

COMPREHENSIVE PERMIT APPLICATION

SOUZA ROAD CONDOMINIUM DEVELOPMENT

LOCATED ON 0 MAIN ROAD / SOUZA ROAD
TIVERTON, RHODE ISLAND 02878

ASSESSOR'S PLAT 119 LOT 124



SHEET INDEX

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1 OF 1 BOUNDARY\TOPOGRAPHIC SURVEY

DiPrete Engineering

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Boston • Providence • Newport

MOLLY R. TITUS
No. *[Signature]*
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

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NO.	DATE	DESCRIPTION	BY:
1	01-12-2023	RESPONSE TO COMMENTS	J.A.R.
2	01-19-2023	RESPONSE TO COMMENTS	J.A.R.
3	08-18-2022	CONTRACTOR COMMENTS	J.A.R.
4	07-28-2022	COMPREHENSIVE PERMIT APPLICATION	J.A.R.
NO.	DATE	DESCRIPTION	BY:
			DESIGN BY: J.A.R.

COVER SHEET
SOUZA ROAD CONDOMINIUM DEVELOPMENT

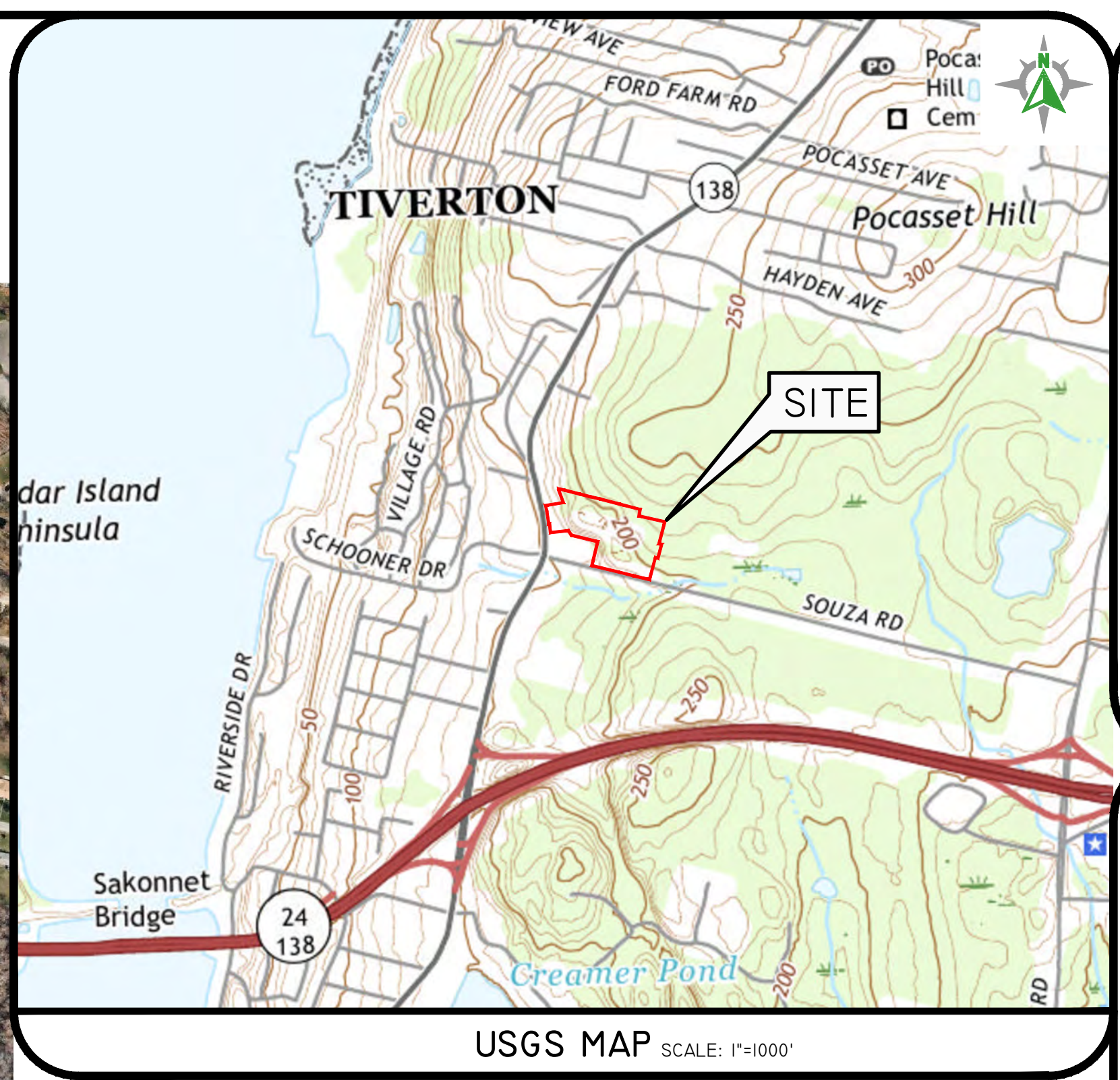
ASSESSOR'S PLAT 119 LOT 124
TIVERTON, RHODE ISLAND 02878

PREPARED FOR:
OXFORD DEVELOPMENT GROUP, INC.
85 DOUGLAS PINE
SMITHFIELD, RHODE ISLAND 02917

Z:\DEPARTMENT\PROJECTS\1694-001 SOUZA AND MAIN ROAD\AUTOCAD DRAWINGS\1694-001-HSTR.dwg PLOT DATE: 11/02/2023

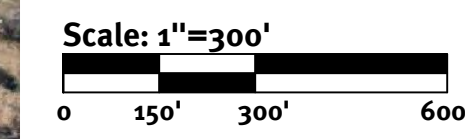
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Z:\DEVELOPMENT\PROJECTS\1694-001 SOUZA AND MAIN ROAD\AUTOCAD DRAWINGS\1694-001-HSTR.dwg PLOT: 1/10/2023



USGS MAP SCALE: 1"=1000'

PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 03/14/2020.



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1	01-10-2023	RESPONSE TO COMMENTS	J.A.R.
2	01-10-2023	RESPONSE TO COMMENTS	J.A.R.
3	03-12-2023	FINAL PLANNER COMMENTS	J.A.R.
4	07-25-2023	CONSENSIVE PERMIT APPLICATION	J.A.R.
5	07-25-2023	CONSENSIVE PERMIT APPLICATION	J.A.R.
6	07-25-2023	CONSENSIVE PERMIT APPLICATION	J.A.R.
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AERIAL HALF-MILE RADIUS & USGS MAP
SOUZA ROAD CONDOMINIUM DEVELOPMENT
ASSessor's PLAT 119 LOT 124
TIVERTON, RHODE ISLAND 02878
PREPARED FOR:
OXFORD DEVELOPMENT GROUP, INC.
85 DOUGLAS PIKE
SMITHFIELD, RHODE ISLAND 02917

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SHEET **2** OF 8

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME	DESCRIPTION
CHD	CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, IS TO 25 PERCENT SLOPES
NeB*	NEWPORT SILT LOAM, 3 TO 8 PERCENT SLOPES
Se	STISSING SILT LOAM
UD	UDORTHTENTS-URBAN LAND COMPLEX

NOTE: *PRIME FARMLAND

SITE SUITABILITY NOTES:

AREAS OF SEVERE ENVIRONMENTAL CONSTRAINT:

THERE ARE NO FLOODWAYS OR FLOODPLAINS ON THE SITE.

AREAS OF SIGNIFICANT RESOURCES

THERE ARE NO RIVER OR STREAM CORRIDORS ONSITE.

THERE ARE NO NOTABLE OR SIGNIFICANT TREES ONSITE.

THERE IS NO AGRICULTURAL LAND ONSITE.

THERE ARE NO GROUNDWATER RESOURCE OR RECHARGE AREAS ONSITE.

THERE ARE NO SIGNIFICANT WILDLIFE HABITATS ONSITE.

THERE ARE NO SIGNIFICANT SCENIC VIEWSHEDS ONSITE.

THERE ARE NO SIGNIFICANT HISTORIC SITES OR BUILDINGS ONSITE.

THERE ARE NO GREENWAYS OR TRAILS ONSITE.

EXISTING PROTECTED AREAS

THERE IS NO PUBLICLY OWNED LAND OR LAND OWNED BY CONSERVATION ORGANIZATIONS CONTAINED WITHIN THE PROPOSED DEVELOPMENT.

THERE IS NO LAND UNDER CONSERVATION EASEMENTS OR DEVELOPMENT RESTRICTIONS WITHIN THE PROPOSED DEVELOPMENT.

