

GENERAL NOTES:

- A. THESE DRAWINGS REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL ARRANGEMENT AND METHOD OF ASSEMBLY OF THE VARIOUS COMPONENTS. THE DRAWINGS DO NOT INDICATE EXTENSIVE DETAILS. THE CONTRACTOR SHALL REVIEW THESE PLANS, SEE THE SUBJECT PROPERTY AND BE CAPABLE OF EXECUTING THE DETAIL WORK NECESSARY TO ACHIEVE THE INTENDED RESULT IN A MANNER CONSISTENT WITH QUALITY WORKMANSHIP WITHIN THE REGION. IT IS INCUMBENT UPON THE CONTRACTOR TO REPORT IN WRITING TO THE ARCHITECT, PRIOR TO SUBMISSION, ANYTHING HE SEES AS A QUESTIONABLE ITEM OR OMISSION IN INTENT OR METHOD OF CONSTRUCTION.
- B. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF THE ARCHITECT TO USE AS HE SEES FIT. THESE DRAWINGS SHALL NOT BE USED WITHOUT THE ARCHITECT'S WRITTEN CONSENT. DRAWINGS SHALL NOT BE SUBMITTED FOR A BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ARCHITECT UNLESS STARTED SPECIFICALLY BY LETTER. THESE DRAWINGS MAY BE USED TO CONSTRUCT ONLY THE STRUCTURE/BUILDING DELINEATED HEREIN.
- C. IT IS UNDERSTOOD THAT THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ADDITIONAL COST INCURRED BECAUSE OF CONDITIONS UNCOVERED DURING CONSTRUCTION. THESE DRAWINGS ARE PREPARED BASED UPON INFORMATION SUPPLIED BY THE OWNER INCLUDING DRAWINGS, SURVEYS, ETC.
- D. MODIFICATIONS TO THESE PLANS BY THE OWNER OR CONTRACTOR SHALL NOT BE MADE WITHOUT WRITTEN PERMISSION BY THE ARCHITECT. ANY MODIFICATIONS MADE WITHOUT THE ARCHITECT'S WRITTEN PERMISSION WILL BE THE SOLE RESPONSIBILITY OF THE PARTY ENACTING SUCH MODIFICATIONS.
- E. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING LEGAL FEES, ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
- F. CONSTRUCTION SHOWN AND SPECIFIED SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, WHERE LOCAL CODES CONFLICT WITH THESE DRAWINGS. CODE REQUIREMENTS TAKE PRECEDENCE.
- G. ALL CONSTRUCTION SHALL CONFORM TO ACCEPTED GOOD PRACTICE AS DEFINED BY THE 2009 INTERNATIONAL RESIDENTIAL CODE, THE 2009 INTERNATIONAL ELECTRICAL CODE, THE 2009 INTERNATIONAL MECHANICAL AND PLUMBING CODE, THE 2009 INTERNATIONAL FIRE CODE, THE 2009 INTERNATIONAL EXISTING BUILDING CODE. ALL ARE READILY AVAILABLE TO THE TRADES.
- H. THE CONTRACTOR SHALL REVIEW PLANS AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. NOTIFY ARCHITECT OF ANY DEVIATIONS BEFORE PROCEEDING WITH WORK.
- I. CONTRACTORS SHALL PROVIDE ALL NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO LOCAL, STATE AND O.S.H.A SAFETY REQUIREMENTS.
- J. ALL CONTRACTORS SHALL MAINTAIN CONTRACTOR'S LIABILITY, PROPERTY DAMAGE INSURANCE, AND WORKMAN'S COMPENSATION INSURANCE.
- K. ALL CONTRACTORS SHALL TAKE THE NECESSARY STEPS TO PROTECT THE WORK FROM DAMAGE AT ALL TIMES.
- L. THE ARCHITECT HAS PREPARED THESE DRAWINGS BASED ON DISCUSSIONS WITH THE OWNER AND THE ARCHITECT'S OWN KNOWLEDGE OF CONSTRUCTION TECHNIQUES AND BUILDING CODES. IT IS INCUMBENT UPON THE OWNER TO REVIEW THE FINAL PLANS TO INSURE HIS INTENT HAS BEEN MET AND TO NOTIFY THE ARCHITECT IMMEDIATELY BEFORE COMMENCING CONSTRUCTION OF ANY DESIRED CHANGES.
- M. ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS AS SPELLED OUT IN THESE NOTES. ALL PARTIES MUST CAREFULLY STUDY ALL NOTES FOR ALL ITEMS WHICH MAY PERTAIN TO THEIR TRADES. FAILURE TO READ IN THESE NOTES DOES NOT PERMIT THE CONTRACTOR TO DEVIATE FROM THEIR REQUIREMENTS.
- N. ALL CONTRACTORS AND SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK. COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE JOB SITE. ARCHITECTURAL OFFICE AND ITS AGENTS AND EMPLOYEES ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND SHALL BE HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS AND SUBCONTRACTORS FROM ANY AND ALL CLAIMS, LOSSES, SUITS AND LEGAL ACTION WHATSOEVER ARISING FROM THE PERFORMANCE OF WORK ON THIS PROJECT.
- O. CONSTRUCTION WORK SHALL NOT COMMENCE PRIOR TO COMPLETION OF CONSTRUCTION DRAWINGS. THE DESIGN PROFESSIONAL ASSUMES NO RISK IN THE USE OF THESE DRAWINGS.
- P. THE REVIEW OF SHOP DRAWINGS BY THE ARCHITECT SHALL NOT RELIEVE IN ANY MANNER THE GENERAL CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS.
- Q. THE GENERAL CONTRACTOR SHALL GUARANTEE THAT ALL WORK INCLUDED IN THE CONTRACT WILL BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR AND MATERIALS AGREES THAT ANY OR ALL DEFECTS SHALL BE PROMPTLY REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S OWN EXPENSE, INCLUDING ANY ITEM(S) THAT BECOME DEFECTIVE DURING THE PERIOD OF THIS GUARANTEE.

GENERAL NOTES

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ABBREVIATIONS:

A.F.F.	ABOVE FINISHED FLOOR	FR.DR.	FRENCH DOOR	S.S.	STAINLESS STEEL
A.F.G.	ABOVE FINISHED GRADE	FTG.	FOOTING	STL.	STANDARD
A.R.P.	AIR ABOVE ROUGH FLOOR	FURN.	FURNACE	STEEL	STEEL
A/C	AIR CONDITIONING	GFR.	GROUND FAULT	STOR.	STORAGE
ALT.	ALTERNATE	GYP- BD.	GYP-SUM BOARD	TEMP.	TEMPORARY
ALUM.	ALUMINIUM	H.C.	HOLLOW CORE	T&G	TONGUE AND GROOVE
A.B.	ANCHOR BOLT	H.DW.	HEADER	TOLL.	TOILET
ARCH.	ARCHITECT	HGT.	HEIGHT	T.O.M.	TOP OF MASONRY
AWL.	AWNING	HNDP.	HEADPANEL	TRTD.	TREATED
BEETRM.	BETWEEN	INSUL.	INSULATION	TRP.	TYPICAL
B.F.D.	BI-FOLD DOOR	JNT.	JOINT(S)	VERT.	VERTICAL
BLDG.	BUILDING	JST.	JOIST(S)	W/	WITH
BRDG.	BRIDGING	LAM.	LAMINATE(D)	W/C	WATER CLOSET
CABT.	CABINET	L.V.	LAUNDRY	W/H	WATER HEATER
CANTLR.	CANTILEVER	LN./L/C	LINE/CLOSET	W/IN	WITHIN
CATHEDRAL	CATHEDRAL	LOUV.	LOUVERED	W.I.C.	WALK-IN-CLOSET
C.F.	CUBIC FEET	MANUF.	MANUFACTURER'S	W/P	WEATHERPROOF
C.L.	CLOSED	MAT.	MATERIAL	W/W.M.	WOMEN WIRE MESH
CDL.	CERAMIC TILE	MECH.	MECHANICAL	#	NUMBER
COL.	COLUMN	MIN.	MINIMUM	Ø	ANGLE
COMP.	COMPACTED	M.L.	MASONRY OPENING	⊗	DIAMETER
CONC.	CONCRETE	M.O.	MASONRY	AT	AT
CONST.	CONSTRUCTION	MTL.	METAL		
CONT.	CONTINUOUS	N/A	NOT APPLICABLE		
C.T.	CERAMIC TILE	N.I.C.	NOT IN CONTRACT		
D	DRIVER	N.O.	NUMBER		
DEL.	DOUBLE	NOM.	NOMINAL SCALE		
DEL.	DELTA	N.T.S.	NOT TO SCALE		
DEL.	DELTA	O.H.	OVERHEAD		
DN.	DOWN	OPTL.	OPTIONAL		
DP.	DEEP	PART.	PARTITION		
D/W	DISHWASHER	P.D.	POCKET DOOR		
DWG.	DRAWING	P.L.	PLATE		
E.F.	EXHAUST FAN	RA/OV	RANGE/OVEN		
E.F.S	EXTERIOR INSULATION	R.C.	ROUGH CEILING		
ELEC.	ELECTRIC	REF.	REFRIGERATOR		
ELEV.	ELEVATION	REQD.	REQUIRED		
ED.	EQUAL	RETO.	REQUIREMENT		
EJAL	EQUIPMENT	R.F.	ROUGH FLOOR		
EXP. JT.	EXPANSION JOINT	S.	SINK		
F.F.	FOUNDATION	S.C.F.D.	SOLID CORE FIRE DOOR		
F.F.	FINISHED FLOOR	SCR.	SCREEN		
F/G	FIBERGLASS	SECT.	SECTION		
FN.	FINISH	S.F.	SQUARE FEET		
FIN.	FINISH	S.G.D.	SLIDING GLASS DOOR		
FIX.	FIXTURE	SH.	SHOWER		
FL.	FLOOR	SHL.	SIMILAR		
F/P	FIREPLACE	S&P	SHELF AND POLE		
F.R.	FIRE RETARDANT	SQ.	SQUARE		

ABBREVIATIONS

13

PROJECT TEAM:

OWNER:
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200 OKERSON ROAD
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CONTACT: WILLIAM KURTZ

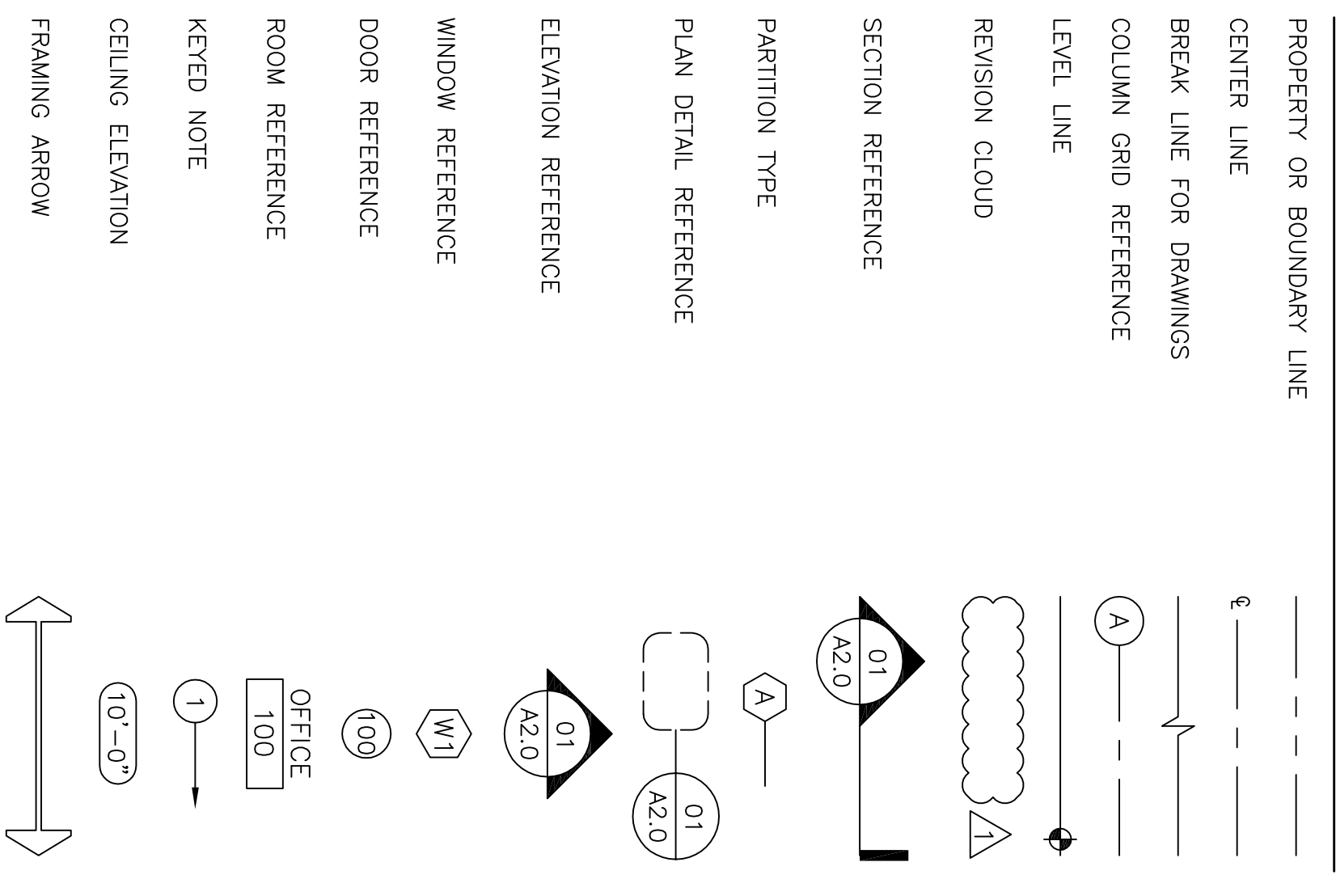
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LORTECH, INC.
38 SOUTH STREET
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CONTACT: WILLIAM LONGO

MEP ENGINEER:
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TEL: (732) 761-0108
FAX: (732) 761-0109
CONTACT: DAN KERRIGAN

PROJECT TEAM:

11

GRAPHIC SYMBOLS:

