

## ***DIVISION 6. PORT SALERNO***

### **Sec. 12.6.01. Purpose.**

1. Port Salerno is a diverse and historic community in Martin County that boasts a wide range of cultural and economic assets. Known for its working waterfront and commercial fishing industry in the Manatee Pocket area, Port Salerno is also rich with a variety of neighborhoods offering housing options at all economic levels in close proximity to the center of town. In an effort to maintain and strengthen the historical and cultural attributes of Port Salerno, this LDR Division is intended to:
  - a. Promote and accomplish the goals, policies, and objectives of the Martin County Growth Management Plan as they pertain to Port Salerno;
  - b. Preserve the character, quality, and scale of historic Port Salerno and ensure the compatibility of future investment;
  - c. Provide clarity and predictability in future planning and development in Port Salerno;
  - d. Maintain the high-quality standards of residential and nonresidential growth;
  - e. Ensure a desirable and controlled natural and built environment for future generations.
2. *Port Salerno Redevelopment Zoning District.* This Article 12, Division 6 of the Martin County Land Development Regulations establishes the Port Salerno Redevelopment Zoning District and the permitted uses and development standards applicable therein.
3. *Organization.* How this Division is organized:

Section 12.6.01	Purpose
Section 12.6.02	Regulating Plan
Section 12.6.03	Permitted Uses
Section 12.6.04	Development Standards
Section 12.6.05	Building Type and Frontage Type Standards
Section 12.6.06	Street Standards
Section 12.6.07	Parking Standards
Section 12.6.08	Stormwater Standards
Section 12.6.09	Landscape Standards
Section 12.6.10	Wall and Fence Standards
Section 12.6.11	Sign Standards
Section 12.6.12	Architectural Standards



**Figure PS-1 Rendering of Complete Street interventions as part of the Martin Metropolitan Planning Organization Complete Streets: Access to Transit Study**

(Ord. No. 1142, pt. I(Exh. A), 9-15-2020)

**Sec. 12.6.02. Regulating plan.**

Figures PS-2 and PS-3 are the Regulating Plans that apply to the Port Salerno Redevelopment Zoning District. Section 12.1.02 describes the purpose and content of Regulating Plans.

**Figure PS-2 Regulating Plan**

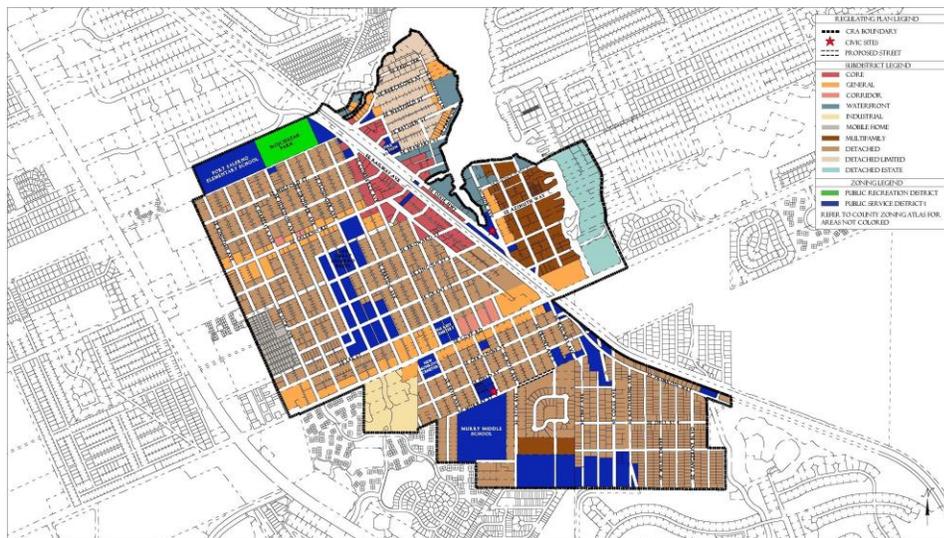
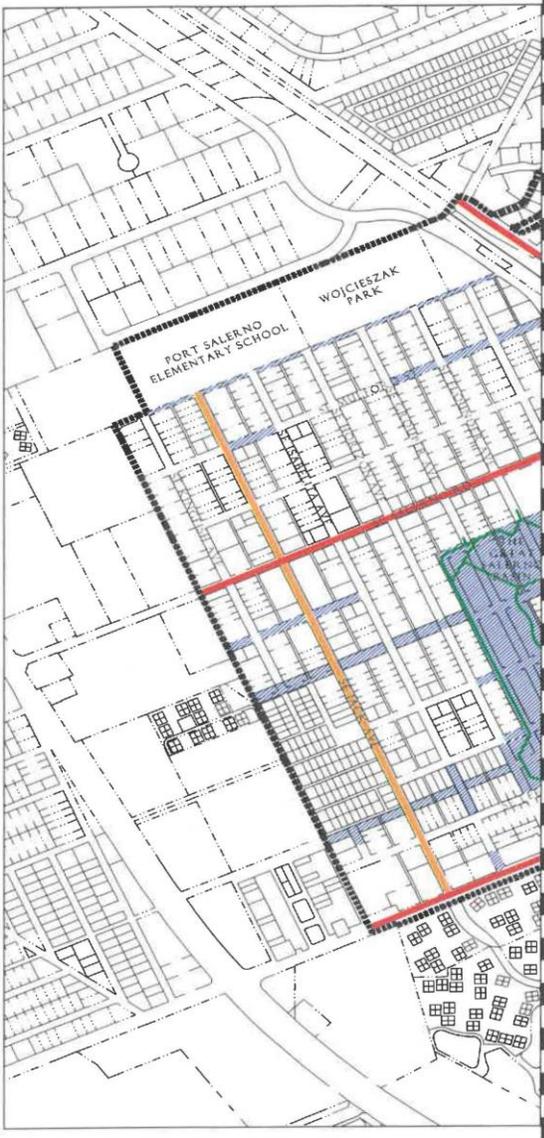
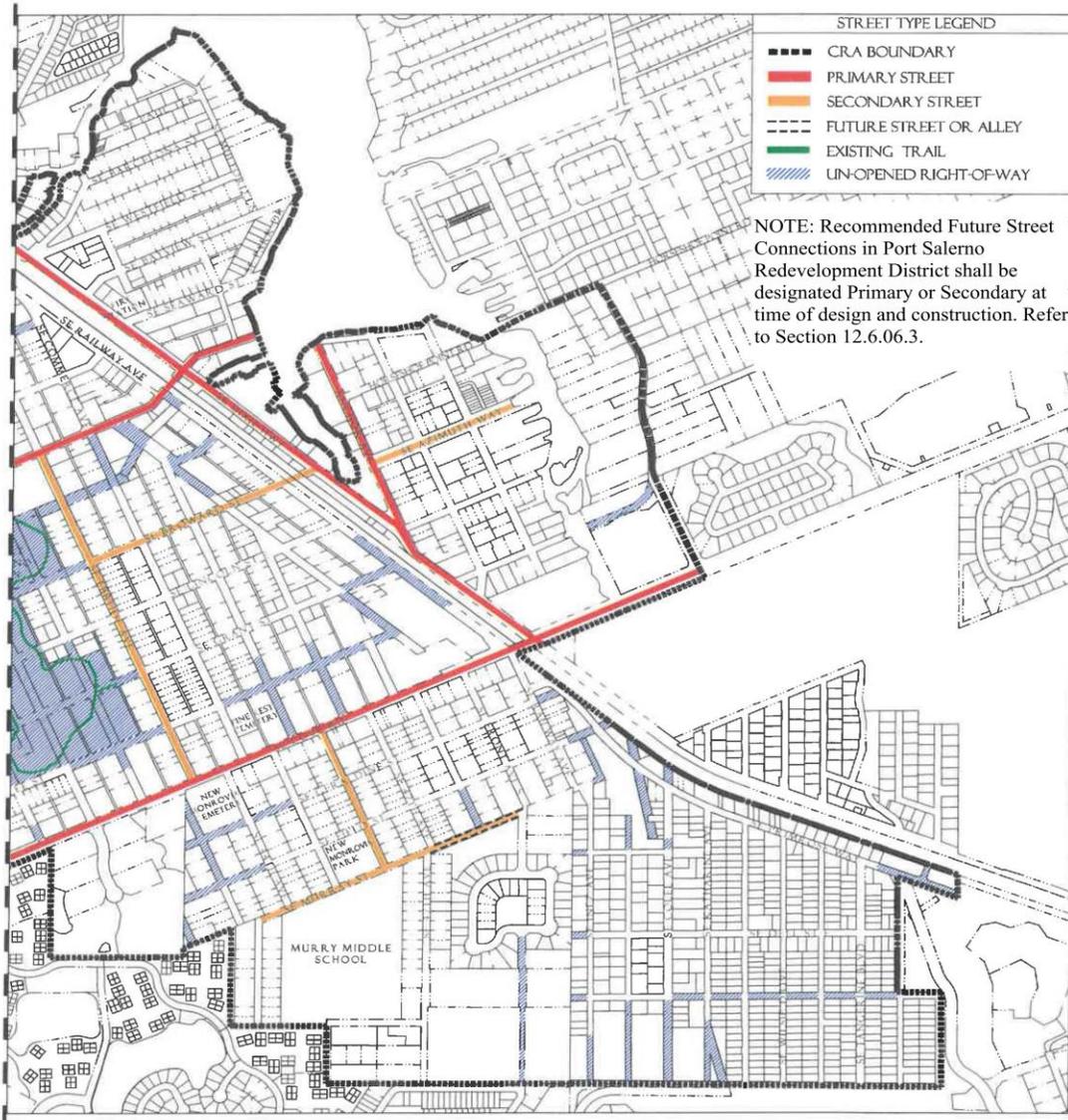


Figure PS-3 Street Regulating Plan



**Figure PS-3 Street Regulating Plan**



(Ord. No. 1142, pt. I(Exh. A), 9-15-2020; Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)

**Sec. 12.6.03. Permitted uses.**

Table PS-4 identifies permitted uses in the PS (Port Salerno) Redevelopment Zoning District.

1. The Use Groups listed in the first column of Table PS-4 are described in Section 12.1.03.
2. The remaining columns identify the Subdistricts shown on the Regulating Plan.
  - a. "P" in a row below a column means that any use in that use group is permitted within that Subdistrict, provided the use can be developed in accordance with all applicable requirements of the LDR.

- b. If "P" is not shown in a row, the use group is not permitted in that Subdistrict.
3. For uses that are functionally similar but not clearly permitted in a Subdistrict see Section 12.1.03.3.

