SIGN DETAIL

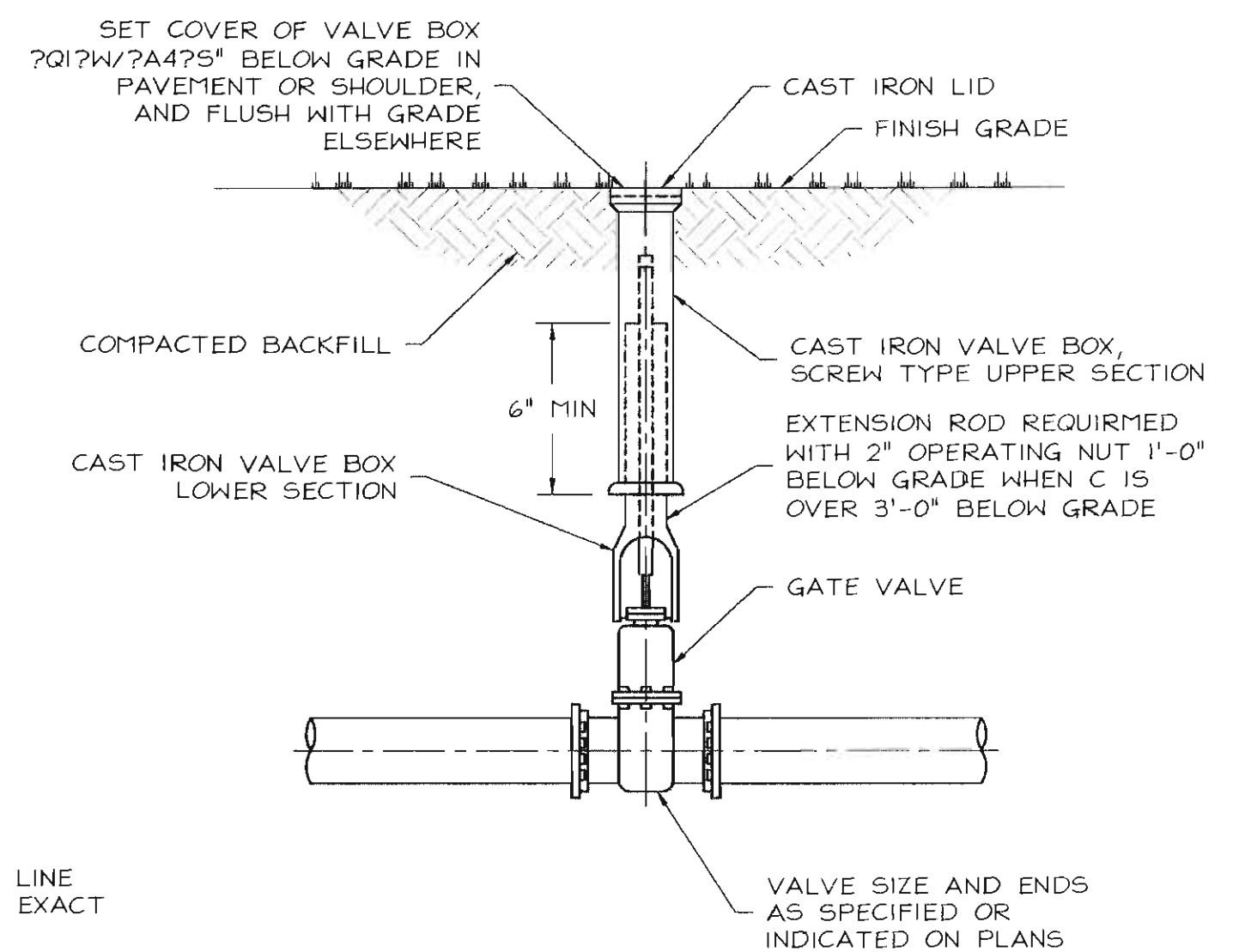
SCALE: 1/4"=1'-0"



- NOTE:**
- THE CONTRACTOR SHALL INSTALL A CURB STOP AND CURB BOX AT THE CURB LINE OR RIGHT-OF-WAY OR PROPERTY LINE, WHERE INDICATED ON THE DRAWINGS. EXACT LOCATION SHALL BE COORDINATED WITH PROPERTY OWNER.
 - SCMA MUST INSPECT CONNECTIONS ON NEW CONNECTIONS.

SERVICE LINE CONNECTION DETAIL

N.T.S.



BURIED GATE VALVE BOX

N.T.S.

THIS PRINT IS AND CONTAINS PROPRIETARY INFORMATION OWNED EXCLUSIVELY BY CRANE PUMPS & SYSTEMS, INC. THIS RESTRICTION INCLUDES, BUT IS NOT LIMITED TO THE CONDITION THAT THIS PRINT WILL ONLY BE USED AS A RECORD OR TO IDENTIFY OR INSPECT PARTS OR FOR OTHER INFORMATION PURPOSES, AND WILL NOT BE USED TO MANUFACTURE OR PROCURE THE MANUFACTURE OF THE PARTS SHOWN IN THIS PRINT BY ANY OTHER SOURCE THAN CRANE PUMPS & SYSTEMS, INC.

THIS DRAWING IS APPROVED FOR UNCONTROLLED DISTRIBUTION

AS A RESULT OF BARNES CONSTANT PRODUCT IMPROVEMENT PROGRAM, PRODUCT CHANGES MAY OCCUR. AS SUCH, BARNES RESERVES THE RIGHT TO CHANGE PRODUCT WITHOUT PRIOR WRITTEN NOTIFICATION

WWW.BARNESPUMPS.COM

TITLE

DUPLEX, JBOX, SGV, OGV, OGP, SGPC

CAGE NO

96046

DWG NO

116908

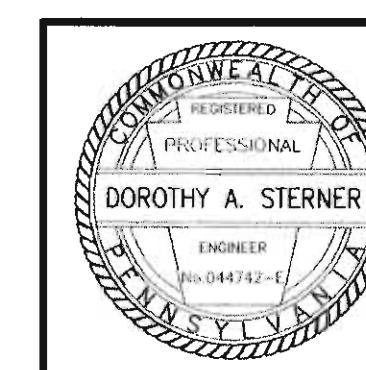
REV

P1

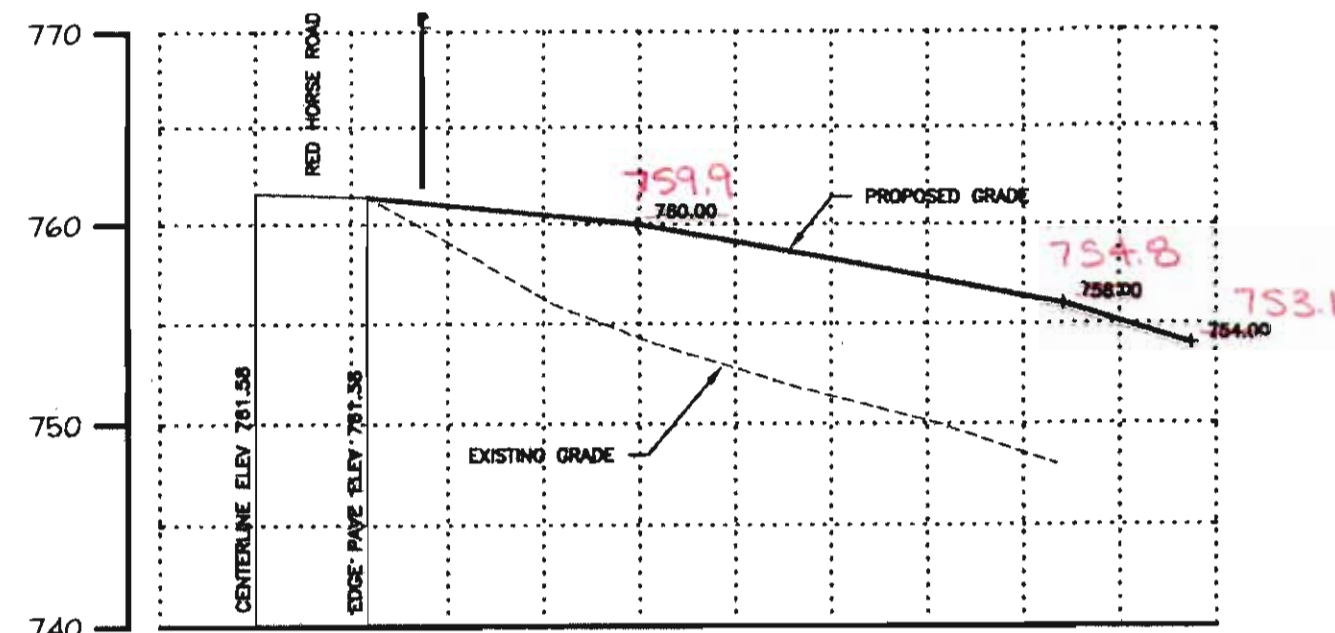
CRANE PUMPS & SYSTEMS

BARNES PRESSURE SYSTEMS

**AS-BUILT DRAWING
MAY 2018**

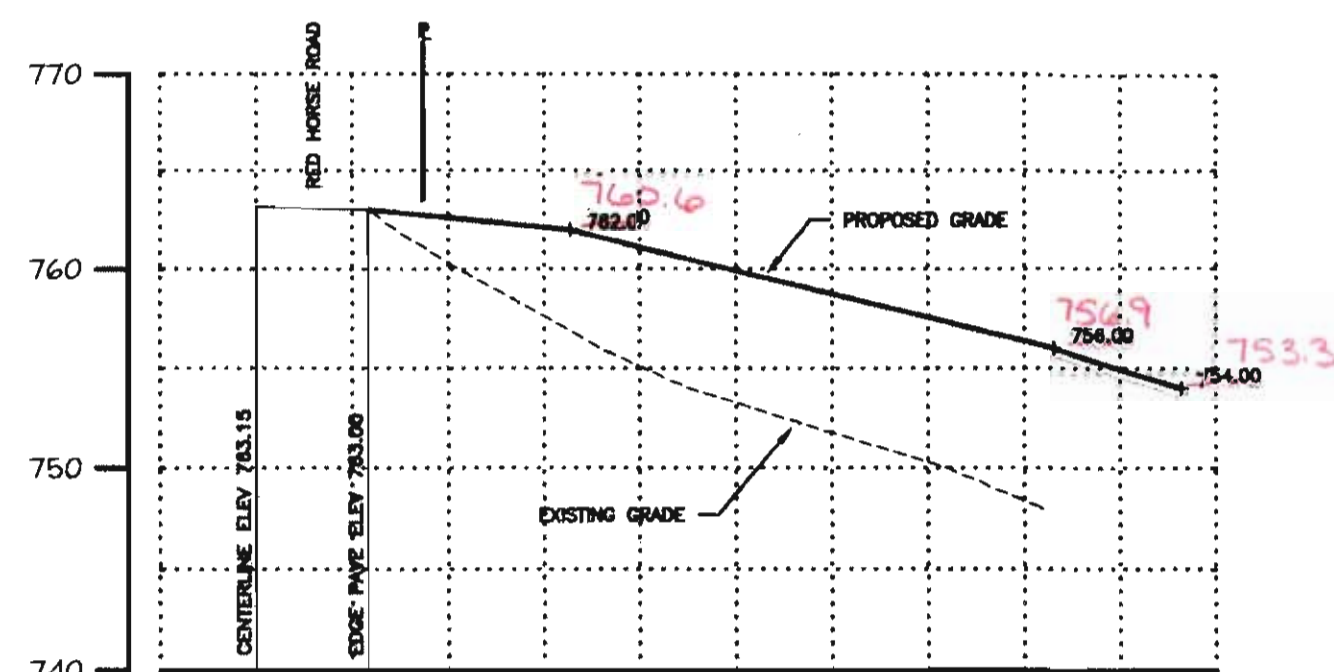


REVISION	DATE	DESCRIPTION	BY
4	08/11/06	REVISED FOR CONSTRUCTION	AFJ
3	08/3/05	REVISED PER AUTHORITY REVIEW	AFJ
2	06/24/05	REVISED PER TOWNSHIP REVIEW	PDZ
1	04/29/05	REVISED PER TOWNSHIP REVIEW	AFJ
REVISION	DATE	DESCRIPTION	BY
04/01/04		NOTED	MTG/AFJ
		DAS	
		9607-12	
		10	