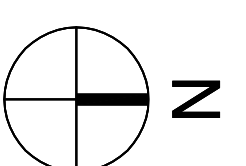
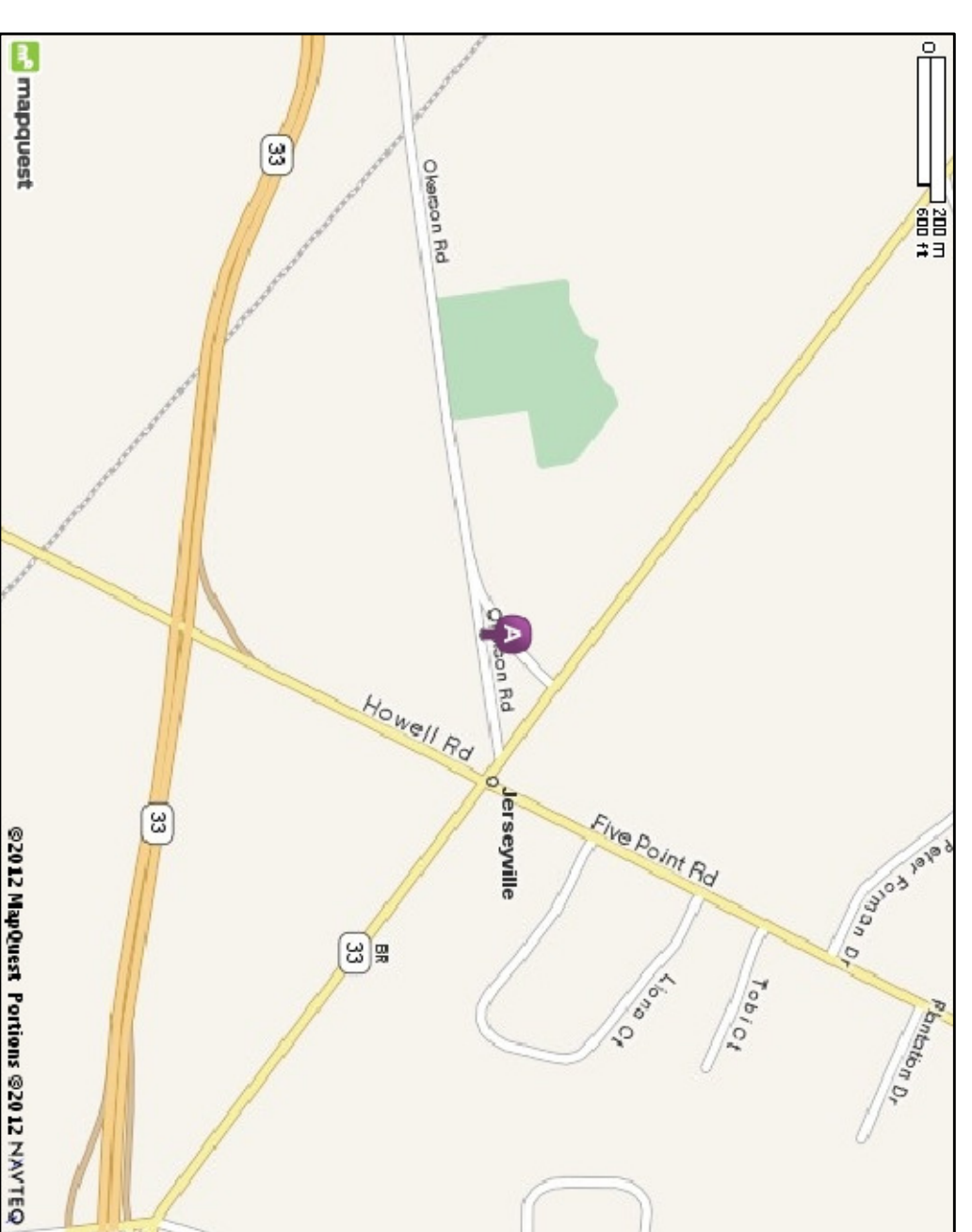


GRAPHIC SYMBOLS

09

PROJECT TITLE AND VICINITY MAP

03



CODE ANALYSIS:

OCCUPANCY:	S-2, B
CONSTRUCTION:	TYPE III-B
SPRINKLER SYSTEM:	NON-SPRINKLERED
GROSS FLOOR AREAS:	FIRST FLOOR: 12,387 SF SECOND FLOOR: 2,485 SF TOTAL: 14,872 SF
FIRE-RESISTANCE:	PRIMARY STRUCTURAL FRAME: 0 HR. INT. AND EXT. BEARING WALLS: 0 HR. INT. NON-BEARING WALLS: 0 HR. FLOOR ASSEMBLY: 0 HR. ROOF ASSEMBLY: 0 HR.
OCCUPANCY SEPARATION:	1-HOUR
MEANS OF EGRESS:	7 EXITS
MAX. TRAVEL DISTANCE:	BUSINESS: 200' (ALLOWABLE) WAREHOUSE: 300' (ALLOWABLE)
OCCUPANT LOAD:	1ST & 2ND FLR. BUSINESS: 157 SF/100 OCCUPANTS 1ST FLOOR WAREHOUSE: 9729 SF 9299 SF/500 = 20 OCCUPANTS TOTAL: 70 OCCUPANTS

BUILDING CODE REFERENCE:

- 2009 NEW JERSEY INTERNATIONAL BUILDING CODE International Code Council (888)-422-7233
- 2009 INTERNATIONAL MECHANICAL CODE International Code Council (888)-422-7233
- 2009 INTERNATIONAL FUEL GAS CODE International Code Council (888)-422-7233
- 2011 NATIONAL ELECTRICAL CODE National Fire Protection Association (617)-726-3000
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE International Code Council (888)-422-7233
- 2009 NATIONAL STANDARD PLUMBING CODE National Association of Professional Plumbers (609)-499-8020
- NEW JERSEY UNIFORM CONSTRUCTION CODE State of N.J., D.C.A. (609)-984-7672

CODE REFERENCE

02

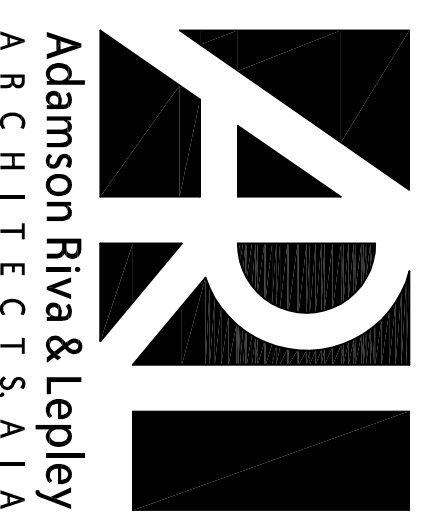
ISSUE DATE	PROJECT TITLE, VICINITY MAP, PROJECT TEAM, CODE ANALYSIS AND REFERENCE, DRAWING INDEX, GENERAL NOTES, ETC.
04/14/14	<ul style="list-style-type: none"> • A0.0 PROJECT TITLE, VICINITY MAP, PROJECT TEAM, CODE ANALYSIS AND REFERENCE, DRAWING INDEX, GENERAL NOTES, ETC. • A1.0 FIRST FLOOR PLAN • A1.1 SECOND FLOOR PLAN • A1.2 PARTIAL FIRST FLOOR PLAN AND PARTIAL SECOND FLOOR PLAN AND PARTITION TYPES • A1.3 PARTIAL SECOND FLOOR PLAN AND PARTITION TYPES • A1.4 PARTIAL FIRST FLOOR REFLECTED CEILING PLAN • A1.5 PARTIAL SECOND FLOOR REFLECTED CEILING PLAN • A1.6 ENLARGED TOILET PLANS AND ADA STANDARDS • A2.0 EXTERIOR ELEVATIONS • A2.1 EXTERIOR ELEVATIONS • A3.0 ROOF PLAN • A4.0 WALL SECTIONS • A4.1 WALL SECTIONS • A4.2 DOOR FRAME TYPES AND DOOR SCHEDULE • A5.0 FIRST FLOOR ROOM FINISH PLAN • A6.0 SECOND FLOOR ROOM FINISH PLAN

CODE ANALYSIS

05

DRAWING INDEX

01



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SCOTT C. LEPLEY, AIA
NJ. PROF. PLANNER NO. 03169

CONSULTANT:

NO.	DATE	DESCRIPTION:
04/24/12	08/17/12	OWNER'S REVIEW COORDINATION SET ISSUED FOR PERMIT

PROJECT:
OFFICE/WAREHOUSE
FOR
PHOENIX SALES AND SERVICE CORPORATION
200 OKERSON ROAD
FREEHOLD, NEW JERSEY 07728
FREEHOLD TOWNSHIP
MONMOUTH COUNTY

PROJECT NO. M12015

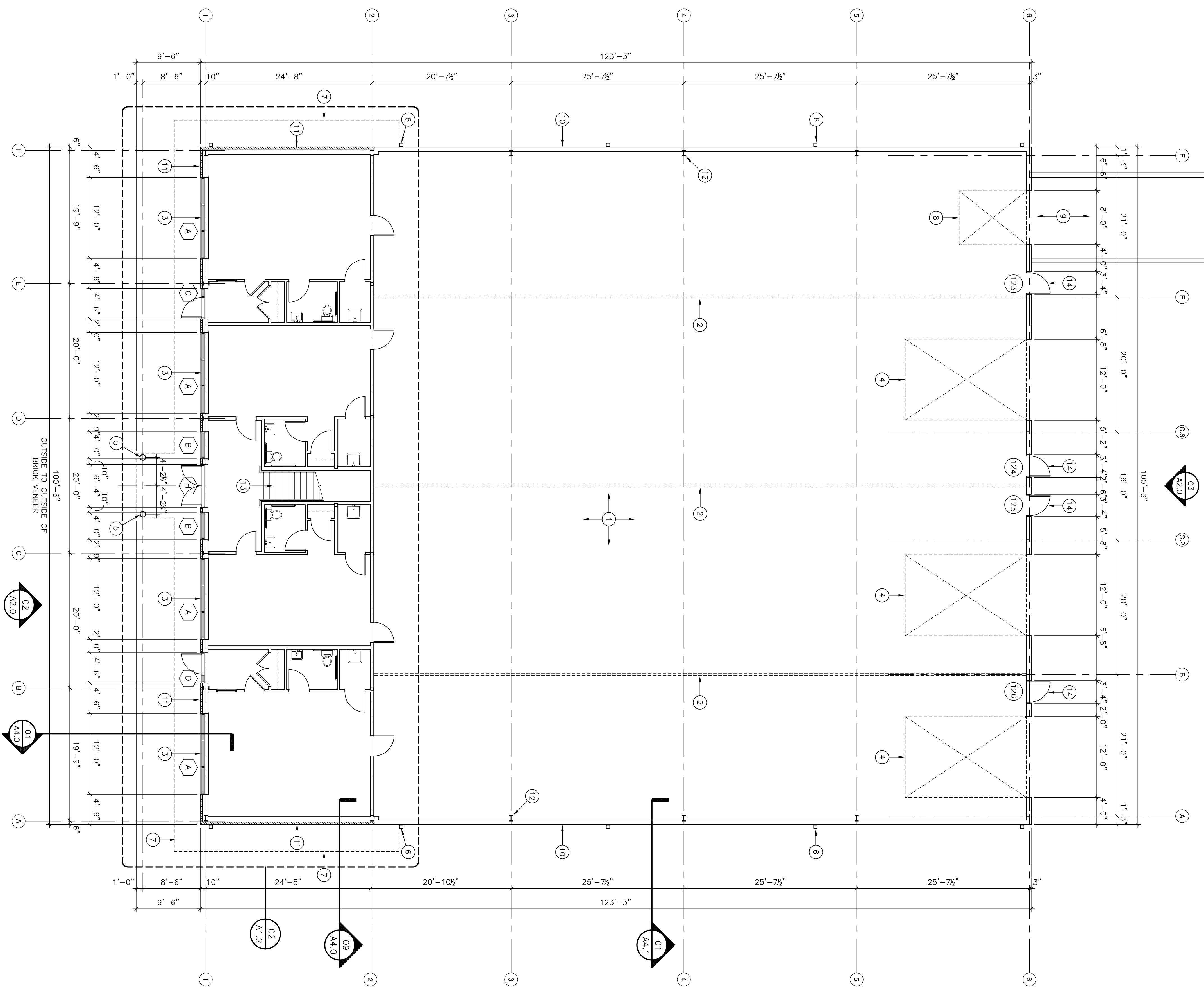
TITLE:
**DRAWING INDEX/
PROJECT DATA/
GRAPHIC SYMBOLS/
GENERAL NOTES**

A0.0

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- GENERAL STAIRWAY NOTES:**
1. STAIR RISER HEIGHT SHALL BE 7" MAX.
 2. STAIR TREAD DEPTH SHALL BE 11" MIN.
 3. STAIR TREAD AND RISER SHALL BE OF UNIFORM SIZE AND SHAPE.
 4. HANDRAILS SHALL BE MOUNTED ON EACH SIDE OF STAIR BETWEEN 34" AND 38" ABOVE STAIR TREAD NOSINGS.
 5. HANDRAILS SHALL BE 1 1/2" DIA. MIN. AND 2" DIA. MAX. WITH A 1/2" CLEARANCE FROM THE WALL.
 6. HANDRAILS SHALL RETURN TO A WALL, GUARD OR WALKING SURFACE, WHERE NOT CONTINUOUS. HANDRAILS SHALL EXTEND HORIZONTALLY MIN. 12" BEYOND TOP RISER AND CONTINUE TO SLOPE MIN. (1) TREAD DEPTH BEYOND BOTTOM RISER.
 7. GUARDRAILS SHALL BE LOCATED ALONG STAIRWAYS AND LANDINGS WHICH ARE LOCATED MORE THAN 30" ABOVE THE FLOOR AND SHALL PROVIDE A PROTECTIVE BARRIER NOT LESS THAN 42" HIGH, MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD.
 8. OPEN GUARDRAILS SHALL HAVE BAUSTERS SUCH THAT A 4" DIA. SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34". ABOVE WHICH AN 8" DIA. SPHERE SHALL NOT PASS.
 9. NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED. NOSINGS SHALL NOT PROJECT MORE THAN 1/2" BEYOND THE TREAD BELOW.