**Table PS-4 Use Groups Permitted in Port Salerno Subdistricts**

	Core	General	Water- front	Corridor	Indust- rial	Multi- family	Mobile Home	Detached	Detached Limited	Detached Estate
<b>Residential Use Groups, see 12.1.03</b>										
Accessory dwelling units	P	P	-	P	-	P	-	P	P	P
Mobile homes	-	-	-	-	-	-	P	-	-	-
Other dwelling types	P	P	p <sup>1,2</sup>	P	-	P	-	p <sup>4</sup>	-	-
Single-family dwellings	-	P	p <sup>1,2</sup>	P	-	P	-	P	p <sup>3</sup>	p <sup>3</sup>
Bed and breakfast inns	P	P	p <sup>1,2</sup>	P	-	P	P	P	P	P
<b>Agricultural Use Groups, see 12.1.03</b>										
Urban farming	-	-	-	P	-	-	-	-	-	-
<b>Commercial and Business Use Groups, see 12.1.03</b>										
Business and professional offices	P	P	p <sup>1</sup>	P	P	-	-	-	-	-
Construction services, limited	P	P	p <sup>1</sup>	P	P	-	-	-	-	-
Construction services, extensive	-	-	-	-	P	-	-	-	-	-
Convenience store with fuel	-	-	-	P	-	-	-	-	-	-
Drive-through facility	-	-	-	-	-	-	-	-	-	-
Drive-through restaurant	-	-	-	-	-	-	-	-	-	-
Hotels, motels, resorts spas	P	P	p <sup>1</sup>	P	-	-	-	-	-	-
Marinas	p <sup>8</sup>	p <sup>7</sup>	P	P	-	-	-	-	-	-
Medical offices	P	P	-	P	P	-	-	-	-	-
Microbreweries & Craft Distilleries	P	-	P	-	P	-	-	-	-	-
Parking lots and garages	P	p <sup>5</sup>	-	p <sup>5</sup>	-	-	-	-	-	-
Restaurants	P	P	p <sup>1</sup>	P	P	-	-	-	-	-

Retail and services, limited impact	P	P	P <sup>1</sup>	P	P	-	-	-	-	-
Retail and services, general impact	P <sup>6</sup>	P <sup>6</sup>	-	P <sup>6</sup>	P	-	-	-	-	-
Retail and services, extensive impact	-	-	-	-	-	-	-	-	-	-
Recreational vehicle parks	-	-	-	-	-	-	-	-	-	-
Vehicular service and maintenance	-	-	-	-	P	-	-	-	-	-
Wholesale trades and services	-	-	-	-	P	-	-	-	-	-
Working waterfront	P <sup>8</sup>	-	P	-	-	-	-	-	-	-
<b>Public and Institutional Use Groups, see 12.1.03</b>										
Institutional uses, limited impact	P	P	P	P	-	P	P	P	P	P
Institutional uses, general impact	-	P	-	P	-	-	-	-	-	-
<b>Industrial Use Groups, see 12.1.03</b>										
Limited impact industries	-	-	P	-	P	-	-	-	-	-
Extensive impact industrial industries	-	-	-	-	-	-	-	-	-	-

Footnotes, see above

Development in the Waterfront Subdistrict shall be water-dependent or water-related. Development on land in the Waterfront Subdistrict may contain residential uses when other uses in a mixed-use project are water-dependent or water-related and not located within the Marine Service Area. Water-related development includes marine resort-type uses including transient accommodations, restaurants and retail shops.

<sup>2</sup> ;hg;Residential uses established prior to the effective date of Art. 12, Div. 6 or within a mixed-use project are permitted.

<sup>3</sup> ;hg;No Duplexes are permitted.

<sup>4</sup> No Multifamily dwellings and Apartment hotels are permitted.

<sup>5</sup> ;hg;No Garages are permitted.

<sup>6</sup> ;hg;No Residential storage facilities are permitted.

<sup>7</sup> ;hg;See Section 12.6.04.7 for standards governing establishment and operation of marinas in Port Salerno's General Subdistrict.

<sup>8</sup> ;hg;Marinas and Working Waterfront shall be permitted use if established prior to October 29, 2020.

**Sec. 12.6.04. Development standards.**

1. All new development, substantial improvements of a building, and substantial renovations of a building exterior shall comply with the Development Standards in Table PS-5.
2. *Existing Buildings.* Whenever substantial improvement of a building or substantial renovation of a building exterior triggers the obligation to comply with this Division, the Growth Management Director may authorize incremental compliance with its requirements proportional to the nature and scope of the existing and proposed improvements if full compliance would be unreasonable. An application for alternative compliance shall not be required, but the Growth Management Director may require that the proposal be presented to the Neighborhood Advisory Committee for review and comment. See Section 4.871.B, Div. 20, Article 4.
3. *Accessory Dwelling Units.* Standards for accessory dwelling units are provided in Development Standards Section 12.1.04.7.a.
4. *Building Types.* Each new building, and any substantial improvement, must meet the standards for one of the Building Types permitted in the Subdistrict where it is located, see Table PS-5. Building Type diagrams do not prescribe use or architectural style and are illustrative. Dimensions provided in tables are regulatory requirements.
5. *Façade Transparency.* Shopfront, Mixed-Use, Office, Apartment, and Courtyard Building façades facing streets or civic open spaces at the ground level must have transparent windows which cover between 40 percent and 70 percent of the wall area. Building façades above ground level must have transparent windows which cover between 20 percent and 50 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, non-mirrored glass with a light transmission reduction of no more than 40 percent.
6. *Maximum Lot Width.* Maximum lot width applies to parcels assembled or subdivided after the date of adoption of the Port Salerno Redevelopment Code, Div. 6, Article 12. Maximum lot width is intended to preserve existing character and landmarks.
7. *Marinas in the General subdistrict.* Marinas in the General Subdistrict shall be governed by these standards:
  - a. Only waterfront lots with an upland area of one-half acre or more may have a marina.
  - b. The owner of the upland parcel must have a submerged land lease with the State of Florida or document ownership of the submerged land.
  - c. No more than 13 slips shall be provided.
  - d. In addition to parking required for the marina, the upland parcel associated with the marina shall have an additional use permitted by Table PS-4.
  - e. The marina shall be used for the mooring of recreational vessels exclusively.
  - f. The following uses or activities are prohibited at marinas in the General Subdistrict:
    - i. Embarking or disembarking for purposes related to commercial fishing, charter fishing, transport of materials, scenic or wildlife tours, or marine construction;
    - ii. The sale or other dispensing of fuel;
    - iii. Dry storage of vessels or trailers (dry slips);
    - iv. Launching facilities (boat ramps);
    - v. Marine travel lifts;

- vi. Marine manufacturing or boat repair;
- vii. Maintenance activities that cannot be completed from inside the vessel;
- viii. Accessory retail and service uses, such as, but not limited to, the sale, lease, or rental of boats, bait and tackle shops, sale of food or drink;
- ix. Off-loading or processing of commercial seafood products; and
- x. Marine equipment sales.

**Table PS-5 - Development Standards in Port Salerno Subdistricts**

	Core	General	Water- front	Corridor	Indust- rial	Multi- family	Mobile Home	Detached	Detached Limited	Detached Estate
<b>Lot Size, see 12.1.04.1</b>										
Lot area - minimum in sf	-	-	-	-	15,000	2,000	-	2,500	5,000	8,200
Lot width - minimum in feet	25	25	25	25	100	20	-	25	50	75
Lot width - maximum in feet	100	150	100	150	-	-	-	-	-	-
<b>Height, see 12.1.04.2</b>										
Building height, maximum in stories	3	3	3	3	3	3	1	3	3	3
Building height, maximum in feet	40	40	40	40	30	40	30	30	30	35
Ceiling height, maximum in feet	Established in 12.6.05 for certain building types									
<b>Density, see 12.1.04.3</b>										
Residential density, max in units/acre	15	15	10	15	-	8	8	8	5	1 per lot
Hotel/motel density, max in units/acre	20	20	20	20	-	-	-	-	-	-
<b>Building Coverage, see 12.1.04.4</b>										

Building coverage, maximum %	80	60	50	60	40	60	-	50	50	35
<b>Open Space, see 12.1.04.5</b>										
Open space, minimum in %	20	20	20	20	20	30	-	30	30	30
<b>Building and Parking Placement, see 12.1.04.6</b>										
Build-to Zone min/max in feet	Established in 12.6.05 for certain building types									
Side and Rear setbacks	Established in 12.6.05 for certain building types									
Frontage Buildout, minimum %	Established in 12.6.05 for certain building types									
Parking Setbacks minimum in feet	Established in 12.6.05 for certain building types									
<b>Building Types, see 12.6.05</b>										
Shopfront Building	P	P <sup>2</sup>	P	P	P	-	-	-	-	-
Mixed-Use Building	P	P	P	P	-	-	-	-	-	-
Office Building	P	P <sup>2</sup>	-	P	P	-	-	-	-	-
Apartment Building	P	P	P	P	P	P	-	-	-	-
Courtyard Building	P	P	P	P	-	P	-	-	-	-
Townhouse	P	P	P	P	-	P	-	P	-	-
Live/Work Building	P	P	P	P	-	-	-	-	-	-
Side Yard House	-	P	-	P	-	P	-	P	P	-
Cottage	P	P	P	P	-	P	P	P	P	-
Cottage Court	P	P	P	P	-	P	P	-	-	-
Duplex	-	P	-	P	-	P	-	P	-	-

All Yard House	-	P	-	P	-	P	P	P	P	P
Outbuilding	P	P	P	P	P	P	P	P	P	P
Boat Barn	-	-	P	P	P	-	-	-	-	-
Industrial Building	-	-	P	-	P	-	-	-	-	-

Footnotes, see above

Residential uses established prior to the effective date of Art. 12, Div. 6 or within a mixed-use project are permitted.

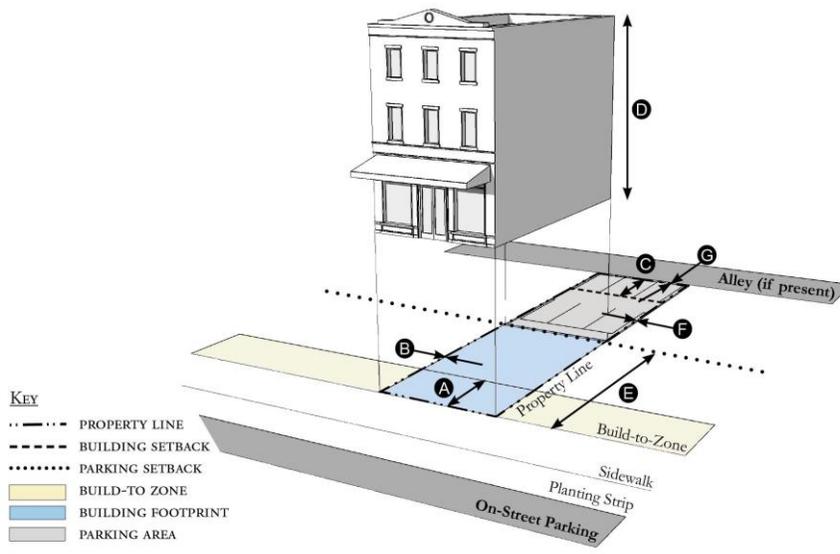
<sup>2</sup> ;hg;Only permitted when facing a primary or secondary road as identified in PS-3.

(Ord. No. 1142, pt. I(Exh. A), 9-15-2020; Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)

### Sec. 12.6.05. Building type and frontage type standards.

1. *Building Types*. The following Building Type standards shall apply in the Port Salerno Subdistricts. Table PS-5 provides additional Development Standards.

