

4336 Peck Rd, El Monte 91732

619 - El Monte

STATUS: Active

LIST CONTRACT DATE: 07/06/23

LISTING ID: GD23121326

LIST PRICE: \$999,000 ↓

PROP TYPE: Commercial Sale

PROP SUB TYPE: Mixed Use

SELLER WILL CONSIDER CONCESSIONS IN OFFER:

PARCEL #: 8548001013



[Listing has Supplements](#)



SQFT(SRC): **1,381**
 SQFT LOT: **14,553 (A)**
 ACRES: **0.334**
 BUSINESS NAME:
 BUSINESS TYPE:
 YEAR ESTABLISHED:
 YEAR BUILT: **1940 (ASR)**
 SLC: **Standard**
 LEVELS: **1**
 CURRENT USE: **Residential**
 ACTUAL RENT:
 RENT MIN - MAX \$/SF/YR:
 NUMBER OF UNITS:
 ENTRY LEVEL: **1**
 BUILDING STATUS: **Existing**
 OCCUPANCY:
 BUILDING \$/PER SQFT: **\$723.39**
 LAND \$/PER SQFT:
 DAYS ON MARKET: **297**
 COUNTY: **Los Angeles**
 PARCEL MASTER:
 INVEST?: **A/C?:Yes**
 FENCE?: **Yes** HEAT?:**Yes**

DESCRIPTION

OPPORTUNITY KNOCKS! BIG 14,553 square feet lot... 4336 Peck is perfect for roofers, contractors, plumbers, electricians, cleaning services, etc. because the large flat lot provides ample space to park your work truck and other cars. Located in the Norwood Village neighborhood of El Monte, this traditional home is ZONED COMMERCIAL MIXED-USE, and sits on a large 14,553 square foot fully gated lot, making it the perfect spot to create your very own home/work space! REDEVELOPMENT OPPORTUNITY... The property comes with commercial multi-unit development plans for 7 mixed retail/office units that include 1 retail street store front. Plans have been submitted to the city but not yet approved by the city. While the property is zoned commercial mixed-use, but it can definitely remain a single family home if that is your desire. Home features include 3 bedrooms, 2 baths, central air and heat, large living room with fireplace (fireplace is decorative only), laminate flooring, formal dining room, bright kitchen with separate laundry room, 1,381 square feet of living space, and a 2-car detached garage. The detached garage is ideal if you are thinking about adding an ADU.

BUSINESS URL:

BUILDING DETAILS

FEATURES:
 HEATING: **Central**
 LAUNDRY: **Individual Room**
 CLEARANCE:
 INDUSTRIAL TYPE:
 PROBATE AUTHORITY:

OFFICE CLASS:
 ROOFING: **Composition**
 SECURITY:
 CONSTRUCTION:
 LOT: **Back Yard, Front Yard, Lot 10000-19999**
 Sqft

UTILITIES

ELECTRICITY:
 AMPERAGE:
 VOLTS:
 UTILITIES: **Electricity Connected, Natural Gas Connected, Sewer Connected, Water Connected**
 WATER: **Public**

BUSINESS DETAILS

OWNERSHIP:
 DAYS / HOURS OPEN:
 FULLTIME EMPLOYEES:
 LEASE EXPIRES:
 EQUIPMENT VALUE:

SPECIAL LICENSES:
 PART TIME EMPLOYEES:
 ACTUAL RENT:
 INVENTORY VALUE:

YEARS CURRENT OWNER:
 HOURS OWNER WORKS:
 LEASABLE SQFT:
 MONTHLY NNN:
 PARKING TOTAL: **2**

SQUARE FOOTAGE

CONDO SQFT:
 HIGH TECH FLEX SQFT:
 RETAIL SQFT:
 TOTAL SQFT:

INDUSTRIAL SQFT:
 INDUSTRIAL MIN/MAX:
 DIVISIBLE SQFT:
 LAND \$/PER ACRE:

OFFICE SQFT:
 OFFICE MIN/MAX:
 RESIDENTIAL SQFT:

PARKING

PARKING TOTAL: **2**
 UNCOVERED:

CARPORT:
 PARKING RATIO:

POWER PRODUCTION

POWER PRODUCTION: **No**

GREEN VERIFICATION:

LAND

COMMON INTEREST: **None**
 LAND USE: **Other**
 LOT SIZE DIM:
 TOPOGRAPHY:
 PARCEL #: **8548001013**
 ADDITIONAL PARCEL(S): **No**

BUILDER NAME:
 ZONING:
 SURVEY TYPE:

PARK NAME:
 PHASE:
 WATERFRONT:

TERMS

LEASE RENEWAL OPTION?:
 LISTING TERMS: **1031 Exchange, Cash, Conventional**
 CLOSE DATE:
 INCLUSIONS:
 EXCLUSIONS:

ASSIGNABLE:

MIN. DOWN AMOUNT:

OWNER / TENANT

OWNERS NAME:
 OWNER PHONE:
 OWNER PAYS:

of UNITS LEASED:
 ANCHORS/Co-TENANTS:

MOVE-IN:

TENANT PAYS:

FINANCIAL

GROSS OPERATING INCOME:

NET PROFIT:

OPERATING EXPENSE:

ANNUAL EXPENSE INFORMATION

EXPENSE YEAR:
REAL ESTATE TAX:
PERSONAL PROPERTY:
ACCOUNTING/LEGAL:
ADVERTISING:
INSURANCE:
ELECTRICITY:
WATER/SEWER:
TRASH:

PROFESSIONAL MANAGER:
RESIDENT MANAGER:
MAINTENANCE:
SUPPLIES:
OTHER:
BUILDING EXPENSE:
RESERVES:
INVENTORY VALUE:

ANNUAL OPERATING INFORMATION

GROSS SCHEDULED INCOME:
VACANCY ALLOWANCE:
LAUNDRY:
OTHER:
EFFECTIVE GROSS:
TOTAL EXPENSE:
NET OPERATING INCOME:

INVESTMENT INFORMATION

ACCOUNTING TYPE:
OPERATING EXPENSES:

GROSS OPERATING INCOME:
NET OPERATING INCOME:

VACANCY ALLOWANCE RATE:
CAP RATE:

TAXES

TAX RATE:

TAX ANNUAL \$:

TAX YEAR:

AGENT

LISTING AGENT: [Liz Avila](#)
CO-LISTING AGENT: [Claudia Montoya](#)

LISTING AGENT STATE LICENSE: [01308383](#) LISTING AGENT MLS ID: [G165114342](#)
CO-LISTING AGENT STATE LICENSE: [01877777](#) CO-LISTING AGENT MLS ID: [G165111915](#)

CONTACT

I.LA CELL: **818-429-9017**

OFFICE

LISTING OFFICE: [Keller Williams R. E. Services](#)

LISTING OFFICE STATE LICENSE: [01434190](#)

LISTING OFFICE PHONE: **818-432-3200**

LISTING OFFICE FAX: **818-432-3232**

LISTING OFFICE MLS ID: [G7207](#)

CO-LISTING OFFICE: [Keller Williams R. E. Services](#)

CO-LISTING OFFICE STATE LICENSE: [01434190](#)

CO-LISTING OFFICE PHONE: **818-432-3200**

CO-LISTING OFFICE FAX: **818-432-3232**

CO-LISTING OFFICE MLS ID: [G7207](#)

MLS

BAC:
LISTING CONTRACT DATE: **07/06/23**
START SHOWING DATE:
ON MARKET DATE: **07/07/23**

DUAL/VARI COMP?: **No**
EXPIRATION DATE: **06/30/25**
CURRENT FINANCING: **None**

INTERNET SEND: LISTING?/PRICE? **Yes/**
MOD TIMESTAMP: **10/04/24**
LIST AGRMT: **Exclusive Right To Sell**
NEIGHBORHOOD MARKET REPORT YN?: **Yes**

BAC REMARKS:

PRIVATE REMARKS: **Property is tenant occupied on a month to month (current rent \$2,000 per month). Property can be delivered vacant. No private showings, inspection subject to accepted offer. For more information call Liz Avila at (818) 429-9017. Commercial plans in attached supplements. Seller, listing agents, and broker do not warrant any aspects of the property and suggest buyer and buyer's agent to verify all information including SF, permits, zoning, property condition, lot size, and any other conditions of the property to their own satisfaction.**

SHOWING INFORMATION

SHOW INSTRUCTIONS: **No private showings, property tenant occupied at this time, but can be delivered vacant. Inspection subject to accepted offer.**