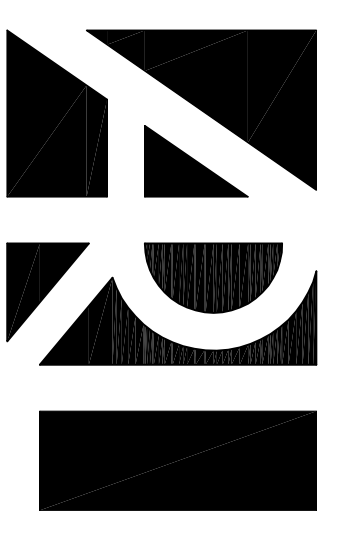
GENERAL STAIRWAY NOTES 04



1/8"=1'-0" 05

- KEYED NOTES 01**
1. REINFORCED CONCRETE SLAB, RE: STRUCTURAL
 2. DASHED LINE INDICATES LOCATION OF FUTURE TENANT DEMISING WALL
 3. SCHEDULED GLASS AND ALUMINUM STOREFRONT SYSTEM
 4. 12"x18" OVERHEAD DOOR
 5. 10" DIA. STEEL COLUMN, TO MATCH EXISTING ADJACENT BUILDING
 6. PREFINISHED METAL DOWNSPOUT, PAINT TO MATCH ADJACENT WALL COLOR, (SEE EXTERIOR ELEVATIONS FOR LOCATIONS)
 7. LINE OF AWNING/CANOPY ABOVE
 8. 8'x10' OVERHEAD DOOR
 9. LOADING DOCK, RE: CIVIL DRAWINGS
 10. PROVIDE CONTROL JOINTS MAX. 20'-0" APART AND FILL WITH BACKER ROD AND SEALANT
 11. BRICK VENER TO MATCH EXISTING ADJACENT BUILDING, REFER TO EXTERIOR ELEVATIONS FOR EXPANSION JOINT (E.J.) LOCATIONS
 12. STRUCTURAL FRAMING SYSTEM, RE: METAL BUILDING PLANS.
 13. PREFABRICATED CONCRETE AND METAL PAN STAIR, RE: 04/A1.0
 14. SCHEDULED INSULATED METAL DOOR AND FRAME

FIRST FLOOR PLAN



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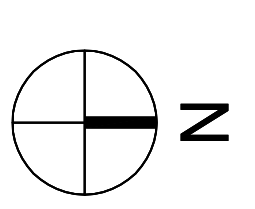
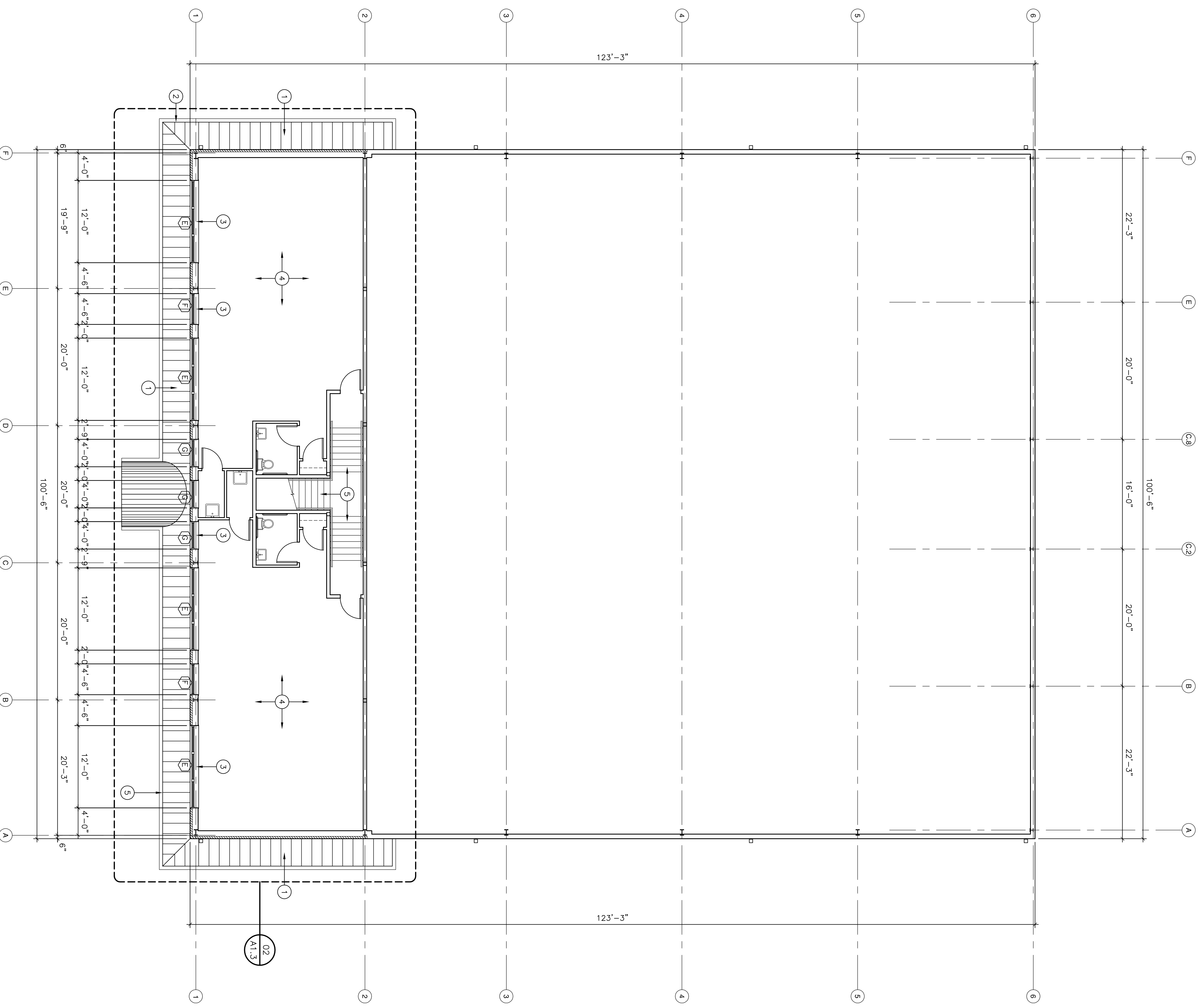
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FIRST FLOOR
PLAN

DRAWING:
A1.0

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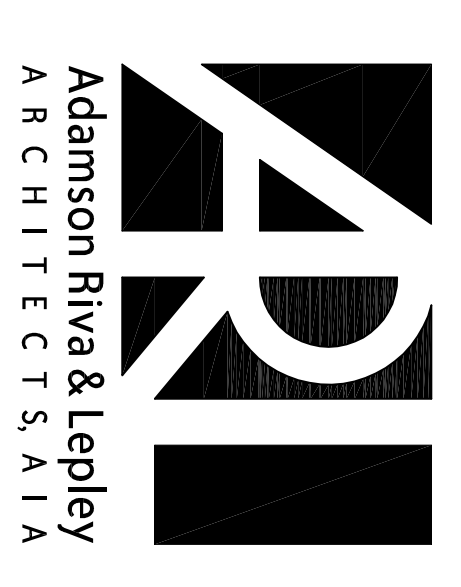
GENERAL STAIRWAY NOTES 04



1/8"=1'-0" 05

KEYED NOTES 01

1. ANNING BY PRE-ENGINEERED METAL BUILDING MANUFACTURER
2. PREFINISHED ALUMINUM GUTTER
3. SCHEDULED GLASS AND ALUMINUM WINDOW SYSTEM
4. CONCRETE SLAB ON METAL DECK, RE: STRUCTURAL
5. PREFABRICATED CONCRETE AND METAL PAN STAIR, RE: 04/A1.1



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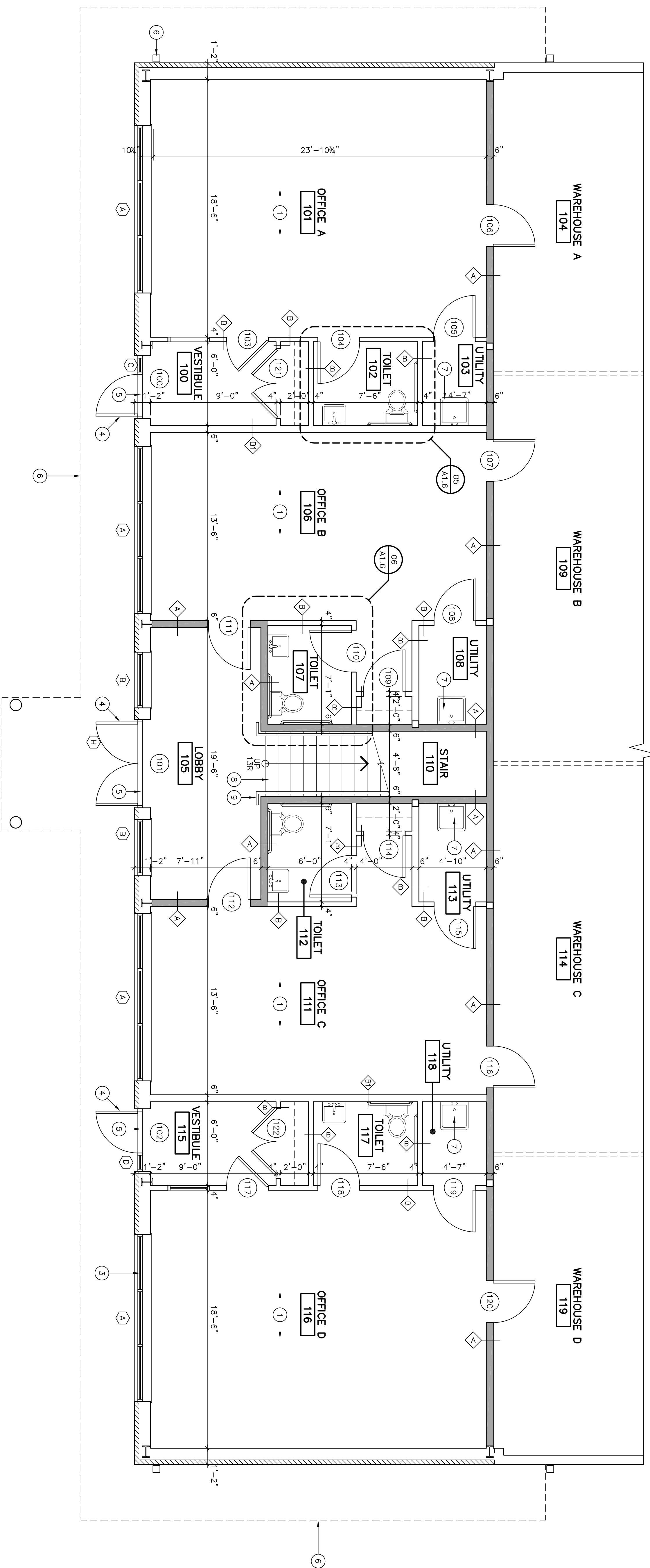
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SECOND FLOOR
PLAN

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A1.1

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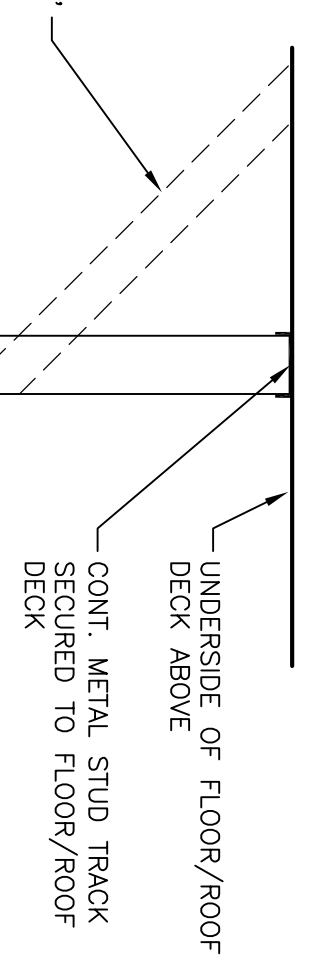
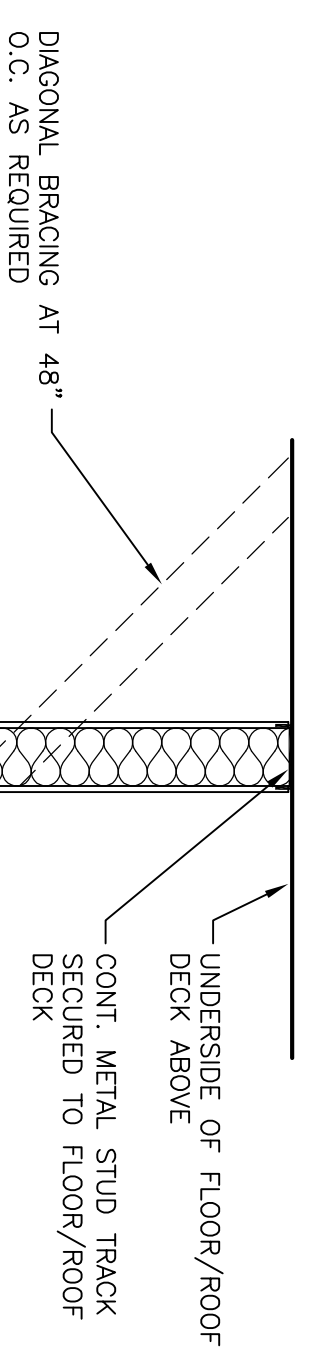
SECOND FLOOR PLAN

NOTE: REFER TO DRAWING A1.0 FOR REAR EXIT DOOR REFERENCES.



PARTIAL FIRST FLOOR PLAN

1/4"=1'-0"



PARTITION TYPES

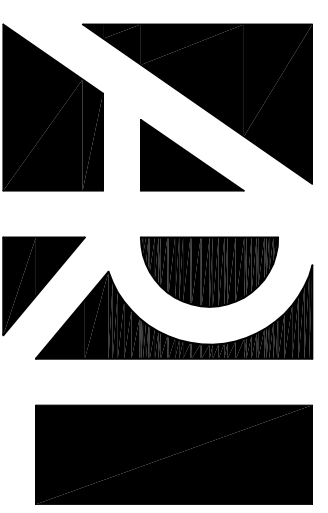
3/4"=1'-0"

KEYED NOTES

01

- 1 REINFORCED CONCRETE SLAB, RE: STRUCTURAL
- 2 SHADE INDICATES 1-HR. FIRE-RATED PARTITION
- 3 SCHEDULED GLASS AND ALUMINUM STOREFRONT SYSTEM
- 4 SCHEDULED STOREFRONT DOOR
- 5 LOW-RISE THRESHOLD (2" HIGH MAX.)
- 6 LINE OF AWNING/CANOPY ABOVE
- 7 SERVICE SINK, RE: PLUMBING
- 8 PREFABRICATED CONCRETE AND METAL PAN STAIR, RE: STRUCTURAL
- 9 CONTINUOUS HANDRAIL, RE: STAIRWAY NOTES ON SHEET A1.0

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<p>CONSULTANT: JOSEPH F. ADAMSON, AIA FLAVIO G. RIVA, AIA SCOTT C. LEPLÉY, AIA NJ PROF. FLANNER NO. 03169</p>		
<p>CONSULTANT: FLAVIO G. RIVA, AIA PA. LIC. NO. BA400380 SCOTT C. LEPLÉY, AIA NJ PROF. FLANNER NO. 03169</p>		
<p>CONSULTANT:</p>		
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<p>TITLE: PARTIAL FIRST FLOOR PLAN AND PARTITION TYPES</p>		
<p>DRAWING: A1.2</p>		
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CONSULTANT:

CONSULTANT:

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FREEHOLD, NEW JERSEY 07728
FREEHOLD TOWNSHIP
MONMOUTH COUNTY
PROJECT NO. M12015