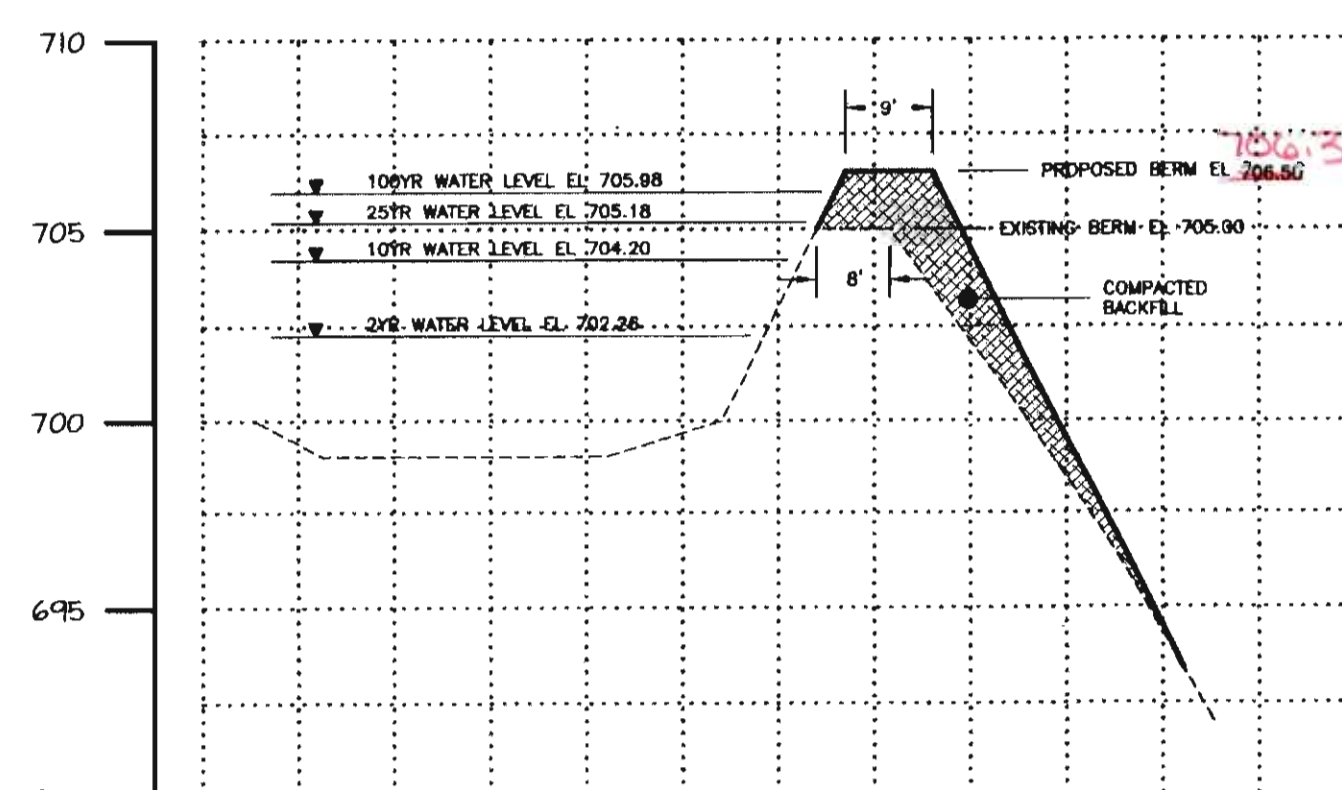
PROPOSED DRIVEWAY (ENTRANCE)

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)



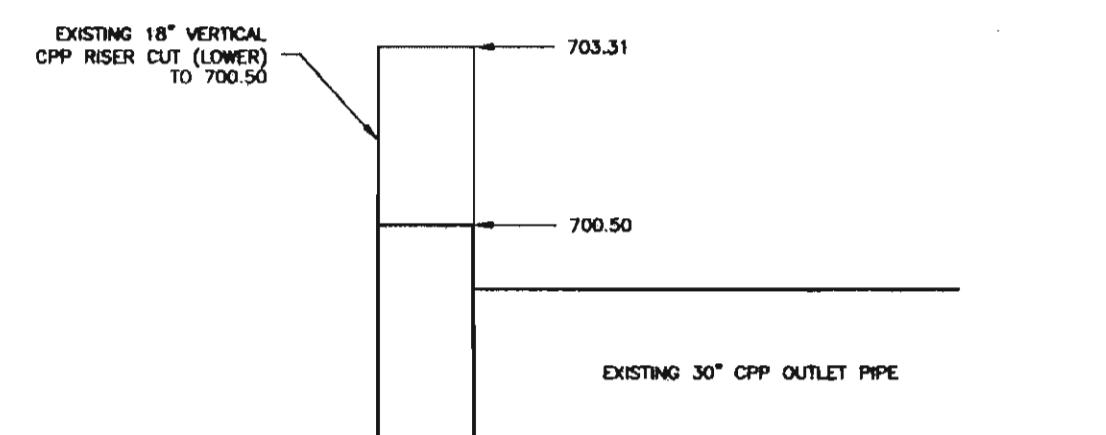
PROPOSED DRIVEWAY (EXIT)

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=10' (VERTICAL)



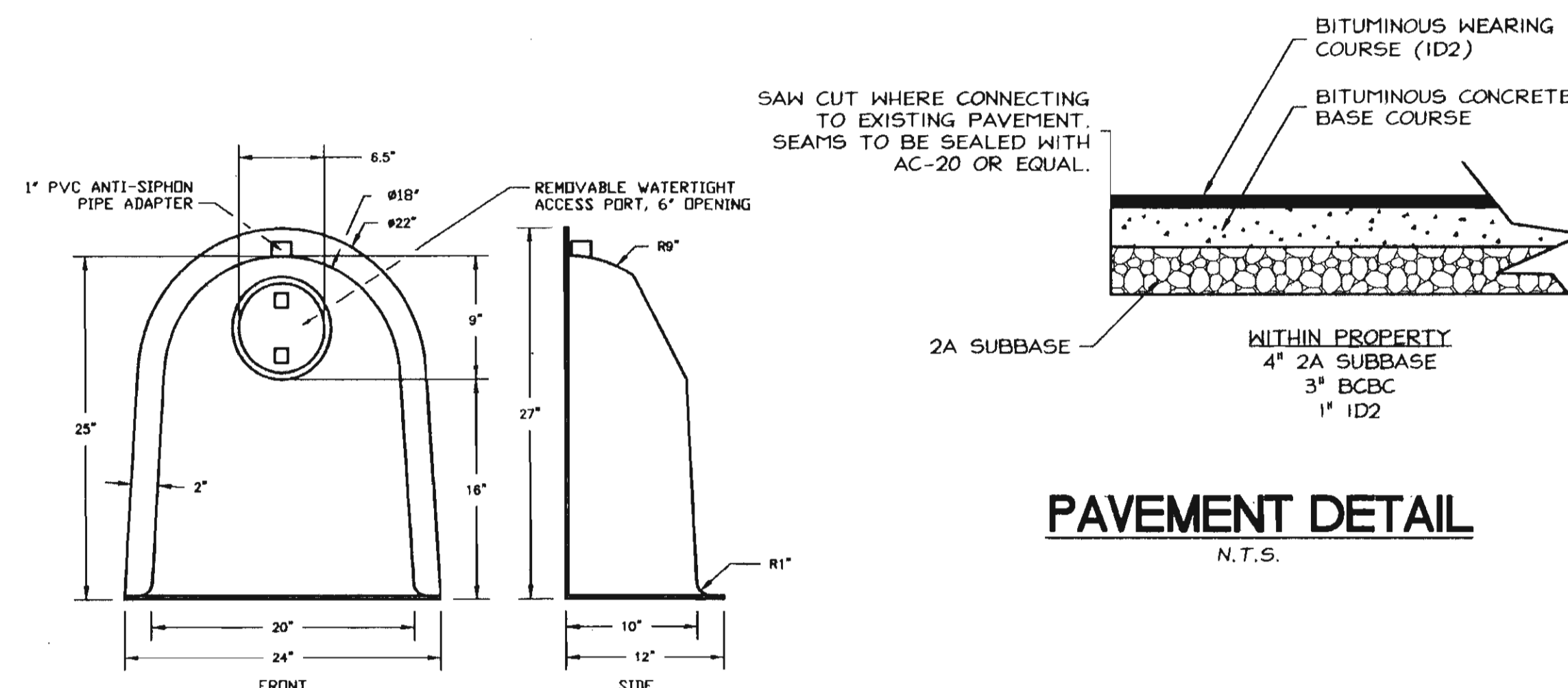
POND 2 SECTION

SCALE: 1"=30' (HORIZONTAL)
SCALE: 1"=5' (VERTICAL)



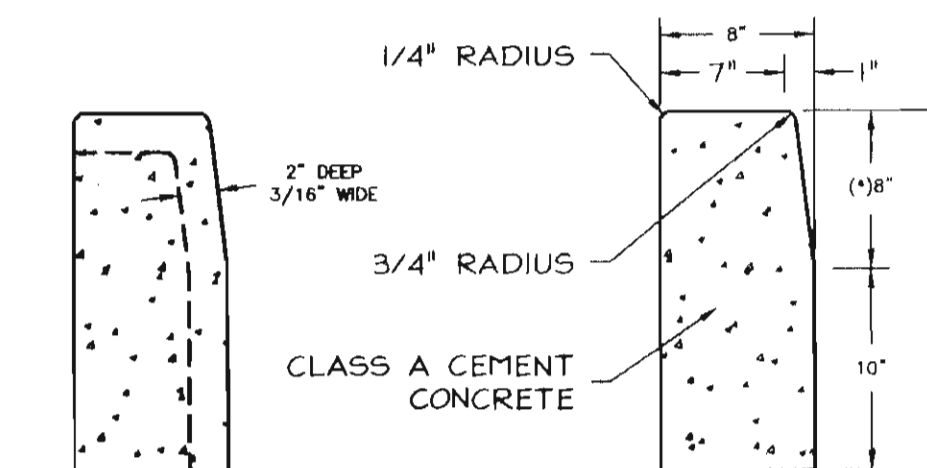
DETENTION BASIN RISER DETAIL

N.T.S.



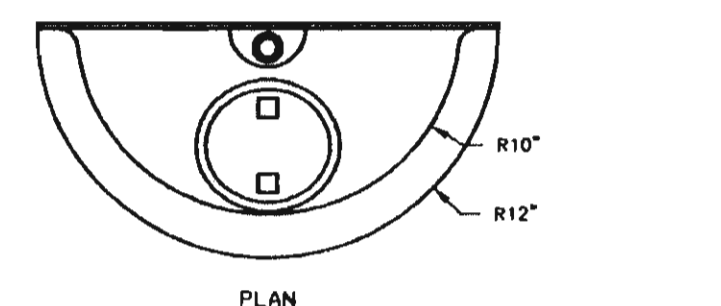
PAVEMENT DETAIL

N.T.S.



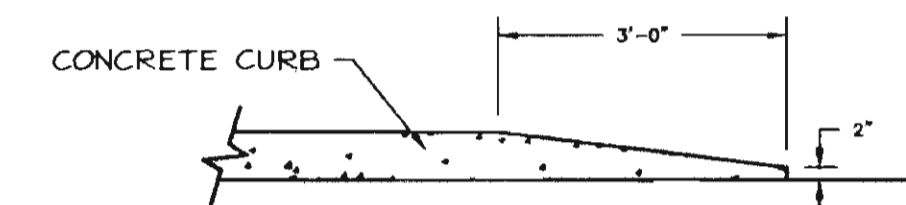
PLAIN CEMENT CONCRETE CURB

N.T.S.