DIRECTIONS: **Below Azusa, above Ramona**

PHOTOS

Click arrow to display photos





4336 Peck Road

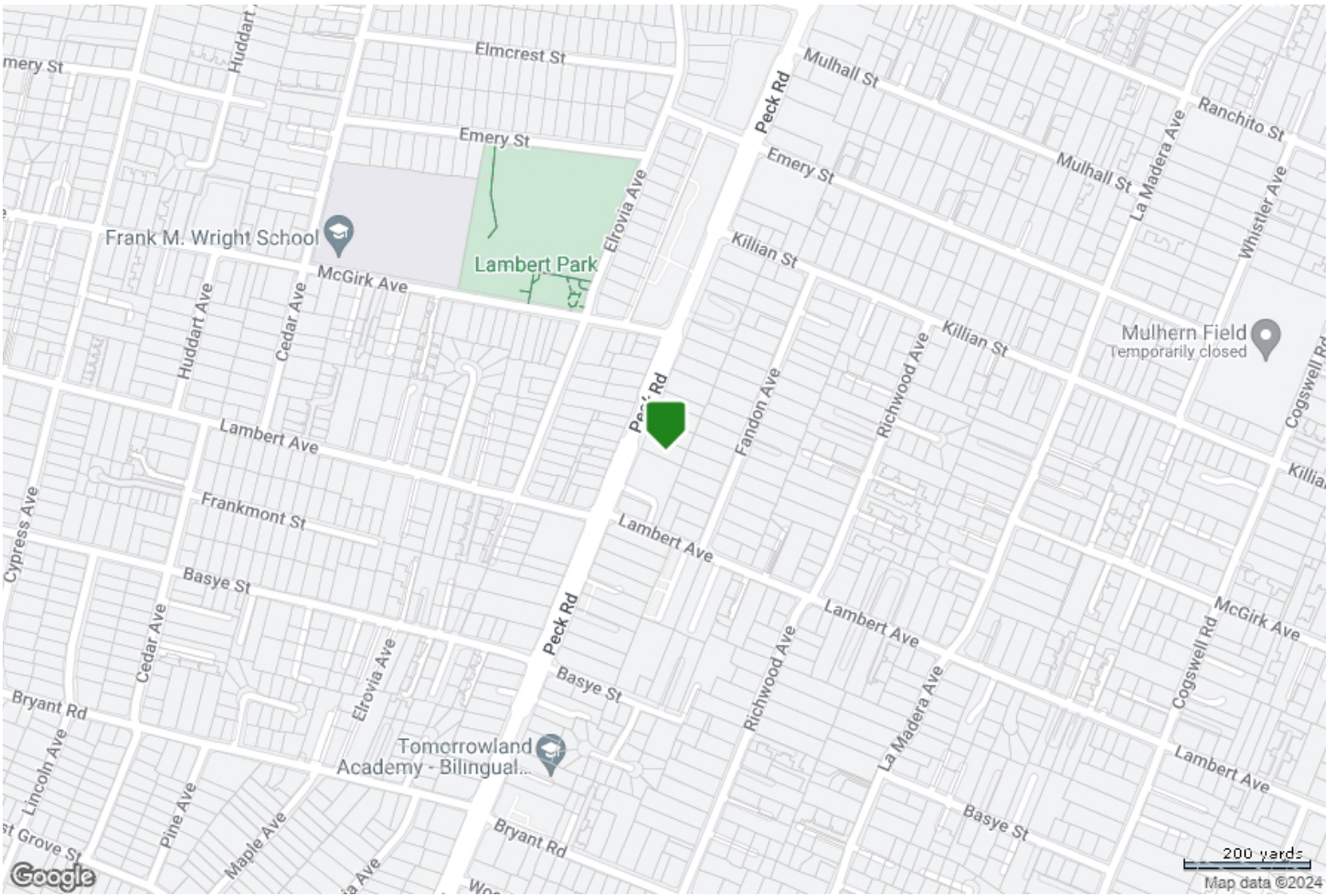
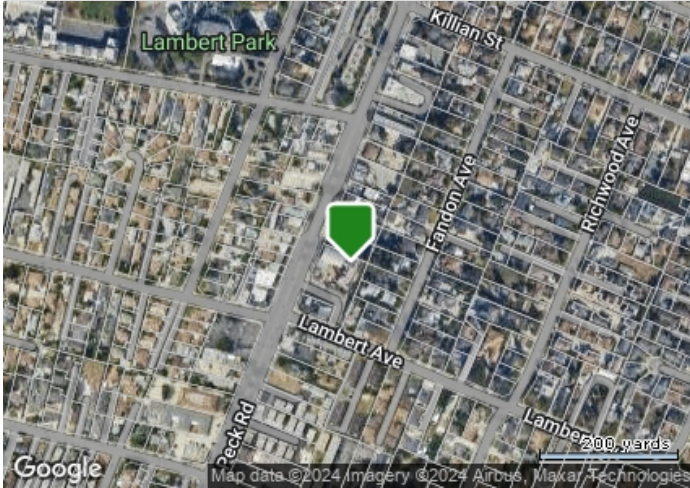
El Monte, CA 91732



Cross Property 360 Property View

4336 Peck Road, El Monte, CA 91732

Parcel Map





CITY OF EL MONTE

COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

Betty Donovanik,
Director

Jason C. Mikaelian, AICP,
Deputy Director

SENT VIA E-MAIL TO JUMBODOLLAR@GMAIL.COM

December 7, 2022

Jeremy Yeh
721 Brea Canyon Road #3
Temecula, CA 92592

**SUBJECT: Conditional Use Permit (CUP) 11-21 & Design Review (DR) 12-21
4336 Peck Road**

Dear Mr. Yeh,

The City of El Monte Planning Division is in receipt of the above referenced entitlement application received on September 13, 2021. The subject property is located within the MMU (Mixed/Multiuse) zone and designated as "Mixed/Multi Use" by the General Plan. Currently, the property is developed with an existing single family residence on a 14,477 SF lot. Your original proposed project was to redevelop the property to construct a 9,406 SF multi-tenant commercial building. However, you have revised the project to consist of a total of 4,040 SF. Staff has reviewed your 5th submittal for completeness, and as of this date, determined that your application is deemed **incomplete**. The following comments/items need to be addressed in the next submittal:

REQUIRED PAYMENTS

1. **Resubmittal Fee**- Staff has conducted a 5th review of the proposed project and requires a resubmittal fee of \$406 for each resubmittal moving forward. Upon resubmitting, provide payment of \$406 (payable to the "City of El Monte").

MISSING ITEMS

2. **L.A. County Check**- A \$75 check was never submitted with the application. Provide an undated check for \$75.00 made payable to "L.A. County". **(This was requested in the previous status letter).**
3. **Radius Map**- Please be aware that the radius map and mailing labels for the project were prepared on July 14, 2022 and are only valid for 6 months. Therefore, a new radius map and mailing labels would need to be provided by January 14, 2023 if the project is not deemed "complete" and public notices are not mailed out by this time.

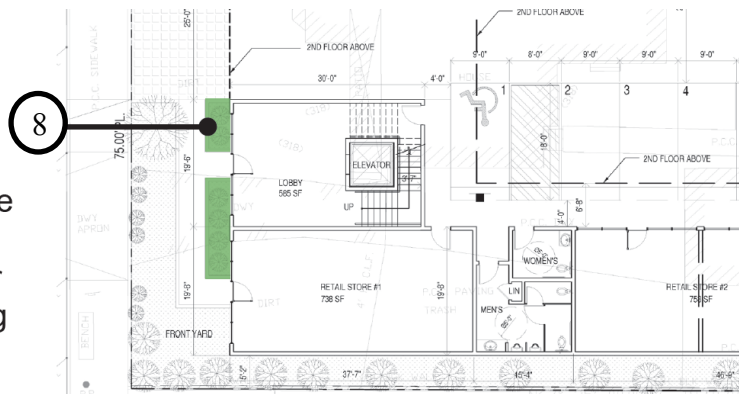
SITE PLAN COMMENTS (See Enclosure No. 1)

4. Floor Area Calculations- The calculations for Floor Area and Parking shall be updated to reflect the following requirements:

The sum of the horizontal areas of all floors of a building or structures including hallways, service areas, mechanical rooms and attic areas having a height of more than seven (7) feet. Elevator shafts and stairwells shall only be counted once. Fully subterranean basements, courtyards, outdoor passageways and areas used exclusively for vehicle parking or loading shall not be counted. Measurements shall be from the interior walls of the building or structure.

5. Rear Property Line Landscape Planter- The landscape planter proposed along the rear property line is required to be widened to a minimum of six (6) feet in order to allow parking to overhang into the planter.
6. Storefront Pedestrian Path- The pedestrian path that is proposed within the building's storefronts is connected to the driveway and must be redesigned to provide direct connection from the sidewalk instead.
7. Public Open Space- The front setback shall be programmed to function as public open space. Propose public open space amenities (e.g., pedestrian inter-locking pavers, seating, landscaping, etc.).
8. Storefront Landscape Planters- The proposed landscaping at the storefront should include low-growing plants to not interfere with visibility into the building. (See below)

Ensure proposed landscaping on the West Elevation does not interfere with visibility into the storefronts facing Peck Road in order to maintain a strong street presence.