Figure PS-5.01 Shopfront Building



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Build-to-Zone	0' min., 15' max.	<b>A</b>
Side at Street Build-to-Zone	0' min., 15' max.	
Side at Property Line Setback <sup>2</sup>	0' or 5'	<b>B</b>
Rear Yard Setback <sup>2</sup>	10' min./5' min. with alley	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	12' min.	
Building Height	Refer to Table PS-5	<b>D</b>

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Parking Placement, see 12.1.04.6		
Front Setback	30' min.	E
Side at Street Setback	10' min.	
Side at Property Line Setback	0' min.	F
Rear Setback	5' min/0' min with alley	G

Subdistricts, see 12.6.02				
Core	General <sup>1</sup>	Corridor	Waterfront	Industrial
Description				
A Shopfront Building has ground level space immediately adjoining the sidewalk that can accommodate business uses with doors and large windows facing the sidewalk.				
Façade Transparency, see 12.6.04.5				%
Ground level facing streets or civic open spaces				40-70
Above the ground level				20-50

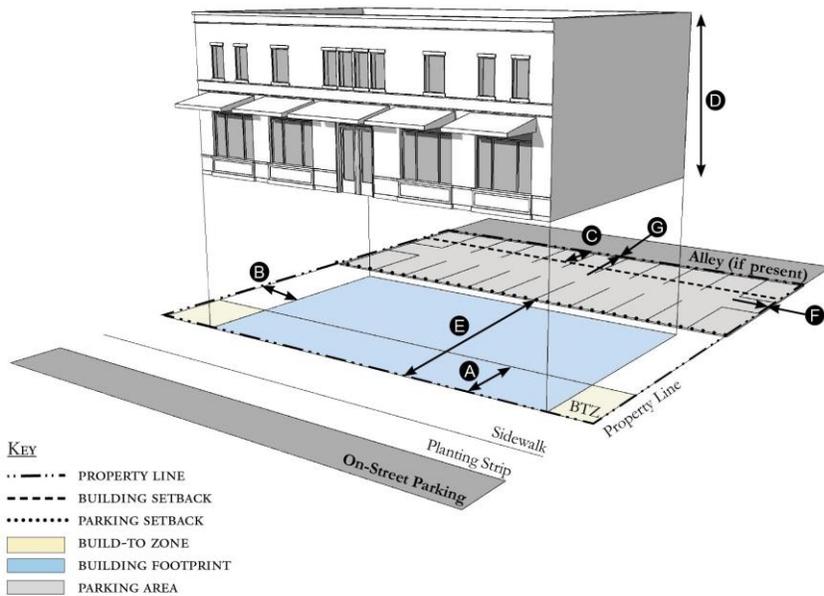
Notes:

<sup>1</sup> Only permitted when facing a primary or secondary road as identified in PS-3.

<sup>2</sup> Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.02 Mixed-Use Building



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Build-to-Zone	0' min., 15' max.	<b>A</b>
Side at Street Build-to-Zone	5' min., 15' max.	
Side at Property Line BTZ <sup>1</sup>	5' min., 10' max.	<b>B</b>
Rear Yard Setback <sup>1</sup>	10' min./5' min. with alley	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	12' min.	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	<b>E</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	0' min.	<b>F</b>
Rear Setback	5' min/0' min with alley	<b>G</b>

Permitted Subdistricts, see 12.6.02			
Core	General	Corridor	Waterfront
Description			
A Mixed-Use Building has multiple tenants or occupancies and may contain residences, lodging and/or businesses to the extent permitted in the Subdistrict.			
Façade Transparency, see 12.6.04.5			%
Ground level facing streets or civic open spaces			40-70
Above the ground level			20-50

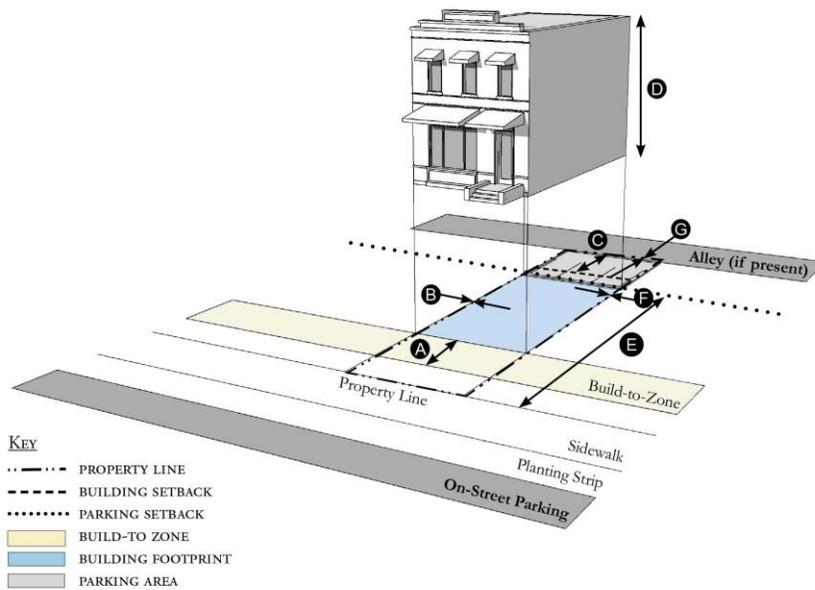
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Notes:

<sup>1</sup>Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.03 Office Building



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Build-to-Zone	10' min., 15' max.	<b>A</b>
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback <sup>2</sup>	0' or 5'	<b>B</b>
Rear Yard Setback <sup>2</sup>	10' min./5' min. with alley	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	12' min.	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	<b>E</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	0' min.	<b>F</b>
Rear Setback	5' min/0' min with alley	<b>G</b>

Permitted Subdistricts, see 12.6.02			
Core	General <sup>1</sup>	Corridor	Industrial
Description			
An Office Building has one or more commercial tenants, occupancies, or businesses. An Office Building may have a shopfront frontage on the ground level.			
Façade Transparency, see 12.6.04.5			%
Ground level facing streets or civic open spaces			40-70
Above the ground level			20-50

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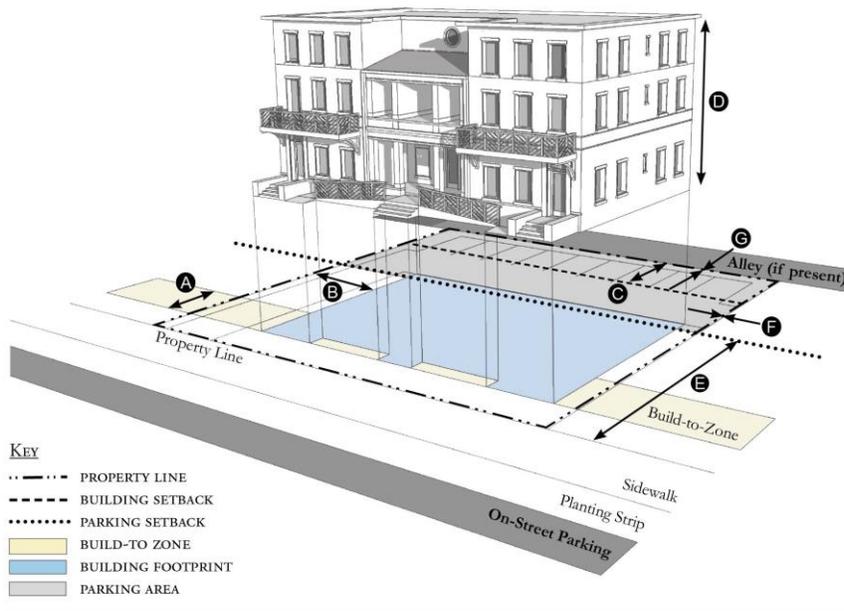
Notes:

<sup>1</sup> Only permitted when facing a primary or secondary road as identified in PS-3.

<sup>2</sup> Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

**Figure PS-5.04 Apartment Building**



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Build-to-Zone	10' min., 25' max.	<b>(A)</b>
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback <sup>1</sup>	5' min.	<b>(B)</b>
Rear Yard Setback <sup>1</sup>	10' min./5' min. with alley	<b>(C)</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>(D)</b>
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	<b>(E)</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min/0' min with alley	<b>(F)</b>
Rear Setback	5' min/0' min with alley	<b>(G)</b>

Permitted Subdistricts, see 12.6.02			
Core	General	Corridor	Multifamily
Waterfront			
Description			
An Apartment Building contains multiple residences above and/or beside each other in a building that occupies most of its lot width and is placed close to the sidewalk. Off-street parking is provided to the side or rear.			
Façade Transparency, see 12.6.04.5			%

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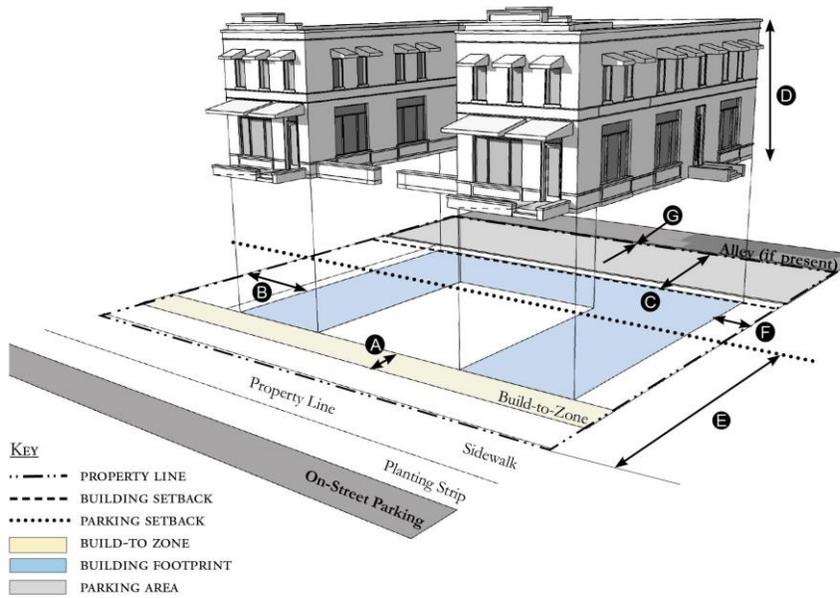
Ground level facing streets or civic open spaces	40-70
Above the ground level	20-50

Notes:

<sup>1</sup>Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table PS-5.