TITLE:
**PARTIAL SECOND
FLOOR PLAN AND
PARTITION TYPES**

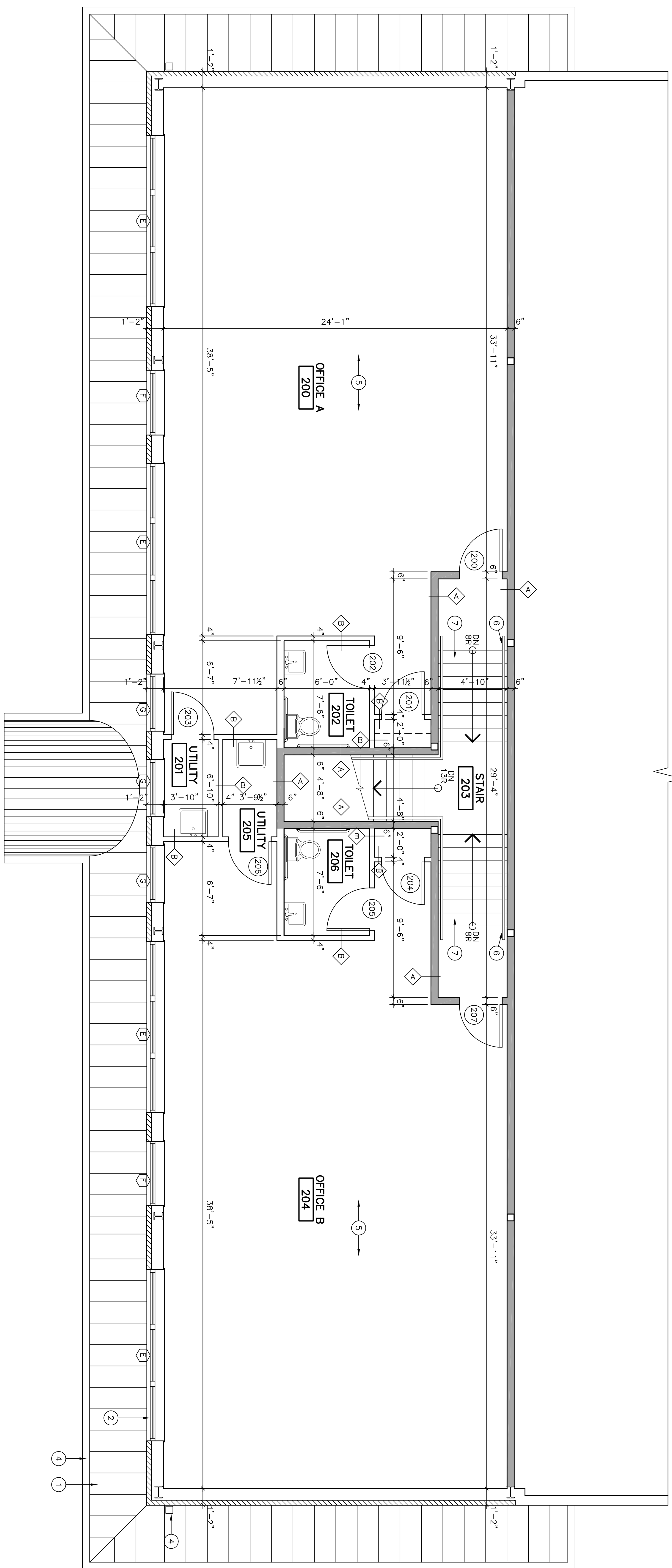
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A1.3

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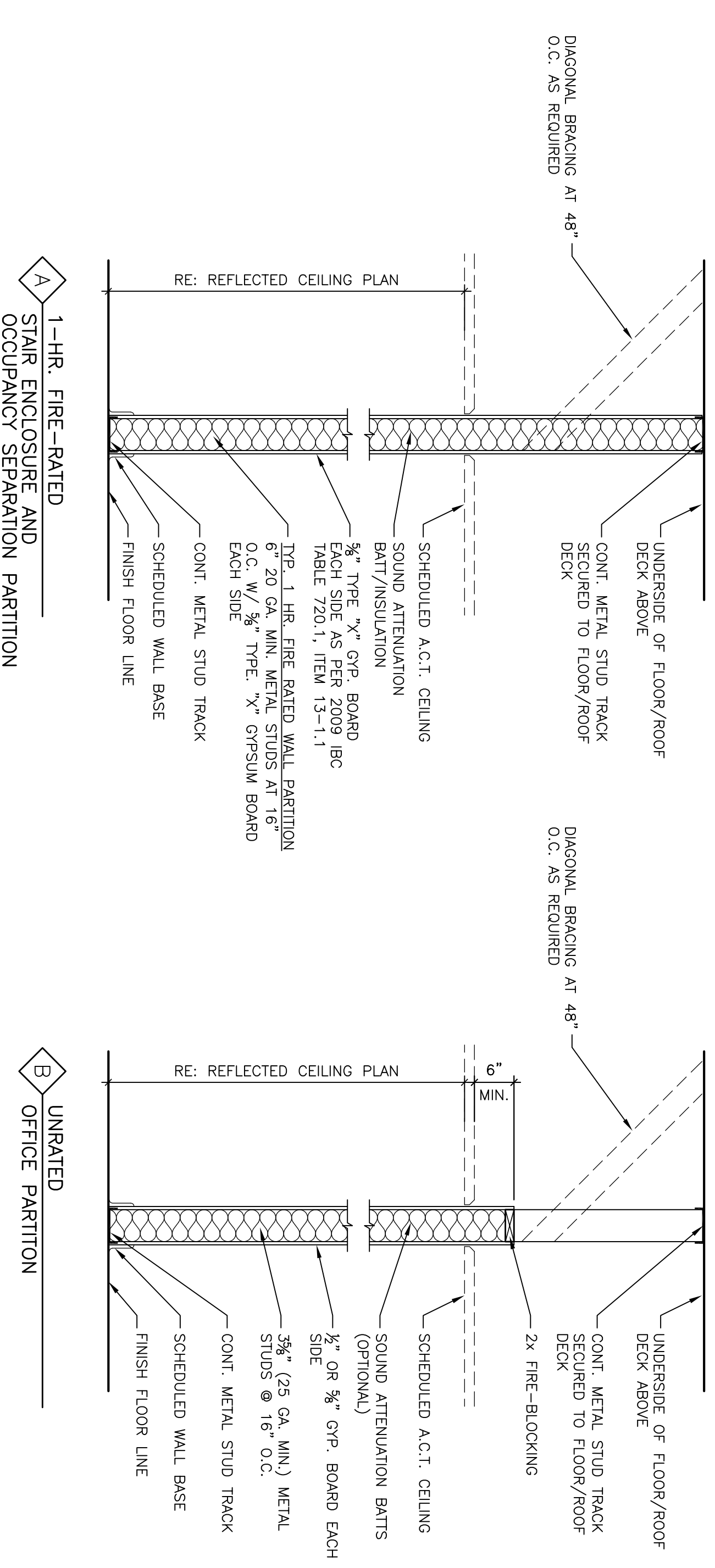
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SECOND FLOOR PLAN

1/4"=1'-0" 02

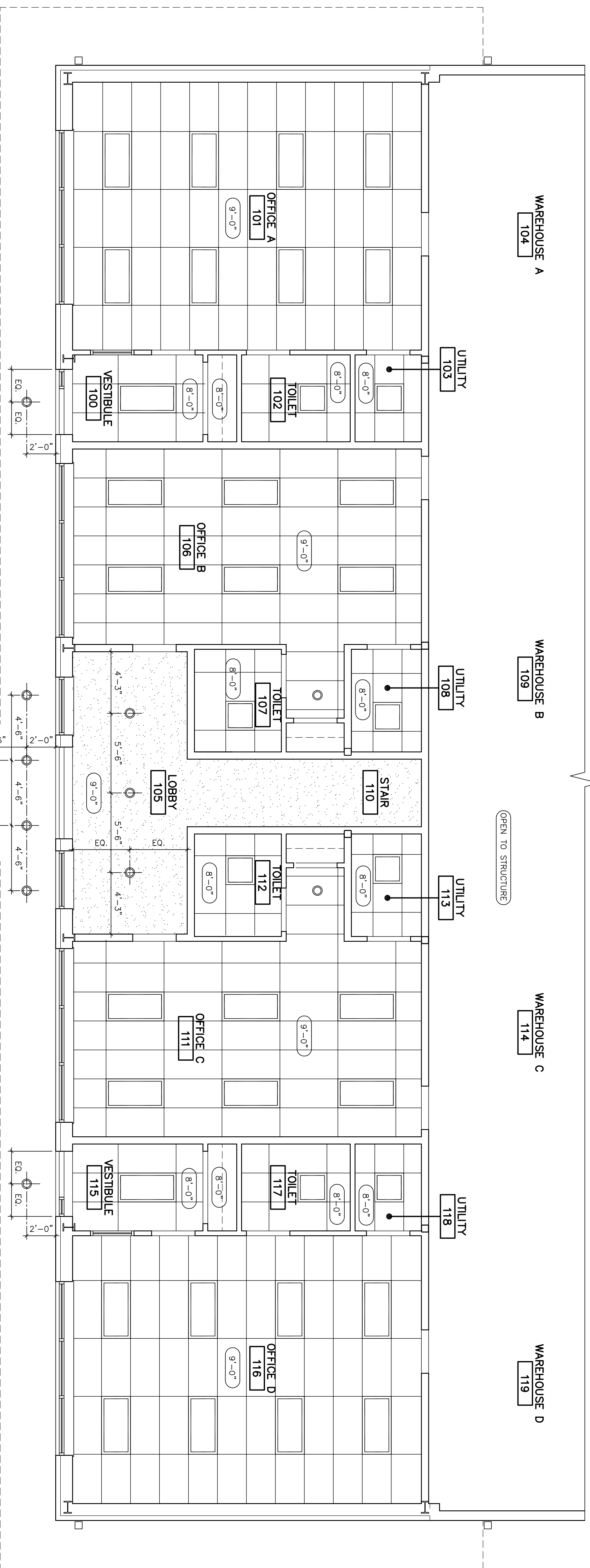


PARTITION TYPES

3/4"=1'-0" 05

- KEYED NOTES**
- 1 PRE-FINISHED STANDING SEAM METAL ROOF BELOW
 - 2 SCHEDULED GLASS AND ALUMINUM STOREFRONT SYSTEM VERTICALLY
 - 3 PRE-FINISHED ALUMINUM DOWNSPOUT W/ STRAPS @ 4'-0" O.C.
 - 4 PRE-FINISHED ALUMINUM GUTTER
 - 5 CONCRETE SLAB ON METAL DECK, RE: STRUCTURAL
 - 6 CONTINUOUS HANDRAIL, RE: STAIRWAY NOTES ON SHEET A1.0
 - 7 PREFABRICATED CONCRETE AND METAL PAN STAIR, RE: STRUCTURAL

01



FIRST FLOOR REFLECTED CEILING PLAN

1/4"=1'-0" 02

NOTE:
 LIGHTING PLAN IS FOR GENERAL LIGHTING QUANTITIES AND LOCATION PURPOSES. REFER TO ELECTRICAL PLANS FOR ALL OTHER EMERGENCY EGRESS AND ELECTRICAL REQUIREMENTS.

SYMBOLS LEGEND	
	CEILING ELEVATION
	SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE, RE: ELECTRICAL
	RECESSED LIGHT FIXTURE
	SURFACE-MOUNTED LIGHT FIXTURE
	EXTERIOR PENDANT LIGHT FIXTURE
	DECORATIVE EXTERIOR WALL-MOUNTED LIGHT FIXTURE
	2' x 4' (2) T-8 LAMP FLUORESCENT LIGHT FIXTURE
	2' x 2' (2) T-8 LAMP FLUORESCENT LIGHT FIXTURE
	GYPSUM BOARD CEILING

SYMBOLS LEGEND

01

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 N.J. PROF. FLANNER NO. 03169

CONSULTANT:

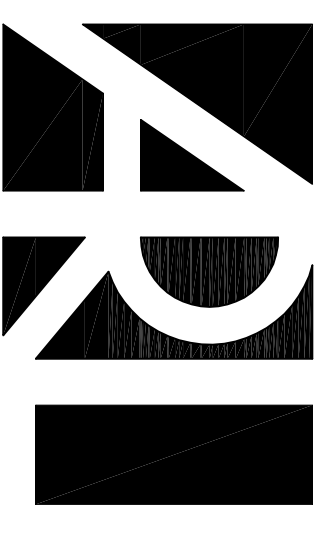
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 MONMOUTH COUNTY
 PROJECT NO. M12015

TITLE:
PARTIAL FIRST FLOOR REFLECTED CEILING PLAN

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A1.4

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 MONMOUTH COUNTY
 PROJECT NO. M12015

TITLE:
SECOND
FLOOR REFLECTED
CEILING PLAN

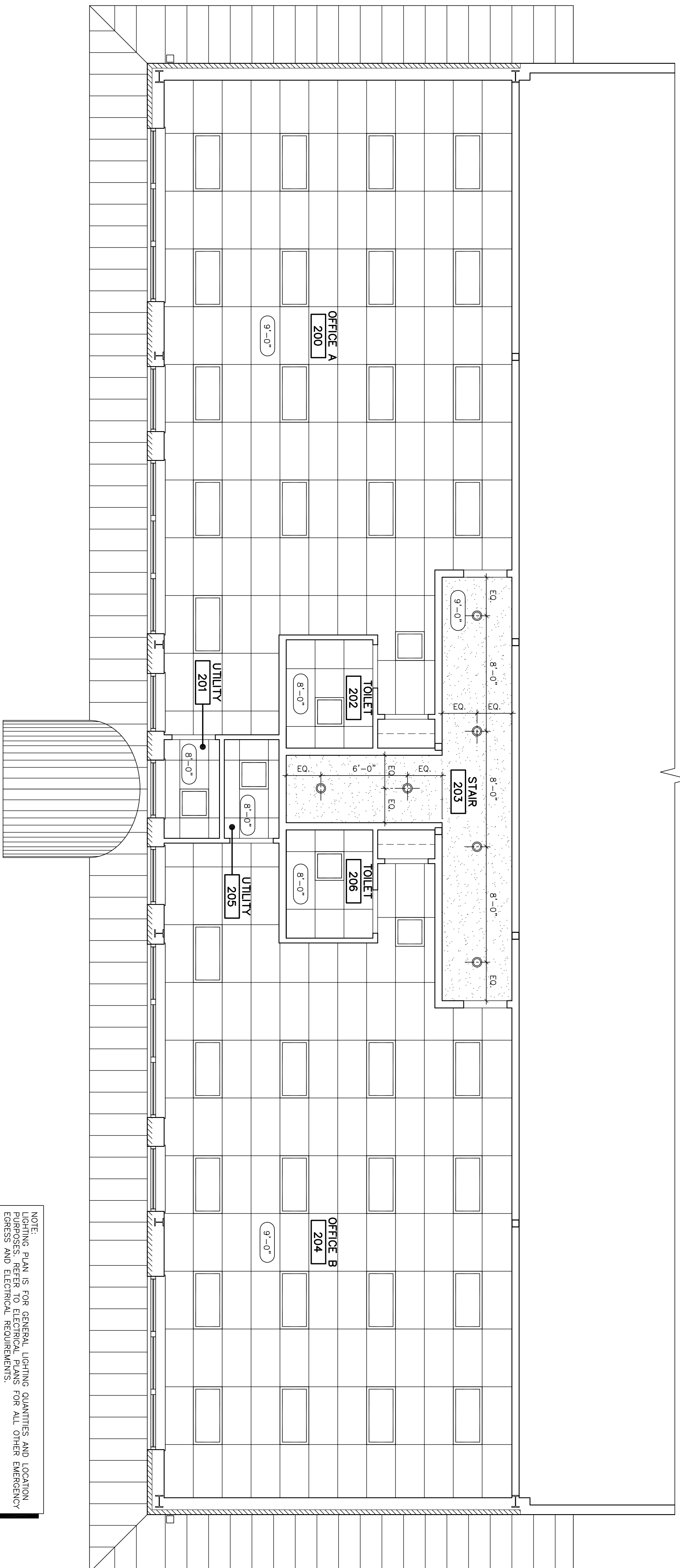
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SECOND FLOOR REFLECTED CEILING PLAN

1/4"=1'-0"