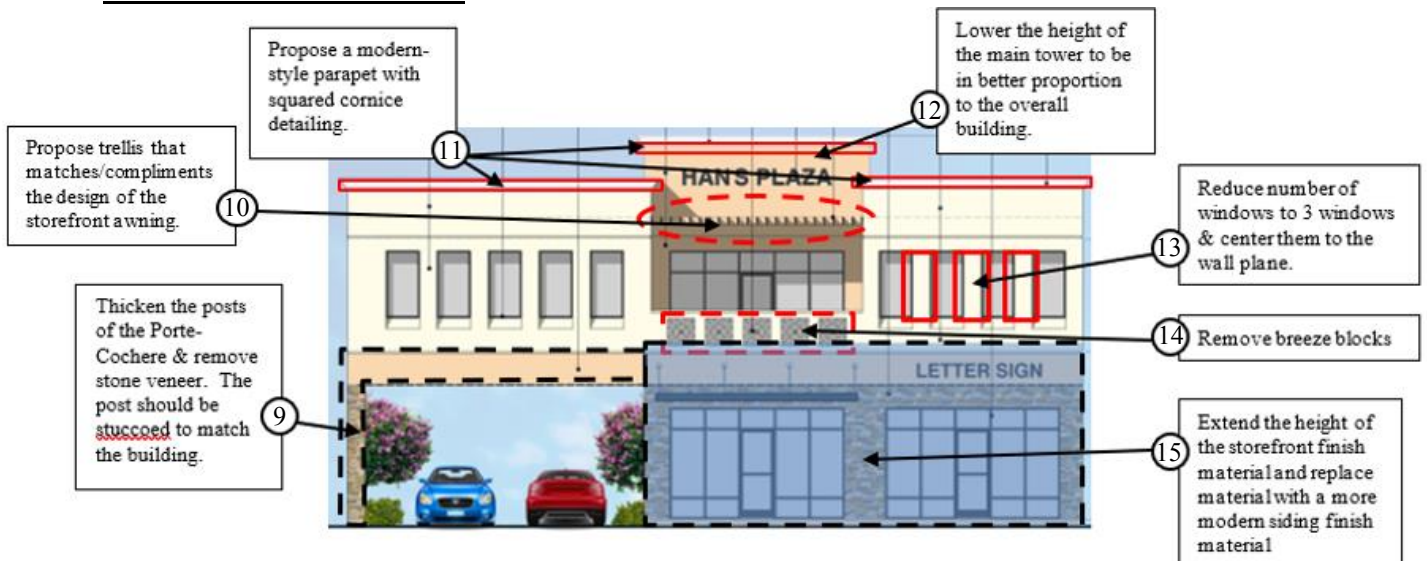


ARCHITECTURAL COMMENTS

Front Elevation

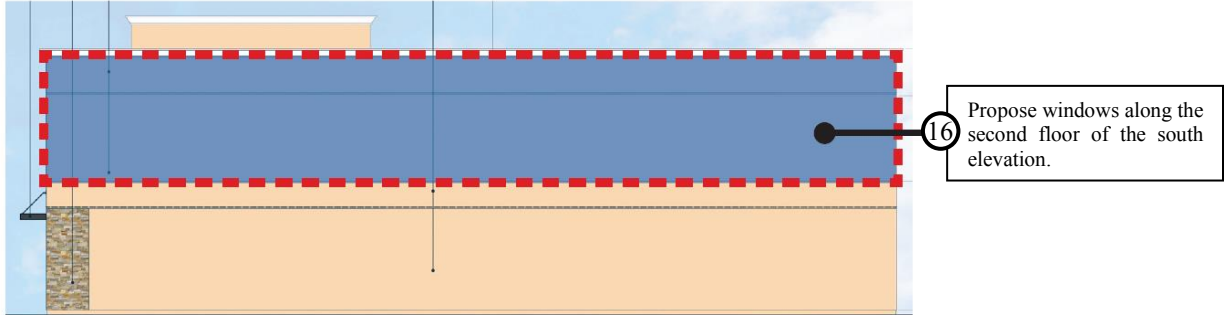
9. Thicken the posts of the porte-cochere and remove the stone veneer. The posts should be stuccoed to match the building. (See Exhibit A below)
10. Propose a second story trellis that matches/compliments the design of the storefront awning. (See Exhibit A below)
11. Propose a modern-contemporary style parapet with squared cornice detailing. (See Exhibit A below)
12. Lower the height of the main tower to be in better proportion to the overall building. (See Exhibit A below)
13. Reduce the number of windows to 3 windows and center them to the wall plane. (See Exhibit A below)
14. Remove the breeze blocks. (See Exhibit A below)
15. Extend the height of the storefront finish material and replace the material with a more modern style siding finish material. (See Exhibit A below)

Exhibit A- Front Elevation

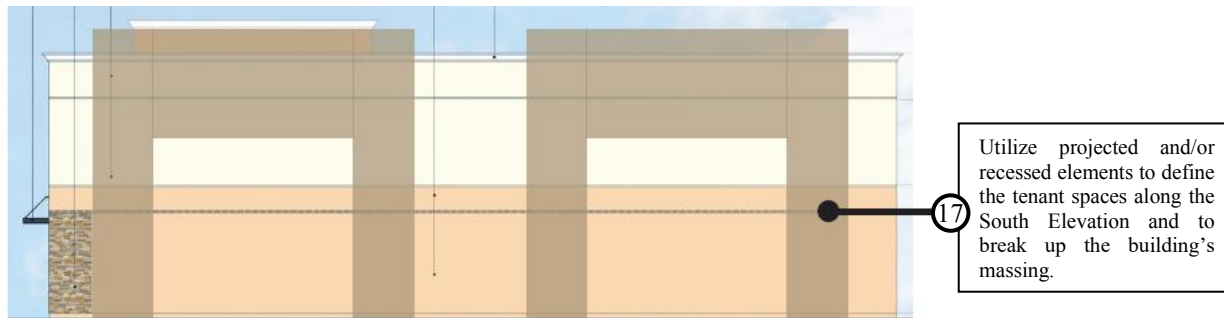


South Elevation

16. Propose windows along the second floor of the South Elevation to introduce natural light and depth in the building façade. (See below)



17. Utilize projected and/or recessed elements to define the tenant spaces along the South Elevation and to break up the building's massing. (See below)



East Elevation

18. Increase the thickness of the posts along the second story and Porte-Corte to be wider in order to provide an appearance of structural integrity and balance. (See below)



Building Colors & Materials

19. Replace the proposed “La Habra Stucco Adobe” color with a more modern-contemporary color.
20. Remove the “Wrought Iron Decorative” detailing from the plans.
21. Replace the “Stone Veneer (Hey Tiles)” with a more contemporary-modern siding material.
22. Replace the “Aluminum Trellis” along the second floor with a more contemporary-modern style trellis that matches/compliments the awning at the ground floor.
23. Replace the “Cement Coated Foam Crown Molding” with a more contemporary-modern style parapet with a squared cornice.
24. Foam finish material is not allowed.

MISCELLANEOUS COMMENTS

25. Digital & Hard Copies- Provide digital and hard copies of all plans and resubmittal documents.

Once all of the previously mentioned items have been addressed, and revised plans and other requested items are submitted, the Planning Division will commence another review of the submitted materials to determine completeness of the application. In addition, the revised plans will need to be reviewed by the Fire Department and other City Department/Divisions. Please be advised that additional comments or items may be requested. All resubmittals are to be dropped off at City Hall West from Monday through Thursday from 8:00 AM to 4:00 PM or mailed in to City Hall at the address below:

City of El Monte
Attn: Tony Bu, Planning Division
11333 Valley Blvd
El Monte, CA 91731

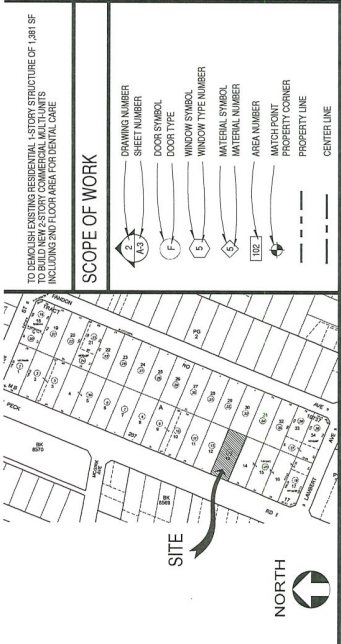
Should you have any questions regarding this matter, please contact me at 626-580-2152 or via email at tbu@elmonteca.gov.

Sincerely,



Tony Bu, Senior Planner

Enclosure: No. 1- Marked-Up Site Plan



TO DEMOLISH EXISTING RESIDENTIAL 1-STORY STRUCTURE OF 1,881 SF INCLUDING 2ND FLOOR AREA FOR DENTAL CARE

SCOPE OF WORK

- DRAWING NUMBER
- SHEET NUMBER
- DOOR SYMBOL
- DOOR TYPE
- WINDOW SYMBOL
- WINDOW TYPE NUMBER
- MATERIAL SYMBOL
- MATERIAL NUMBER
- AREA NUMBER
- MATCH POINT
- PROPERTY CORNER
- PROPERTY LINE
- CENTER LINE

LEGAL

LOT: 13 BLOCK A TRACT NO: 1077
 CITY: EL MONTE, CA
 CITY RECORD CLUSTER: 955617 TRACT NO: 1077 LOT 13 B.L.A.
 CITY MAP: 1077-13-13
 CITY MAP: 1077-13-13

ALL WORKS INCLUDING MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA ELECTRICAL CODE, AND CITY AMENDMENTS.