**Figure PS-5.05 Courtyard Building**



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min. includes courtyard	
Front Build-to-Zone	10' min., 25' max.	<b>A</b>
Side at Street Build-to-Zone	10' min., 15' max.	
Side at Property Line Setback <sup>1</sup>	5' min.	<b>B</b>
Rear Yard Setback <sup>1</sup>	10' min./5' min. with alley	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	<b>E</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min/0' min with alley	<b>F</b>
Rear Setback	5' min/0' min with alley	<b>G</b>

Permitted Subdistricts, see 12.6.02			
Core	General	Corridor	Multifamily
Waterfront			
Description			
A Courtyard Building accommodates multiple dwellings or businesses arranged around and fronting on a central green that may be partially or wholly open to the street.			
Façade Transparency, see 12.6.04.5			%
Ground level facing streets or civic open spaces			40-70

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Above the ground level	20-50
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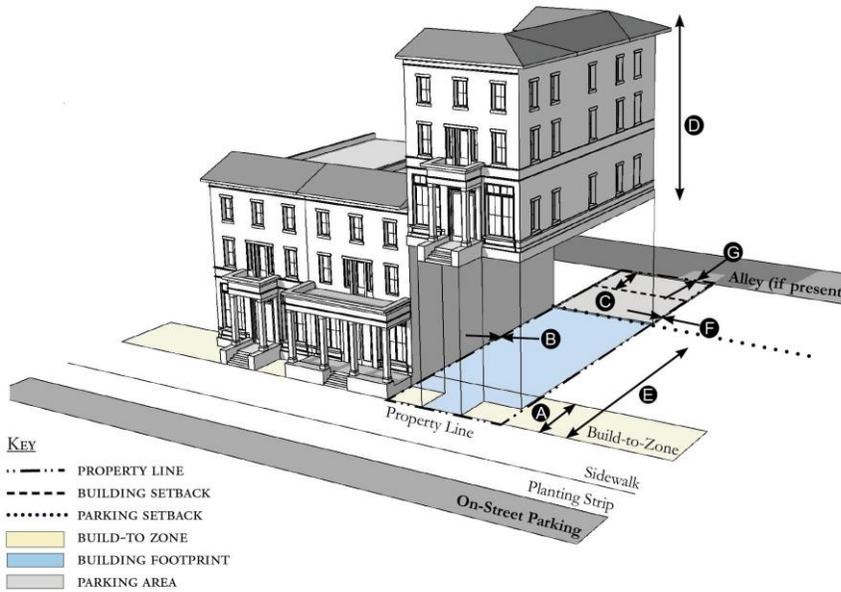
Notes:

The proportions of the courtyard space shall be at least as deep as it is wide.

<sup>1</sup>Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.06 Townhouse



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Build-to-Zone	0' min., 15' max.	<b>(A)</b>
Side at Street Build-to-Zone	0' min., 15' max.	
Side at Property Line Setback <sup>1, 2</sup>	0' min. or 10' min.	<b>(B)</b>
Rear Yard Setback <sup>1</sup>	10' min./5' min. with alley	<b>(C)</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5/2 stories min.	<b>(D)</b>
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	<b>(E)</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	0' min	<b>(F)</b>
Rear Setback	5' min/0' min with alley	<b>(G)</b>

Permitted Subdistricts, see 12.6.02		
Core	General	Corridor
Multifamily	Detached	Waterfront
Description		
A Townhouse is a building with common walls on one or both sides and often a private garden to the rear. Service and parking shall be located in the rear.		

Notes:

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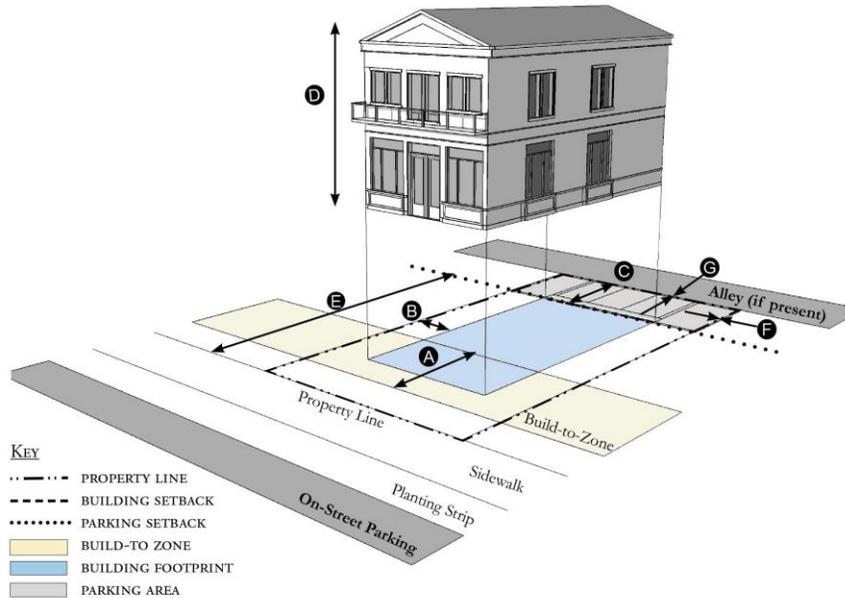
Townhouses shall have a maximum grouping of 8 dwelling units and a minimum Setback of 15 feet between buildings.

<sup>1</sup> Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

<sup>2</sup> When directly adjacent to another property that is not part of the townhouse development the Side at Property Line Setback is 10 feet minimum from the property line.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.07 Live/Work Building



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Build-to-Zone	5' min., 25' max.	<b>A</b>
Side at Street Setback	10' min.	
Side at Property Line Setback <sup>1</sup>	10' min.	<b>B</b>
Rear Yard Setback <sup>1</sup>	10' min.	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	12' min.	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	<b>E</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	0' min.	<b>F</b>
Rear Setback	5' min./0' min with alley	<b>G</b>
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.		

Permitted Subdistricts, see 12.6.02				
	Core	General	Corridor	Waterfront
Description	A Live/Work Building is a building which is predominately residential in its character but contains commercial and residential uses.			

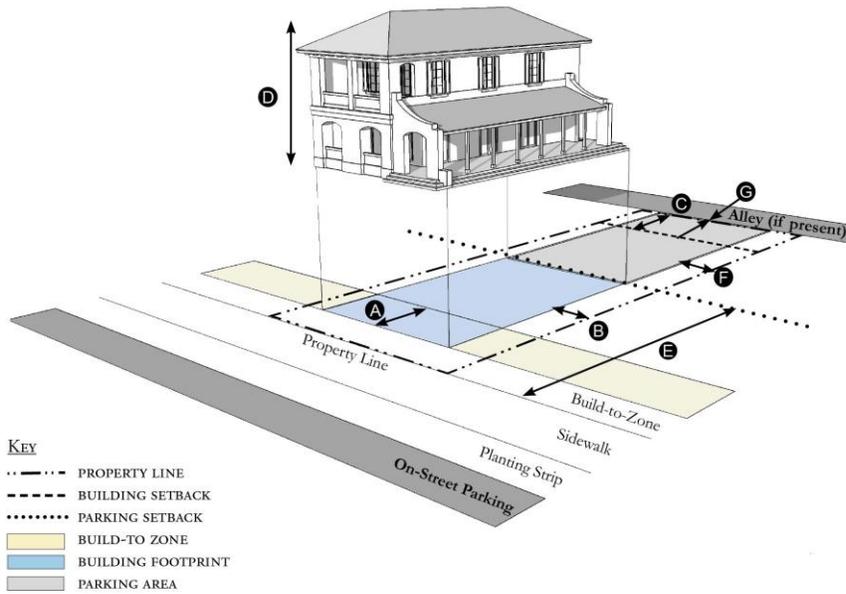
Notes:

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<sup>1</sup>Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.08 Side Yard House



Building Placement, see 12.1.04.6		
Frontage Buildout <sup>1</sup>	60% min.	
Front Build-to-Zone	5' min., 25' max.	<b>A</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min., 10' min. other side	<b>B</b>
Rear Yard Setback	10' min./5' min. with alley	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6 and 12.6.07.8		
Front Setback	30' min.	<b>E</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	<b>F</b>
Rear Setback	5' min./0' min with alley	<b>G</b>
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway		

Permitted Subdistricts, see 12.6.02		
General	Corridor	Multifamily
Detached	Detached Limited	
Description		

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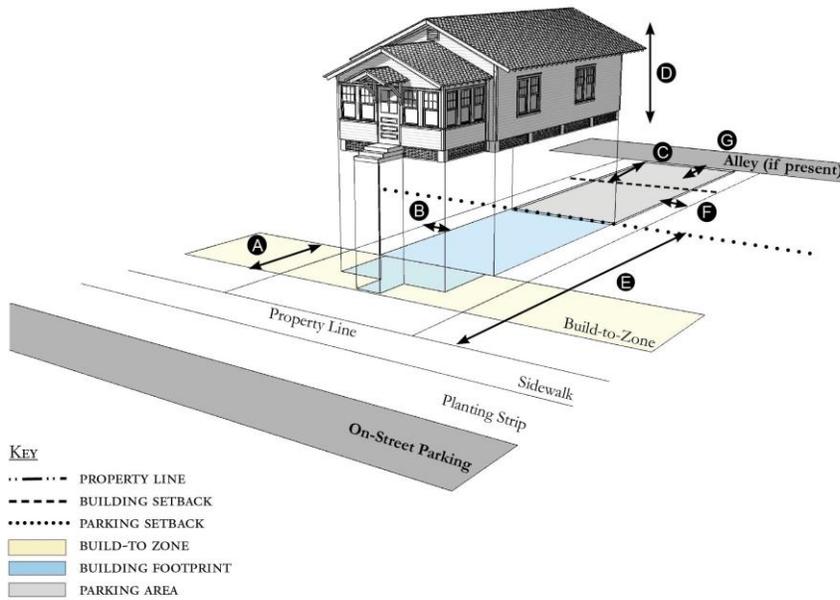
A Side Yard House is a detached building that occupies one side of the lot adjacent to an open space which runs from the front yard to the rear yard. This Building Type is often delivered in a series of multiple side yard type houses.

Notes:

<sup>1</sup>Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table PS-5.

Figure PS-5.09 Cottage



Building Placement, see 12.1.04.6		
Frontage Buildout <sup>1, 2</sup>	60% min.	
Front Build-to-Zone	5' min., 25' max.	<b>A</b>
Side at Street Build-to-Zone	5' min., 10' min.	
Side at Property Line Setback	5' min.	<b>B</b>
Rear Yard Setback	10' min.	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6 and 12.6.07.8		
Front Setback	30' min.	<b>E</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	<b>F</b>
Rear Setback	5' min.	<b>G</b>
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.		

Permitted Subdistricts, see 12.6.02		
Core	General	Waterfront
Corridor	Multifamily	Mobile Home
Detached	Detached Limited	
Description		

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A Cottage is a detached building with a small front yard often located on a narrow lot Parking can be accommodated with on-street parking, a driveway, or detached garage to the rear.