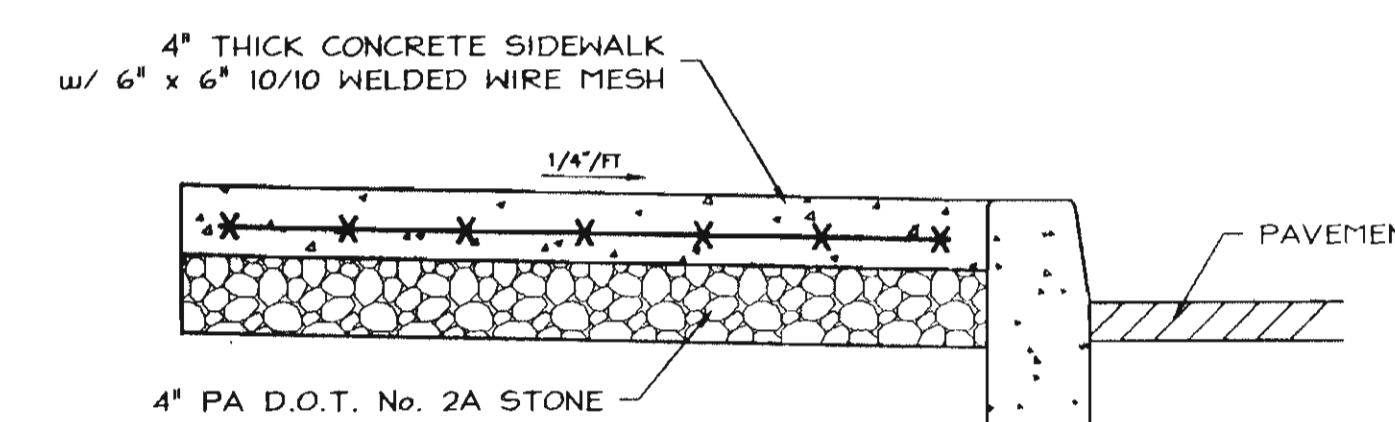
**18F SNOOT OIL
and DEBRIS STOP
(FOR INLET S19)**

N.T.S.



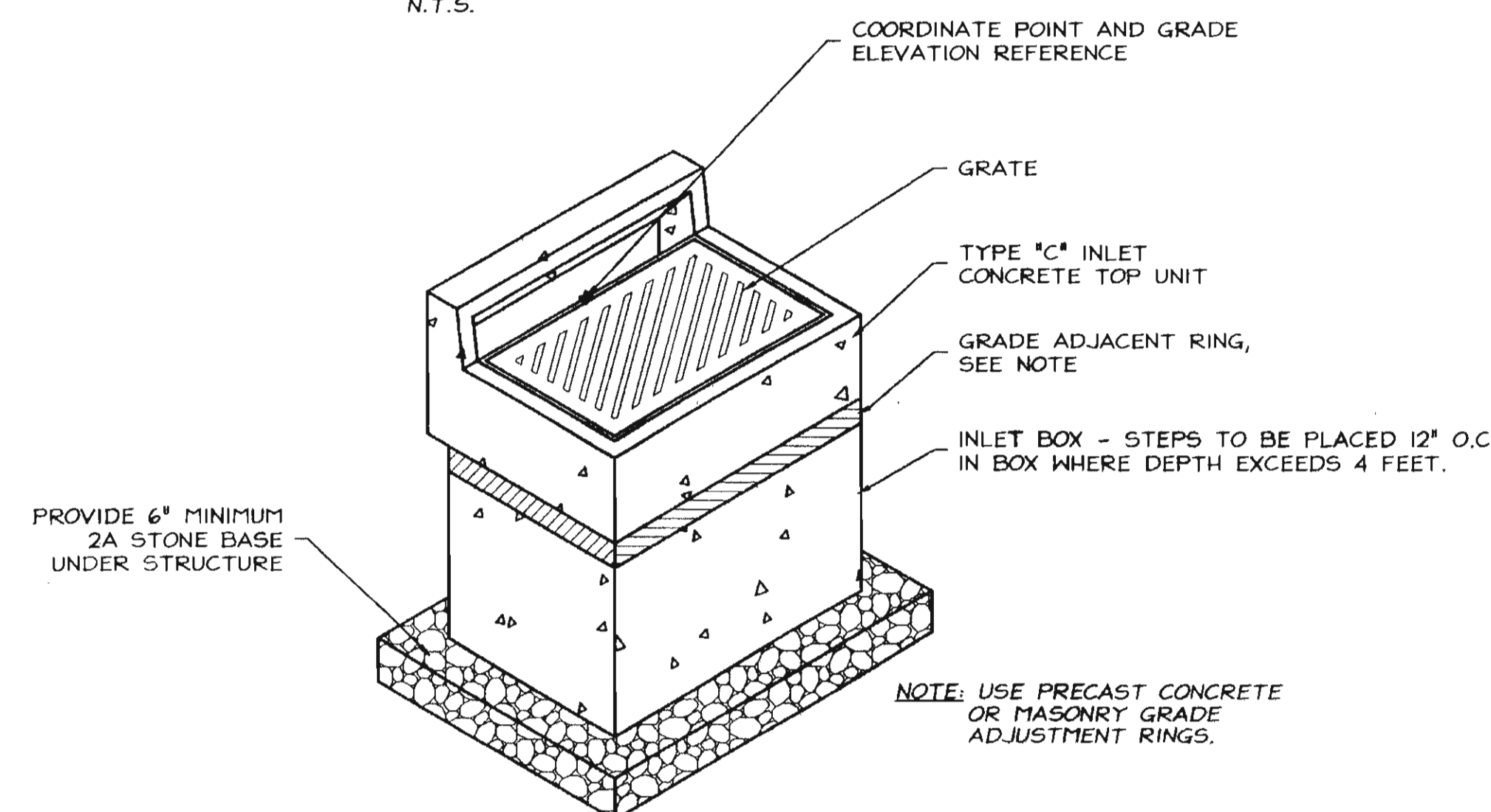
CURB TAPER

N.T.S.



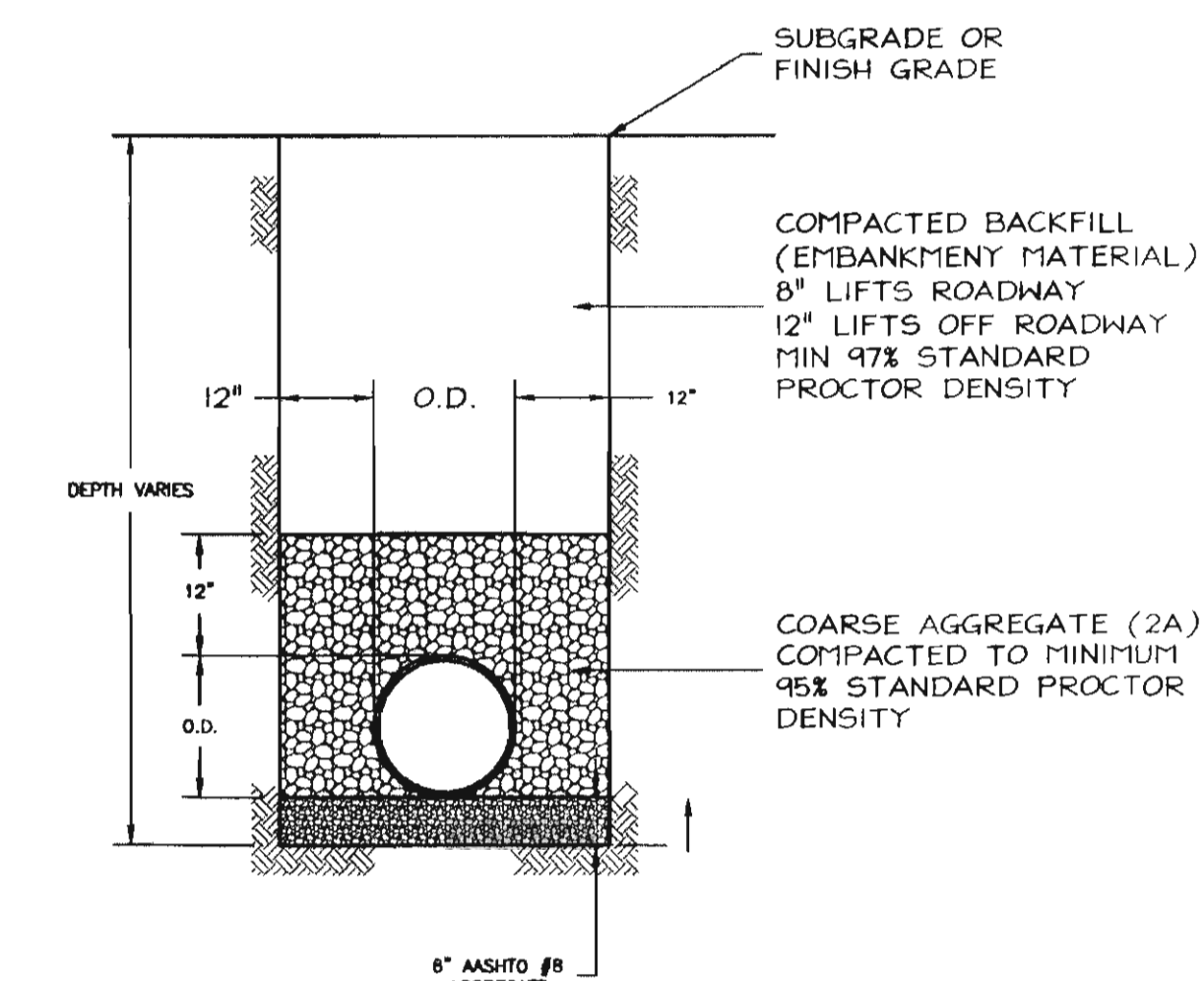
SIDEWALK DETAIL

N.T.S.