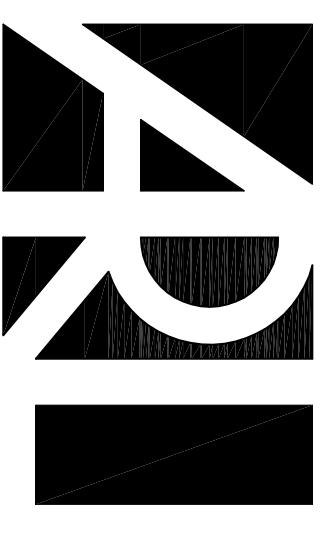
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SYMBOLS LEGEND

- (10'-0") CEILING ELEVATION
- ▬ SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURE, RE: ELECTRICAL
- RECESSED LIGHT FIXTURE
- ⊙ SURFACE-MOUNTED LIGHT FIXTURE
- ⊕ EXTERIOR PENDANT LIGHT FIXTURE
- ⊙ DECORATIVE EXTERIOR WALL-MOUNTED LIGHT FIXTURE
- ⊙ 2' x 2' (2) T-8 LAMP FLUORESCENT LIGHT FIXTURE
- ⊙ 2' x 4' (2) T-8 LAMP FLUORESCENT LIGHT FIXTURE
- ▬ 2'x4' ACOUSTICAL TILE CEILING (A.C.T.)
- ▬ GYPSUM BOARD CEILING

SYMBOLS LEGEND

01



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 MONMOUTH COUNTY

PROJECT NO. M12015

TITLE:
ENLARGED TOILET
PLANS AND ADA
STANDARDS

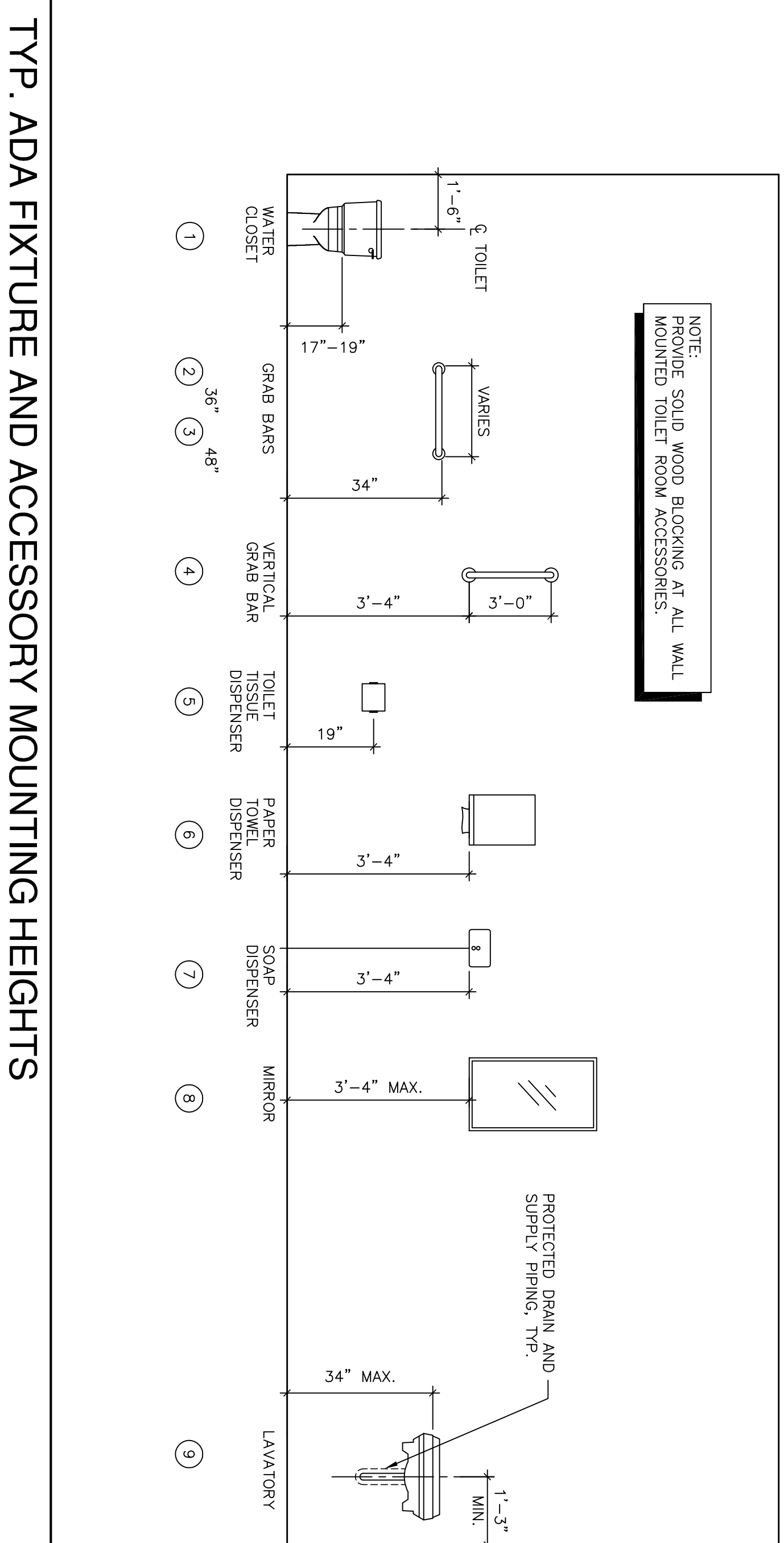
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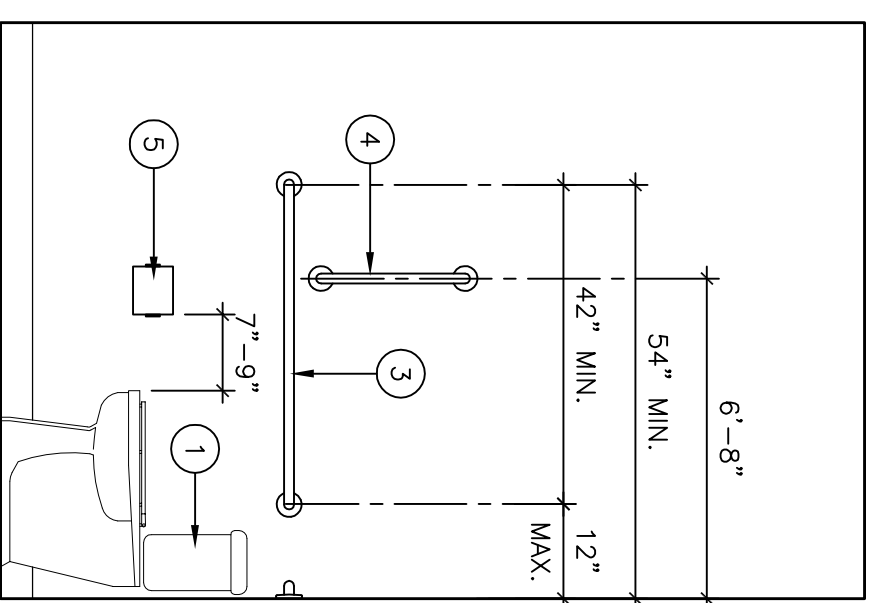
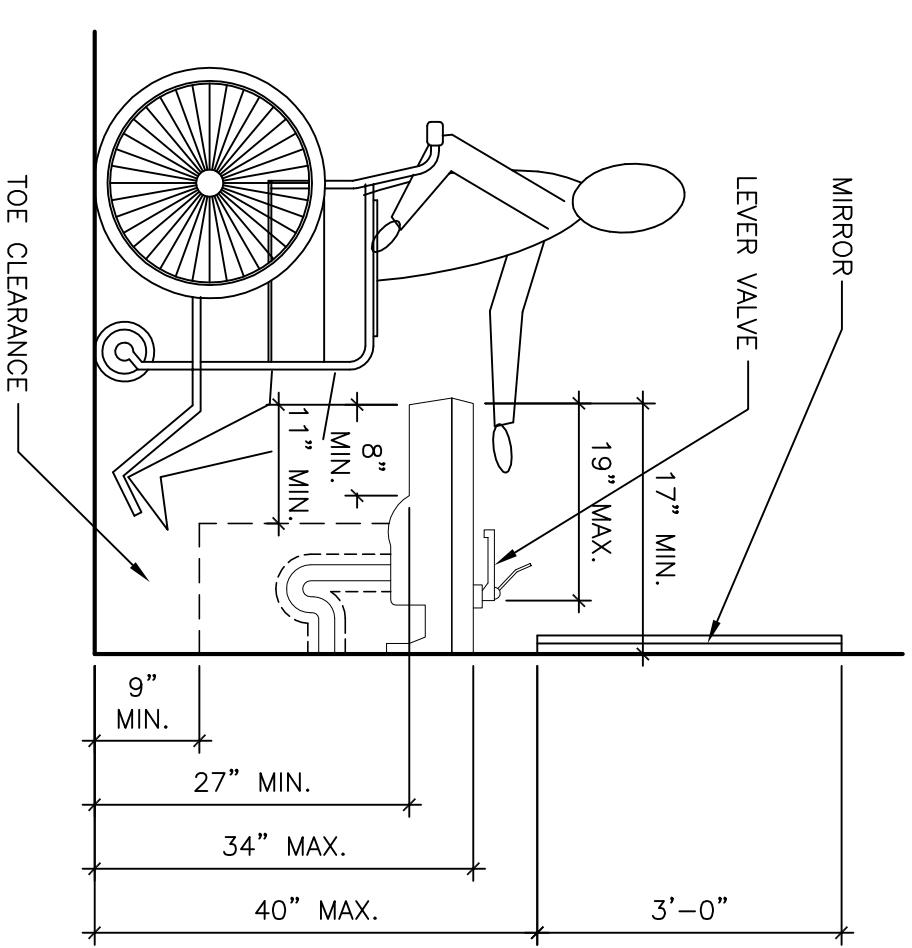
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TYP. ADA FIXTURE AND ACCESSORY MOUNTING HEIGHTS

N.T.S. 04

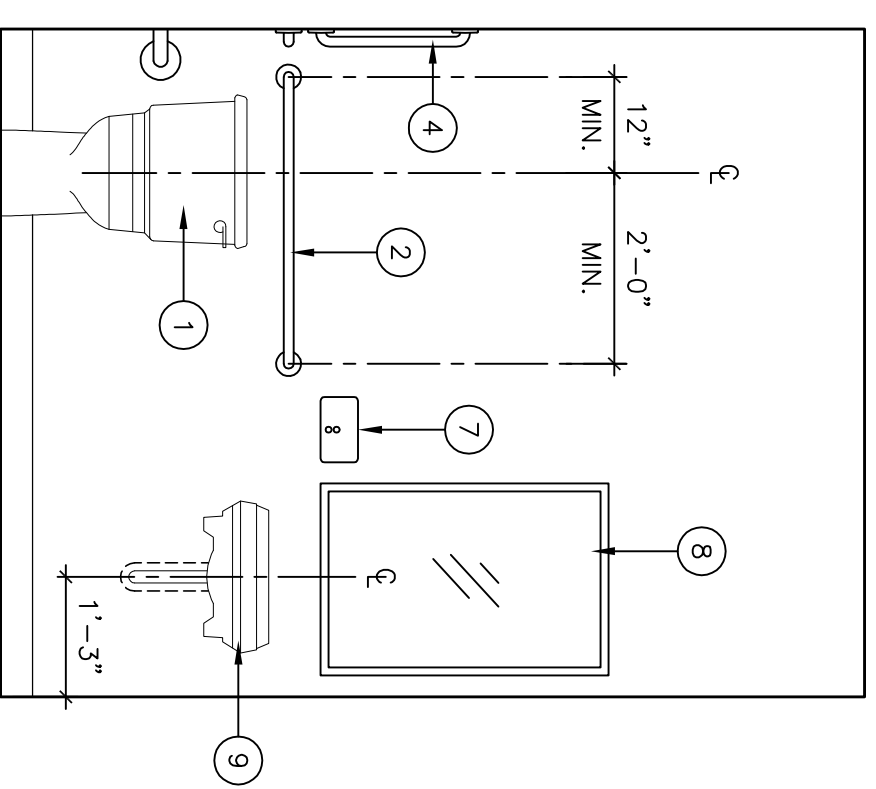


NOTE: OPPOSITE HAND FOR TOILET 112

INTERIOR ELEVATION

1/2"=1'-0"

18

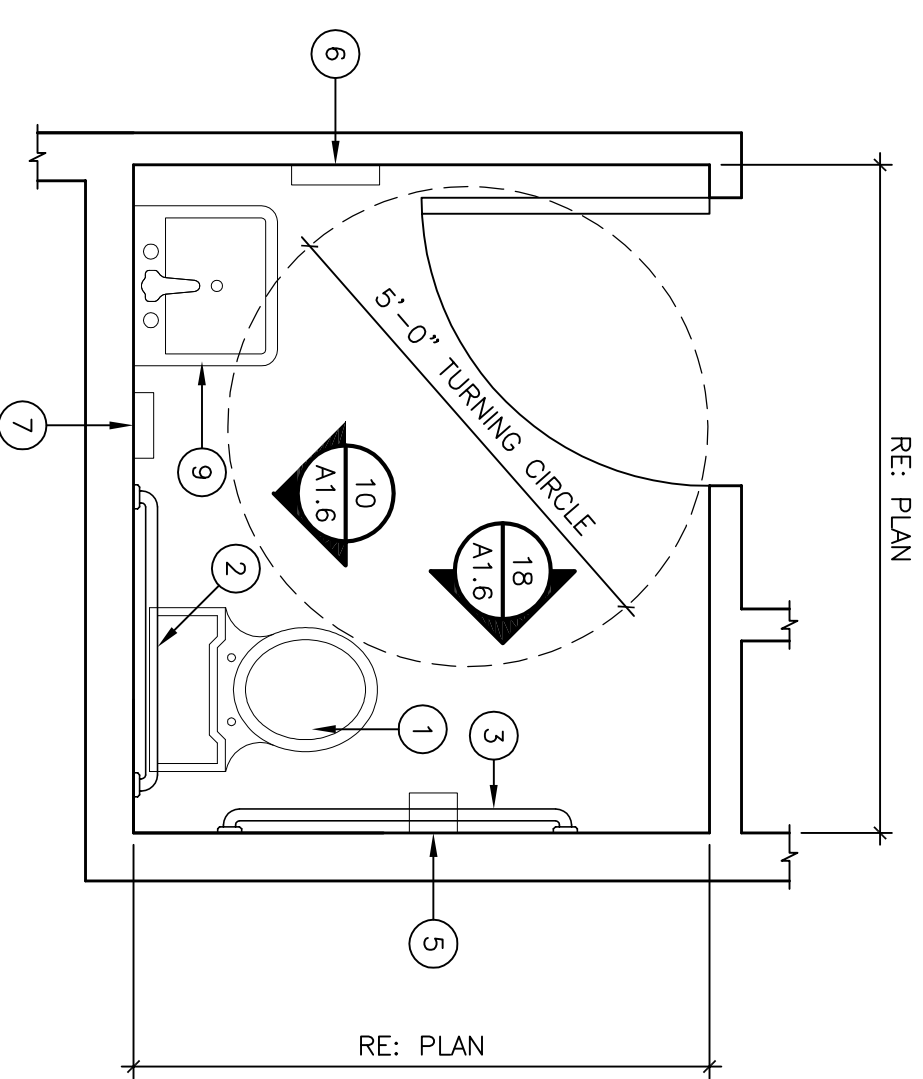


NOTE: OPPOSITE HAND FOR TOILET 112

INTERIOR ELEVATION

1/2"=1'-0"