Notes:

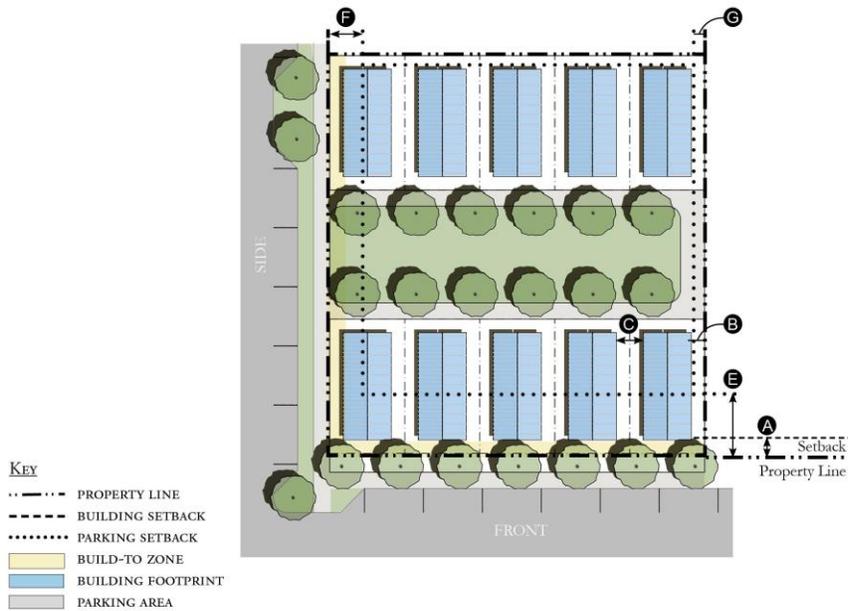
Cottages shall not exceed a footprint of 2,000 square feet.

<sup>1</sup>Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling

<sup>2</sup>For Mobile Homes frontage requirement does not apply.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.10 Cottage Court



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Setback <sup>2</sup>	6' min.	<b>A</b>
Side at Street Setback <sup>2</sup>	6' min.	
Side at Property Line Setback <sup>2</sup>	6' min.	<b>B</b>
Unit Separation <sup>2</sup>	10' min.	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6		
Front Setback <sup>2</sup>	30' min.	<b>E</b>
Side at Street Setback <sup>2</sup>	10' min.	
Side at Property Line Setback <sup>2</sup>	5' min.	<b>F</b>
Rear Setback <sup>2</sup>	5' min.	<b>G</b>

Permitted Subdistricts, see 12.6.02		
Core	General	Corridor
Waterfront	Multifamily	Mobile Home
Description		
A Cottage Court is a series of small detached houses arranged around a common open space. Homes may share other common amenities like storage and parking areas.		

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Notes:

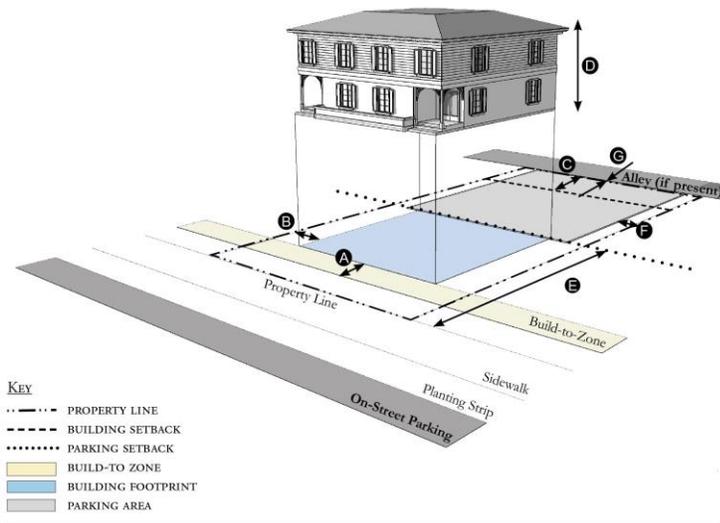
Cottage Courts may include duplexes.

<sup>1</sup> For this Building Type, the frontage buildout requirement may be met with the provision of a continuous wall or fence along the lot frontage.

<sup>2</sup> The Building Placement standards for a Cottage Court apply to the installation of a new mobile or modular home in the Mobile Home Subdistrict except that frontage buildout standards do not apply. Parking Placement standards also do not apply. Written verification by the property owner that the proposed location and footprint of the dwelling comply with the 10-ft. minimum separation shall be provided with the building permit application.

For permitted *Lot Size*, *Density*, *Building Coverage*, and *Open Space*, see Table PS-5.

**Figure PS-5.11 Duplex**



Building Placement, see 12.1.04.6		
Frontage Buildout <sup>1</sup>	60% min.	
Front Build-to-Zone	5' min., 25' max.	<b>(A)</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	5' min.	<b>(B)</b>
Rear Yard Setback	10' min.	<b>(C)</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>(D)</b>
Parking Placement, see 12.1.04.6 and 12.6.07.8		
Side at Property Line	5' min.	<b>(F)</b>
Rear Setback	5' min.	<b>(G)</b>
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.		
Refer to Section 12.1.07.8 Garage and Driveway for parking and driveway configurations for Single Family Dwellings.		

Permitted Subdistricts, see 12.6.02			
General	Corridor	Multifamily	Detached
Description			
A Duplex is an attached building with one common wall that separates two dwelling units within a single lot. Duplexes can be designed to blend in with detached single family houses.			

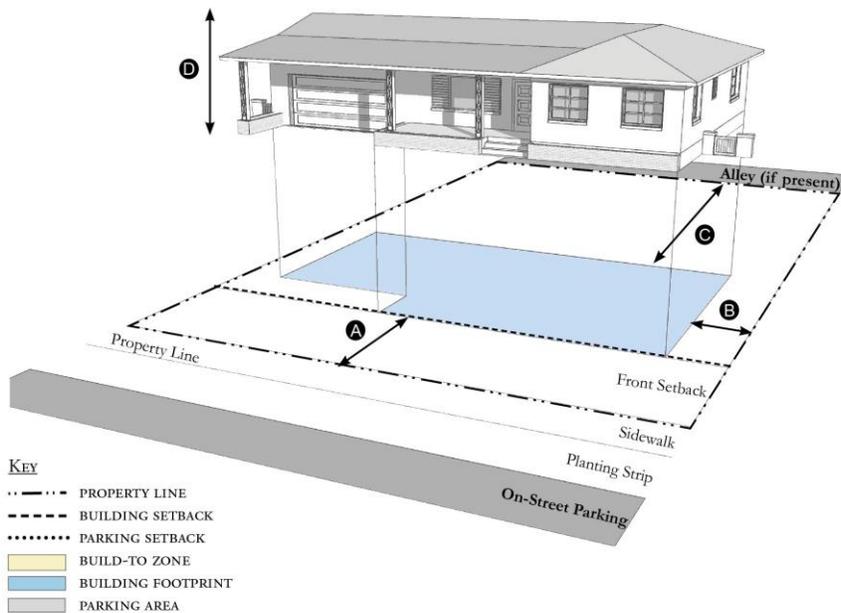
**Notes:**

An ADU is prohibited on lots on which a duplex is located.

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<sup>1</sup>For this Building Type, the frontage buildout requirement may be met with the provision of a continuous wall or fence along the lot frontage.  
For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.12 All Yard House



Building Placement, see 12.1.04.6		
Frontage Buildout	Not Required	
Front Setback	20' min.	(A)
Side at Street Setback	10' min.	
Side at Property Line Setback	10' min.	(B)
Rear Yard Setback	10' min.	(C)
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	(D)
Parking Placement, see 12.1.04.6 and 12.6.07.8		
Side at Property Line	5' min.	(E)
Rear Setback	5' min./0' min. with alley	(G)
Parking Placement does not prohibit parking in a residential driveway or a side yard driveway.		
Refer to Section 12.1.07.8 Garage and Driveway for parking and driveway configurations for Single Family Dwellings.		

Permitted Subdistricts, see 12.6.02			
General	Corridor	Multifamily	Mobile Home
Detached	Detached Limited	Detached Estate	
Description			

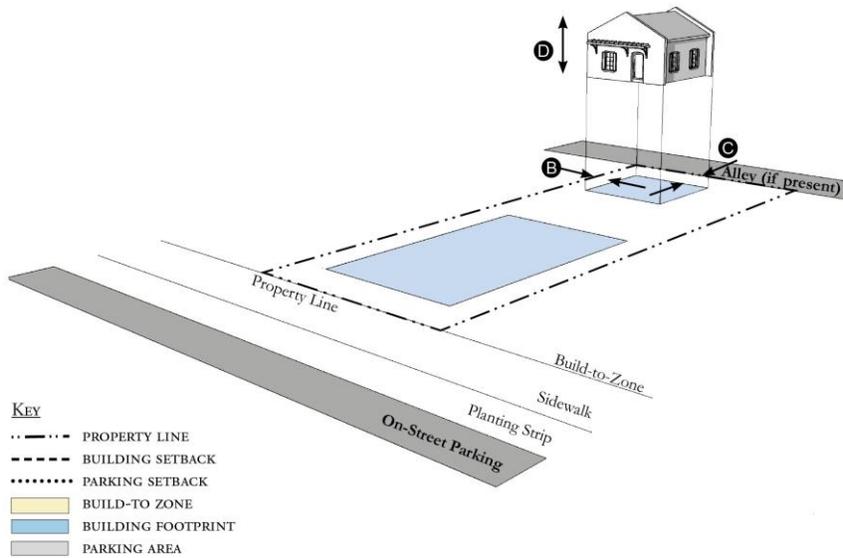
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An All Yard House has yards on all sides and may contain accessory structures toward the rear.

Notes:

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

**Figure PS-5.13 Outbuilding**



Building Placement, see 12.1.04.6		
Frontage Buildout	Not Applicable	
Front Build-to-Zone	Not Applicable	
Side at Street Build-to-Zone	Not Applicable	
Side at Property Line Setback	5' min.	<b>B</b>
Rear Yard Setback	5' min.	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6		
Refer to Section 12.1.07.8 Garage and Driveway for parking and driveway configurations for Single Family Dwellings.		

Permitted Subdistricts, see 12.6.02			
Core	General	Waterfront	Corridor
Multifamily	Detached	Detached Limited	Detached Estate
Industrial	Mobile Home		
Description			
An Outbuilding is an accessory building, usually located toward the rear of the same lot as a Principal Building, and is sometimes connected to the Principal Building. An Outbuilding may include a garage, shed, workshop, or accessory dwelling unit.			