GENERAL NOTES:

- THE SITE IS LOCATED ON THE TOWN OF TIVERTON ASSESSOR'S PLAT 119 LOT 124.
- THE SITE IS APPROXIMATELY 8.8± ACRES AND IS ZONED GC.
- THE OWNER OF AP 119 LOT 124 IS: TRILOGY TIVERTON LLC, 146 WESTMINSTER ST 2ND FL PROVIDENCE, RI 02903
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44065C0039J, MAP REVISED SEPTEMBER 4, 2015. (FLOOD PLAIN DESCRIPTIONS SHOWN ABOVE)
- TOPOGRAPHY WAS OBTAINED FROM LIDAR MAPS. ELEVATIONS ARE APPROXIMATE AND REFERENCED TO THE NAVD '88 US FEET DATUM. PRIOR TO ANY DEVELOPMENT ON THE SITE, THE OWNER SHALL VERIFY ELEVATIONS USING FIELD SURVEY.
- SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THE SITE IS NOT WITHIN A:
 - GROUNDWATER PROTECTION AREA (RIDEM)
 - NATURAL HERITAGE AREAS (RIDEM)
 - WATERSHED PROTECTION OVERLAY DISTRICT (TOWN)
 - AQUIDNECK ISLAND SAMP (CRMC)
 - GREENWICH BAY SAMP (CRMC)
 - METRO BAY SAMP (CRMC)
 - NARROW RIVER SAMP (CRMC)
 - PAWCATUCK RIVER SAMP (CRMC)
 - SALT PONDS SAMP (CRMC)

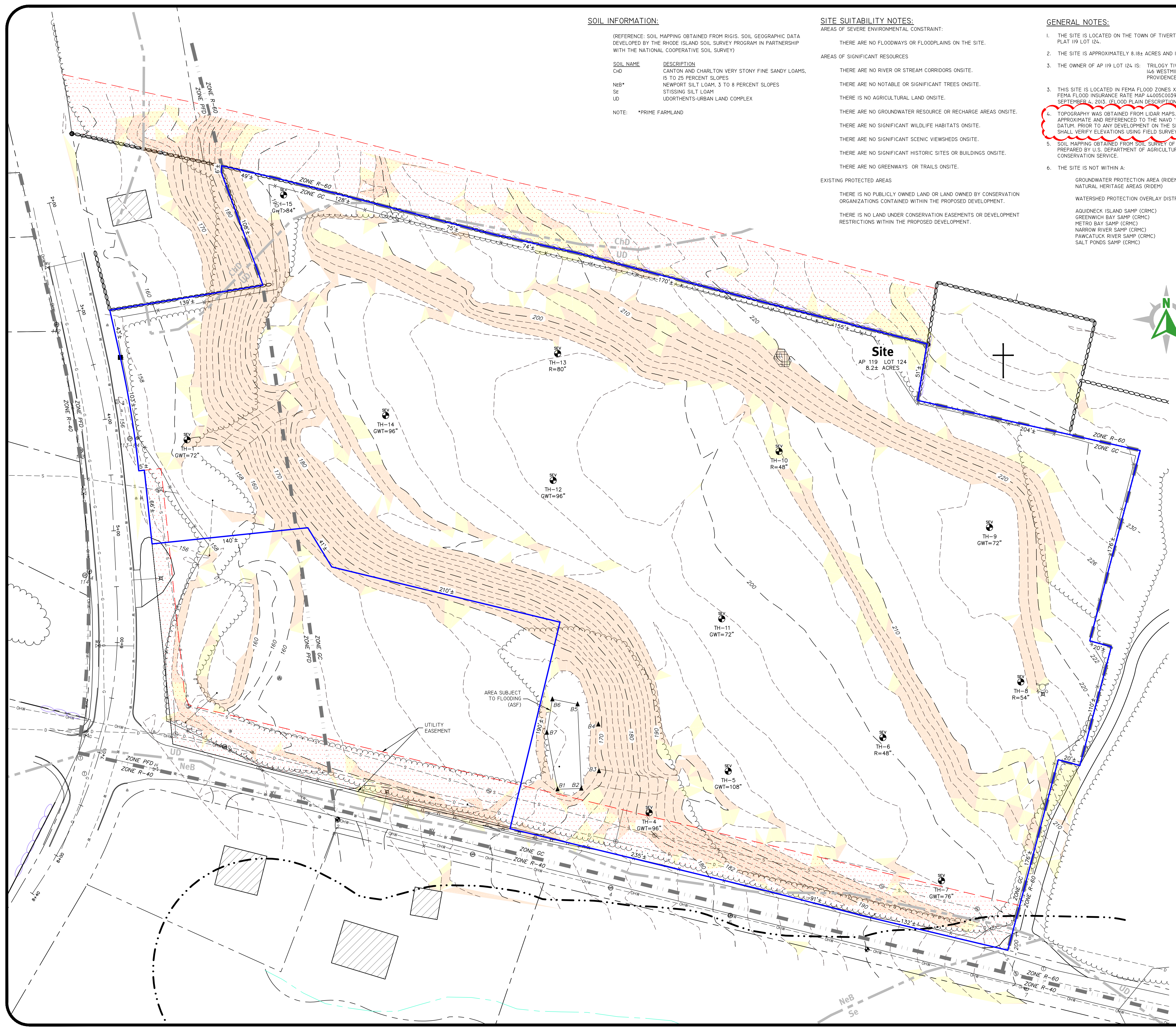
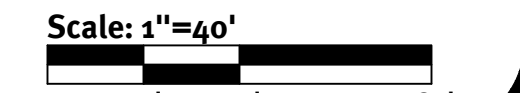
EXISTING LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE
	ASSESSORS LINE
	SETBACK LINE
	ZONING LINE
	BUILDING
	BRUSHLINE
	TREELINE
	GUARDRAIL
	FENCE
	RETAINING WALL
	STONE WALL
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	SOILS LINES
	25' PERIMETER WETLAND
	100' RIVERBANK WETLAND
	200' RIVERBANK WETLAND
	FEMA BOUNDARY
	STREAM
	WETLAND LINE & FLAG
	WETLAND AREA
	GROUNDWATER OVERLAY
	GROUNDWATER RECHARGE AREA
	GROUNDWATER RESERVOIR
	NATURAL HERITAGE
	COMMUNITY WELLHEAD PROTECTION
	NON-COMMUNITY WELLHEAD PROTECTION
	EASEMENT
	EXISTING 15% - 20% SLOPES
	EXISTING >20% SLOPES
	OVERHEAD WIRES
	UNDERGROUND ELECTRIC
	GAS LINE
	WATER LINE
	SEWER LINE
	SEWER FORCE MAIN
	COMBINED SEWER LINE
	DRAIN LINE
	SEWER VALVE
	WATER VALVE
	GAS VALVE
	HYDRANT
	WATER SHUT OFF
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	SEWER MANHOLE
	DRAINAGE MANHOLE
	CATCH BASIN
	DOUBLE CATCH BASIN
	FLARED END
	EXISTING WELL
	LIGHT POLE
	UTILITY POLE
	SOIL EVALUATION
	TEST PIT
	SIGN
	NAIL FOUND/SET
	DRILL HOLE FOUND/SET
	IRON ROD/PIPE FOUND/SET
	BOUND FOUND/SET
	BOLLARD
	GUY POLE
	SEWER CLEANOUT
	IRRIGATION VALVE
	MONITORING WELL
	UNKNOWN MANHOLE
	BENCH MARK
	BOULDER OR LEDGE OUTCROP

Certification Note:

THE EXISTING DATA COMPILED ON THIS EXISTING ANALYSIS PLAN IS FROM EXISTING MAPS AND RECORDED DATA. DUE TO METHODS OF COMPILATION AND ACCURACY OF SOME MAPS USED TO COMPILE THIS PLAN, THERE MAY BE SOME DEVIATIONS FROM SAID MAPS AND/OR DATA AND THIS PLAN, THERE ARE MANY FACTORS WHICH LEAD TO THIS, INCLUDING THE ACCURACY OF SAID MAPS AND DATA, AND KNOWN SITE FEATURES SUCH AS STONE WALLS, ROADWAYS, AND BUILDINGS. THESE DEVIATIONS ARE COMMON WHEN COMPILED MAPS AND DATA FROM VARIOUS SOURCES AND CANNOT BE AVOIDED WITHOUT AN ACTUAL FIELD SURVEY AND DEED RESEARCH. THIS PLAN IS TO BE UTILIZED FOR DISCUSSION PURPOSES ONLY. THIS PLAN IS NOT TO BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY AND MAY BE SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.