10

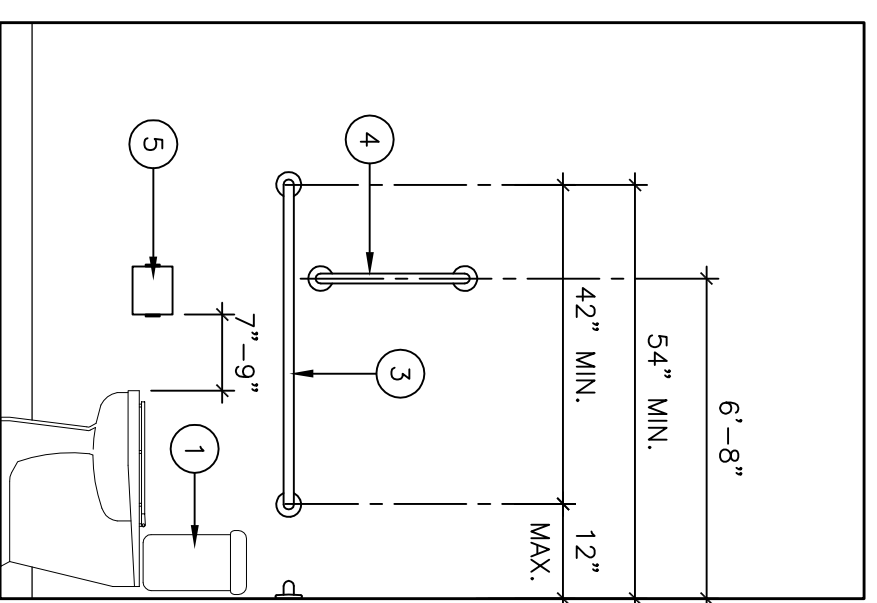


NOTE: OPPOSITE HAND FOR TOILET 112

ENLARGED TOILET PLAN (107 & 112)

1/2"=1'-0"

06

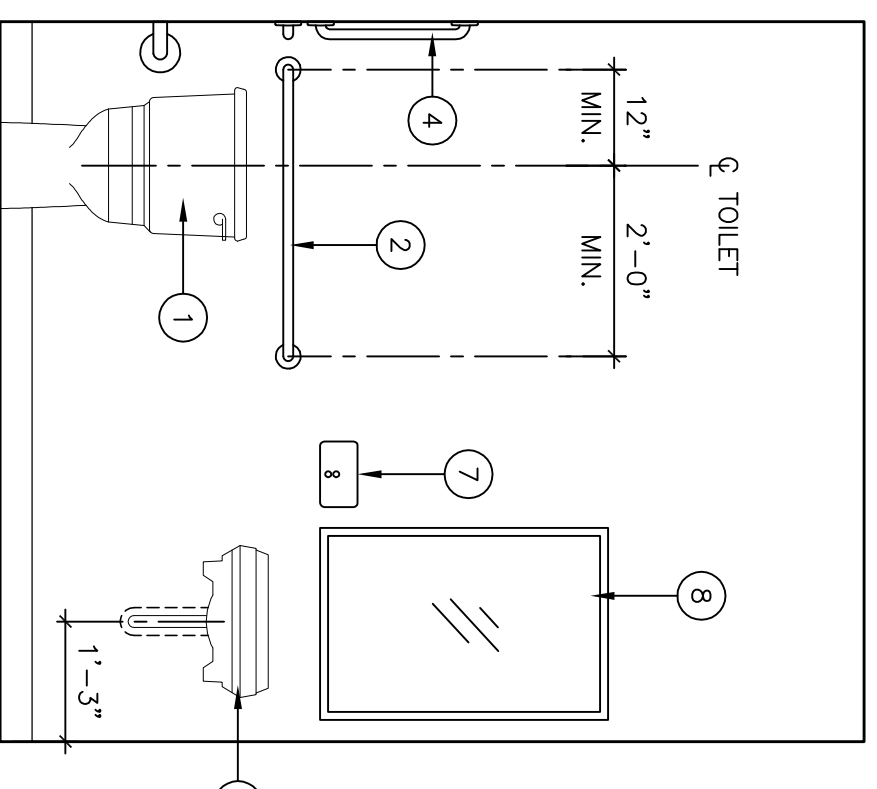


NOTE: OPPOSITE HAND FOR TOILET 117

INTERIOR ELEVATION

1/2"=1'-0"

17

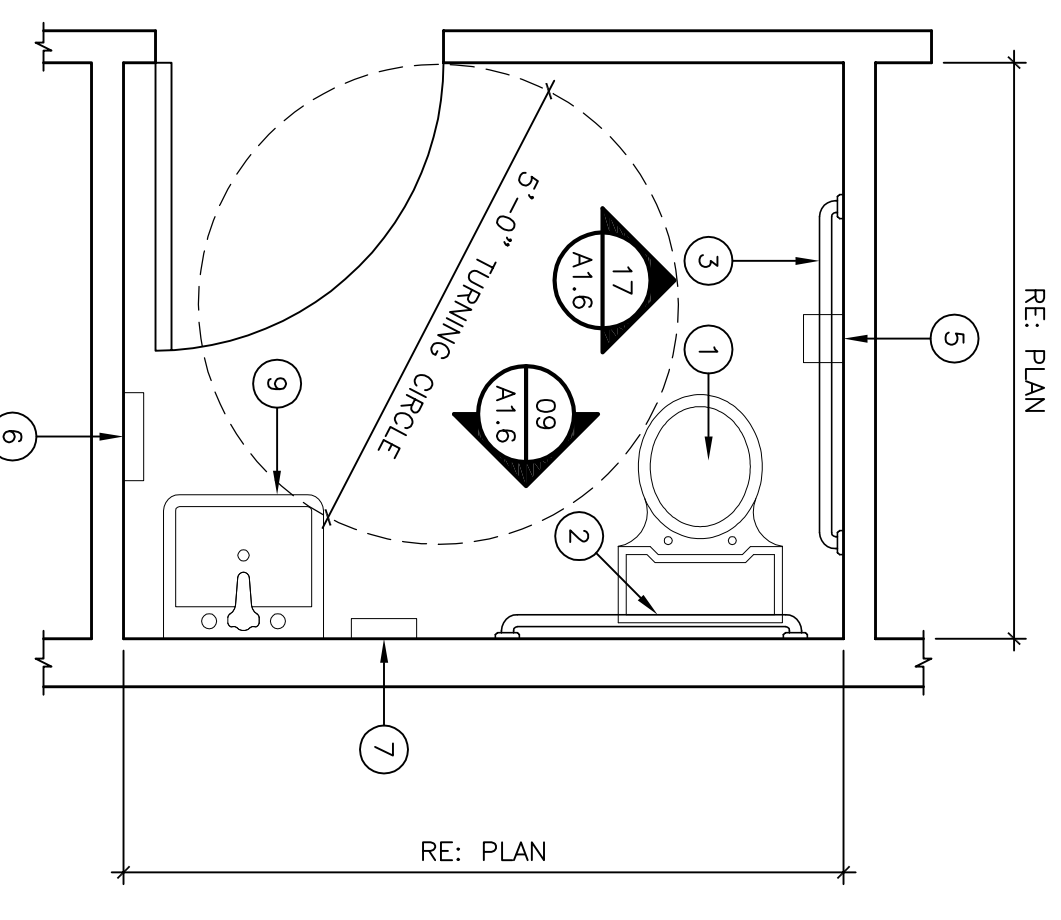


NOTE: OPPOSITE HAND FOR TOILET 117

INTERIOR ELEVATION

1/2"=1'-0"

09



NOTE: OPPOSITE HAND FOR TOILET 117

ENLARGED TOILET PLAN (102 & 117)

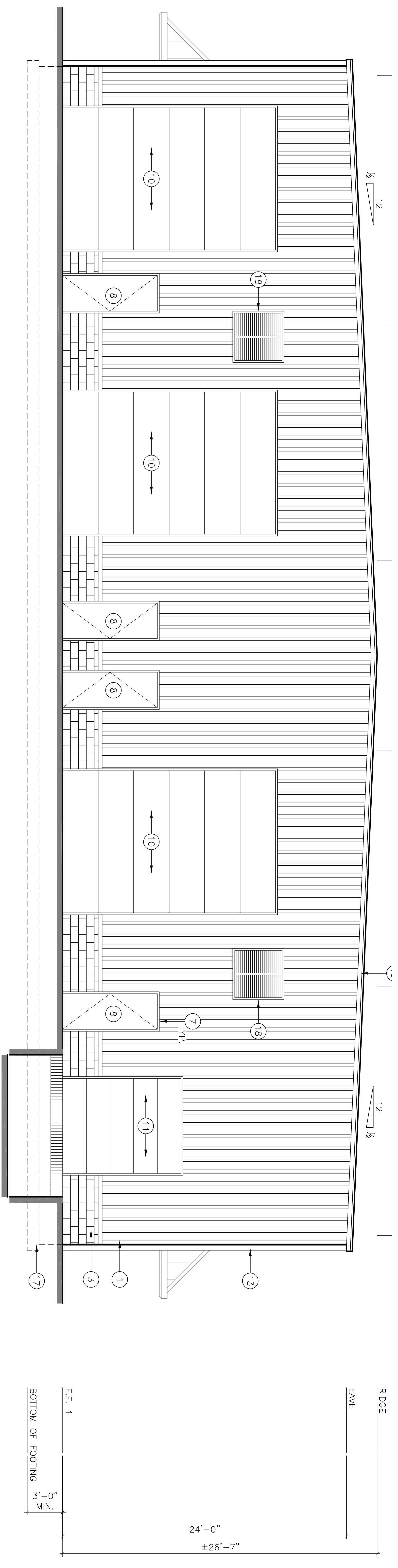
1/2"=1'-0"

05

TOILET ROOM LEGEND

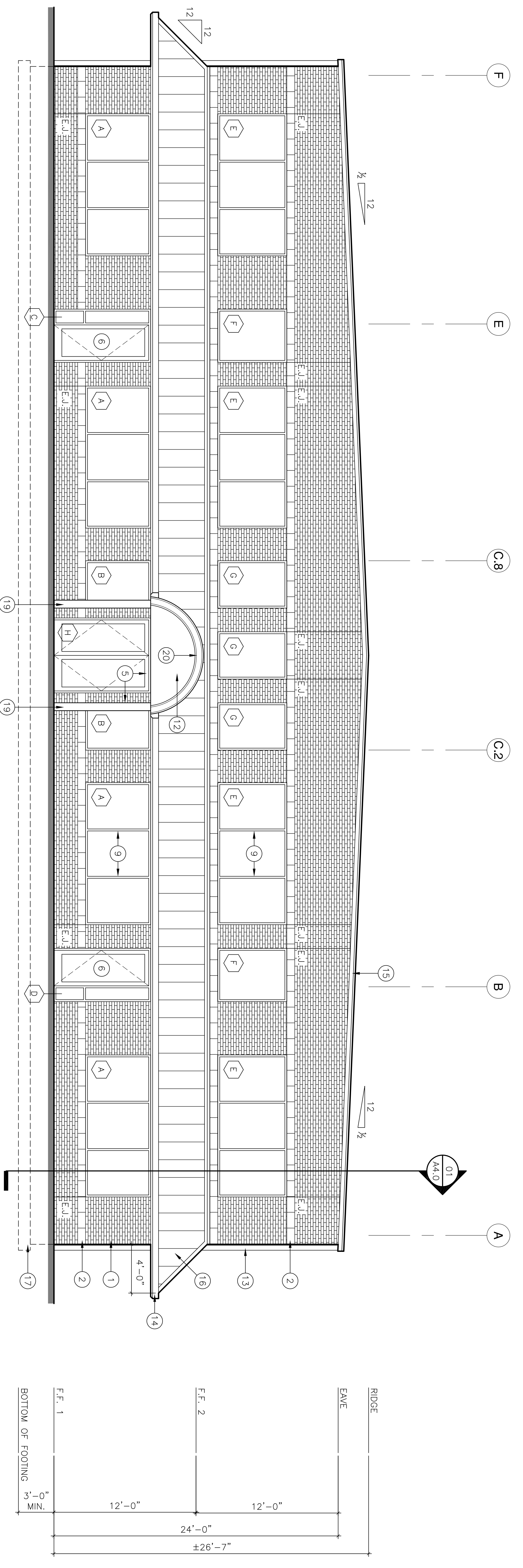
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- ① WALL-MOUNTED LAVATORY AMERICAN STANDARD "LUCERNE" 0355.012, CHROME
- ② TILT MIRROR BOBRICK B-293 1630
- ③ LIQUID SOAP DISPENSER BOBRICK B-4112 "CONTURA"
- ④ PAPER TOWEL DISPENSER BOBRICK B-4262 "CONTURA"
- ⑤ TOILET TISSUE DISPENSER BOBRICK B-4288 "CONTURA"
- ⑥ 18" VERTICAL GRAB BAR, BOBRICK B-6806 x 18"
- ⑦ 42" GRAB BAR, BOBRICK B-6806 x 42"
- ⑧ 36" GRAB BAR, BOBRICK B-6806 x 36"
- ⑨ AMERICAN STANDARD NO. 2002.012 CHAMPION RIGHT HEIGHT ELONGATED FLUSH VALVE LOW-CONSUMPTION SPEED OPERATOR, CHROME TANK/BOWL COMBINING SYSTEM, 3" NON-ADJUSTABLE ELAPSER FREE FLUSH VALVE, SEAT SHALL BE OCSOITE #95 OPEN FRONT SEAT COVER



RIDGE
EAVE
±26'-7"
24'-0"
F.F. 1
BOTTOM OF FOOTING
3'-0"
MIN.

3/16"=1'-0" 03

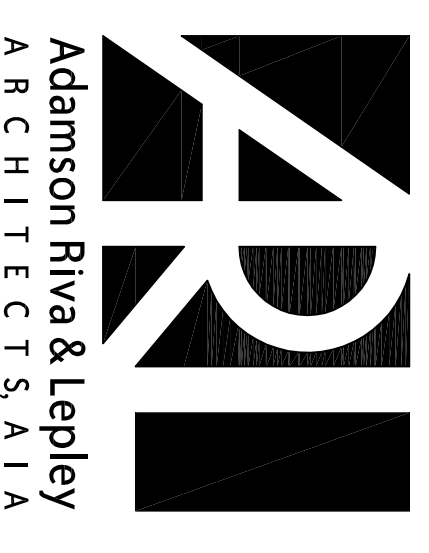


RIDGE
EAVE
±26'-7"
24'-0"
12'-0"
12'-0"
F.F. 2
F.F. 1
BOTTOM OF FOOTING
3'-0"
MIN.

3/16"=1'-0" 02

NOTE: ALL EXTERIOR MATERIALS, INCLUDING MASONRY VENEER, DOOR, WINDOWS, ROOFING, PAINT FINISHES, ETC. TO BE SELECTED BY OWNER.