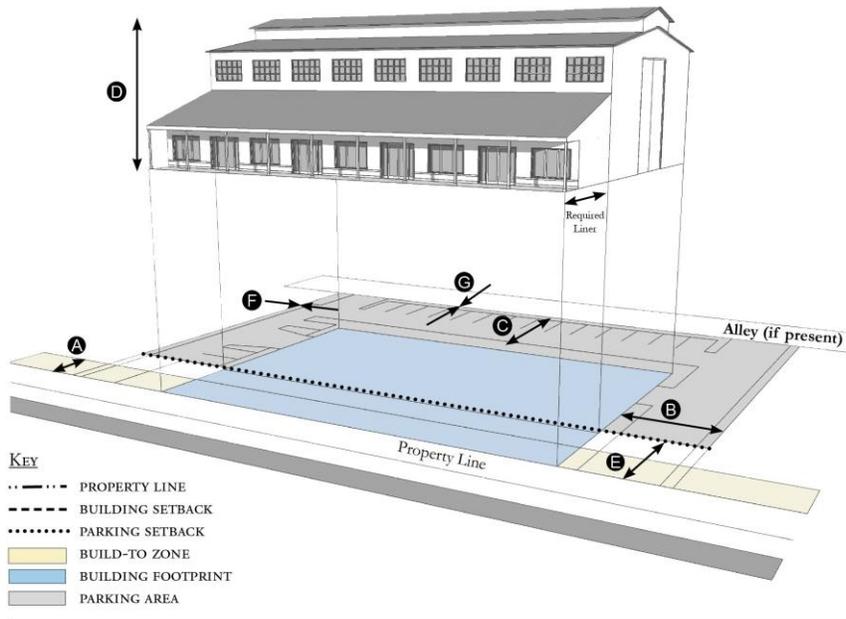
Notes:

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Outbuildings shall not exceed a footprint of 850 square feet.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

Figure PS-5.14 Boat Barn



Building Placement, see 12.1.04.6		
Frontage Buildout	60% min.	
Front Build-to-Zone	0' min., 15' max.	<b>A</b>
Side at Street Setback	10' min.	
Side at Property Line Setback	10' min.	<b>B</b>
Rear Yard Setback <sup>1</sup>	10' min./5' min. with alley	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	<b>E</b>
Side at Street Setback	5' min.	
Side at Property Line Setback	5' min.	<b>F</b>
Rear Setback	5' min./0' min. with alley	<b>G</b>
Parking shall not be located between the building and the street.		

Permitted Subdistricts, see 12.6.02		
Corridor	Waterfront	Industrial
<b>Description</b>		
A Boat Barn is an indoor storage facility. A liner with habitable uses is required to avoid large blank façades to visible to the public A liner shall face all primary streets. Liners maybe additional commercial space with permitted uses.		

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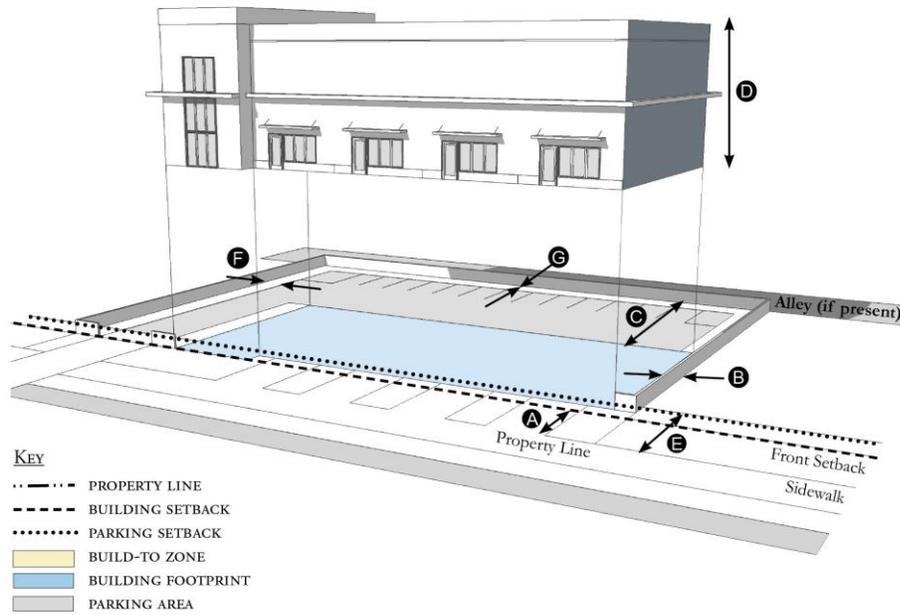
Notes:

A commercial liner shall be a minimum depth of 20 feet.

<sup>1</sup>Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

**Figure PS-5.15 Industrial Building**



Building Placement, see 12.1.04.6		
Frontage Buildout	Not Required	
Front Setback	20' min.	<b>A</b>
Side at Street Setback	5' min.	
Side at Property Line Setback <sup>1</sup>	5' min.	<b>B</b>
Rear Yard Setback	10' min./5' min. with alley	<b>C</b>
Height, see 12.1.04.2		
Ceiling at Ground Level	Not applicable	
Building Height	Refer to Table PS-5	<b>D</b>
Parking Placement, see 12.1.04.6		
Front Setback	30' min.	<b>E</b>
Side at Street Setback	5' min.	
Side at Property Line Setback	5' min.	<b>F</b>
Rear Setback	5' min./0' min. with alley	<b>G</b>
Parking shall not be located between the building and the street.		

Permitted Subdistricts, see 12.6.02		
Waterfront	Industrial	
Description		
An Industrial Building will vary in scale depending on its intended use. Some commercial uses may be permitted, but its primary focus is industrial. Parking and loading shall be accommodated in Alleys or Secondary Streets whenever possible.		

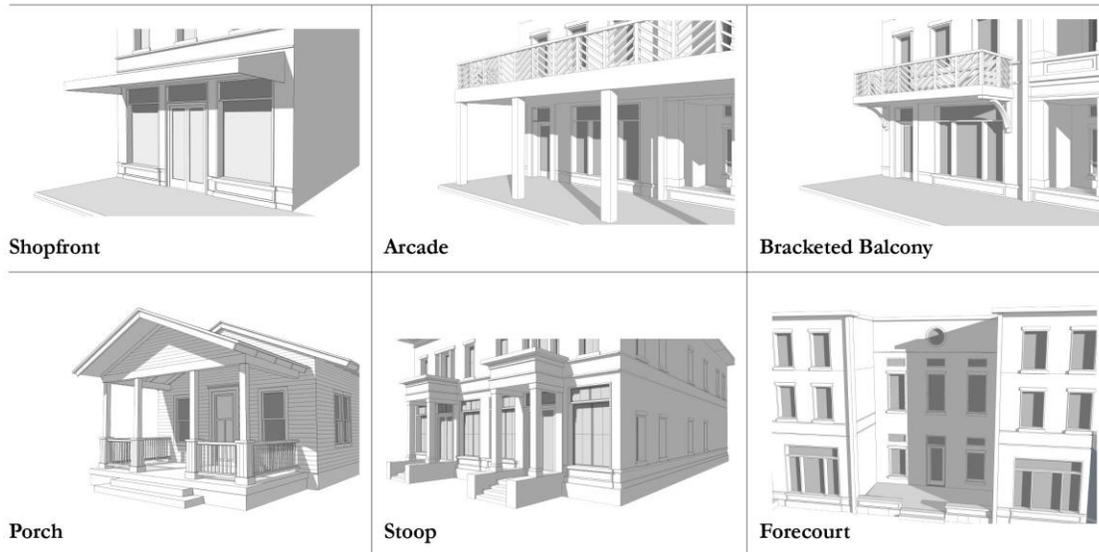
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Notes:

<sup>1</sup>Section 12.1.04.11 Building Transitions applies when the rear or side of a property abuts a residential subdistrict or an existing single family dwelling.

For permitted *Lot Size, Density, Building Coverage, and Open Space*, see Table PS-5.

**Figures PS-5.16 Frontage Types Matrix**



2. *Frontage Types.* Using one or more of the permitted frontage types indicated in Table PS-5.17 is required within the Core, General, Corridor and Waterfront Subdistricts. Standards for frontage types are found in Section 12.1.05. Frontage Types are encouraged in the Mobile Home, Multifamily, Detached, Detached Limited, and Detached Estate Subdistrict, but are not required.

**Table PS-5.17 - Permitted Frontage Types Matrix**

Subdistrict	Shopfront	Arcade	Bracketed Balcony	Porch <sup>1</sup>	Stoop	Forecourt
Core	P	P	P	P	P	P
General	P	P	P	P	P	P
Corridor	P	P	P	P	P	P
Waterfront	P	P	P	P	P	P
Industrial	-	-	-	-	-	-
Mobile Home	-	-	-	-	-	-
Multifamily	-	-	-	-	-	-
Detached	-	-	-	-	-	-
Detached Limited	-	-	-	-	-	-
Detached Estate	-	-	-	-	-	-

Primary Streets shall include the required Principal Entrance and Frontage Type.

<sup>1</sup> For implementation in the PS Redevelopment Zoning District, Figure 12-7.04-Porch Frontage is modified such that the minimum depth of a porch shall be 5 feet and the maximum depth shall be 8 feet.

**Sec. 12.6.06. Street standards.**

1. *Applicability.* Street Standards that apply in all Redevelopment Zoning Districts are provided in Section 12.1.06. The additional street standards which apply in the Port Salerno Redevelopment Zoning District are specified in this section.
2. *Street Regulating Plan.* A Street Regulating Plan is provided in Figure PS-3, Section 12.6.02. Features identified in the Street Regulating Plan are described in 12.1.02.2.
  - a. Primary Streets.
  - b. Secondary Streets.
  - c. Recommended Future Streets.
  - d. Recommended Future Alleys.
3. *Future Streets.*
  - a. *Street Location.* The schematic location of proposed streets is shown on the Street Regulating Plan. The exact location may be adjusted during the development review process provided the new location meets these requirements:
    - i. The adjusted location does not reduce the level of connectivity with surrounding streets, both existing and proposed.
    - ii. The adjusted location does not reduce the level of street connectivity within the site or substantially increase the average block size.
    - iii. The adjusted location does not diminish or eliminate any proposed civic space, or civic building shown on the Regulating Plan.
    - iv. The adjusted location maintains or enhances pedestrian convenience and safety and does not create any traffic hazards.
  - b. *Street Types.* Proposed streets may be designed and constructed as any one of the following street types below defined in Section 12.1.06.
    - i. Local Street 1.
    - ii. Local Street 2.
    - iii. Local Street 3.
    - iv. Local Street with Shared Use Path.
    - v. Neighborhood Street 1.
    - vi. Neighborhood Street 2.
    - vii. Yield Street.
4. *Improvements To Existing Streets.* The planting of new shade trees shall be required for project approval and shall be coordinated with existing or future CRA and County streetscape improvements. As provided in Section 12.1.06, the County Engineer may allow deviations from these minimum standards when necessary due to the location of existing buildings, constrained right-of-way, or to meet other goals for the particular street section. The following streets are all identified as candidates for Complete Streets interventions in the Martin MPO Complete Street Access to Transit Study.

- 
- a. *A-1-A/Dixie Highway.* A-1-A/Dixie Highway shall include the planting of trees with a minimum height of 12 feet, a four-foot clear trunk, and three-inch diameter at breast height (dbh) at the time of planting, planted at a maximum of 30-foot intervals. If palms are used, each palm must have a minimum 12-foot clear trunk planted at a maximum of 15-foot intervals. Every 200 feet shall be complemented with a bench and a garbage container set on a solid surface and accessible to the sidewalk. The landscape islands shall be sized appropriately to the maximum mature size of the tree. SE Dixie Highway in Port Salerno is identified as part of the East Coast Greenway in Florida.
  - b. *SE Salerno Road.* SE Salerno Road shall include the planting of trees with a minimum height of 12 feet, a four-foot clear trunk, and three-inch diameter at breast height (dbh) at the time of planting, planted at a maximum of 30-foot intervals. If palms are used, each palm must have a minimum 12-foot clear trunk planted at a maximum of 15-foot intervals. Every 200 feet shall be complemented with a bench and a garbage container set on a solid surface and accessible to the sidewalk. The landscape islands shall be sized appropriately to the maximum mature size of the tree.
  - c. *SE Cove Road.* SE Cove Road shall include the planting of trees with a minimum height of 12 feet, a four-foot clear trunk, and three-inch diameter at breast height (dbh) at the time of planting, planted at a maximum of 30-foot intervals. If palms are used, each palm must have a minimum 12-foot clear trunk planted at a maximum of 15-foot intervals. Every 200 feet shall be complemented with a bench and a garbage container set on a solid surface and accessible to the sidewalk. The landscape islands shall be sized appropriately to the maximum mature size of the tree.