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EXISTING ANALYSIS PLAN
SOUZA ROAD CONDOMINIUM DEVELOPMENT
 ASSESSOR'S PLAT 119 LOT 124
 TIVERTON, RHODE ISLAND 02878
 PREPARED FOR:
OXFORD DEVELOPMENT GROUP, INC.
 85 DOUGLAS PIKE
 SMITHFIELD, RHODE ISLAND 02877
 DESIGN BY: J.A.R.

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	PFZ - PEDESTRIAN FRIENDLY DISTRICT
MINIMUM LOT AREA:	REQUIRED 28,892 SF PROVIDED 28,892 SF (WITHIN PFZ ZONE)
MINIMUM MAIN ROAD FRONTAGE:	REQUIRED 100' PROVIDED 212'
MINIMUM FRONT YARD:	REQUIRED 10' PROVIDED 17.3'
MINIMUM SIDE YARD:	REQUIRED 10' PROVIDED 39.1'
MINIMUM REAR YARD:	REQUIRED 20' PROVIDED 75.1'
MAXIMUM STRUCTURE HEIGHT:	REQUIRED 35' PROVIDED 24'
MAXIMUM LOT COVERAGE:	REQUIRED 70% PROVIDED 8.3% (WITHIN PFZ ZONE)

BUILDING TABLE				
BUILDING #	OVERALL DIMENSIONS	NUMBER OF MARKET RATE UNITS	NUMBER OF LMI AFFORDABLE UNITS	LIVE/WORK UNITS
1	80' x 40'	7	2	-
2	80' x 40'	7	2	-
3	80' x 40'	7	2	-
4	80' x 40'	7	2	-
5	66' x 34'	1	1	1
6	66' x 34'	1	1	1
7	88' x 34'	2	1	1
8	100' x 50'	N/A - RESTAURANT		
9	60' x 40'	N/A - COMMERCIAL		

GENERAL NOTES:

- THE SITE IS PROPOSED TO BE BUILT IN MULTIPLE PHASES AND CONSTRUCTION PHASES ARE ESTIMATED TO BEGIN IN SPRING 2023 WITH COMPLETION IN SUMMER 2026.
- DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- PROPOSED DRIVES TO HAVE 20' WIDE BITUMINOUS PAVEMENT.
- PARKING SPACES TO BE 9' WIDE X 18' LONG WITH CONCRETE CURB STOPS (TYPICAL).
- A WAIVER FOR RESIDENTIAL UNIT DENSITY IS REQUESTED UNDER THE COMPREHENSIVE PERMIT APPLICATION.

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	GC (R-60 MULTI-FAMILY DEVELOP *
REQUIRED	PROVIDED
60,000 SF	356,320 SF
MINIMUM LOT AREA:	175'
MINIMUM MAIN ROAD FRONTAGE:	40'
MINIMUM FRONT YARD:	30'
MINIMUM SIDE YARD:	30'
MINIMUM REAR YARD:	60'
MINIMUM STRUCTURE HEIGHT:	35'
MAXIMUM LOT COVERAGE:	20%
	8.8% (BLDGS ONLY)

TOTAL STEEP SLOPE AREA: 2.10 AC

DENSITY CALCULATION:
8.18 AC - 0.045 AC (WETLAND) - 0.444 AC (EASEMENT) = 7.691 AC (335,020 SF)

TOTAL DEVELOPEABLE AREA = 335,020 SF
@ 1 UNIT PER 60,000 SF = 5.58 + 5 UNITS

TOTAL LMI UNITS = 25% OF RESIDENTIAL UNITS + 5 UNITS @ .25 = 1 UNIT

TOTAL ALLOWED UNITS = 6 UNITS

* - FOR RESIDENCES IN A GC, W OR I DISTRICT, THE DIMENSIONAL REGULATIONS OF THE NEAREST RESIDENTIAL DISTRICT SHALL APPLY

** - PLUS 10,000 SF FOR EACH UNIT ABOVE 2 UNITS, PLUS 5,000 SF FOR EACH ADDITIONAL BEDROOM OVER 2 BEDROOMS PER UNIT. (PER TIVERTON ZONING REGULATIONS, ARTICLE V, SECTION I - DIMENSIONAL REGULATIONS TABLE)

DEVELOPMENT DATA:

TOTAL SITE AREA:	8.18 ACRES
TOTAL NUMBER OF BUILDINGS:	9
TOTAL NUMBER OF UNITS:	46 (34 MARKET, 12 LMI AFFORDABLE) + COMMERCIAL + RESTAURANT
TOTAL LENGTH OF PRIVATE DRIVES:	1,955'
PAVEMENT WIDTH:	20'
TOTAL PAVEMENT AREA:	76,501 SF (1.762 ACRES)
TOTAL LENGTH OF SIDEWALKS:	2,903'
SIDEWALK WIDTH:	5'
TOTAL SIDEWALK AREA:	14,647 SF (0.332 ACRES)
TOTAL PATIO AREA:	15,762 SF (0.362 ACRES)
TOTAL BUILDING COVERAGE:	31,643 SF (0.732 ACRES)
TOTAL IMPERVIOUS AREA:	138,553 SF (3.182 ACRES)

PARKING REGULATIONS:

PARKING USE:	COMMERCIAL (MAIN ROAD)
PARKING REQUIREMENT:	1 SPACE PER 300 SF OF NET LEASABLE FLOOR AREA
ADA PARKING REQUIRED:	1 SPACE
BUILDING SQUARE FOOTAGE:	2,400 SF
REQUIRED PARKING CALCULATIONS:	2,400 / 300 = 8 SPACES
ADA PARKING PROVIDED WITHIN TOTAL:	1 SPACE
PARKING SPACES PROVIDED:	10 SPACES
PARKING USE:	RESIDENTIAL
NUMBER OF UNITS:	46
REQUIRED PARKING CALCULATIONS PER UNIT:	
MIXED-USE COMMERCIAL - 4/1k:	32 SPACES
MIXED-USE RESIDENTIAL - 1.5/du:	54 SPACES
L/W COMMERCIAL - 4/1k:	8 SPACES
L/W & TOWNHOUSE - 2/du:	20 SPACES
VISITOR PARKING PROVIDED:	18 SPACES
ADA PARKING PROVIDED WITHIN TOTAL:	2 SPACES
PARKING SPACES PROVIDED:	132 SPACES
PARKING USE:	RESTAURANT
PARKING REQUIREMENT:	1 SPACE FOR EVERY 4 SEATS
ADA PARKING REQUIRED:	2 SPACES
NUMBER OF SEATS:	120 SEATS
REQUIRED PARKING CALCULATIONS:	120 / 4 = 30 SPACES
ADA PARKING PROVIDED WITHIN TOTAL:	2 SPACES
PARKING SPACES PROVIDED:	30 SPACES
TOTAL PARKING SPACES REQUIRED:	154 SPACES
TOTAL ADA PARKING PROVIDED WITHIN TOTAL:	5 SPACES
TOTAL OUTDOOR PARKING SPACES PROVIDED:	172 SPACES
TOTAL GARAGE PARKING SPACES PROVIDED:	12 SPACES