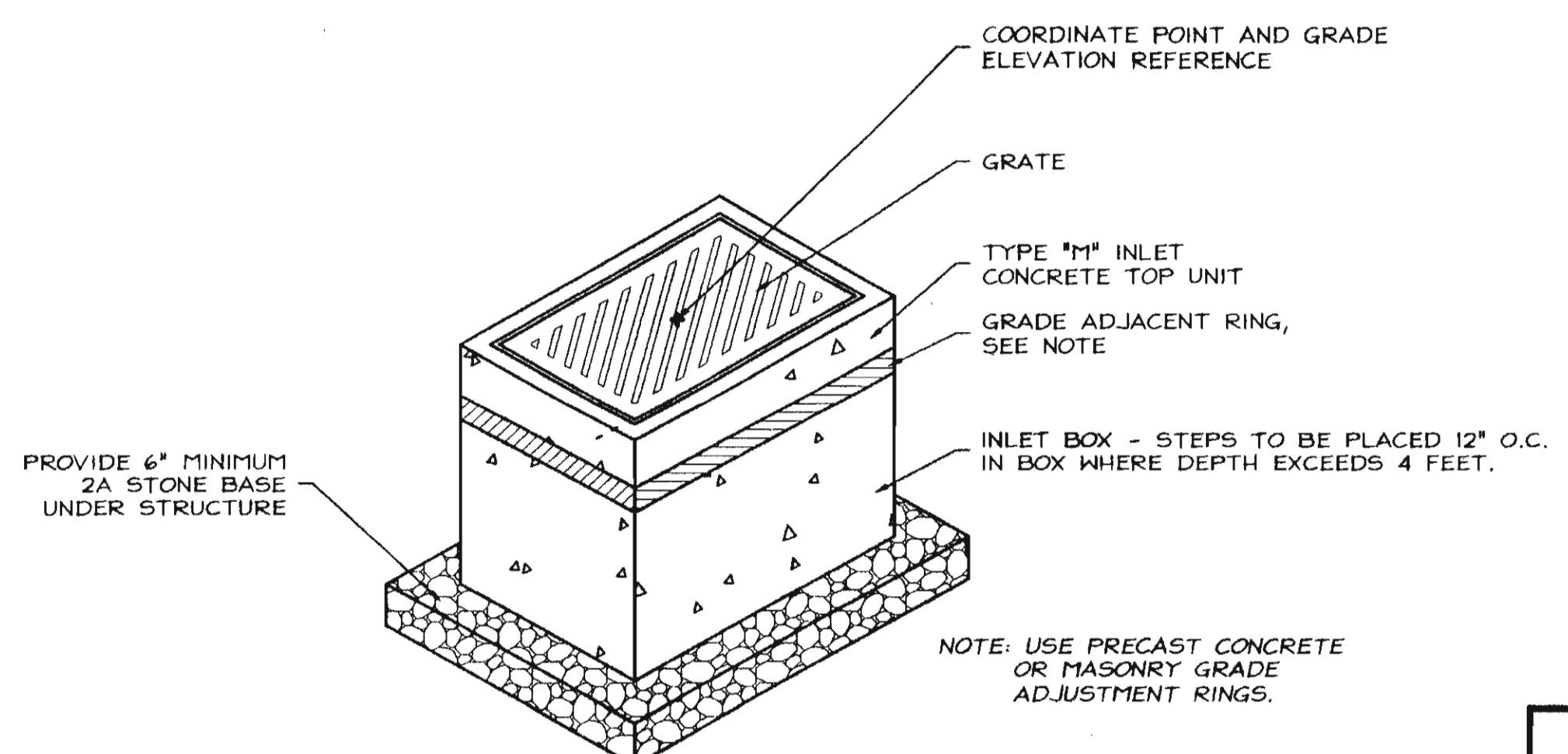
TYPE "C" INLET - PA D.O.T. RC 34

N.T.S.



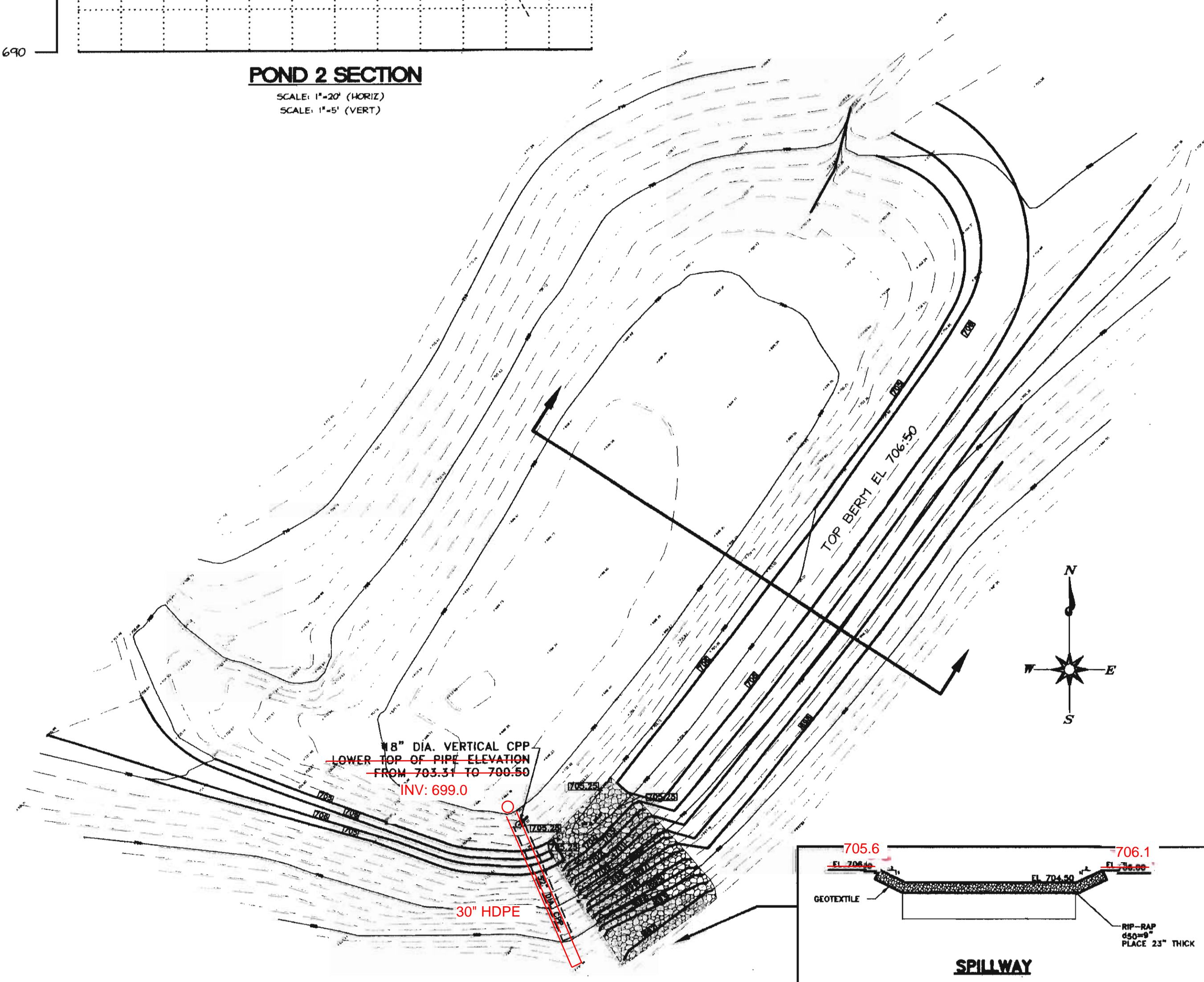
**TYPICAL PIPE TRENCH DETAIL
STORM SEWER and SANITARY SEWER**

N.T.S.



TYPE "M" INLET - PA D.O.T. RC 34

N.T.S.

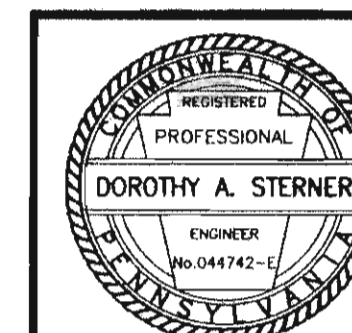


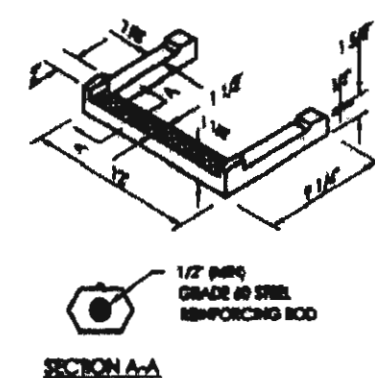
POND 2 MODIFICATIONS

SCALE: 1"=20'

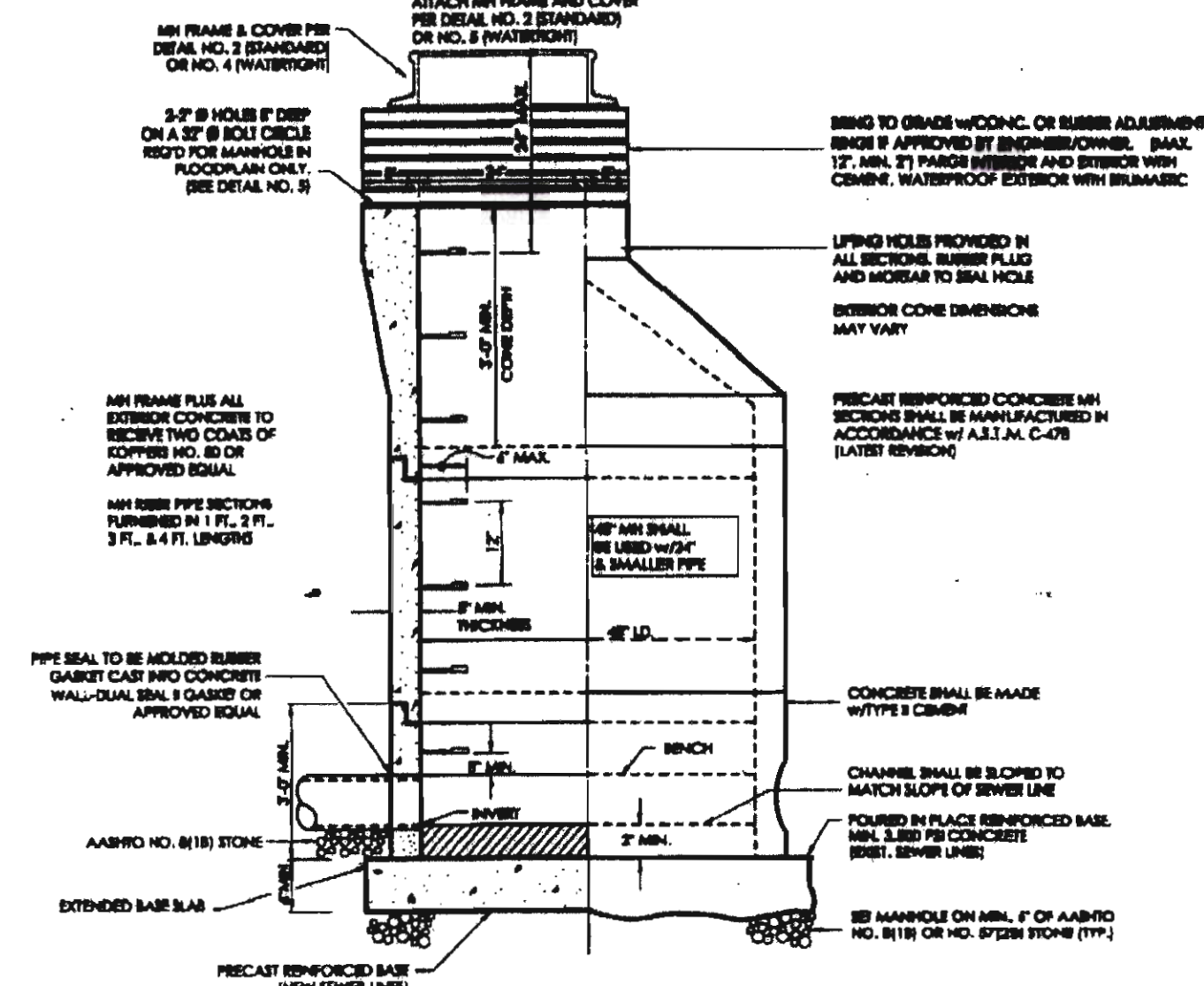
**AS-BUILT DRAWING
MAY 2018**

REVISION	DATE	DESCRIPTION	BY
2	08/11/06	REVISED FOR CONSTRUCTION	AFJ
1	05/27/05	REVISED PER TOWNSHIP REVIEW	AFJ
DATE: 04/01/05			
NOTED			
DRAWN BY: MTG/AFJ			
CHECKED BY: DAS			
DRAWING NO: 9607-12			
SHEET NO: 11			