(Ord. No. 1142, pt. I(Exh. A), 9-15-2020; Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)

### **Sec. 12.6.07. Parking standards.**

1. *Applicability.* Parking Standards found in Sections 4.621 through 4.628, Div. 14, Article 4, are modified for all Redevelopment Zoning Districts in Parking Standards Section 12.1.07. Those modified Parking Standards apply in the Port Salerno Redevelopment Zoning District except as specified otherwise in this section.
2. *Parking Rates.* Refer to Section 12.1.07 for parking rates applicable to Redevelopment Zoning Districts.
3. *Special Parking Alternatives for Redevelopment Centers (SPARC) program.* The SPARC program described in Section 12.1.07 is authorized within the Port Salerno CRA.
4. *Screening of Parking from Residential Uses.* There shall be an alley between parking areas and adjacent residential uses. Where an alley is not possible, there shall be a visual barrier between parking areas and residential uses. Refer to Landscaping Standards Section 12.6.09 Vehicular Use Areas.
5. *Parking Structures.* Whenever a parking structure or surface parking provided beneath a building is located on a Primary Street, as identified on the Street Regulating Plan, Section 12.6.02, ground level commercial space shall be provided for a depth of no less than 20 feet measured from the front of the building.
6. *Distributing Parking.* Where more than 200 parking spaces are provided on-site, such parking shall be distributed such that no more than 50 percent of the spaces are grouped in a single area of the parcel. Methods of distributing parking include locating parking adjacent to the rear or sides of a building or by physically separating parking areas with other buildings or landscaped areas.
7. *Shared Parking Lot.*
  - a. Shared parking lots must be located within 500 feet of each use. These lots may be separated from the use(s) by a street, easement, or other right-of-way.
  - b. In order to meet the parking requirements, parking shared by different uses must be supported by evidence that peak parking demands of each use occur at different times of the day or days of the

week. Section 4.626.B.2, Div. 14, Article 4, Shared Parking provides the methodology to support shared parking. Mixed-use developments do not have to meet this standard.

(Ord. No. 1142, pt. I(Exh. A), 9-15-2020; Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)

**Sec. 12.6.08. Stormwater standards.**

1. Stormwater management standards are provided in Sections 4.381 through 4.390, Div. 9, Article 4 and apply in Redevelopment Zoning Districts except as modified in Section 12.1.08.

(Ord. No. 1142, pt. I(Exh. A), 9-15-2020)

**Sec. 12.6.09. Landscape standards.**

1. Table PS-9 identifies which of the landscaping, buffering, and tree protection standards in Div. 15, Article 4 apply in the Port Salerno Redevelopment Zoning District and which standards are modified, replaced, or do not apply in this Redevelopment Zoning District.

**Table PS-9 - Landscaping, Buffering, and Tree Protection Standards**

Div. 15, Article 4		In Port Salerno CRA
<b>General Requirements</b>		
4.661.A	Purpose and intent	Applies as written
4.661.B	Applicability	Does not apply
4.661.C	Glossary	Applies as written
<b>Application Requirements</b>		
4.662.A	Landscape Plan	Modified by 12.6.09.2
4.662.B	Irrigation Plans	Applies as written
<b>Landscape Design Standards</b>		
4.663.A	General requirements	
A.1	Required landscape area	Replaced by 12.6.09.3
A.2	Landscape area credits	Applies as written
A.3	Required tree planting	Modified by 12.6.09.4
A.4-5	Vehicular use areas	Modified by 12.6.09.6
A.6	Service areas	Modified by 12.6.09.7
A.7	Commercial buildings	Does not apply
4.663.B	Buffer-yard requirements	Does not apply
4.663.B.5	Buffer-yard requirements Adjoining Conservation Land	Applies as written
4.663.C	Add't req. for landscaping	Does not apply
4.663.D	Water efficient landscaping	Applies as written

4.663.E	Preserve area interface	Applies as written
Landscape Materials Standards		
4.664	(All Subsections)	Applies as written
Maintenance of Required Landscaping		
4.665	(All Subsections)	Applies as written
Tree Protection		
4.666	(All Subsections)	Applies as written
Alternative Compliance		
4.667	(All Subsections)	Replaced by 12.1.13.3
Certificate of Compliance		
4.668	(All Subsections)	Applies as written

2. *Single family dwellings or duplexes.* Lots cannot be cleared without a clearing permit. Single-family dwellings and duplexes on existing lots shall plant one tree for each 3,000 square feet of lot area. Such tree shall meet the standards in Section 4.664, landscape material standards. The maintenance requirements in Section 4.665 also shall apply. Construction of SFR and duplexes on existing lots is exempt from all other landscaping requirements.
3. *Required landscape area.*
  - a. Landscaping shall be permitted in easements only with the written permission of the easement holder. A written agreement shall specify the party responsible for restoring disturbed landscape areas, shall be submitted to the county in a form acceptable to the County Attorney, and shall be recorded in the public records.
  - b. Exposed dirt yards are prohibited.
4. *Required tree planting.*
  - a. Table PS-10 indicates the minimum number of trees that must be planted.
  - b. Trees planted in adjacent right-of-way as indicated in Section 12.6.06, or in other nearby public space, shall be credited towards meeting the number of trees required by Table PS-10. Any private use of the public right-of-way requires the approval of the County Engineer, a right-of-way use permit, a construction agreement, and an indemnification agreement.
  - c. Trees planted in Vehicular Use Areas shall be credited towards meeting the number of trees required by Table PS-10.
  - d. FPL's Right Tree/Right Place Guidelines shall be considered when trees are planted near utilities.

**Table PS-10 - Required Tree Planting**

Subdistrict	One Tree for this Amount of Total Site Area
Core	1,500 sf
General	1,500 sf
Corridor	1,500 sf
Waterfront	1,500 sf
Industrial	2,500 sf
Mobile Home	3,000 sf

Multifamily	3,000 sf
Detached	3,000 sf
Detached Limited	3,000 sf
Detached Estate	3,000 sf

5. *Landscape plan.* Development applications shall include a landscape plan prepared by a qualified professional that provides the location and type of existing and proposed features that are identified in Table PS-11, which are summarized from the detailed requirements in Section 4.662.A, Div. 15, Article 4.

a. Column A requirements apply to an application for a final site plan.

**Table PS-11 - Landscape Plan Application Requirements**

Div. 15, Article 4		In PS CRA	
		A	B
1	Property boundaries	Yes	Yes
2	Land use features	Yes	Yes <sup>1</sup>
3	Structures and paving	Yes	Yes <sup>1</sup>
4	Utilities	Yes	Yes
5	Vehicular use areas	Yes	Yes
6	Water bodies	Yes	Yes
7	Tree survey	Yes	Yes
8	Installation methods	Yes	Yes
9	Development areas	Yes	-
10	Ditches and swales	Yes	Yes
11	Tabular data	Yes	-
<sup>1</sup> On-site features only			

b. Column B requirements apply to an application for a building permit for a Small Site which is defined as the construction or expansion of a principal building or accessory structure on a lawfully established lot or adjacent lots, provided the parcel being developed is less than one-half acre.

c. Column B requirements also apply to an application for a substantial improvement or substantial renovation of a building exterior on any lot regulated by Article 12, as those terms are defined in Section 4.871.B, Div. 20, Article 4.

6. *Vehicular use areas.*

a. *Perimeter landscaping.* Landscaping shall be provided along the perimeter of all vehicular use areas, and also in accordance with the following standards:

- i. The side of a vehicular use area fronting SE Salerno Road, SE Cove Road, or SE Dixie Highway shall be landscaped with a minimum width of eight feet and planted with trees at 30-foot intervals. The trees shall be 12 feet in height, with a four-foot clear trunk, and four-inch caliper at the time of planting.
- ii. The side of a vehicular use area abutting a residential property shall be planted with trees with a minimum height of 12 feet, four-foot clear trunk, and four-inch caliper, at 25-foot intervals in a landscape area that is at least eight feet wide. A five-foot wall or hedge shall also be provided. The trees, landscaped buffer and the wall, fence or hedge may be reduced or eliminated with the

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written consent of the owner of the residential property, which shall be recorded in the public records.

- iii. Any side of a vehicular use area not included in paragraph (i) or (ii) shall be planted with trees minimum height of 12 feet, with a four-foot clear trunk, and two-inch dbh at 30-foot intervals.
  - iv. A wall, fence, or hedge shall be provided around all vehicular use areas. Between the vehicular use area and a road right-of-way, the wall, fence, or hedge shall not exceed four feet in height. For the remainder of the lot, it shall be no more than six feet in height. Walls and landscaping around parking areas shall provide pedestrian access every 50 linear feet. No wall, fence, or hedge is required along the side of a parking area that abuts another parking area.
- b. *Interior landscaping.* If a vehicular use area is larger than 15,000 square feet, landscaping shall be provided within its interior in accordance with Section 4.663.A.4, Div. 15, Article 4, except that these interior landscape areas may also be used as stormwater management and conveyance facilities. If a vehicular use area is equal to or smaller than 15,000 square feet, no interior landscaping, terminal islands, interior medians, or interior islands are required.

(Ord. No. 1142, pt. I(Exh. A), 9-15-2020; Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)

### **Sec. 12.6.10. Wall and fence standards.**

- 1. Walls and fences must comply with the Wall and Fence Standards established for all Redevelopment Zoning Districts in Section 12.1.10.

(Ord. No. 1142, pt. I(Exh. A), 9-15-2020)

### **Sec. 12.6.11. Sign standards.**

- 1. Signs must comply with the Sign Standards established for all Redevelopment Zoning Districts in Section 12.1.11 except where modified below.
- 2. *Wall signs.* Table PS-12 supersedes the signage-area table in Section 4.700, Div. 16, Article 4.
- 3. *Banner signs.* Banner signs may be erected for a temporary period, not to exceed 30 days. If hung over a right-of-way, they must comply with all applicable FDOT and Martin County regulations.
- 4. *Freestanding signs.*
  - a. Double-sided signs are permitted.
  - b. Single post with centered panel is not permitted.
- 5. *Murals.* Are permitted and defined in Art. 4, Div. 16.
- 6. *Types of signs permitted.* The list of permitted signs in Section 4.703, Div. 16, Article 4 is adjusted by adding the following type of sign:
  - a. Sandwich or sidewalk signs as defined in Section 4.693, Div. 16, Article 4, are permitted in the Core, Corridor and General Subdistricts, provided the signs do not exceed six square feet per face, do not unreasonably obstruct pedestrian or vehicular movement, and are moved off sidewalks or other public property by 9:00 PM daily.
- 7. *Lettering and logo size.* Table PS-12 provides the maximum height of lettering and logos. Section 4.699, Div. 16, Article 4 establishes how the height of irregularly shaped features shall be measured.