- (20) DECORATIVE EIFS TRIM
- (19) 10" DIA. STEEL COLUMN, PAINTED
- (18) 4'-0" x 4'-0" PRE-FINISHED ALUMINUM LOUVER
- (17) CONCRETE FOUNDATION SYSTEM, RE: STRUCTURAL
- (10) 12'-0" x 18'-0" INSULATED OVERHEAD DOOR
- (9) SCHEDULED ALUMINUM STOREFRONT WINDOW SYSTEM
- (8) SCHEDULED INSULATED METAL DOOR AND FRAME, PAINT TO MATCH ADJACENT WALL COLOR
- (7) PROVIDE RAIN DRIP ABOVE ALL EXTERIOR HOLLOW METAL DOORS
- (6) SCHEDULED EN. DEPRESSURED ALUMINUM ENTRY PANEL AND FRAME



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 N.J. LIC. NO. A016388
 P.A. LIC. NO. PA190380
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 N.J. LIC. NO. A08182
 N.J. PRD./PLANNER NO. 03169

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 FREEHOLD TOWNSHIP
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PROJECT NO. M12015

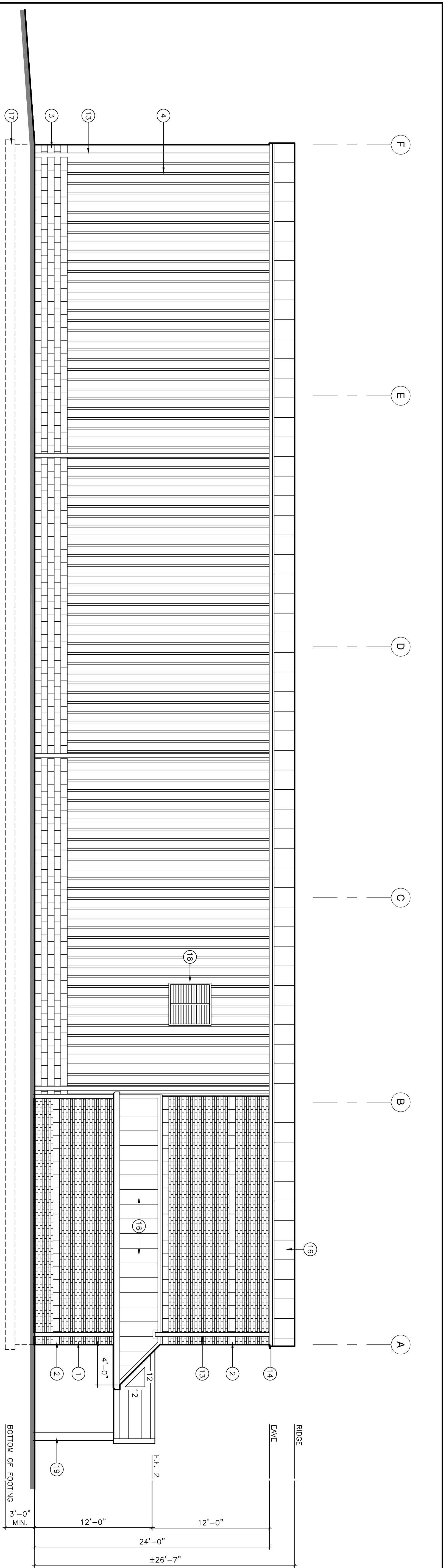
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EXTERIOR
ELEVATIONS

DRAWING:
A2.1

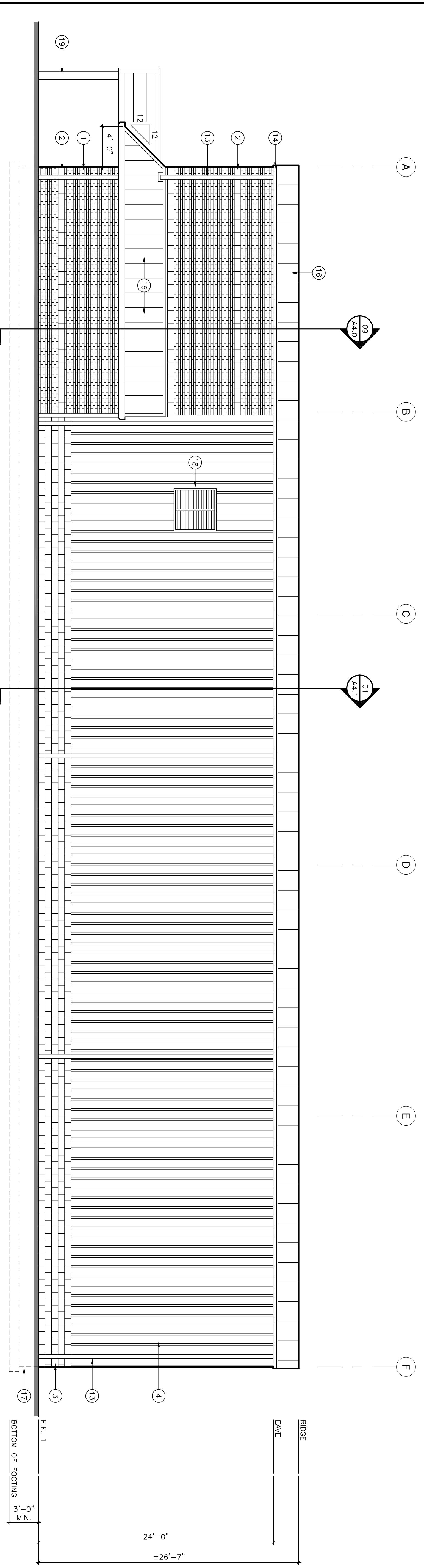
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LEFT SIDE ELEVATION 3/16"=1'-0" **03**

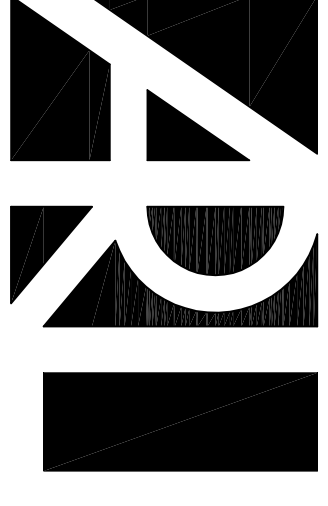


RIGHT SIDE ELEVATION 3/16"=1'-0" **02**

NOTE: ALL EXTERIOR MATERIALS, INCLUDING
 MASONRY VENEER, DOOR, WINDOWS, ROOFING,
 PAINT FINISHES, ETC. TO BE SELECTED BY
 OWNER

- KEYED NOTES**
- 20 DECORATIVE EIFS TRIM
 - 19 10" DIA. STEEL COLUMN, PAINTED
 - 18 4'-0" x 4'-0" PRE-FINISHED ALUMINUM LOUVER
 - 17 CONCRETE FOUNDATION SYSTEM, RE: STRUCTURAL
 - 16 PREFINISHED METAL ROOF SYSTEM BY PRE-ENGINEERED METAL BUILDING MANUFACTURER
 - 15 PREFINISHED METAL FASCIA TRIM
 - 14 PREFINISHED ALUMINUM GUTTER
 - 13 PREFINISHED METAL DOWNSPOUT, ANCHOR TO WALL WITH STRAPS AT EVERY 4'-0" O.C. VERTICALLY; COLOR TO MATCH ADJACENT WALL COLOR
 - 12 EXTERIOR INSULATION AND FINISHING SYSTEM (EIFS)
 - 11 8'-0" x 10'-0" INSULATED OVERHEAD DOOR
 - 10 12'-0" x 18'-0" INSULATED OVERHEAD DOOR
 - 9 SCHEDULED ALUMINUM STOREFRONT WINDOW SYSTEM
 - 8 SCHEDULED INSULATED METAL DOOR AND FRAME, PAINT TO MATCH ADJACENT WALL COLOR
 - 7 PROVIDE RAIN DRIP ABOVE ALL EXTERIOR HOLLOW METAL DOORS
 - 6 SCHEDULED PREFINISHED ALUMINUM ENTRY DOOR AND FRAME SUBROUNDS, RE: STRUCTURAL
 - 5 PREFINISHED ALUMINUM ENTRY CANOPY ON 10" DIA. COLUMN MANUFACTURER
 - 4 PRE-FINISHED METAL SIDING BY PRE-ENGINEERED METAL BUILDING MANUFACTURER
 - 3 GROUND FACE CMU AT BUILDING PERIMETER, TRP. AT 3 SIDES.
 - 2 DECORATIVE 4" CMU COURSE (TO BE SELECTED BY OWNER)
 - 1 ROUGH FACE BRICK VENEER (TO BE SELECTED BY OWNER)

KEYED NOTES 01



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 P.A., LIC. NO. 154093008
SCOTT C. LEPLEY, AIA
 N.J. LIC. NO. A08182
 N.J. P.R.D.: PLANNER NO. 03169

CONSULTANT:

CONSULTANT:

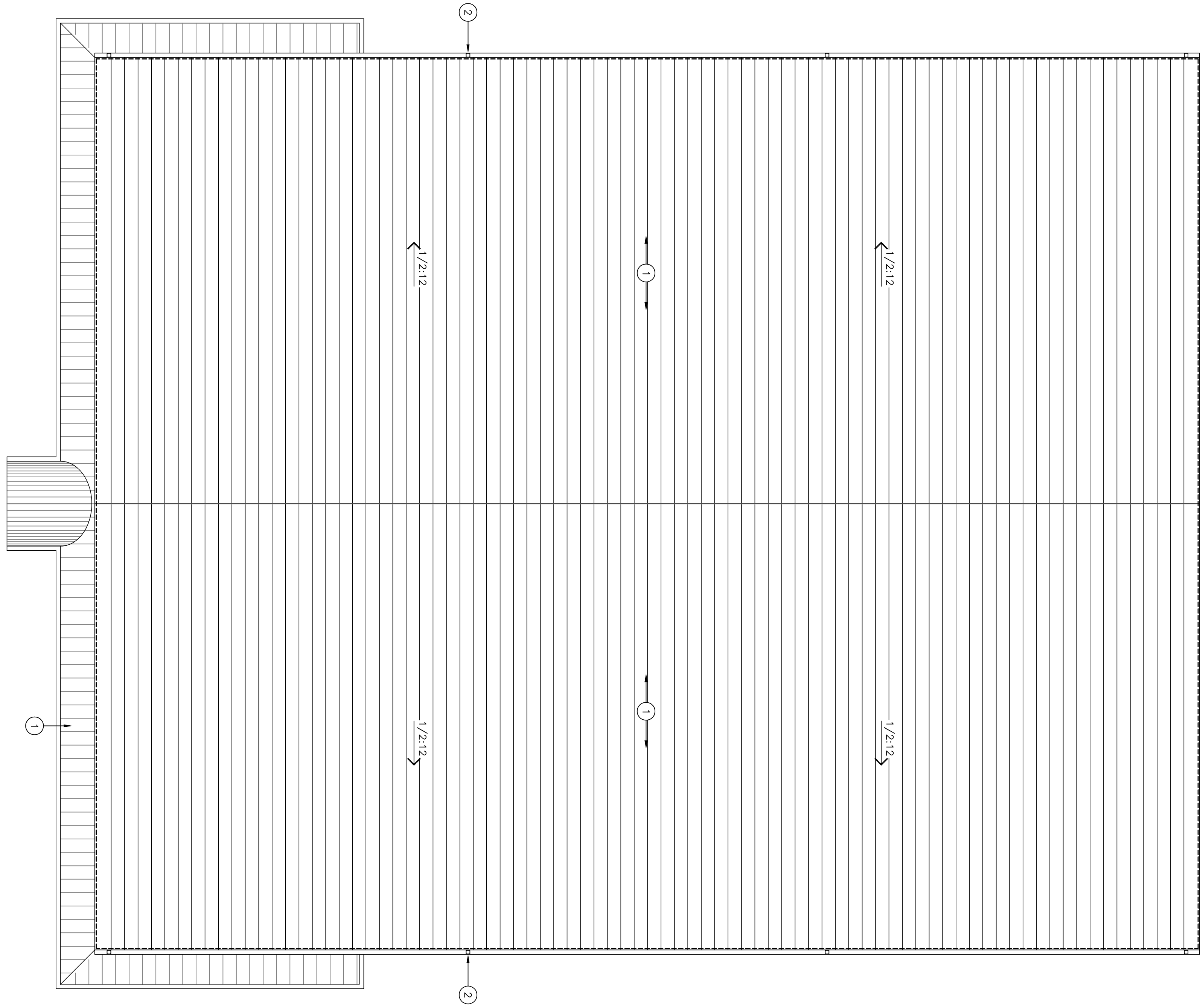
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 FREEHOLD TOWNSHIP
 MONMOUTH COUNTY

TITLE:
ROOF PLAN

DRAWING:
A3.0

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ROOF PLAN

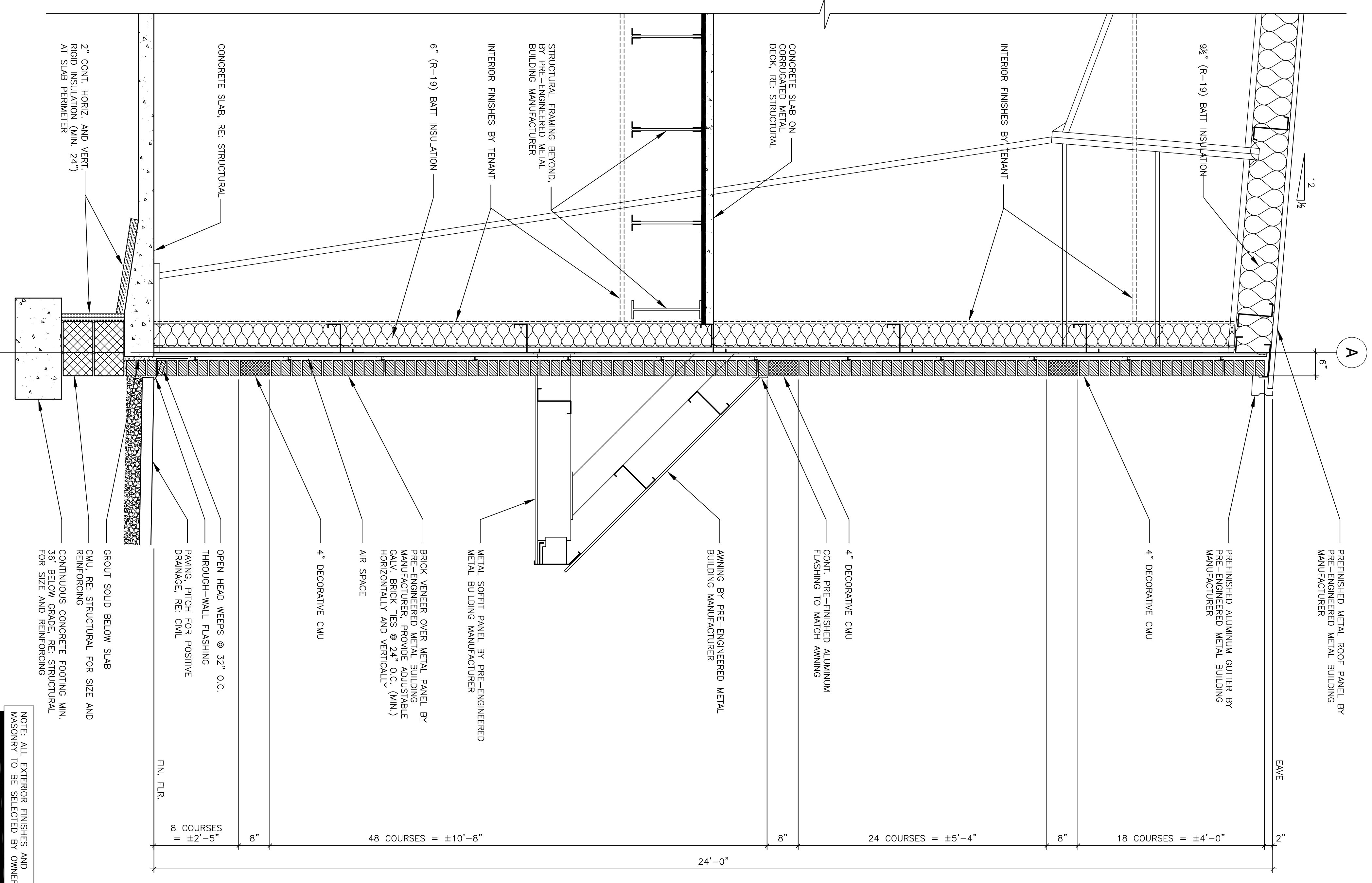
1/8"=1'-0"