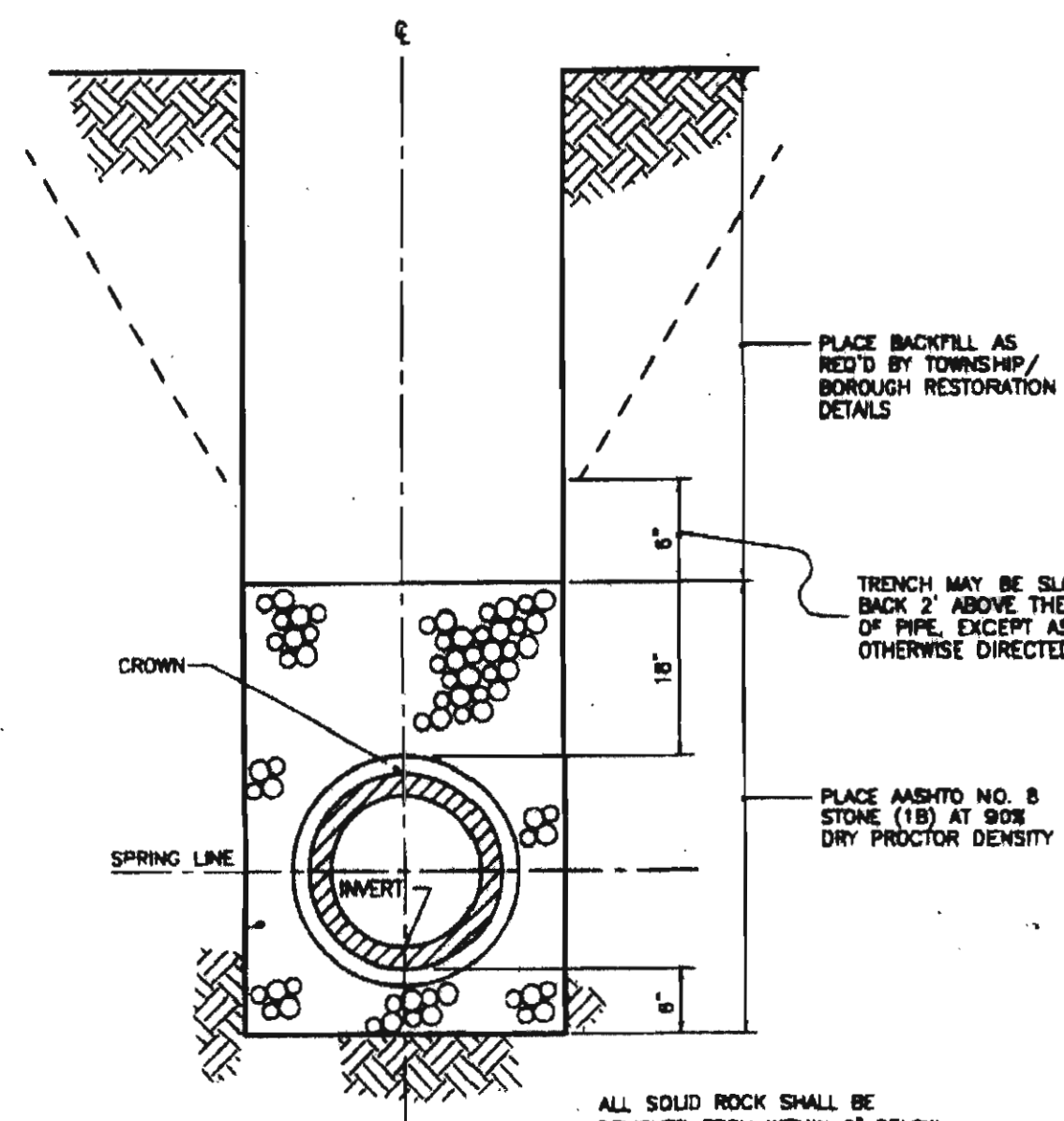


POLYPROPYLENE
MANHOLE STEP



PRECAST REINFORCED CONCRETE
MANHOLE 48" DIAMETER

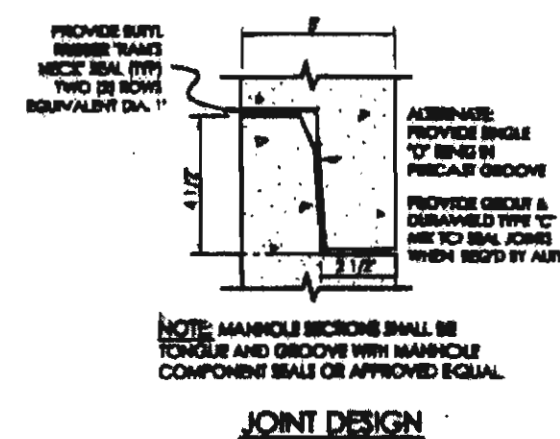
N.T.S.



GRAVITY / FORCEMAIN SEWERS

TYPICAL TRENCH BEDDING FOR GRAVITY / FORCEMAIN
SANITARY SEWER LINES AND LATERALS

N.T.S.



JOINT DESIGN

NOTE: MANHOLE SECTIONS SHALL BE
FORGED AND GROOVED WITH MANHOLE
COMPONENT SHALL OR APPROVED EQUAL.

ALL MANHOLE FRAMES SHALL BE FLUSH OR SLIGHTLY
LOWER AND CONFORM WITH THE SLOPE OF PAVED
STREET SURFACES.

ATTACH MAN FRAME AND COVER
PIPE DETAIL NO. 2 (BROWNS) OR NO. 4 (WATERPROOF)

BRING TO GRADE W/CONC. OR RUBBER ADJUSTMENT
RINGS IF APPROVED BY ENGINEER/OWNER. MAX.
12" MAX. 21 PANS SUBSEVER AND STRIPPER WITH
CONCRETE. WATERPROOF EXTERIOR WITH BUNA-BUTYL.

LIFTED HOLES PROVIDED IN
ALL SECTIONS. RUBBER PLUG
AND MOORAR TO SEAL HOLE
SUBSEVER CONE DIMENSIONS
MAY VARY.

PRECAST REINFORCED CONCRETE MAN
SECTIONS SHALL BE MANUFACTURED IN
ACCORDANCE WITH A.S.T.M. C-408
(LATEST REVISION).

CONCRETE SHALL BE MADE
WITH TYPE I CEMENT.

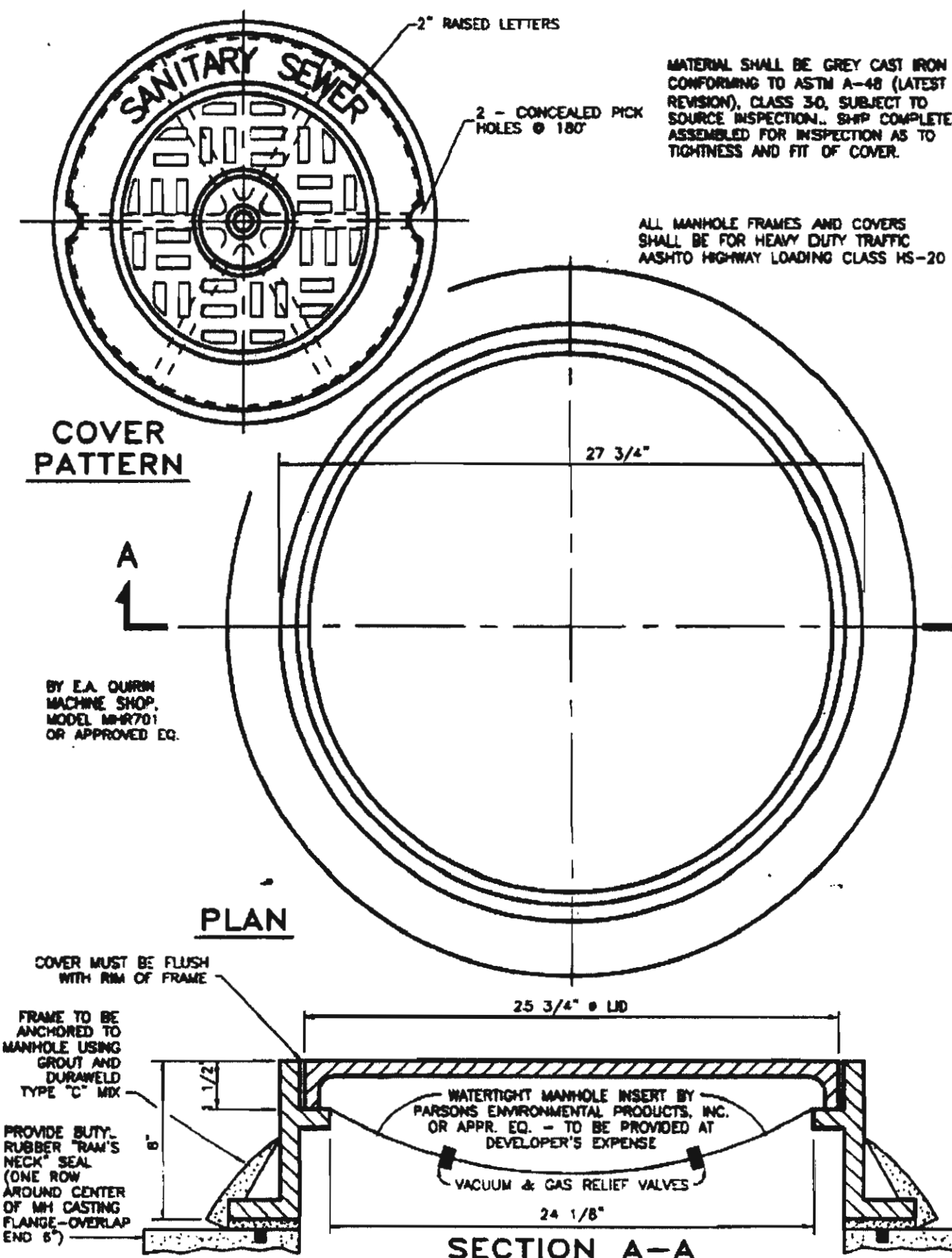
CHANNEL SHALL BE SLOPED TO
MATCH SLOPE OF SEWER LINE.

POURED IN PLACE REINFORCED BASE.
MIN. 3,500 PSI CONCRETE
(SEWER LINE).

SE MANHOLE ON MIN. 1" OF AASHTO
NO. 8/18 STONE (18) OR NO. 57/58 STONE (27).

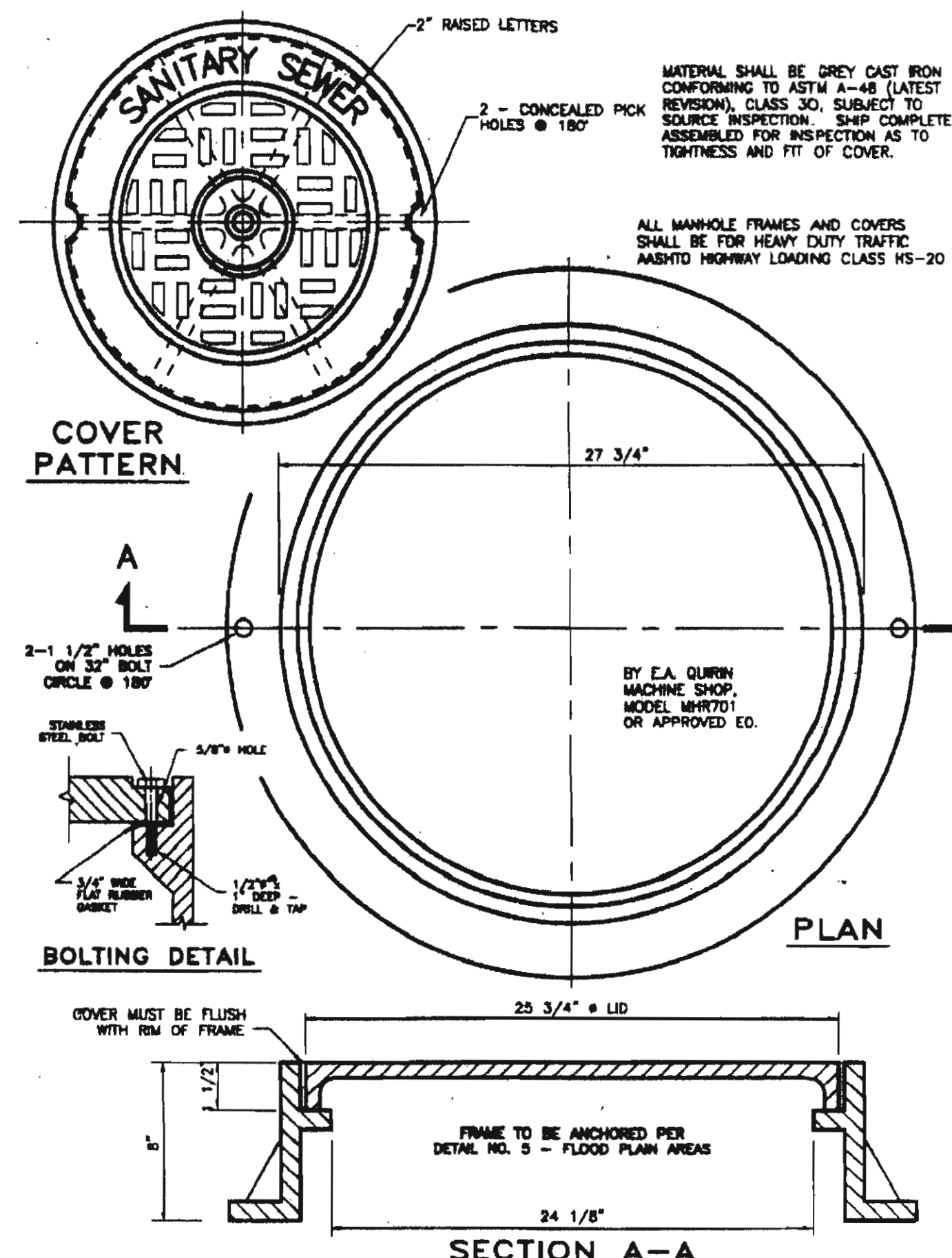
NOTE: WHERE NEW MANHOLES TO BE
CONSTRUCTED OVER AN EXISTING SEWER LINE - USE
"COCK HOUR" TYPE LOWER SEWER SECTION ON
POURED IN PLACE CONCRETE BASE.