#### **Table PS-12 - Sign Size Limitations**

Subdistrict	Percent of Building Face Allowable for Wall Signs	Maximum Size Per Wall Sign	Maximum Height of Lettering and Logos for All Signs
Core	12%	32-sf	24 inches
General	12%	32-sf	24 inches
Corridor	12%	32-sf	24 inches
Waterfront	12%	32-sf	24 inches
Industrial	12%	32-sf	24 inches
Mobile Home	-	-	-
Multifamily	-	-	-
Detached	-	-	-
Detached Limited	-	-	-
Detached Estate	-	-	-

(Ord. No. 1142, pt. I(Exh. A), 9-15-2020; Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)

### Sec. 12.6.12. Architectural standards.

The following Architectural Standards are applicable within Port Salerno Redevelopment Zoning District

1. *Accessory Structures.* Accessory structures shall be designed and constructed to match the architectural style and building form of the principal building. For accessory structures less than 400 square feet, a complementary or matching color shall meet the requirements of this standard.
2. *Historic Structures.* Structures identified as historically and architecturally contributing shall be candidates for historic protection as set forth in Div. 13, Article 4.
3. *Heat Island Effect.* In order to reduce urban heat islands for both roofed and non-roofed areas, the following recommendations are provided for building and site design:
  - a. Non-roofed: Provide shade on at least 30 percent of non roof impervious surface on the site, including parking lots, walkways, plazas, etc.; or use light-colored/high-albedo materials (reflectance of at least .3) for 30 percent of the site's non-roofed impervious surfaces; or, use open grid pavement system.
  - b. Roofed: Use Energy Star roof-compliant, high-reflectance and high emissivity roofing or install a "green" (vegetated) roof for at least 50 percent of the roof area.
  - c. Parking Garage Roofs: Provide shade on at least 30 of any exposed parking on the roof.
4. *Architectural styles.* All new development in the Port Salerno CRA shall adhere to one of the five architectural styles described in this section. Any substantial improvement of an existing structure or substantial renovation of a building exterior shall be consistent with the existing architectural style of the building, or one of the five architectural styles in this section.
  - a. *Florida Vernacular.* General characteristics of Florida Vernacular Architectural Style.
    - i. Roofs of the principal building are typically gabled with a slope between 6:12 and 12:12.
    - ii. Roofing materials consist of metal, standing seam or "V" crimp, asphaltic shingles or wooden shakes.

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- iii. Roof overhangs are typically deep, between two feet and four feet, and have exposed rafter tails. Fascia on the gabled ends are deeper than those exposed along the running eave edge.
  - iv. When attic spaces are desired, they are vented at the gable ends underneath the ridge and/or where the rafters meet the wall along the running eave edge.
  - v. Generally, the massing of Florida Wood Vernacular buildings is vertically proportioned and two stories. Where possible, roof rafters should be exposed to the interior to allow for greater interior volume on the second floor.
  - vi. The exterior finishes are almost always horizontal wood lap siding. The siding should have between four inches to six inches exposed to the weather and is terminated with vertical corner boards at the building's edges. Other siding materials such as wood-plank are acceptable.
  - vii. Doors and windows are vertically proportioned with wooden surrounds and sills. Horizontally-proportioned openings are made of a grouping of vertical windows. Windows are usually double hung with no light divisions in the top or bottom sash.
  - viii. Porches are ideal and in many cases wrap around the front façade and continue at some length along the side façade. The porch roof is supported by posts which are placed to create vertical or square openings between them. Porches in this genre are typically quite deep and occupy a large percentage, if not all, of the front, around floor elevation. The porch roof may be of a different slope than that of the principal building, however detailing and overhangs shall be consistent.
  - ix. The entire Florida Wood Vernacular building sits on a continuous, typically skirted, base. The base actually conceals a crawl space to allow for access and ventilation to the underside of the building.
  - x. Other architectural styles which could be considered in this genre include Victorian, "Carpenter Gothic," Cracker, and Shingle styles.
- b. *Mediterranean Revival*. General characteristics of Mediterranean Revival Architectural Style.
- i. Roofs of the principal building can be hipped, gabled or a combination of both. Roof slopes are somewhat shallow and are generally sloped between 3:12 and 6:12.
  - ii. Roofing materials consist of barrel tile, Spanish "S" tile, or flat concrete tile.
  - iii. Roof overhangs can vary from being deep to having no overhang at all. When deep overhangs exist, they are typically supported by sizable wooden brackets. Roofs that do not overhang are usually treated with a molded cornice.
  - iv. The Mediterranean Revival House is typified as ornate, asymmetrical and eclectic. It is not uncommon to have multiple levels, multiple interior and exterior spaces, and even multiple buildings. Building massing tends to irregular with a variety of shapes and heights; however, the appearance of solidity and permanence is critical.
  - v. Exterior finishes are almost exclusively stucco and colored with great richness, variety and multiple methods of application.
  - vi. Brackets, balconies, porches, shutters, and other elements are usually wood or iron.
  - vii. The prolific use of arched openings or windows is also a prominent characteristic.
  - viii. Windows and doors are of vertical and/or square proportions with the occasional round, oval or ornamental windows.

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- ix. Openings for doors and windows are deep and cast deep shadows as well as give the impression of thickness and solidity.
  - x. Windows usually have divided lights and are commonly double-hung, casement, or jalousie. Window and door surrounds, when they exist, are made of stucco or stone.
  - xi. The attached porch is a common element, as are balconies and courtyards. Loggias (porches not attached but located within the volume of the building) are very common and may even serve as outside circulation between rooms.
  - xii. Columns, posts, wooden and masonry balustrades, brackets and various ornamentation are all very common elements within this genre. Columns may be rounded, twisted, or detailed as squared masonry piers. Although all of these elements are compatible, it is the delicate composition of a few of them that creates the successful Mediterranean Revival house.
  - xiii. Variations of this style include Mission or Santa Fe.
- c. *Caribbean or Anglo-Caribbean.* General characteristics of Anglo Caribbean Architectural Style.
- i. The Anglo-Caribbean house is a hybrid of Wood Vernacular and Spanish or Mediterranean detailing and materials.
  - ii. Roofs of the Anglo Caribbean house are made of wood or asphalt shingles, metal or slate. Roof slopes are between 4:12 and 8:12 and are typically hip roofs.
  - iii. Roof overhangs are typically quite deep with exposed rafter tails and thin eaves. Often the overhang will kick out from the beam at a shallower roof slope to give the appearance of a canted roof. This allows for a steeper roof slope and a deeper overhang without covering too much of the elevation with roof. Brackets can be used at the overhang but are not used as extensively as with the Florida Bungalow house.
  - iv. Masonry or stone is used on the ground floor while wood framing and siding are used on the second floor. The façade compositions are typically symmetrical with long covered balconies and porches. Ground level masonry columns or piers support second level wooden posts.
  - v. Exterior finishes are almost exclusively lower level stucco and upper level siding. Colors tend to be subtle with an emphasis on natural materials and earth tones. There is extensive use of balconies supported by brackets, two story porches, Louvered openings and shutters. Detailing and ornamentation is very simple in its usage.
  - vi. Windows and doors are of vertical and/or square proportions. Openings for doors and windows are deep and cast deep shadows as well as give the impression of thickness and solidity. Windows can have divided lights, single lights and may borrow light configurations from the Florida Bungalow or Craftsman languages. Windows are most commonly double hung or casement. Window and door surrounds, when they exist, are made of stucco, stone or wood.
  - vii. The front porch is a common element and typically supports a second story balcony and is thereby under the primary roof. Loggias, like in Mediterranean Revival, can be found on either the first or second story. Porches are augmented by second floor balconies.
  - viii. Columns, posts, wooden and masonry balustrades, and brackets are all very common elements within this architecture. Columns are either smooth and round, or can be detailed as square masonry piers. The most prominent feature of the Anglo-Caribbean house is the clear distinction between the first and second floors; between the massive and the delicate, between masonry and wood.

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- d. *Florida Bungalow*. General characteristics of Florida Bungalow Architectural Style.
- i. The Florida Bungalow house, like the Mediterranean Revival, is eclectic in its origins and detailing. Generally, the house is one or one-and-a-half stories tall and maintains a low profile. It is typically moderate in size yet delivers a prominent street presence with its porches and detailing.
  - ii. Roofs of the Bungalow are predominantly gabled with shallow slopes of 3:12 to 6:12. Roofing materials are mostly asphalt shingles; although metal is appropriate.
  - iii. Deep overhangs are characteristic as well as exposed rafter tails and support joinery. Typically at a gable's end there are substantial wooden brackets.
  - iv. Exterior finishes shall be primarily wood and masonry. Although stucco is a common wall finish, variations of wood siding and shingles give the bungalow its true craftsman aesthetic. Masonry and stone are used extensively for a building's base, steps, and the pedestal for porch columns. Wooden brackets, railings, balustrades, and tapered columns are very common elements.
  - v. Windows and doors are square or vertically proportioned and are almost exclusively double-hung. In character with the Craftsman or Prairie style, windows will typically have multiple vertically divided lights. Many times the top sash alone will be divided with the bottom sash remaining whole. Window and door surrounds are wood and can be quite elaborate.
  - vi. Front porches are a very important element in the Bungalow composition. In addition to their usefulness as an important neighborhood device, the front porch provides an opportunity to articulate and ornament an otherwise straightforward box. The porch, when it is the full width of the house, can share the roof of the principal building. When under the primary roof, typically shed or "sleepy" dormers are provided to add light into the roof space. This condition occurs when the ridge of the roof is running parallel to the street.
  - vii. The Florida bungalow house sits on a continuous stone or masonry base which becomes an integral and defining element throughout the façades. Rarely are rounded columns used. Tapered wooden posts or masonry piers are the most common vertical support members.
  - viii. Variations of this style include Prairie, Craftsman, or "Stick" style.
- e. *Art Deco*. General characteristics of Art Deco Architectural Style.
- i. The term Art Deco describes early 20th Century modern design. During the decades following World War I, came the Art Deco architectural style. The buildings are characterized by flat roofs, smooth stucco walls, and distinctly modern look. They are highly ornamented, especially around entrances, windows, and along roof lines, and use the abstract, angular or floral ornament taken from the 1925 Paris Exposition des Arts Decoratifs et Industriels Modernes. Art Deco buildings during the Great depression, a second art deco period, usually have very little ornamentation and have a very flat, machine-like look. Hallmarks of this period include rounded corners, banded stripes, porthole windows and lots of glass brick.

(Ord. No. 1159, pt. 1(Exh. A), 5-11-2021; Ord. No. 1159, pt. 1(Exh. A), 5-11-2021)