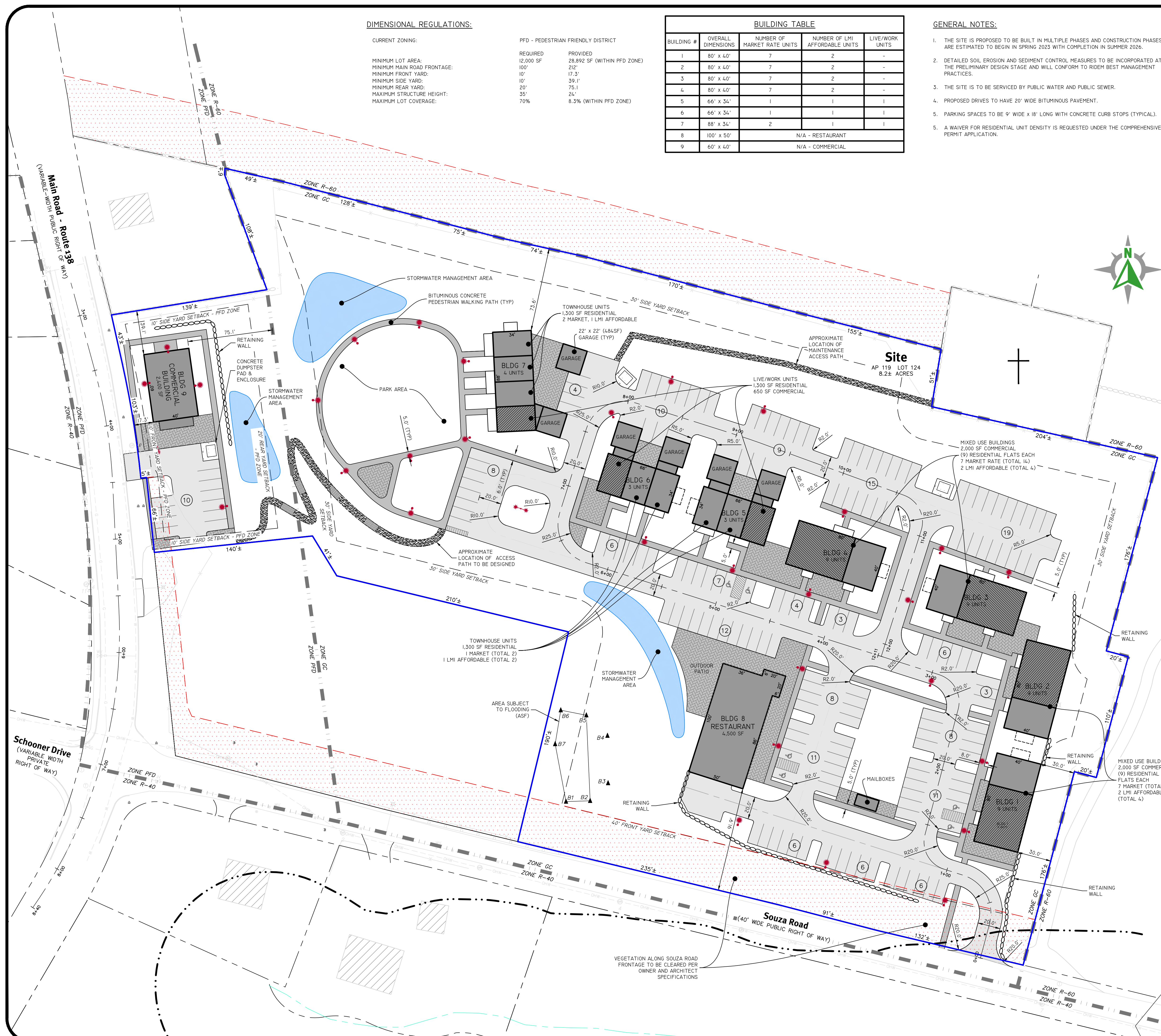
PROPOSED LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

[Symbol]	PROPERTY LINE
[Symbol]	BUILDING SETBACKS
[Symbol]	BUILDING FOOTPRINT
[Symbol]	BUILDING OVERHANG
[Symbol]	ASPHALT PAVEMENT
[Symbol]	SIDEWALK AREAS
[Symbol]	PATIO AREAS
[Symbol]	PARKING COUNT
[Symbol]	CONCEPTUAL STORMWATER POND
[Symbol]	PR FOOT CONTOUR
[Symbol]	CONCRETE (PAD, SIDEWALK)
[Symbol]	POND/RAIN GARDEN OUTLINE
[Symbol]	GAS LINE
[Symbol]	WATER LINE
[Symbol]	SEWER LINE
[Symbol]	OVERHEAD WIRES
[Symbol]	PAVEMENT STRIPING (4" WHITE STRIPING 2" ON CENTER @ 45')
[Symbol]	ACCESSIBLE PARKING SPACE SYMBOL
[Symbol]	MANHOLE
[Symbol]	CATCH BASIN
[Symbol]	DRAIN LINE
[Symbol]	DOUBLE LIGHT
[Symbol]	OVERHANGING LIGHT

Scale: 1"=40'

0 20' 40' 80'



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
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MOLLY R. TITUS
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ONLY DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY OTHER PARTS OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER PARTS OF THE PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY OTHER PARTS OF THE PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY OTHER PARTS OF THE PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

NO.	DATE	DESCRIPTION	BY:	DESIGN BY: C.A.D.
1	01/10/2023	ISSUE FOR PERMITS	J.A.R.	
2	01/10/2023	RESPONSE TO COMMENTS	J.A.R.	
3	03/16/2023	CONTRACT COMMENTS	J.A.R.	
4	07/26/2023	CONTRACT COMMENTS	J.A.R.	
5	07/26/2023	CONTRACT COMMENTS	J.A.R.	

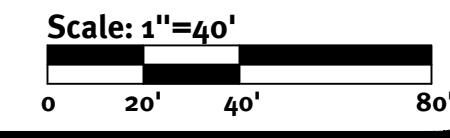
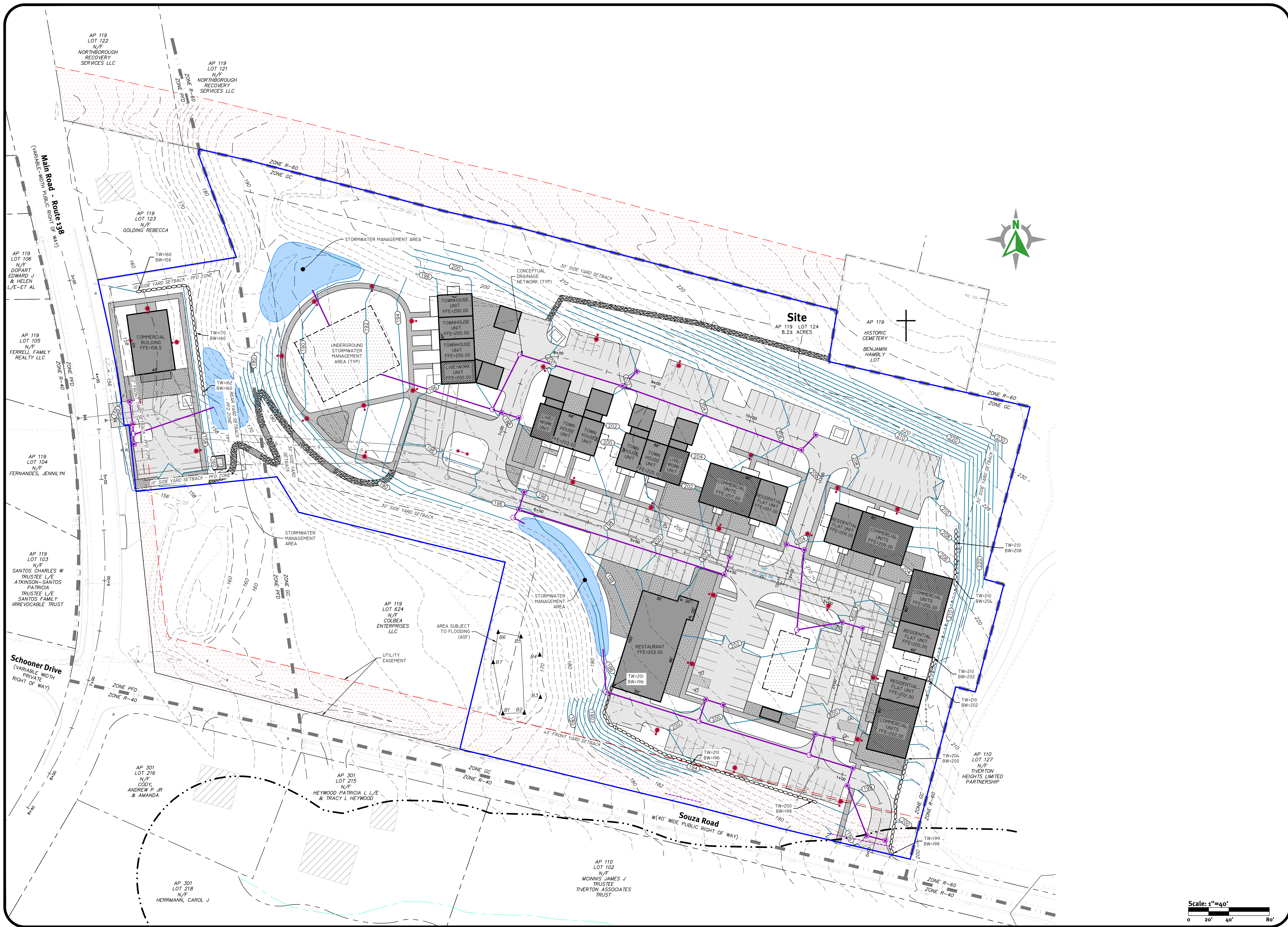
SITE PLAN
SOUZA ROAD CONDOMINIUM DEVELOPMENT
ASSESSOR'S PLAT 119 LOT 124,
TIVERTON, RHODE ISLAND 02878