SECTION/ELEVATION
(N.T.S.)



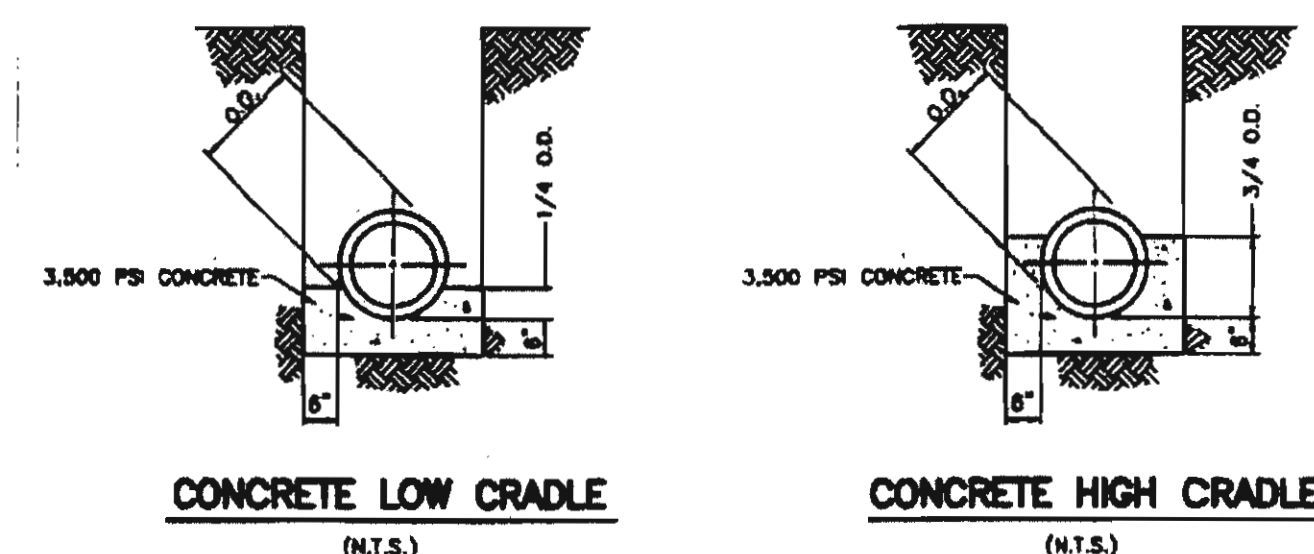
STANDARD MANHOLE FRAME AND COVER

N.T.S.



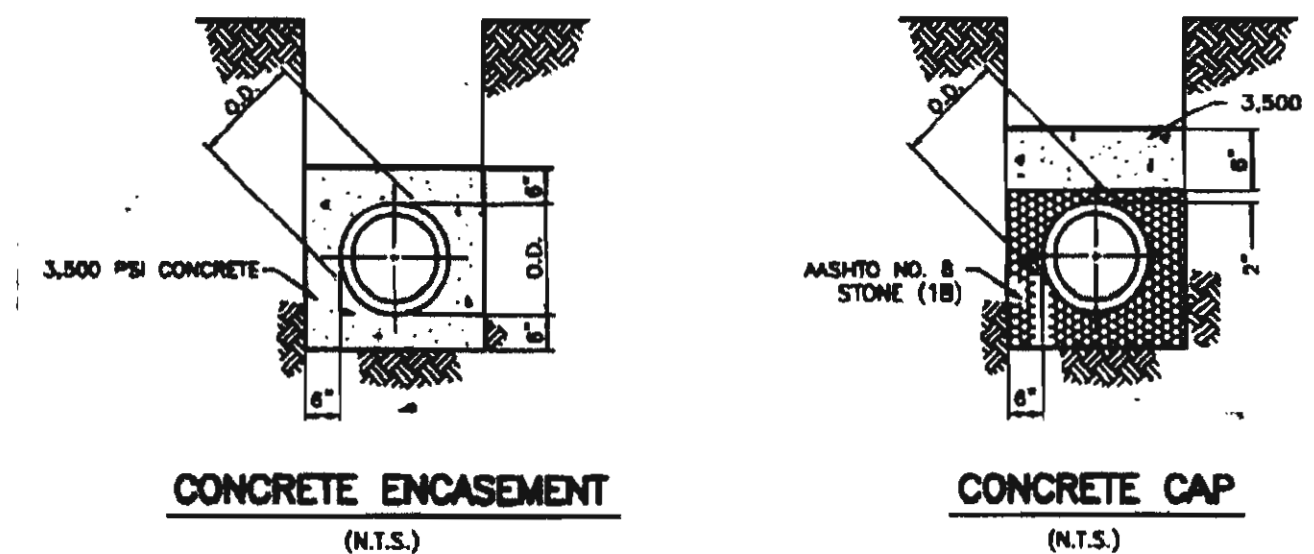
BOLT-DOWN / WATERTIGHT MANHOLE
FRAME AND COVER

N.T.S.



CONCRETE LOW CRADLE
(N.T.S.)

CONCRETE HIGH CRADLE
(N.T.S.)



CONCRETE ENCASEMENT
(N.T.S.)

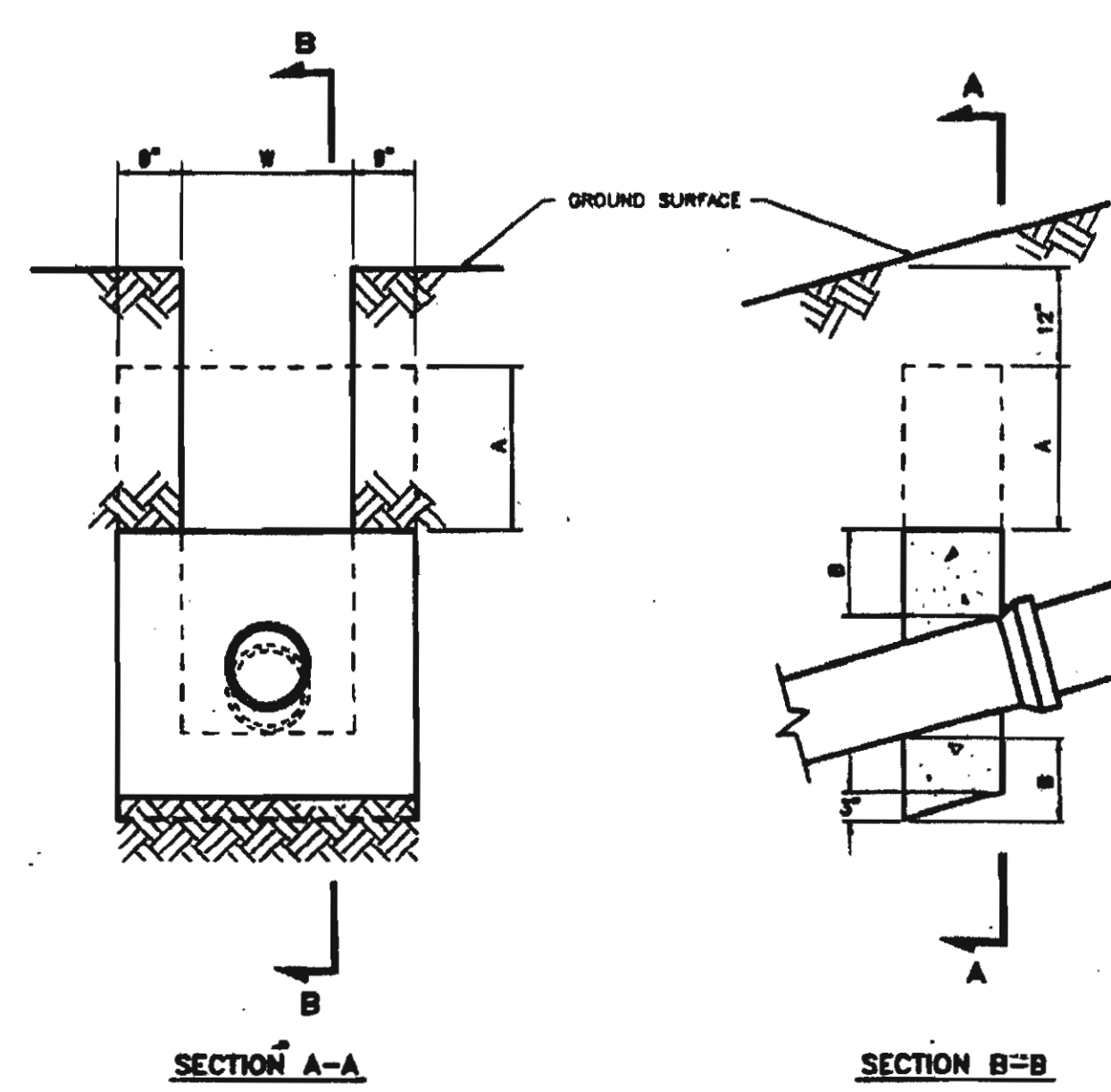
CONCRETE CAP
(N.T.S.)

NOTES:

1. CONCRETE CAP SHALL BE USED FOR STREAM CROSSINGS; EXTEND 10" BEYOND STREAM BANKS.
2. DUCTILE IRON PIPE SHALL BE INSTALLED BETWEEN MANHOLES ON EITHER SIDE OF STREAM.
3. ALL CONCRETE SHALL BE 3,500 PSI.
4. POUR CONCRETE AGAINST UNDISTURBED EARTH. REMOVE SHEETING BEFORE POURING CONCRETE OR PULL SHEETING UP ABOVE THE POURED CONCRETE.
5. ANCHOR ALL PIPE PRIOR TO POURING CONCRETE TO INSURE THAT THE PIPE DOES NOT FLOAT.

CONCRETE ENCASEMENT
CRADLES AND CAP

N.T.S.



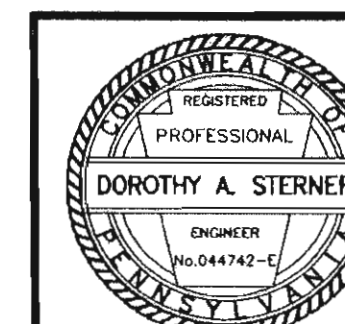
CONCRETE ANCHORS FOR PIPE INSTALLED
ON GRADES 20% OR MORE

N.T.S.