PROJECT: HAN'S PLAZA COMMERCIAL MULTI-UNIT DEVELOPMENT
 SITE ADDRESS: 4336 PECK ROAD, EL MONTE, CA 91732
 LOT SIZE: 14,552 SF
 ZONE: MMU
 OCCUPANCY GROUP: B/S2
 CONSTRUCTION TYPE: V8
 STORY: 2 STORY
 REQUIRED COMMON OPEN AREA: 2,571 SF X 15% = 381.15 SF
 PROVIDED COMMON OPEN AREA: 599 SF > 381.15 SF

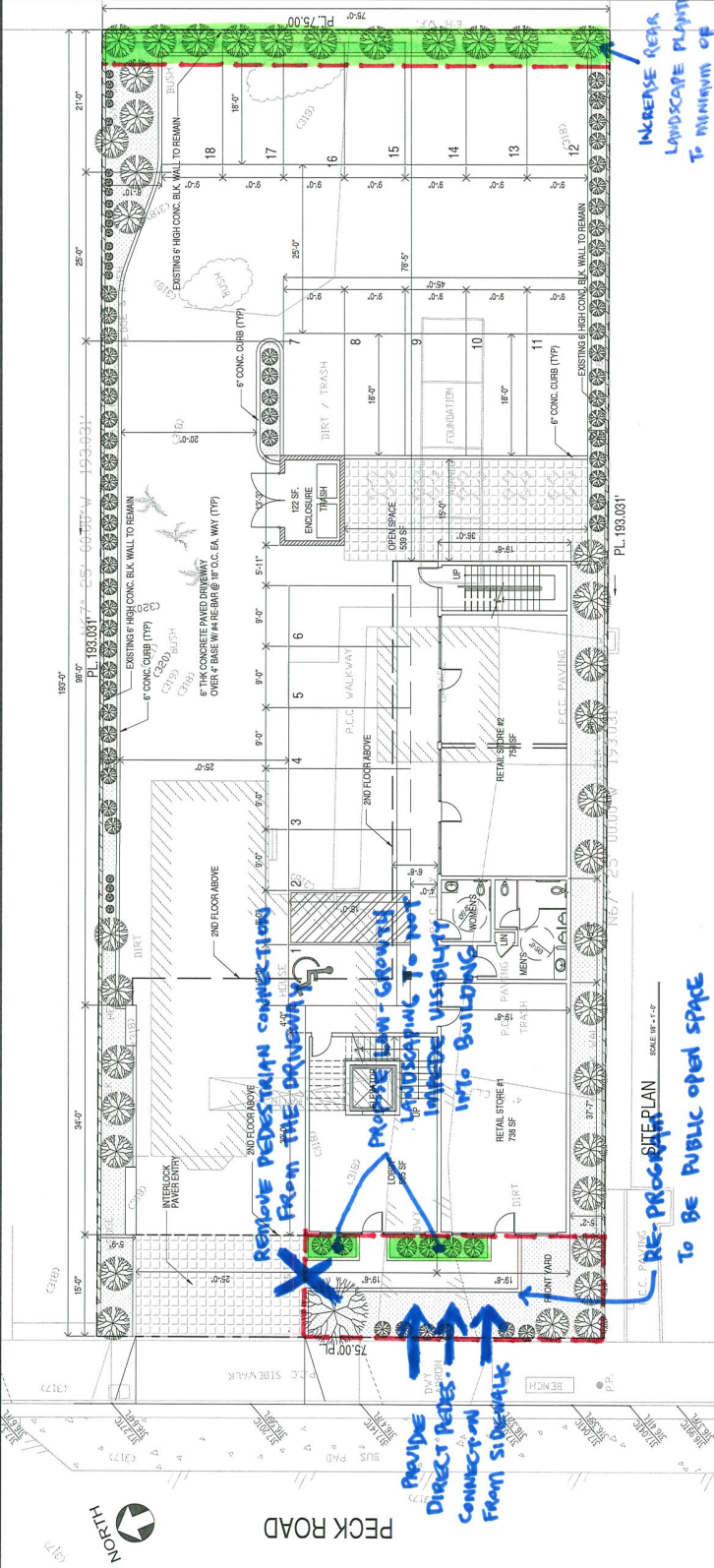
UPDATE.
SEE COMMENT #4

HAN'S PLAZA
COMMERCIAL MULTI-UNIT DEVELOPMENT
 4336 PECK ROAD, EL MONTE, CA 91732

CODES OF DESIGN

SUMMARY

ARCHITECTURAL	SITE PLAN AND SUMMARY
T-1.00	SITE PLAN AND SUMMARY
A-1.00	EXISTING FLOOR PLAN
A-1.01	SCHEMATIC PLAN
A-1.02	SCHEMATIC PLAN
A-2.01	ELEVATIONS



SHEET INDEX

NOTES TO CONTRACTOR:	SHEET NUMBER:
<p>VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. ALL DIMENSIONS AND CONDITIONS ON THE JOB SHALL BE AS SHOWN ON THE DRAWINGS AND ALL CONFLICTING DIMENSIONS SHALL BE RESOLVED BY THE CONTRACTOR. DETAILS SHALL BE SUBMITTED TO THE OFFICE FOR APPROVAL PRIOR TO CONSTRUCTION.</p>	T-1.00

ENGINEER ON RECORDS:	ENGINEER ON RECORDS:
BUILDING STRUCTURE	BUILDING STRUCTURE

CONSULTANT ENGINEERS:	OWNER:
CIVIL ENGINEER	TOM HAN
SOIL ENGINEER	4336 PECK ROAD, EL MONTE, CA 91732

ENERGY DESIGNER	SHEET TITLE:
	SITE PLAN

PROJECT:	REVISION:
HAN'S PLAZA COMMERCIAL MULTI-UNIT DEVELOPMENT	BY: 1, 2, 3
4336 PECK ROAD, EL MONTE, CA 91732	

AB&B COMPREHENSIVE BUILDING DESIGN & CONSULTATION
 1937 BUFFWOOD STREET, FOWLAND HEIGHTS, CA 91746
 TEL: (925) 228-8585 E-MAIL: AJM@ABANDCONSULT.COM

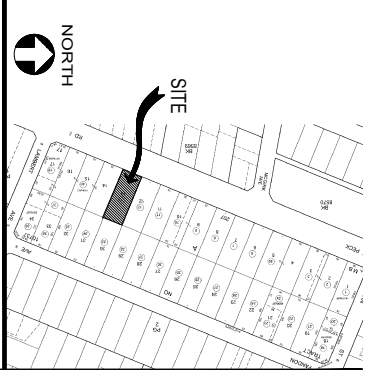
REMOVE PEDESTRIAN CONNECTION FROM THE DRIVEWAY
PROPOSE LOW-GROWTH LANDSCAPING TO NOT IMPED VISIBILITY INTO BUILDING

RE-PROGRAM TO BE PUBLIC OPEN SPACE

INCREASE REAR LANDSCAPE PLANTER TO MINIMUM OF SIX FEET

PROVIDE DIRECT PEDESTRIAN CONNECTION FROM SIDEWALK

SCALE: 1/4" = 1'-0"



VICINITY MAP

TO DESIGN EXISTING RESIDENTIAL 1-STORY STRUCTURE OF 1,341 SF INCLUDING 100 SF FOR RESIDENTIAL CARE

SCOPE OF WORK

1. DRAWING NUMBER
2. SHEET NUMBER
3. DOOR SYMBOL
4. DOOR TYPE
5. WINDOW SYMBOL
6. WINDOW TYPE NUMBER
7. MATERIAL SYMBOL
8. MATERIAL NUMBER
9. MATCH POINT
10. PROPERTY CORNER
11. CENTERLINE

SYMBOLS

BICYCLE RACK

OUTDOOR SEATING WITH UMBRELLA

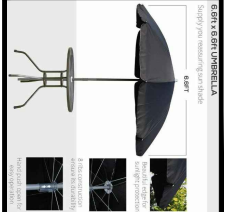
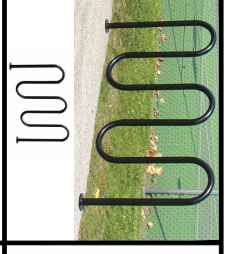
CODES OF DESIGN

SUMMARY

HAN'S PLAZA

COMMERCIAL MULTI-UNIT DEVELOPMENT

4336 PECK ROAD, EL MONTE, CA 91732



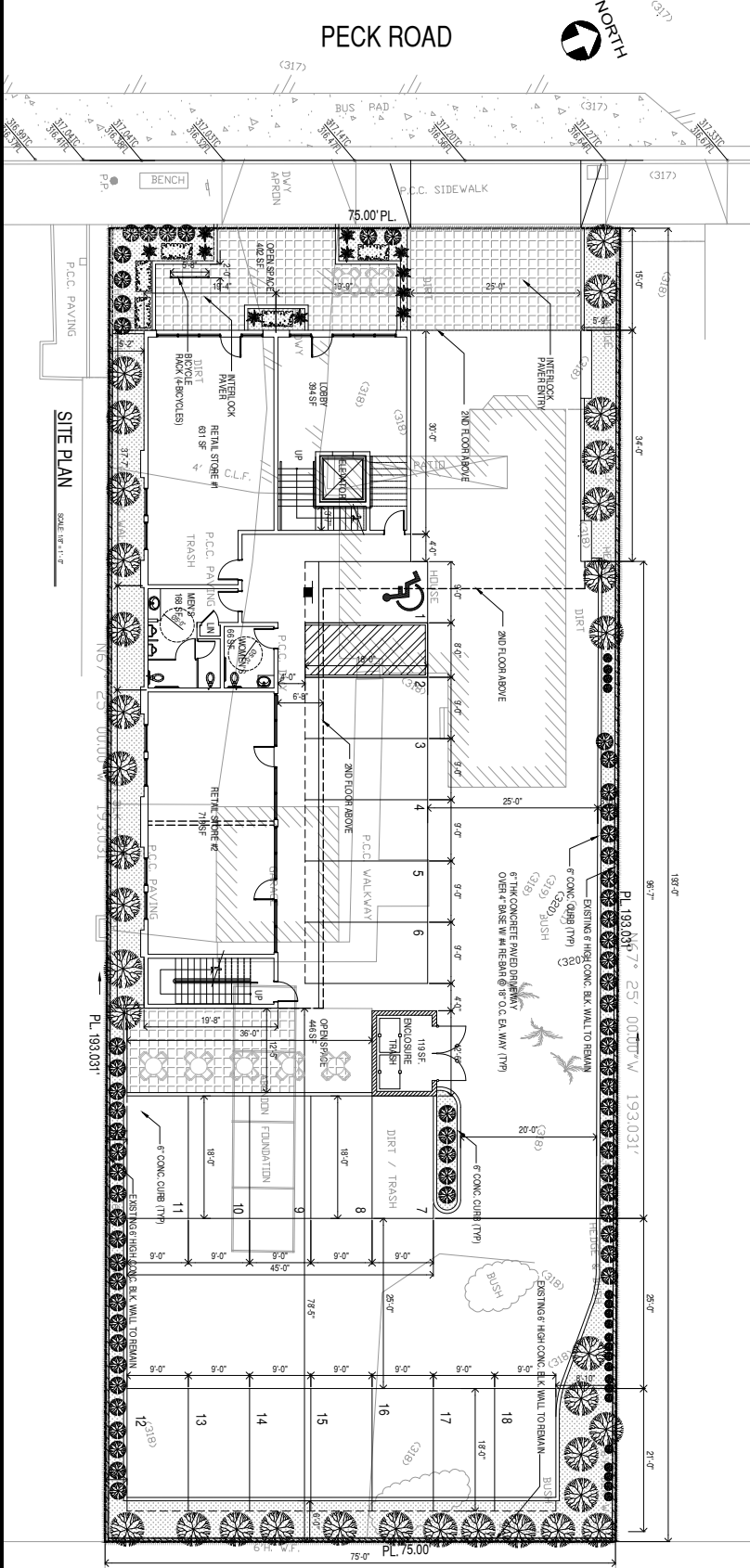
LOT 1318033A TRACT NO. 0077
 4336 PECK ROAD, EL MONTE, CA 91732
 CITY REGION: CULVER CITY 0505177 TRACT 0077
 OTY: MOUNTAIN VIEW REGION: CULVER CITY 0505177