PREPARED FOR:
OXFORD DEVELOPMENT GROUP, INC.
85 DOUGLAS PIKE
SMITHFIELD, RHODE ISLAND 02877

DE JOB NO: 2894-20 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **4** OF 8

Z:\CLIENT\PROJECTS\2023\06\SOUZA AND MAIN ROAD\AUTOCAD DRAWINGS\2023\06\SOUZA-HSTR-DWG-PLT.DWG PLT.DWG 1/10/2023



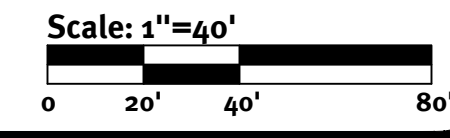
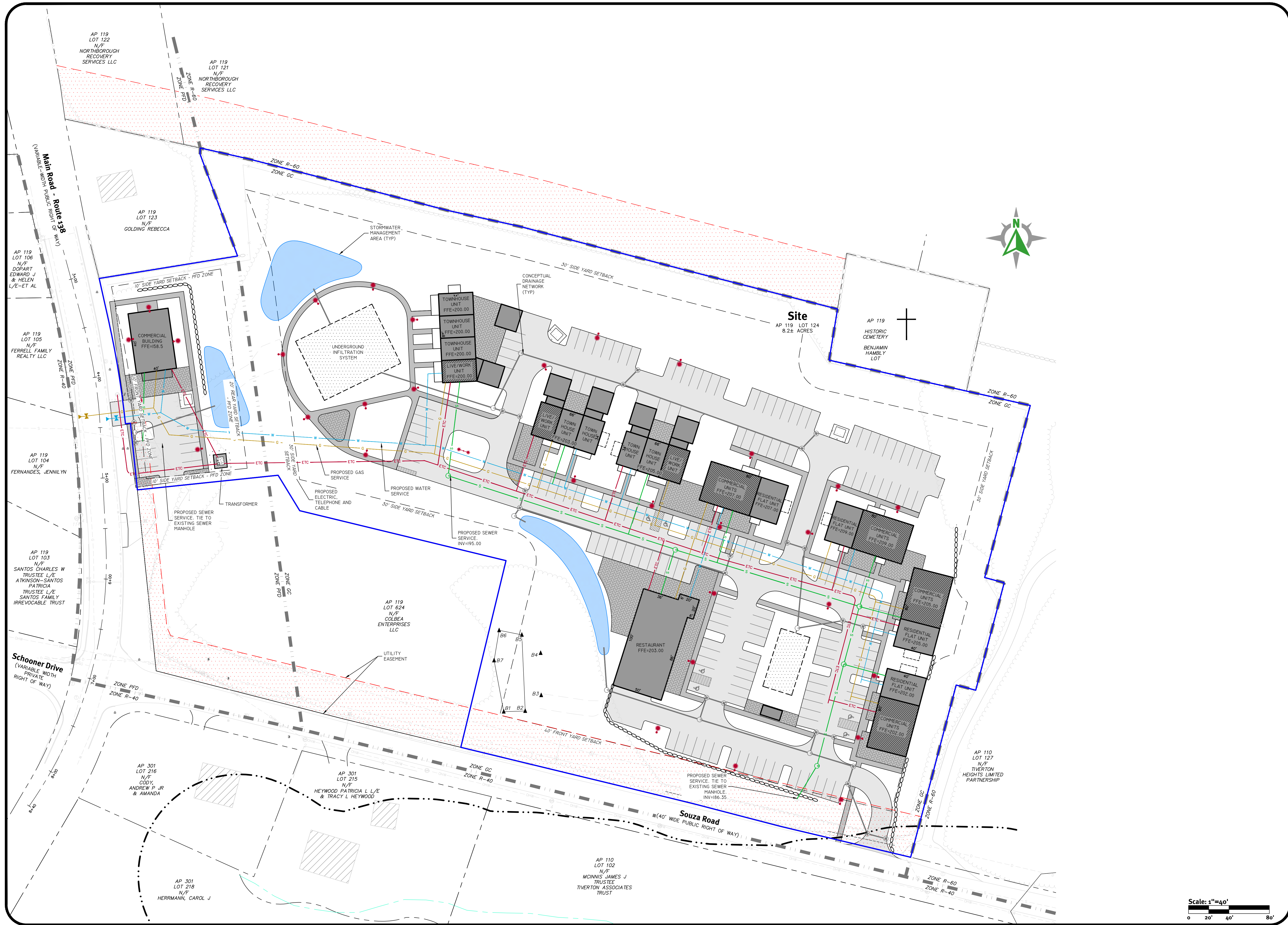
MOLLY R. TITUS
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 THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITIES AND SHALL CONFORM TO THE REQUIREMENTS OF THE RI DEPARTMENT OF TRANSPORTATION AND INFRASTRUCTURE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	01/12/2023	PREPARED FOR	J.A.R.	J.A.R.
2	01/12/2023	RESPONSE TO COMMENTS	J.A.R.	J.A.R.
3	03/12/2023	FINAL PLAN COMMENTS	J.A.R.	J.A.R.
4	07/25/2023	CONCEPTIVE PERMIT APPLICATION	J.A.R.	J.A.R.

Z:\CLIENT\PROJECTS\1695-001 SOUZA AND MAIN ROAD\AUTOCAD DRAWINGS\1695-001-HSTR-DWG-PLT.DWG PLT.DWG 1/10/2023

Z:\CLIENT\PROJECTS\1695-001\SOUZA AND MAIN ROAD\AUTOCAD DRAWINGS\1695-001-HSTR-DWG-PLUTED-1/10/2023



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NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	01/10/2023	RESPONSE TO COMMENTS	J.A.R.	J.A.R.
2	01/16/2023	RESPONSE TO COMMENTS	J.A.R.	J.A.R.
3	03/12/2023	FINAL PLANS COMMENTS	J.A.R.	J.A.R.
4	07/25/2023	CONCEPTIVE PERMIT APPLICATION	J.A.R.	J.A.R.

UTILITIES PLAN
SOUZA ROAD CONDOMINIUM DEVELOPMENT
ASSESSOR'S PLAT 119 LOT 124
TIVERTON, RHODE ISLAND 02878

PREPARED FOR:
OXFORD DEVELOPMENT GROUP, INC.
85 DOUGLAS PIKE
SMITHFIELD, RHODE ISLAND 02917

DE JOB NO: 1695-001 COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

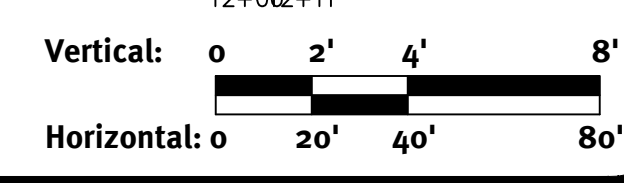
Z:\CLIENT\PROJECTS\1695-001 SOUZA AND MAIN ROAD\AUTOCAD DRAWINGS\1695-001-HSTR.dwg PLOTED: 1/10/2023