08

KEYED NOTES

01

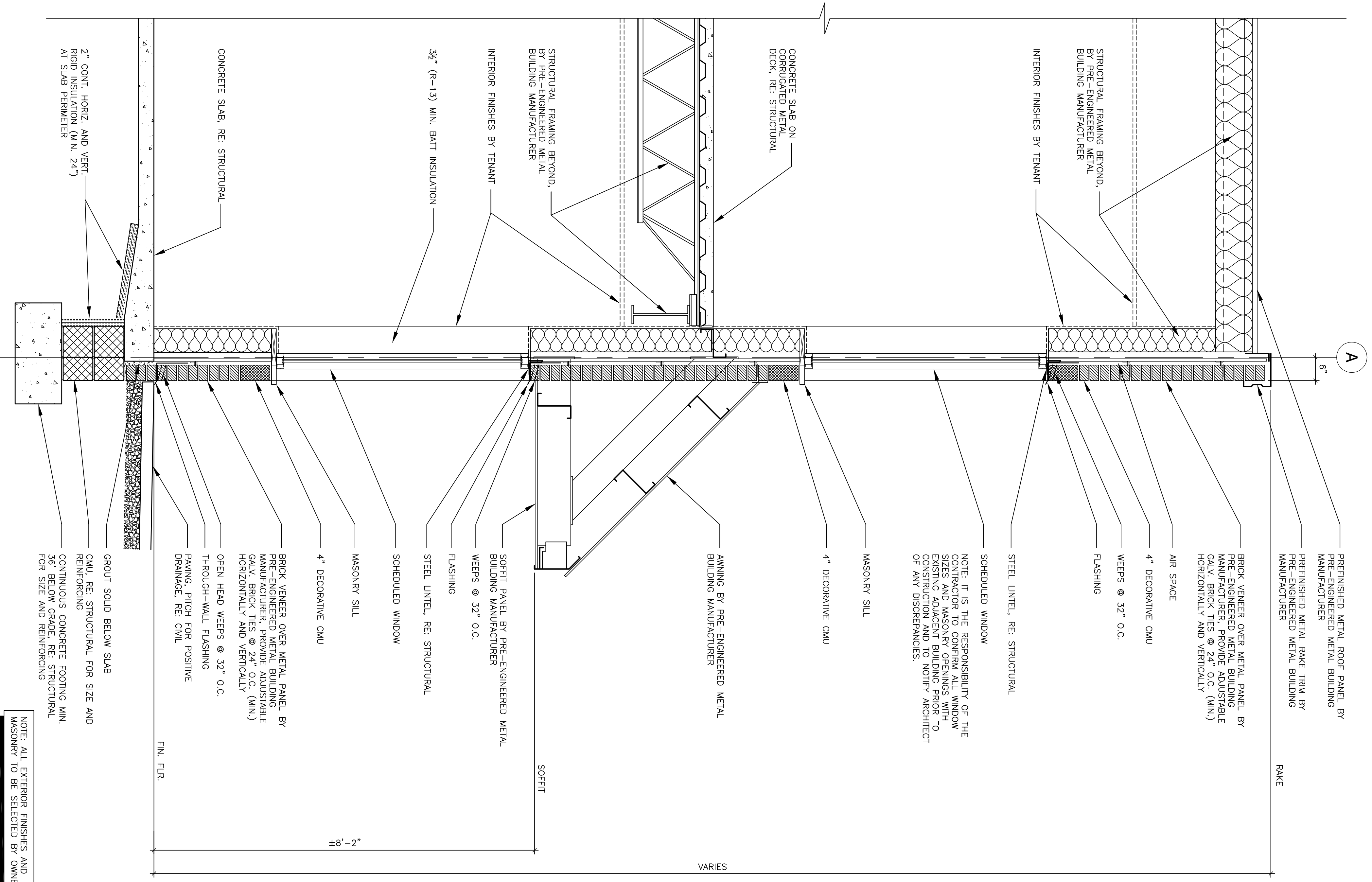
- ② PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT BY PRE-ENGINEERED METAL BUILDING MANUFACTURER
- ① PREFINISHED METAL ROOF SYSTEM BY PRE-ENGINEERED METAL BUILDING MANUFACTURER



TYPICAL WALL SECTION

3/4"=1'-0"

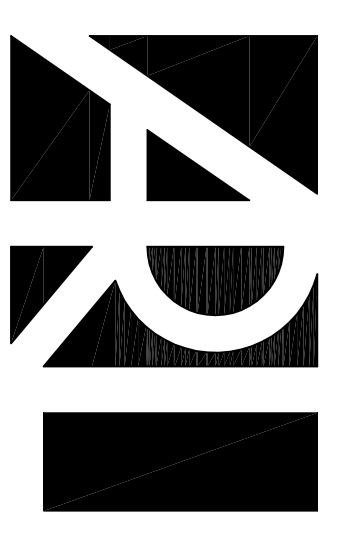
09



TYPICAL WALL SECTION

3/4"=1'-0"

01



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 N.J. PROJ. PLAN. NO. 03169

CONSULTANT:

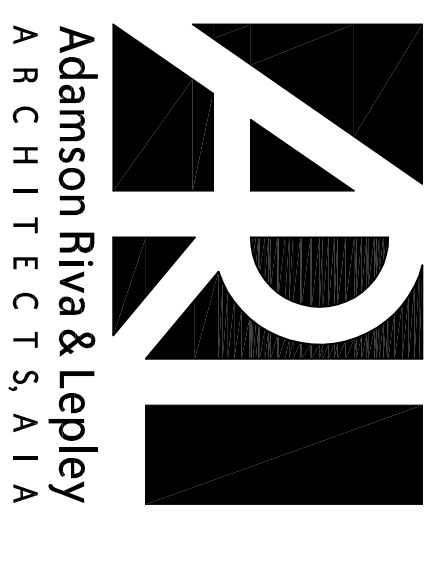
NO.	DATE	DESCRIPTION:
04/24/12	OWNER'S REVIEW	
08/17/12	COORDINATION SET	
04/14/14	ISSUED FOR PERMIT	

PROJECT:
OFFICE/WAREHOUSE
 FOR
PHOENIX SALES
 AND SERVICE CORPORATION
 200 OKERSON ROAD
 FREEHOLD, NEW JERSEY 07728
 FREEHOLD TOWNSHIP
 MONMOUTH COUNTY

TITLE:
TYPICAL
WALL SECTIONS

DRAWING:
A4.0

DWG. BY: KWH CHKD. BY: JFA
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 N.J. PROF. PLANNER NO. 03169

CONSULTANT:

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PHOENIX SALES
 AND SERVICE CORPORATION
 200 OKERSON ROAD
 FREEHOLD, NEW JERSEY 07728
 FREEHOLD TOWNSHIP
 MONMOUTH COUNTY
 PROJECT NO. M12015

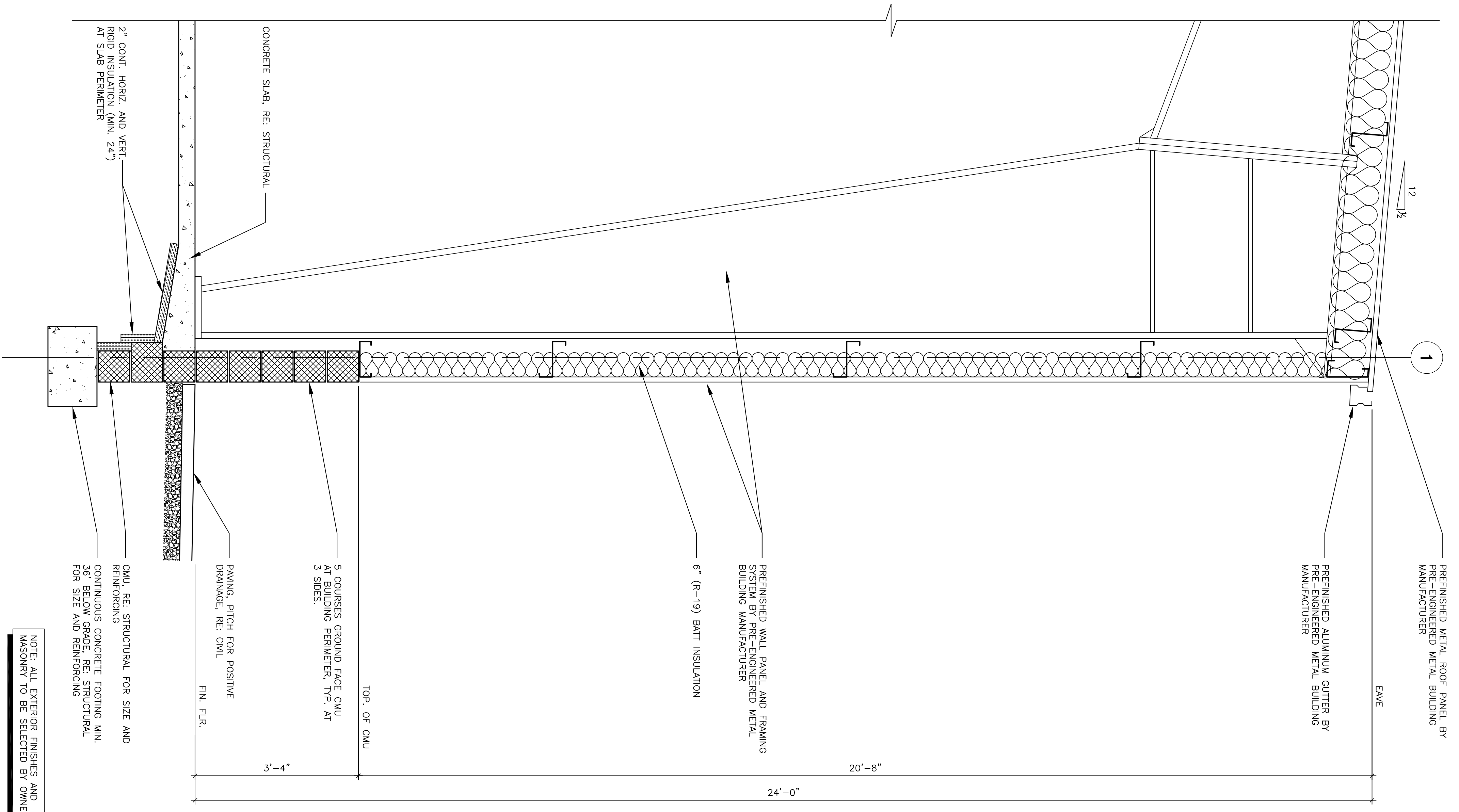
TITLE:
TYPICAL
WALL SECTION

DRAWING:
A4.1

DWG. BY: KWH CKD. BY: JFA

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TYPICAL WALL SECTION

3/4"=1'-0" 01



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 FREEHOLD TOWNSHIP
 MONMOUTH COUNTY
 PROJECT NO. M12015

TITLE:
**FIRST FLOOR
 ROOM FINISH
 PLAN**

DRAWING:
A6.0

DWG. BY: _____
 CHKD. BY: _____

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ROOM FINISH SCHEDULE							
NO.	ROOM	WALL	FLR.	BASE	CEILING		REMARKS
					MAT.	HT.	
100	VESTIBULE	PT	SC	VB	ACT	8'-0"	
101	OFFICE	PT	SC	VB	ACT	9'-0"	
102	TOILET	PT	SC	VB	ACT	8'-0"	WR TO 4' A.F.F. @ LAVATORY AND TOILET
103	UTILITY	PT	SC	VB	ACT	8'-0"	WR TO 4' A.F.F.
104	WAREHOUSE A	PT	SC	VB	GMB	8'-0"	NO CEILING, OPEN TO STRUCTURE
105	LOBBY	PT	SC	VB	ACT	9'-0"	
106	OFFICE	PT	SC	VB	ACT	8'-0"	WR TO 4' A.F.F. @ LAVATORY AND TOILET
107	TOILET	PT	SC	VB	ACT	8'-0"	
108	UTILITY	PT	SC	VB	ACT	8'-0"	WR TO 4' A.F.F.
109	WAREHOUSE B	PT	SC	VB	ACT	8'-0"	NO CEILING, OPEN TO STRUCTURE
110	STAIR	PT	SC	VB	GMB	9'-0"	
111	OFFICE C	PT	SC	VB	ACT	9'-0"	
112	TOILET	PT	SC	VB	ACT	8'-0"	WR TO 4' A.F.F. @ LAVATORY AND TOILET
113	UTILITY	PT	SC	VB	ACT	8'-0"	WR TO 4' A.F.F.
114	WAREHOUSE C	PT	SC	VB	ACT	8'-0"	NO CEILING, OPEN TO STRUCTURE
115	VESTIBULE	PT	SC	VB	ACT	8'-0"	
116	OFFICE D	PT	SC	VB	ACT	9'-0"	
117	TOILET	PT	SC	VB	ACT	8'-0"	WR TO 4' A.F.F. @ LAVATORY AND TOILET
118	UTILITY	PT	SC	VB	ACT	8'-0"	WR TO 4' A.F.F.
119	WAREHOUSE D	PT	SC	VB	ACT	8'-0"	NO CEILING, OPEN TO STRUCTURE

FINISHES

ACT ACOUSTIC CEILING TILE
 PL PLASTIC LAMINATE
 CP CARPET
 CT CERAMIC WALL TILE
 FRP FIBERGLASS REINFORCED PLASTIC
 GMB GYPSUM WALL BOARD
 PT PAINT
 WR WATER RESISTANT GYPSUM WALL BOARD
 SC SEALED CONCRETE FLOOR
 SF SHEET FLOORING (MEDINTCH)
 VB VINYL COLE BASE
 VT VINYL COMPOSITION TILE FLOORING