LEGAL

ALL APPLICABLE LOCAL ORDINANCES AND
 WORKMANSHIP SHALL COMPLY WITH THE
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA SOILS AND FOUNDATION CODE
 2022 LOCAL ORDINANCES, RULES, ORDINANCES,
 AND CITY AMENDMENTS.

CODES OF DESIGN

ARCHITECTURAL	DESCRIPTION	AREA
T-1.00	SITE PLAN AND SUMMARY	2,288 SF
A-1.01	FIRST FLOOR PLAN	2,288 SF
A-1.02	SECOND FLOOR PLAN	2,288 SF
A-1.03	ROOF PLAN	2,288 SF
A-2.01	ELEVATIONS	2,288 SF



REVISION	BY	PROJECT	OWNER	CONSULTANT ENGINEERS	ENGINEER ON RECORDS	STAMP	NOTES TO CONTRACTOR	SHEET NUMBER
		HAN'S PLAZA COMMERCIAL MULTI-UNIT DEVELOPMENT 4336 PECK ROAD, EL MONTE, CA 91732	TOM HAN 4336 PECK ROAD, EL MONTE, CA 91732	CIVIL ENGINEER SOIL ENGINEER ENERGY DESIGNER	ENGINEER ON RECORDS BUILDING STRUCTURE			T-1.00

HC&C COMPREHENSIVE
 BUILDING DESIGN
 & CONSULTATION

1937 BAUFELD STREET, ROMANA HEIGHTS, CA 91728
 TEL: (626) 228-8855 FAX: (626) 228-8855
 E-MAIL: JIM@HC&C.COM

PROJECT: HAN'S PLAZA
 COMMERCIAL
 MULTI-UNIT
 DEVELOPMENT
 4336 PECK ROAD,
 EL MONTE, CA 91732

OWNER: TOM HAN
 4336 PECK ROAD, EL MONTE, CA 91732

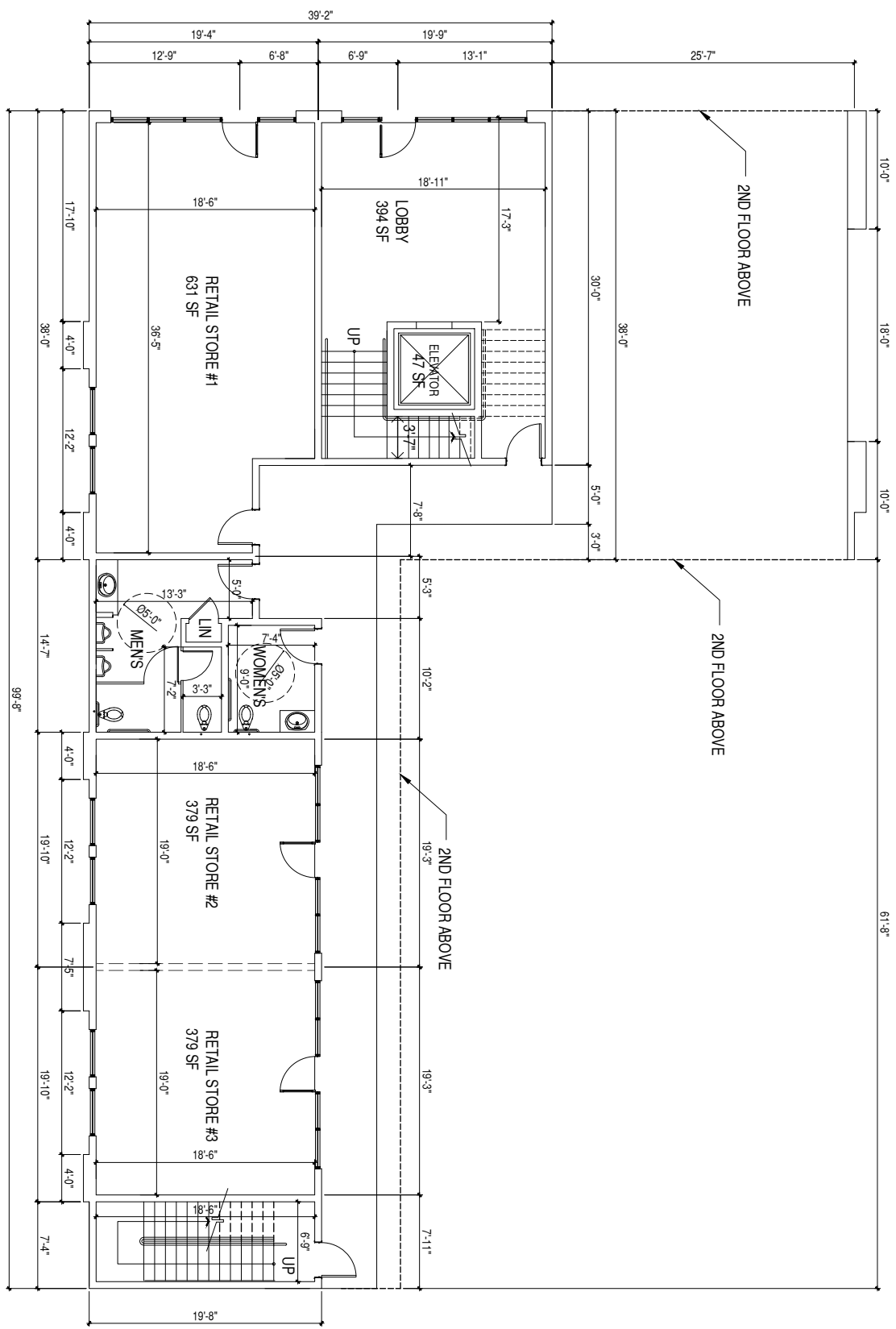
SHEET TITLE:
SITE PLAN

CONSULTANT ENGINEERS:
 CIVIL ENGINEER
 SOIL ENGINEER
 ENERGY DESIGNER

ENGINEER ON RECORDS:
 BUILDING STRUCTURE

NOTES TO CONTRACTOR:
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS SHOWN ON THIS SHEET AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DISCREPANCIES. ALL DIMENSIONS AND ELEVATIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SCHEDULE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION COST INFORMATION.

SHEET NUMBER:
T-1.00



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISION:	BY:

PROJECT: **HAN'S PLAZA**
COMMERCIAL MULTI-UNIT DEVELOPMENT
4387 PECKER ROAD, EL MONTE, CA 91732

OWNER: **TOM HAN**
4387 PECKER ROAD, EL MONTE, CA 91732

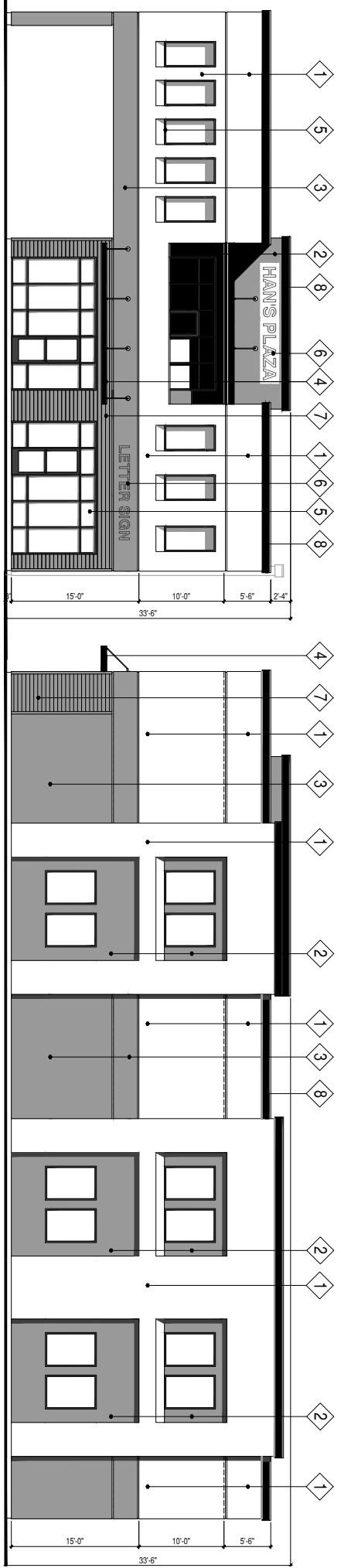
SHEET TITLE: **1ST FLOOR PLAN**

CONSULTANT ENGINEERS:	ENGINEER ON RECORDS:
CIVIL ENGINEER	
SOIL ENGINEER	
ENERGY DESIGNER	
BUILDING STRUCTURE	

STAMP:

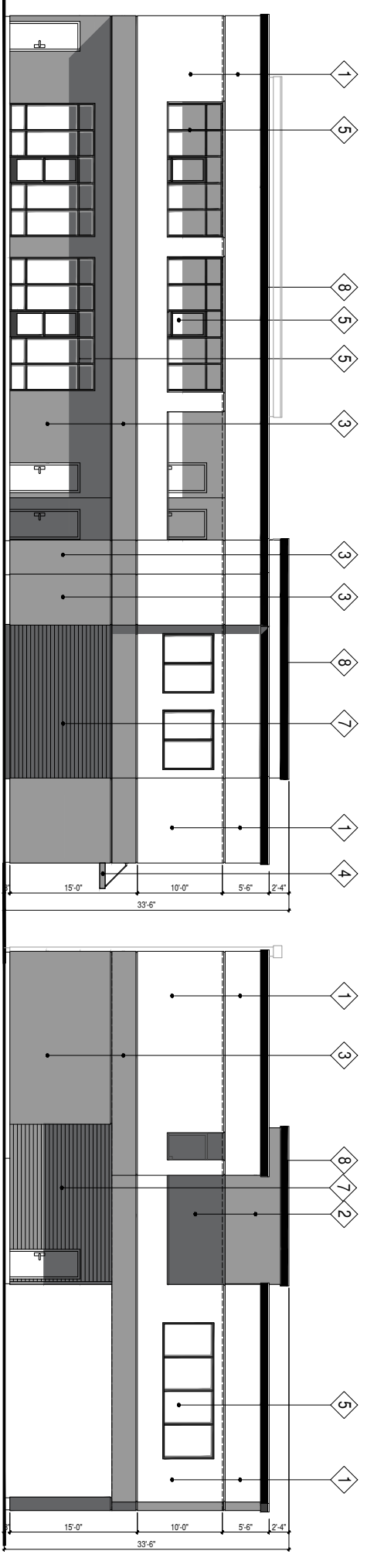
NOTES TO CONTRACTOR:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

- 1 OMEGA STUCCO 242 MIST BASE 2
- 2 OMEGA STUCCO 400 WOOD COYEN BASE 2
- 3 OMEGA STUCCO 242 GRAY/SLATE HOOK BASE 2
- 4 WROUGHT IRON WARDROBE AWNING COLOR: BLACK
- 5 ALUMINUM STORE FRONT GLAZING COLOR: NATURAL ANODIZED BRONZE
- 6 RETAIL STORE ILLUMINATED LETTERING SIGN
- 7 ALL WEATHER SYSTEM COMPOSITE SIDING COLOR: MIXED COLOR PINE & PERUVIAN TEAK
- 8 PLASTIC LUMBER TRIM FROM PLASTIC LUMBER YARD COLOR: BLACK



WEST ELEVATION SCALE: 3/8" = 1'-0"

SOUTH ELEVATION SCALE: 3/8" = 1'-0"

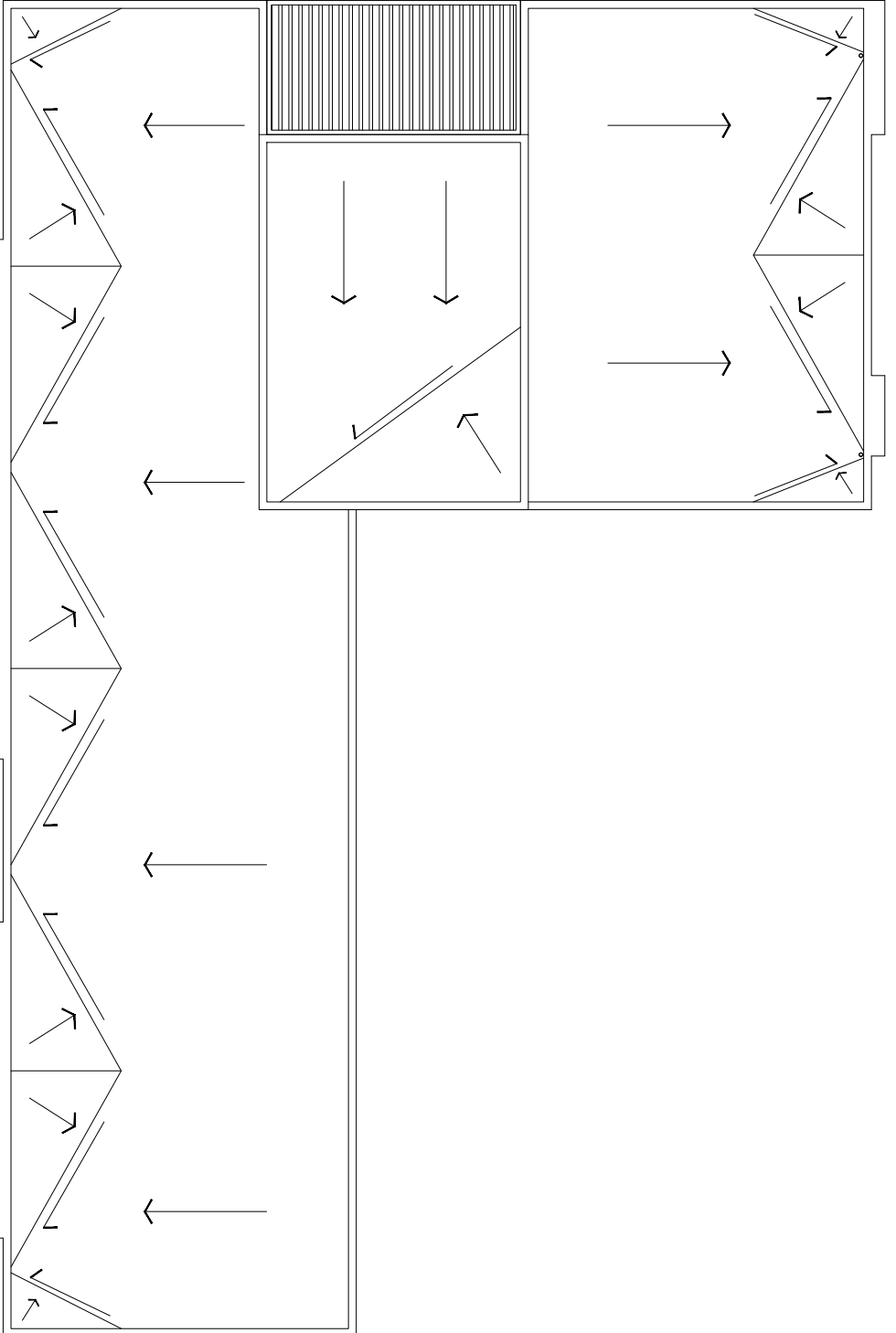


NORTH ELEVATION SCALE: 3/8" = 1'-0"

EAST ELEVATION SCALE: 3/8" = 1'-0"

CRB&C COMPREHENSIVE BUILDING DESIGN & CONSULTATION
 1957 BLUFFWOOD STREET, ROLAND HEIGHTS, CA 91278
 TEL: (626) 228-8955 FAX: (626) 228-8955
 E-MAIL: JIM@CRBDC.COM

REVISION:	BY:	PROJECT:	OWNER:	CONSULTANT ENGINEERS:	ENGINEER ON RECORDS:	STAMP:	NOTES TO CONTRACTOR:	SHEET NUMBER:
Δ		HAN'S PLAZA COMMERCIAL MULTI-UNIT DEVELOPMENT 434 PIERCK ROAD, EL MONTE, CA 91732	TOM HAN 434 PIERCK ROAD, EL MONTE, CA 91732	CIVIL ENGINEER	SOIL ENGINEER	ENERGY DESIGNER	BUILDING STRUCTURE	
Δ								
Δ								
Δ								
Δ								
							NOTES TO CONTRACTOR:	
							1. VERIFY ALL MATERIALS AND FINISHES ARE APPROVED BY THE ARCHITECT AND CONTRACTOR BEFORE INSTALLATION. 2. VERIFY ALL MATERIALS AND FINISHES ARE APPROVED BY THE ARCHITECT AND CONTRACTOR BEFORE INSTALLATION. 3. VERIFY ALL MATERIALS AND FINISHES ARE APPROVED BY THE ARCHITECT AND CONTRACTOR BEFORE INSTALLATION. 4. VERIFY ALL MATERIALS AND FINISHES ARE APPROVED BY THE ARCHITECT AND CONTRACTOR BEFORE INSTALLATION. 5. VERIFY ALL MATERIALS AND FINISHES ARE APPROVED BY THE ARCHITECT AND CONTRACTOR BEFORE INSTALLATION. 6. VERIFY ALL MATERIALS AND FINISHES ARE APPROVED BY THE ARCHITECT AND CONTRACTOR BEFORE INSTALLATION. 7. VERIFY ALL MATERIALS AND FINISHES ARE APPROVED BY THE ARCHITECT AND CONTRACTOR BEFORE INSTALLATION. 8. VERIFY ALL MATERIALS AND FINISHES ARE APPROVED BY THE ARCHITECT AND CONTRACTOR BEFORE INSTALLATION.	
								A-2.01



ROOF PLAN SCALE: 1/4" = 1'-0"