SEE ABOVE

SEE BELOW

Sta. 0+00 To 12+11



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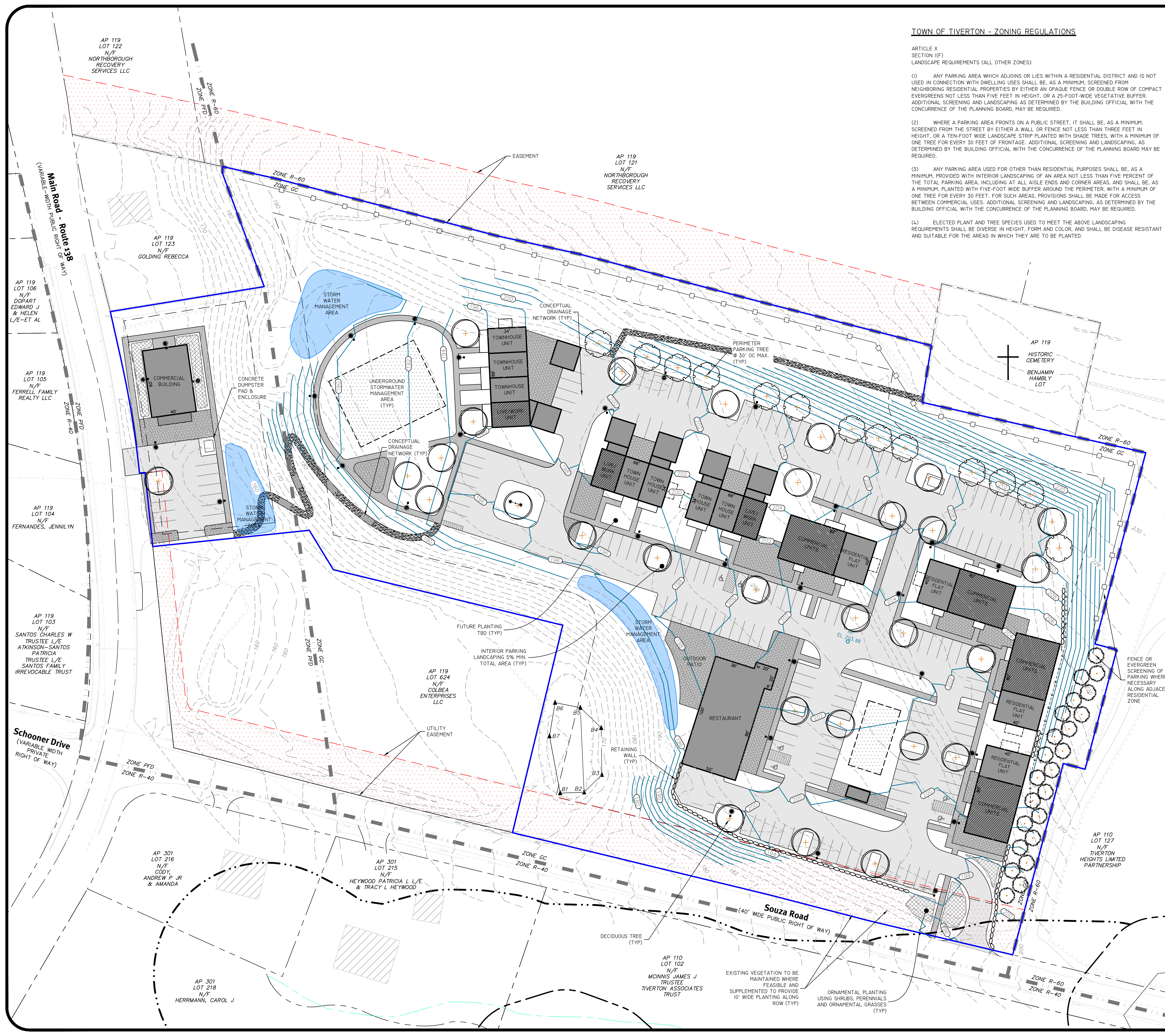
NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	01-10-2023	ISSUANCE OF PERMITS	J.A.R.	J.A.R.
2	01-10-2023	RESPONSE TO COMMENTS	J.A.R.	J.A.R.
3	08-18-2022	FINAL ANSWER COMMENTS	J.A.R.	J.A.R.
4	07-28-2022	CONSENSIVE PERMIT APPLICATION	J.A.R.	J.A.R.

PLAN & PROFILE
SOUZA ROAD CONDOMINIUM DEVELOPMENT
 ASSESSOR'S PLAT 119 LOT 124
 TIVERTON, RHODE ISLAND 02878

PREPARED FOR:
OXFORD DEVELOPMENT GROUP, INC.
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 SMITHFIELD, RHODE ISLAND 02917

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SHEET **7** OF 8



TOWN OF TIVERTON - ZONING REGULATIONS

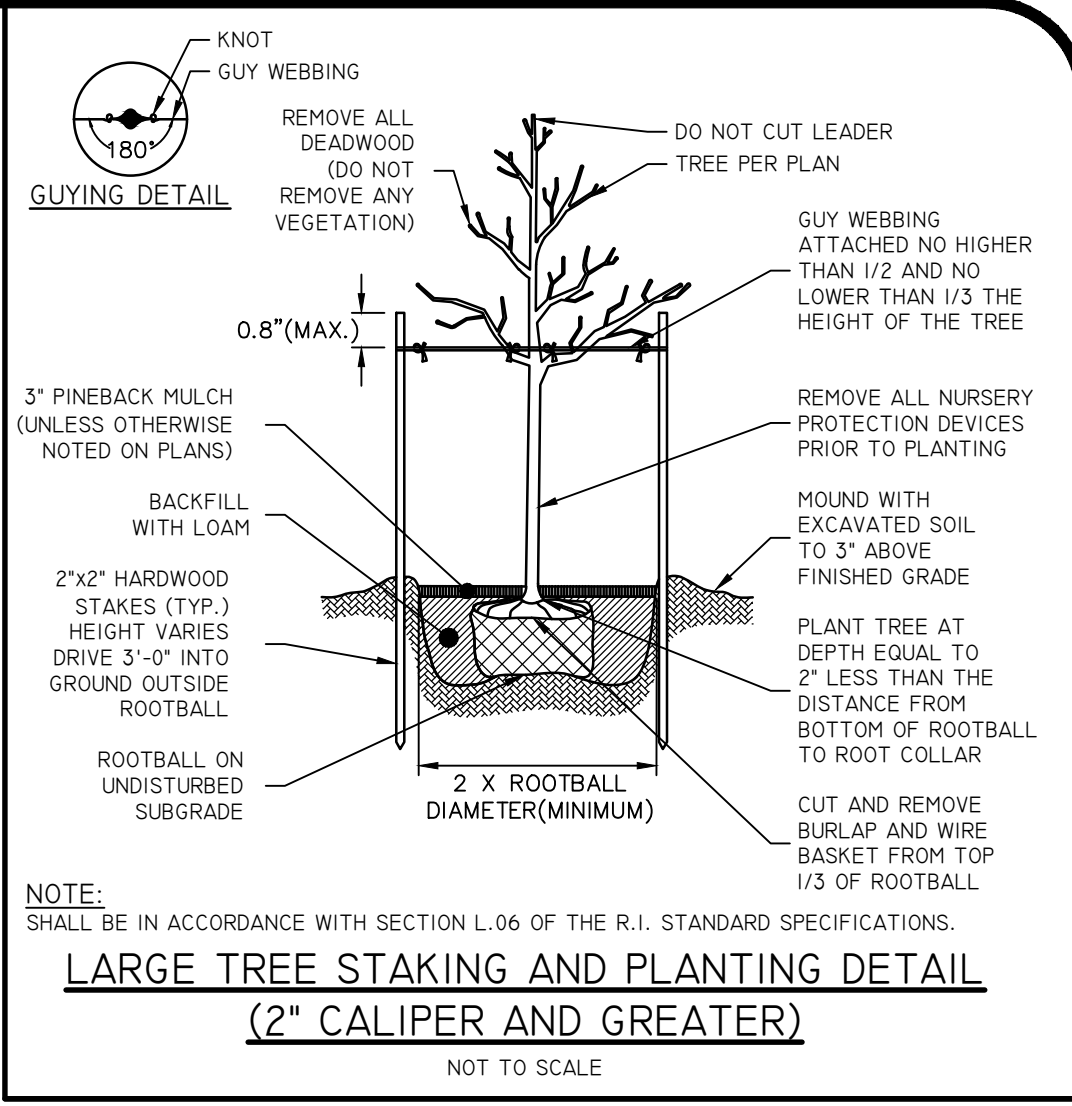
ARTICLE X
SECTION 10F
LANDSCAPE REQUIREMENTS (ALL OTHER ZONES):

(1) ANY PARKING AREA WHICH ADJOINS OR LIES WITHIN A RESIDENTIAL DISTRICT AND IS NOT USED IN CONNECTION WITH DWELLING USES SHALL BE, AS A MINIMUM, SCREENED FROM NEIGHBORING RESIDENTIAL PROPERTIES BY EITHER AN OPAQUE FENCE OR DOUBLE ROW OF COMPACT EVERGREENS NOT LESS THAN FIVE FEET IN HEIGHT, OR A 25-FOOT-WIDE VEGETATIVE BUFFER. ADDITIONAL SCREENING AND LANDSCAPING AS DETERMINED BY THE BUILDING OFFICIAL WITH THE CONCURRENCE OF THE PLANNING BOARD, MAY BE REQUIRED.