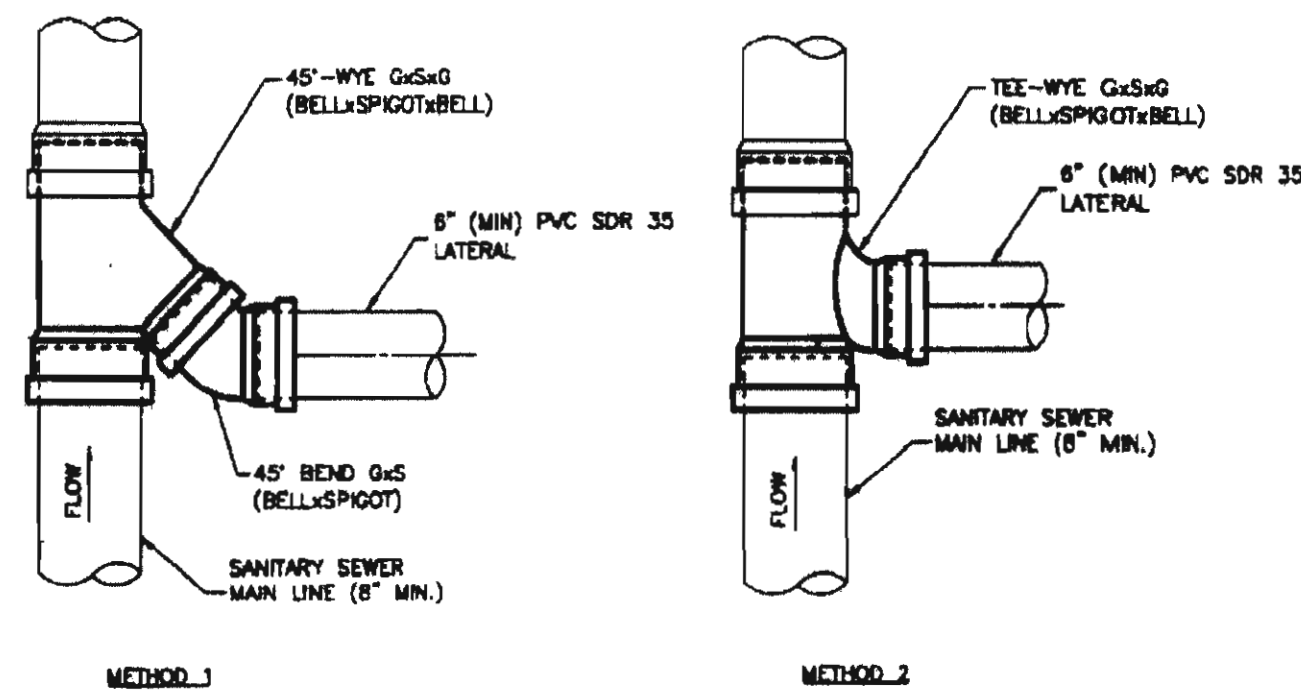
- A - EXTENSION OF ANCHOR TO 12" BELOW GROUND SURFACE, WHEN NECESSARY TO PREVENT WASHOUT OF BACKFILL BY SURFACE WATER.
- B - 12" FOR PIPES 10" OR LESS, 18" FOR PIPES 10" TO 18" NOMINAL DIAMETER.
- W - O.D. + 18"
- NOTES:
1. ANCHORS NOT REQUIRED ON GRADES LESS THAN 20% UNLESS NOTED.
 2. PROVIDE ANCHORS 36" CTR. TO CTR. ON GRADES BETWEEN 20% AND 34%.
 3. PROVIDE ANCHORS 34" CTR. TO CTR. ON GRADES BETWEEN 34% AND 50%.
 4. PROVIDE ANCHORS 18" CTR. TO CTR. ON GRADES BETWEEN 50% AND 70%.
 5. ALL ANCHORS TO BE 3,500 PSI CONCRETE, PLACED DOWNGRADE OF BELL AS SHOWN.

AS-BUILT DRAWING
MAY 2018

RECEIVED
JUN 11 2018
NORTH MANHEIM TOWNSHIP

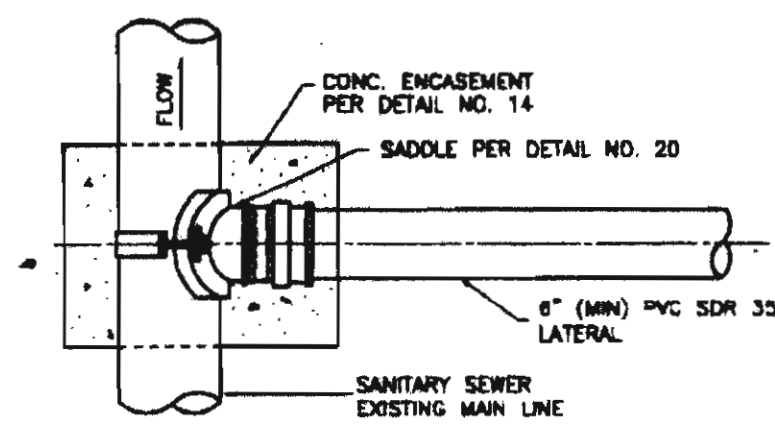


1	08/11/06	REVISED FOR CONSTRUCTION	AFJ
REVISION	DATE	DESCRIPTION	BY
SEIDERS HILL LOT 114 FINAL PLAN - PHASE I			
NORTH MANHEIM TOWNSHIP			DATE: 06/24/05
SCHUYLKILL COUNTY, PA			SCALE: NOTED
Puttsville, PA 17901			DRAWN BY: PDZ
Telephone (570) 622-4550			APPROVED BY: DAS
SANTARY DETAIL SHEET			SHEET NO: 12



NOTE: BOTH METHODS (1 & 2) LISTED ABOVE ARE ACCEPTABLE LATERAL CONNECTIONS TO THE MAIN DURING NEW CONSTRUCTION.

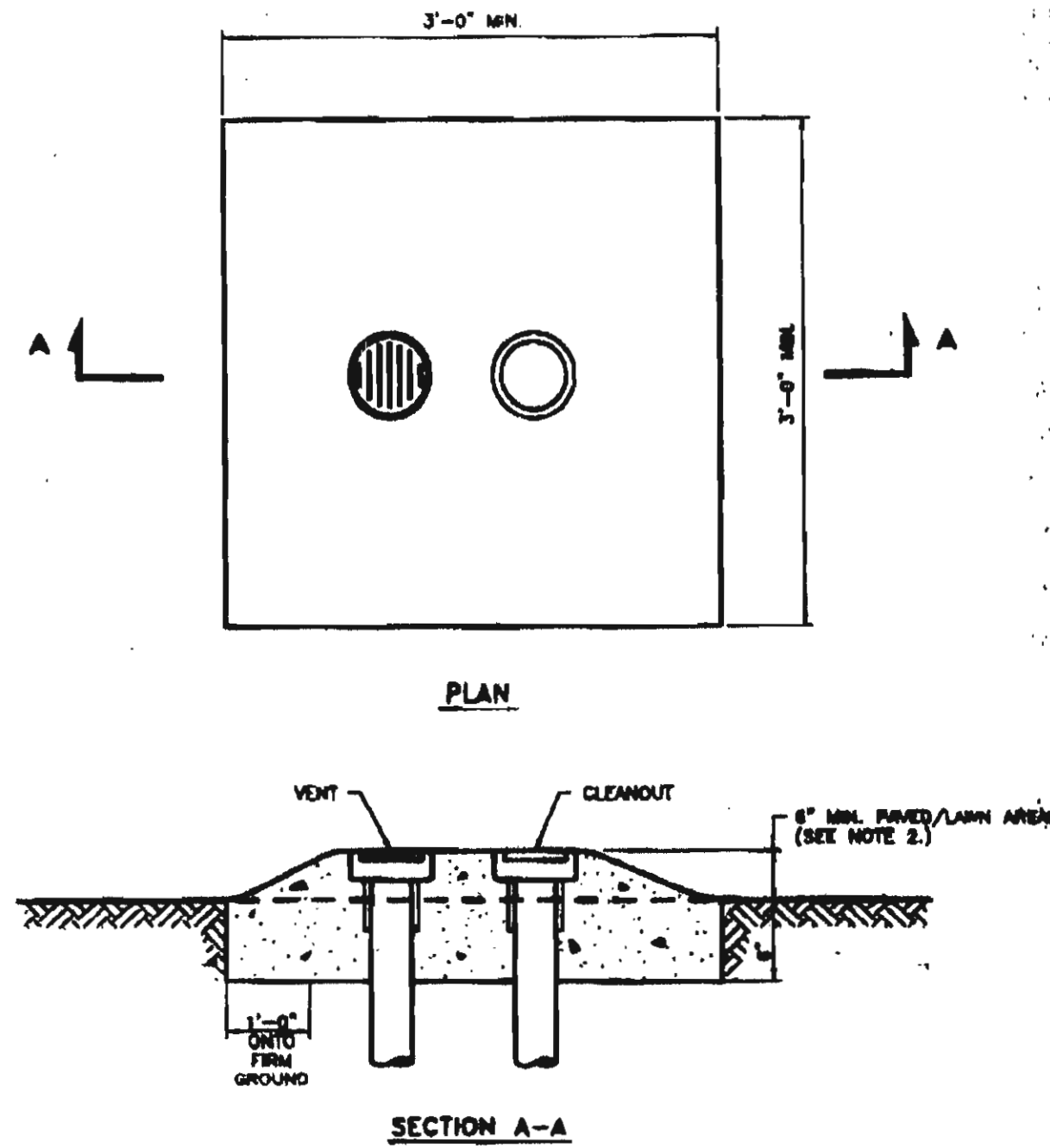
NEW CONSTRUCTION



ADDING LATERAL TO MAIN

LATERAL CONNECTION TO MAIN

N.T.S.



NOTES:

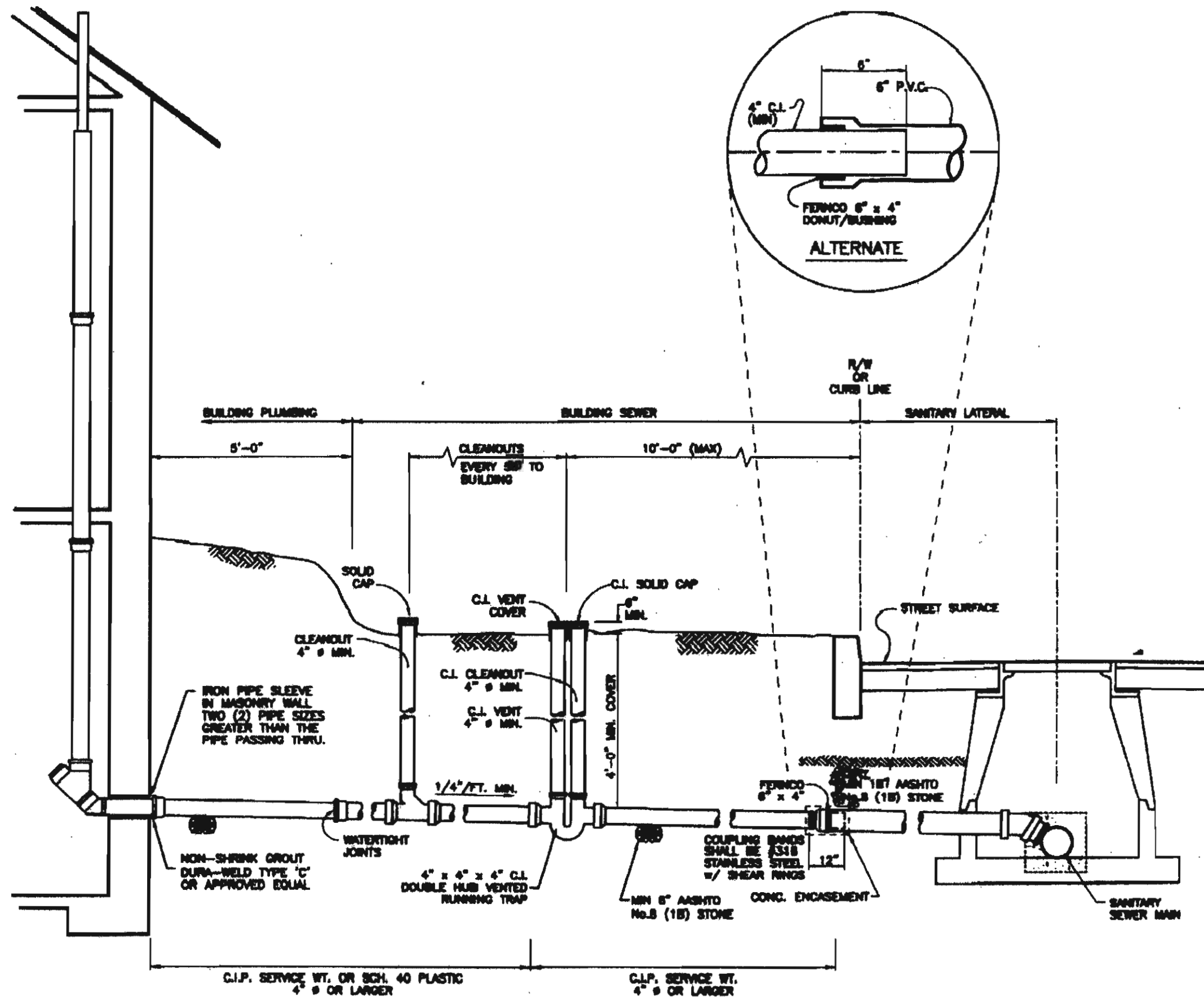
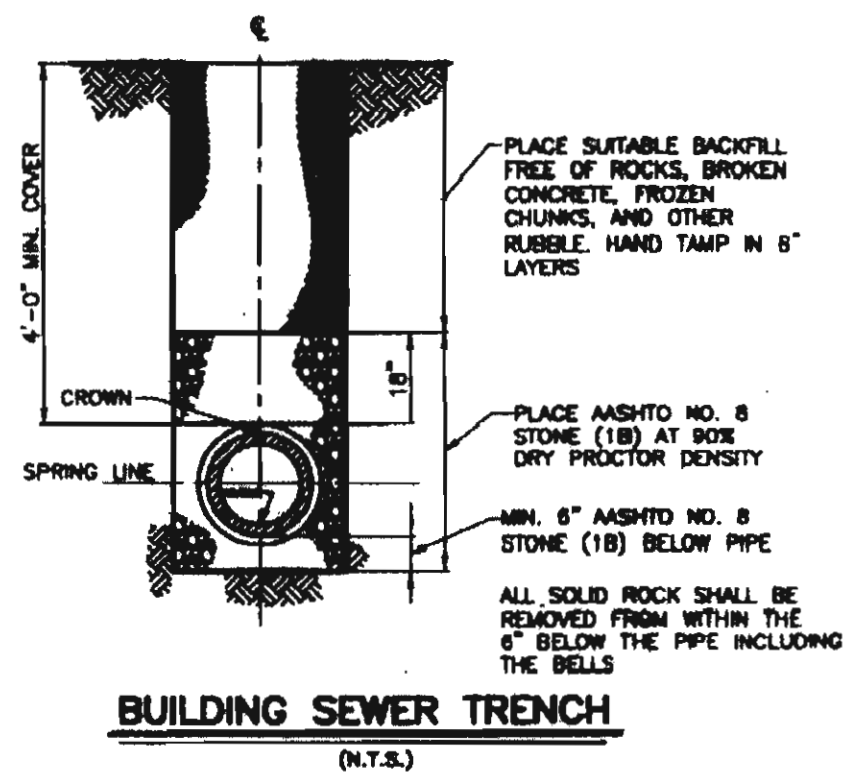
1. PROVIDE CONCRETE PAD IF CLEANOUT/VENT ARE LOCATED IN PAVED AREA.
2. CLEANOUT/VENT SHALL BE INSTALLED 4" ABOVE FINAL GRADE IN PAVED AND LANDSCAPE AREAS. CLEANOUT/VENT SHALL BE INSTALLED FLUSH WITH SIDEWALK SURFACES, WHEN NO OTHER OPTIONS AVAILABLE.
3. CLEANOUT/VENT SHALL NOT BE LOCATED IN DRAINAGE SWALES.
4. IF CLEANOUT/VENT FALLS WITHIN DRIVEWAY, CLEANOUT/VENT INSERTS AS MANUFACTURED BY PARSON ENVIRONMENTAL PRODUCTS, INC. OR APPROVED EQUAL MAY BE INSTALLED IN LIEU OF 6" HIGH CONCRETE PAD.

BUILDING SEWER CLEANOUT / VENT AT TRAP

N.T.S.

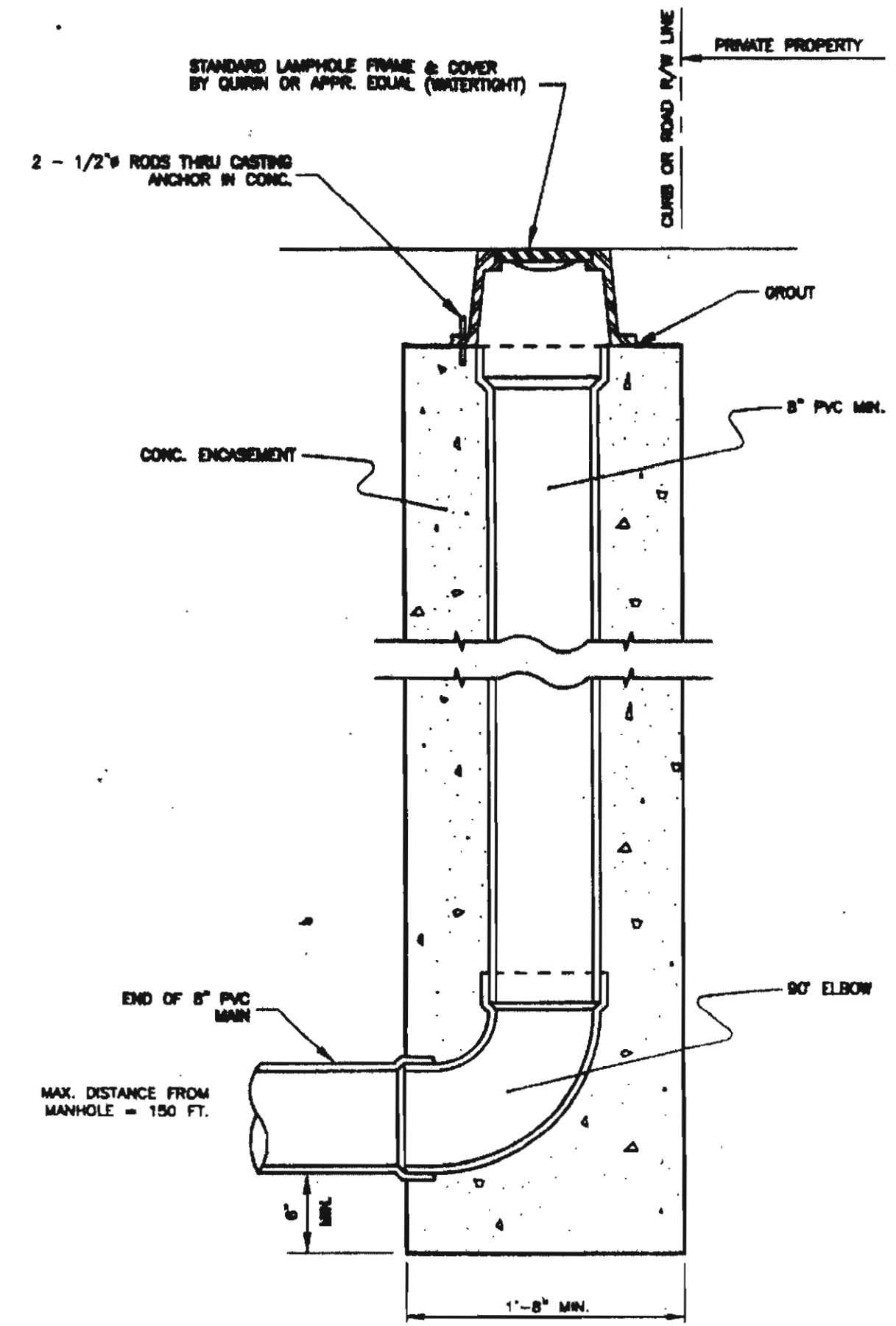
NOTES:

1. CONTINUOUS SUPPORT OF SPUR OF PIPE TO BE MAINTAINED. PIPE SHALL NOT BE SUPPORTED ON BLOCKS TO GRADE.
2. ANY PLUMBING PERFORMED UNDER A FOOTING SHALL BE PROVIDED WITH A RELIEF ARCH.
3. WHENEVER THE SANITARY LATERAL IS OF SUPPORTER DESIGN, THE BUILDING SEWER SHALL BE AT LEAST THREE (3) FEET BELOW THE CELLAR FLOOR FOR A DISTANCE OF FIVE (5) FEET BEHIND THE CELLAR WALL.
4. WHEN THE BUILDING TRAP FALLS UNDER A SIDEWALK AREA OR UNDER DRY SLAB CONSTRUCTION OF A PERMANENT MATERIAL, THE VENT AND CLEANOUT FOR THE BUILDING TRAP SHALL BE EXTENDED TO GRADE LEVEL AND FITTED WITH ADJUSTABLE BOXES WITH BRASS COVERS NOT LESS THAN ONE-QUARTER (1/4) INCH THICK AND HELD IN PLACE WITH TWO-SCREW (2/16) INCH BRASS SCREWS. THE VENT COVER SHALL BE GROVED AND THE CLEANOUT SHALL BE SOLID.
5. CLEANOUTS SHALL BE INSTALLED IN THE BUILDING SEWER IN SUCH NUMBER, HANGER AND POSITION AS TO PERMIT CLEANING SUCH LINES IN THEIR ENTIRE LENGTH, BUT IN NO CASE SHALL THERE BE LESS THAN TWO (2) CLEANOUTS IN EACH BUILDING SEWER EXCEEDING FIFTY (50) FEET IN LENGTH, NOR SHALL THEY BE SPACED MORE THAN FIFTY (50) FEET APART.
6. JOINTS FOR RELL AND SPUR OF PIPE AND FITTINGS SHALL BE MADE BY APPROVED COMPRESSION COUPLERS THAT ARE COMPRESSED WHEN THE SPUR IS INSERTED INTO THE HUB OF THE PIPE. EVERY JOINT IN PLASTIC PIPE SHALL BE MADE WITH APPROVED FITTINGS BY SOLVENT WELDING.



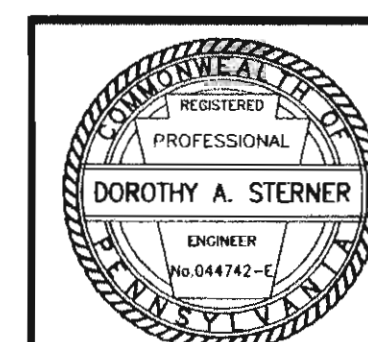
TYPICAL BUILDING SEWER INSTALLATION

N.T.S.



AS-BUILT DRAWING
MAY 2018

RECEIVED
JUL 14 2018
NORTH MANHEIM TOWNSHIP



REVISION	DATE	DESCRIPTION	BY
1	08/11/06	REVISED FOR CONSTRUCTION	AFJ
DATE: 06/24/05			
NOTED			
PDZ			
DAS			
9607-12			
13			

SEIDERS HILL
LOT 114
FINAL PLAN - PHASE I

NORTH MANHEIM TOWNSHIP
SCHUYLKILL COUNTY, PA
Pottsville, PA 17901
Telephone (570) 622-4550

WJP Engineers

SANITARY DETAIL SHEET