CRB&C COMPREHENSIVE BUILDING DESIGN & CONSULTATION
 1957 BUREWOOD STREET, FOUNTAINHEADS, CA 91728
 TEL: (626) 228-8855 FAX: (626) 228-8855 JLM@CRB&C.COM

REVISION:	BY:

PROJECT: **HAN'S PLAZA COMMERCIAL MULTI-UNIT DEVELOPMENT**
 436 PEEK ROAD, EL MONTE, CA 91732

OWNER: **TOM HAN**
 436 PEEK ROAD, EL MONTE, CA 91732

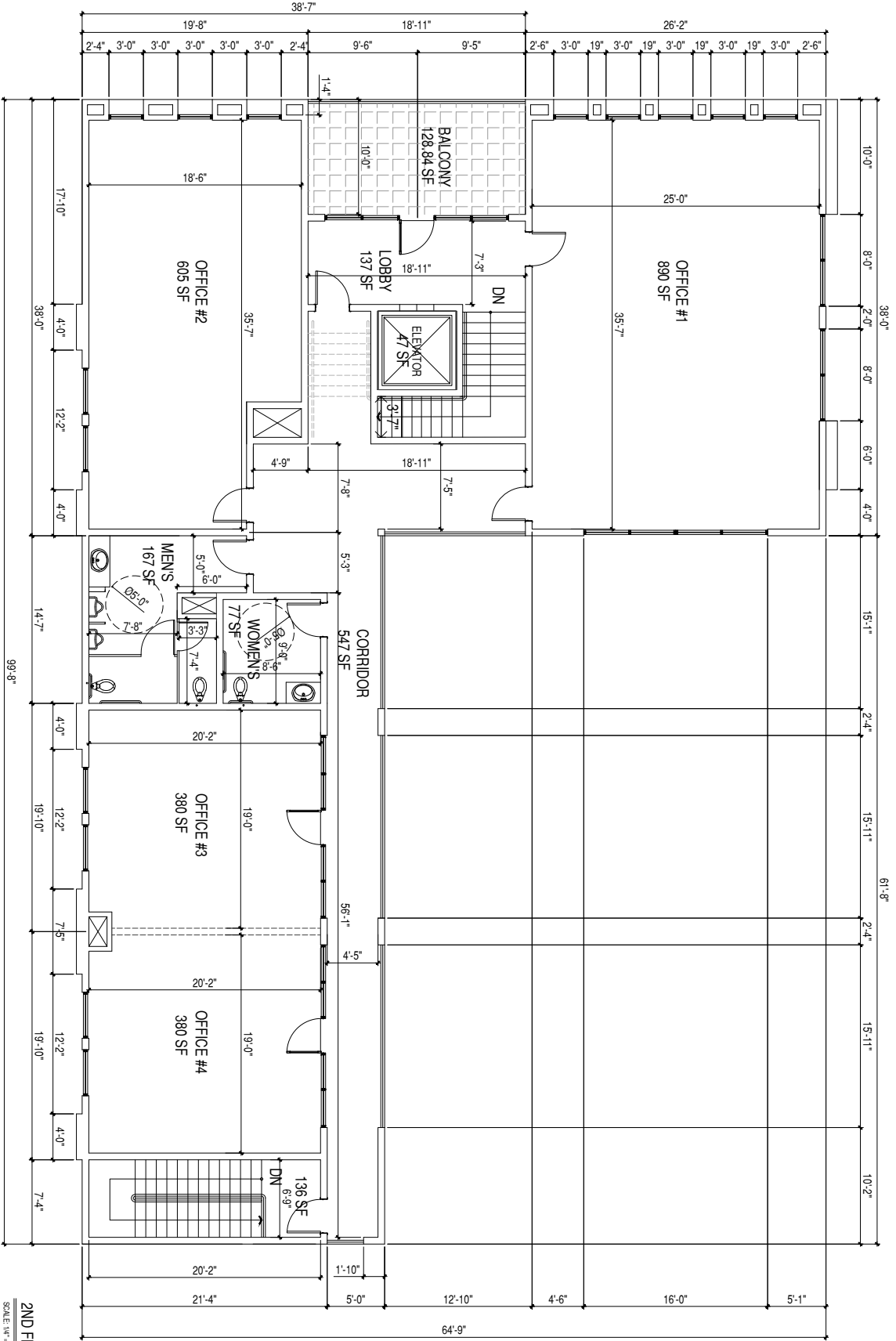
SHEET TITLE: **ROOF PLAN**

CONSULTANT ENGINEERS:			ENGINEER ON RECORDS:	
CIVIL ENGINEER	SOIL ENGINEER	ENERGY DESIGNER	BUILDING STRUCTURE	

STAMP:

NOTES TO CONTRACTOR:
 (1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE CITY AND COUNTY OF SAN FRANCISCO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE CITY AND COUNTY OF SAN FRANCISCO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE CITY AND COUNTY OF SAN FRANCISCO.

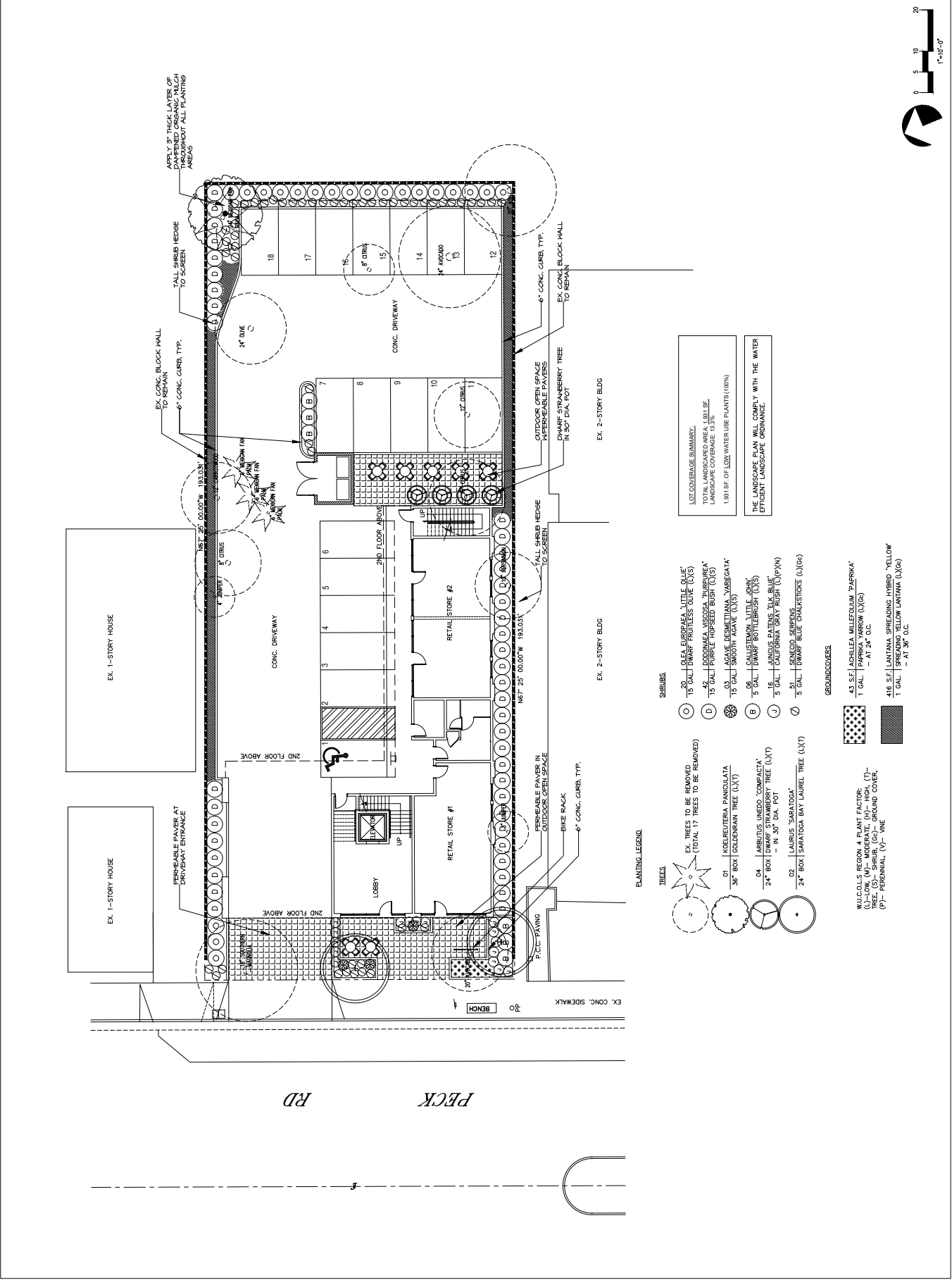
SHEET NUMBER: **A-1.02**



2ND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



REVISION:	BY:	PROJECT:	OWNER:	CONSULTANT ENGINEERS:	ENGINEER ON RECORD:	STAMP:	NOTES TO CONTRACTOR:	SHEET NUMBER:
A		HAN'S PLAZA COMMERCIAL MULTI-UNIT DEVELOPMENT 438 PIERCE ROAD, EL MONTE, CA 91732	TOM HAN 438 PIERCE ROAD, EL MONTE, CA 91732	CIVIL ENGINEER	SOIL ENGINEER	ENERGY DESIGNER	ENGINEER ON RECORDS BUILDING STRUCTURE	
A								
A								
A								
A								



LOT COVERAGE SUMMARY:
 TOTAL LANDSCAPED AREA: 1811 SF.
 LANDSCAPE COVERAGE: 13.3%
 1,811 SF. OF LOW WATER USE PLANTS (100%)

THE LANDSCAPE PLAN WILL COMPLY WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE.