(2) WHERE A PARKING AREA FRONTS ON A PUBLIC STREET, IT SHALL BE, AS A MINIMUM, SCREENED FROM THE STREET BY EITHER A WALL, OR FENCE NOT LESS THAN THREE FEET IN HEIGHT, OR A TEN-FOOT WIDE LANDSCAPE STRIP PLANTED WITH SHADE TREES, WITH A MINIMUM OF ONE TREE FOR EVERY 30 FEET OF FRONTAGE. ADDITIONAL SCREENING AND LANDSCAPING, AS DETERMINED BY THE BUILDING OFFICIAL WITH THE CONCURRENCE OF THE PLANNING BOARD MAY BE REQUIRED.

(3) ANY PARKING AREA USED FOR OTHER THAN RESIDENTIAL PURPOSES SHALL BE, AS A MINIMUM, PROVIDED WITH INTERIOR LANDSCAPING OF AN AREA NOT LESS THAN FIVE PERCENT OF THE TOTAL PARKING AREA, INCLUDING AT ALL AISLE ENDS AND CORNER AREAS, AND SHALL BE, AS A MINIMUM, PLANTED WITH FIVE-FOOT WIDE BUFFER AROUND THE PERIMETER, WITH A MINIMUM OF ONE TREE FOR EVERY 30 FEET. FOR SUCH AREAS, PROVISIONS SHALL BE MADE FOR ACCESS BETWEEN COMMERCIAL USES. ADDITIONAL SCREENING AND LANDSCAPING, AS DETERMINED BY THE BUILDING OFFICIAL WITH THE CONCURRENCE OF THE PLANNING BOARD, MAY BE REQUIRED.

(4) ELECTED PLANT AND TREE SPECIES USED TO MEET THE ABOVE LANDSCAPING REQUIREMENTS SHALL BE DIVERSE IN HEIGHT, FORM AND COLOR, AND SHALL BE DISEASE RESISTANT AND SUITABLE FOR THE AREAS IN WHICH THEY ARE TO BE PLANTED.



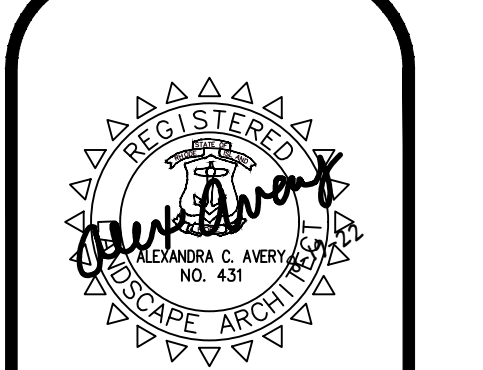
NOTE:
SHALL BE IN ACCORDANCE WITH SECTION L.06 OF THE R.I. STANDARD SPECIFICATIONS.
LARGE TREE STAKING AND PLANTING DETAIL
(2" CALIPER AND GREATER)
NOT TO SCALE

PLANTING NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
- CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK" LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF (2) INCHES TO A MAXIMUM OF THREE (3) INCHES OF AGED PINE BARK MULCH AND SHALL COVER PLANTING BEDS WITHIN 72 HOURS AFTER PLANTING AS SHOWN ON DRAWINGS.
- TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS TO HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH. CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING AN ENDOPHYTE ENHANCED MIX (AVAILABLE FROM ALLEN'S SEED STORE, SOUTH COUNTY TRAIL, EXETER, RI) OR APPROVED EQUAL. APPLY AT A RATE OF 5-7 LBS. PER 1000 SQUARE FEET. CONTRACTOR SHALL SOD OR OVERSEED ANY AREAS NOT COVERED SUBSTANTIALLY WITH GRASS AFTER ONE YEAR FROM PLANTING.
- ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT.
- THESE PLANS ARE FOR LANDSCAPE PLANTING ONLY.
- THESE PLANS ARE NOT FOR CONSTRUCTION AND ARE FOR PERMITTING PURPOSES ONLY.

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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NO.	DATE	DESCRIPTION	BY:	DESIGN BY: C.A.D.
1	01/12/2023	RESPONSE TO COMMENTS	J.A.R.	
2	01/26/2023	FINAL PLANNER COMMENTS	J.A.R.	
3	02/16/2023	CONTRACTOR PERMIT APPLICATION	J.A.R.	
4	07/25/2023	CONTRACTOR PERMIT APPLICATION	J.A.R.	

LANDSCAPE PLAN

SOUZA ROAD CONDOMINIUM DEVELOPMENT
ASSESSOR'S PLAT 119 LOT 124
TIVERTON, RHODE ISLAND 02878

PREPARED FOR:
OXFORD DEVELOPMENT GROUP, INC.
85 DOUGLAS PIKE
SMITHFIELD, RHODE ISLAND 02877

DESIGN BY: J.A.R.

Scale: 1"=40'
0 20' 40' 80'

SHEET 8 OF 8

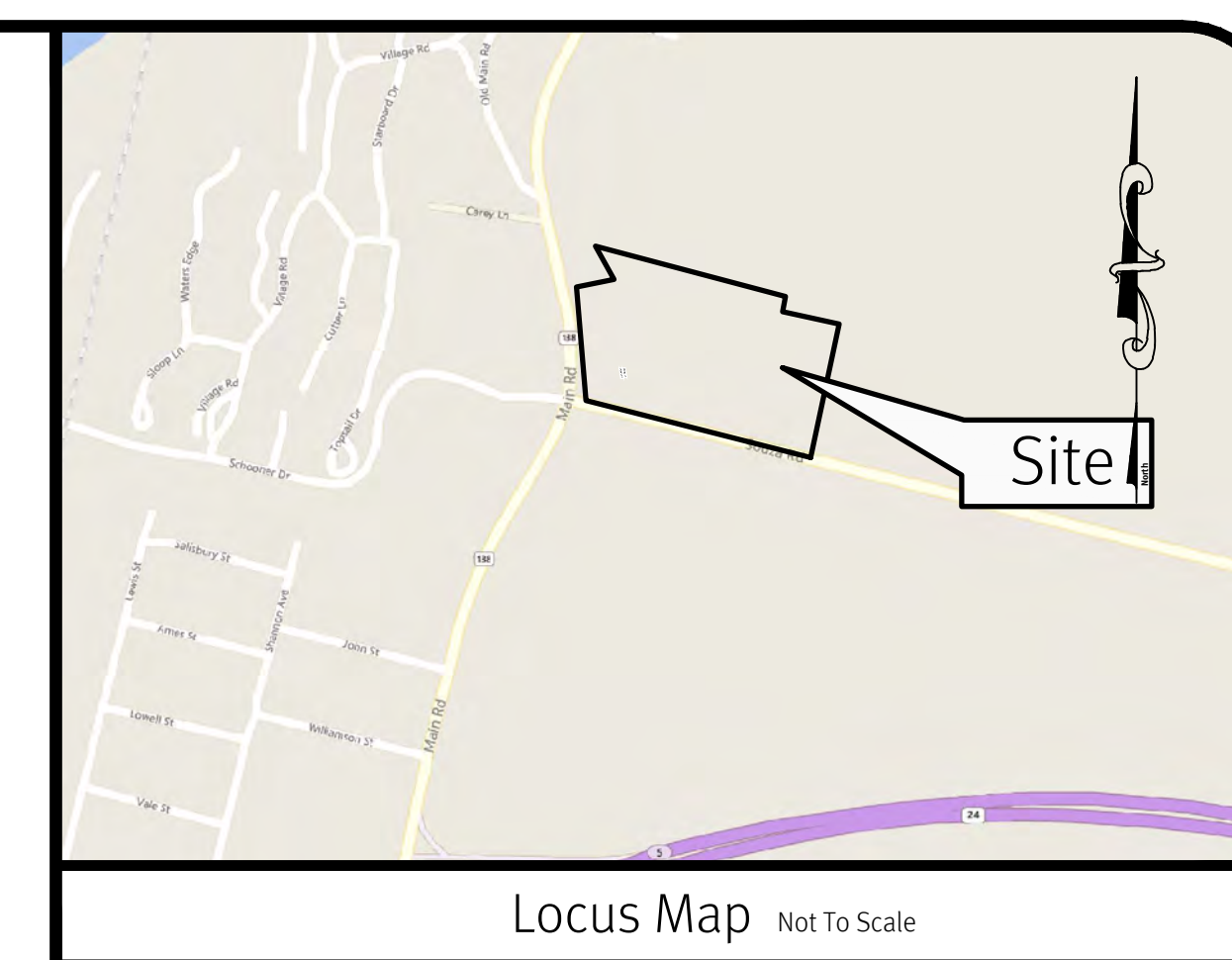
Z:\CLIENT\PROJECTS\16694-001 SOUZA AND MAIN ROAD\AUTOCAD DRAWINGS\16694-001-LAND.DWG PLOTTED: 1/10/2023

Utility Notes

- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN C/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITIES COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
- UTILITY PLAN REFERENCES
 - WATER INFORMATION OBTAINED FROM PLAN REFERENCE 1
 - SEWER INFORMATION OBTAINED FROM MOUNT HOPE BAY SEWER ASBUILT PLAN BY CIVIL ENGINEERING CONCEPTS, INC DATED OCTOBER 29, 2009
 - GAS INFORMATION OBTAINED FROM NATIONAL GRID GIS MAP
 - DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

Legend
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

	BUILDING		NAIL FOUND/SET
	AP ASSESSOR'S PLAT		DRILL HOLE FOUND/SET
	N/F NOW OR FORMERLY		IRON ROD/PIPE FOUND/SET
	(D) DEED		BOUND FOUND/SET
	(M) MEASURED		SIGN
	(CA) CHORD ANGLE		BOLLARD
	(HC) HANDICAPPED		SOIL EVALUATION
	PROPERTY LINE		CATCH BASIN
	ASSESSOR'S LINE		DOUBLE CATCH BASIN
	TREENLINE		DRAINAGE MANHOLE
	GUARDRAIL		FLARED END SECTION
	FENCE		GUY POLE
	RETAINING WALL		ELECTRIC MANHOLE/HANDHOLE
	STONE WALL		UTILITY/POWER POLE
	MINOR CONTOUR LINE		LIGHTPOST
	MAJOR CONTOUR LINE		SEWER/SEPTIC MANHOLE
	WATER LINE		SEWER VALVE
	SEWER LINE		CLEANOUT
	SEWER FORCE MAIN		HYDRANT
	GAS LINE		IRRIGATION VALVE
	ELECTRIC LINE		WATER VALVE
	OVERHEAD WIRES		WELL
	DRAINAGE LINE		MONITORING WELL
			UNKNOWN MANHOLE
			GAS VALVE
			WETLAND FLAG
			BENCH MARK
			SHRUB
			TREE



General Notes

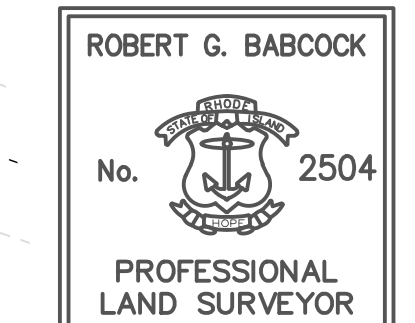
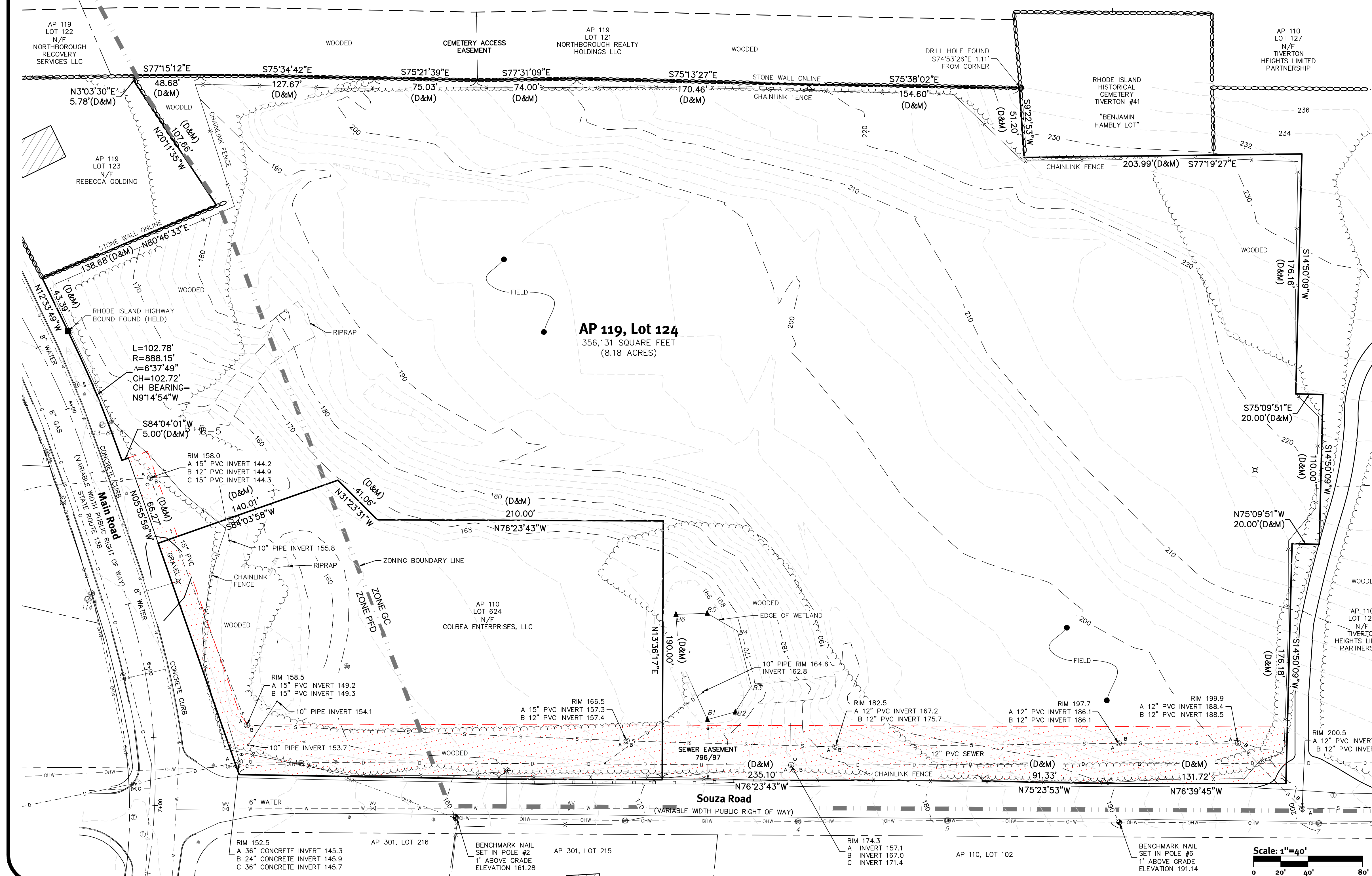
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 119, LOT 124 IN THE TOWN OF TIVERTON, NEWPORT COUNTY, RHODE ISLAND.
- THE OWNER OF LOT 124 PER DEED BOOK 1540, PAGE 27 IS TRILGY TIVERTON, LLC.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 440050039J, DATED SEPTEMBER 4, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED GC BASED ON THE TOWN OF TIVERTON'S GIS MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING IN EARLY JUNE OF 2020. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- PLEASE REFER TO RHODE ISLAND GENERAL LAW § 23-23-18-11 FOR BUILDING REQUIREMENTS AROUND A HISTORIC CEMETERY.
- DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR AN ARCHAEOLOGICAL INVESTIGATION NEEDED TO DETERMINE THE BOUNDARIES OF THE UNMARKED CEMETERY AS REQUIRED BY RHODE ISLAND GENERAL LAW § 23-23-18-11 SUBSECTION 2C.

Plan References:

- MINOR SUBDIVISION TRILGY PLAT AP 119, LOT 124, MAIN ROAD AND SOUZA ROAD, TIVERTON, RHODE ISLAND. PLAN BY WATERMAN ENGINEERING, DATED MARCH 16, 2016. PLAT BOOK 24, PAGE 106.
- RHODE ISLAND HIGHWAY PLAT 48

Datum Note:

- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.



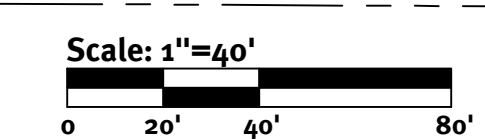
Certification

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY (LIMITED)	CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.

Robert G. Babcock
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160
8/2/22



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Boston • Providence • Newport

Boundary Topographic Survey
Souza Road
Tiverton, Rhode Island

Oxford Development Group, Inc.
85 Douglas Pike
Smithfield, Rhode Island

Drawn By: MTL
Date: 6/27/20
Description: Boundary Topographic Survey
Blk: B/P:

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SHEET 1 OF 1

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