- PLANTING LEGEND:**
- TREES**
- 01 KOEHLERIA PANICULATA - 36" BOX | GOLDENWAX TREE (L/T)
 - 04 ARBUTUS UNEDO 'COMPACTA' - 24" BOX | DWARF STRAWBERRY TREE (L/T)
 - 05 LAURUS 'SARATOGA' - 24" BOX | SARATOGA BAY LABEL TREE (L/T)
 - 06 OLEA EUROPAEA 'LITTLE OLIE' - 15" GALL | DWARF FRUITLESS OLIVE (L/S)
 - 07 BORDONIA VIREOSA 'PILIBREIA' - 15" GALL | PURPLE HOPESEED BUSH (L/S)
 - 08 AGAVE DESMETIANA 'VARIEGATA' - 15" GALL | SMOOTH AGAVE (L/S)
 - 09 CALUSTEMON LITTLE 'LON' - 5" GAL | DWARF STRAWBERRY TREE (L/T)
 - 10 CALIFORNIA TOXIC BUSH (L/P/N)
 - 11 BERBERIS BERBERIS - 5" GAL | DWARF BLUE CHALKSTOCKS (L/VG)
- SHRUBS**
- 02 OLEA EUROPAEA 'LITTLE OLIE' - 15" GALL | DWARF FRUITLESS OLIVE (L/S)
 - 03 BORDONIA VIREOSA 'PILIBREIA' - 15" GALL | PURPLE HOPESEED BUSH (L/S)
 - 04 AGAVE DESMETIANA 'VARIEGATA' - 15" GALL | SMOOTH AGAVE (L/S)
 - 05 CALUSTEMON LITTLE 'LON' - 5" GAL | DWARF STRAWBERRY TREE (L/T)
 - 06 CALIFORNIA TOXIC BUSH (L/P/N)
 - 07 BERBERIS BERBERIS - 5" GAL | DWARF BLUE CHALKSTOCKS (L/VG)
- EX. TREES TO BE REMOVED (TOTAL 17 TREES TO BE REMOVED)**
- 01 KOEHLERIA PANICULATA - 36" BOX | GOLDENWAX TREE (L/T)
 - 02 OLEA EUROPAEA 'LITTLE OLIE' - 15" GALL | DWARF FRUITLESS OLIVE (L/S)
 - 03 BORDONIA VIREOSA 'PILIBREIA' - 15" GALL | PURPLE HOPESEED BUSH (L/S)
 - 04 AGAVE DESMETIANA 'VARIEGATA' - 15" GALL | SMOOTH AGAVE (L/S)
 - 05 CALUSTEMON LITTLE 'LON' - 5" GAL | DWARF STRAWBERRY TREE (L/T)
 - 06 CALIFORNIA TOXIC BUSH (L/P/N)
 - 07 BERBERIS BERBERIS - 5" GAL | DWARF BLUE CHALKSTOCKS (L/VG)
- GROUNDCOVERS**
- 42 S.F. | ACHILLEA MILEFOLIUM 'YAPPIKA' - 1 GAL | PINK ANEMONE (L/CG)
 - 7 AT 24" OC.
 - 418 S.F. | LANITANA SPREADING HYBRID 'YELLOW SPREADING YELLOW LANITANA (L/CG)
 - 1 GAL. - AT 36" OC.
- WILCO'S REGION 4 PLANT FACTORS:**
 (L)-LOW, (M)-MODERATE, (H)-HIGH, (T)-TREE, (S)-SHRUB, (G)-GROUND COVER, (P)-PERENNIAL, (V)-VINE

APPLY 3" THICK LAYER OF DAMPENED ORGANIC MULCH WITHOUT ALL PLANTING AREAS

TALL SHRUB HEDGE TO SCREEN

EX. CONC. BLOCK MALL TO REMAIN

6" CONC. CURB, TYP.

24" CURB

CONC. DRIVEWAY

EX. 1-STORY HOUSE

PERMEABLE PAVEMENT AT DRIVEWAY ENTRANCE

2ND FLOOR ABOVE

LOBBY

RETAIL STORE #1

UP

2ND FLOOR ABOVE

PERMEABLE PAVEMENT IN OUTDOOR OPEN SPACE

BIKE RACK

6" CONC. CURB, TYP.

EX. CONC. SIDEWALK

BENCH

20" CONC. PAVING

EX. 2-STORY BLDG

6" CONC. CURB, TYP.

EX. CONC. BLOCK MALL TO REMAIN

OUTDOOR OPEN SPACE PERMEABLE PAVEMENT

DWARF STRAWBERRY TREE IN 30" DIA. POT

EX. 2-STORY BLDG

CONC. DRIVEWAY

EX. 1-STORY HOUSE

PERMEABLE PAVEMENT AT DRIVEWAY ENTRANCE

2ND FLOOR ABOVE

LOBBY

RETAIL STORE #2

UP

2ND FLOOR ABOVE

PERMEABLE PAVEMENT IN OUTDOOR OPEN SPACE

BIKE RACK

6" CONC. CURB, TYP.

EX. CONC. SIDEWALK

BENCH

20" CONC. PAVING

EX. 2-STORY BLDG

6" CONC. CURB, TYP.

EX. CONC. BLOCK MALL TO REMAIN

OUTDOOR OPEN SPACE PERMEABLE PAVEMENT

DWARF STRAWBERRY TREE IN 30" DIA. POT

EX. 2-STORY BLDG



CITY OF EL MONTE

COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT

Betty Donovanik,
Director

Jason C. Mikaelian, AICP,
Deputy Director

SENT VIA E-MAIL TO JUMBODOLLAR@GMAIL.COM

December 7, 2022

Jeremy Yeh
721 Brea Canyon Road #3
Temecula, CA 92592

**SUBJECT: Conditional Use Permit (CUP) 11-21 & Design Review (DR) 12-21
4336 Peck Road**

Dear Mr. Yeh,

The City of El Monte Planning Division is in receipt of the above referenced entitlement application received on September 13, 2021. The subject property is located within the MMU (Mixed/Multiuse) zone and designated as "Mixed/Multi Use" by the General Plan. Currently, the property is developed with an existing single family residence on a 14,477 SF lot. Your original proposed project was to redevelop the property to construct a 9,406 SF multi-tenant commercial building. However, you have revised the project to consist of a total of 4,040 SF. Staff has reviewed your 5th submittal for completeness, and as of this date, determined that your application is deemed **incomplete**. The following comments/items need to be addressed in the next submittal:

REQUIRED PAYMENTS

1. **Resubmittal Fee**- Staff has conducted a 5th review of the proposed project and requires a resubmittal fee of \$406 for each resubmittal moving forward. Upon resubmitting, provide payment of \$406 (payable to the "City of El Monte").

MISSING ITEMS

2. **L.A. County Check**- A \$75 check was never submitted with the application. Provide an undated check for \$75.00 made payable to "L.A. County". **(This was requested in the previous status letter).**
3. **Radius Map**- Please be aware that the radius map and mailing labels for the project were prepared on July 14, 2022 and are only valid for 6 months. Therefore, a new radius map and mailing labels would need to be provided by January 14, 2023 if the project is not deemed "complete" and public notices are not mailed out by this time.

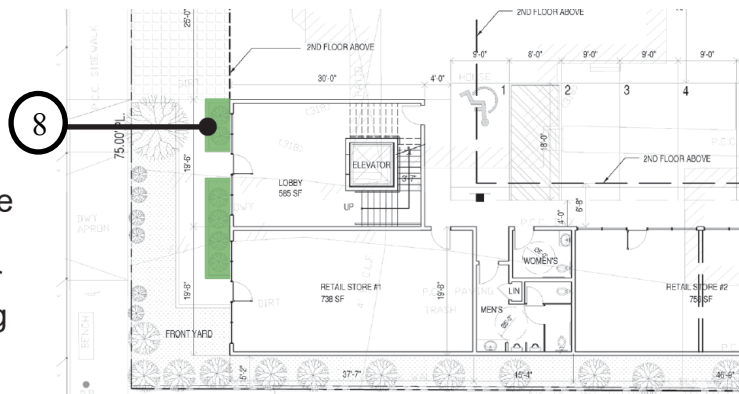
SITE PLAN COMMENTS (See Enclosure No. 1)

4. Floor Area Calculations- The calculations for Floor Area and Parking shall be updated to reflect the following requirements:

The sum of the horizontal areas of all floors of a building or structures including hallways, service areas, mechanical rooms and attic areas having a height of more than seven (7) feet. Elevator shafts and stairwells shall only be counted once. Fully subterranean basements, courtyards, outdoor passageways and areas used exclusively for vehicle parking or loading shall not be counted. Measurements shall be from the interior walls of the building or structure.

5. Rear Property Line Landscape Planter- The landscape planter proposed along the rear property line is required to be widened to a minimum of six (6) feet in order to allow parking to overhang into the planter.
6. Storefront Pedestrian Path- The pedestrian path that is proposed within the building's storefronts is connected to the driveway and must be redesigned to provide direct connection from the sidewalk instead.
7. Public Open Space- The front setback shall be programmed to function as public open space. Propose public open space amenities (e.g., pedestrian inter-locking pavers, seating, landscaping, etc.).
8. Storefront Landscape Planters- The proposed landscaping at the storefront should include low-growing plants to not interfere with visibility into the building. (See below)

Ensure proposed landscaping on the West Elevation does not interfere with visibility into the storefronts facing Peck Road in order to maintain a strong street presence.

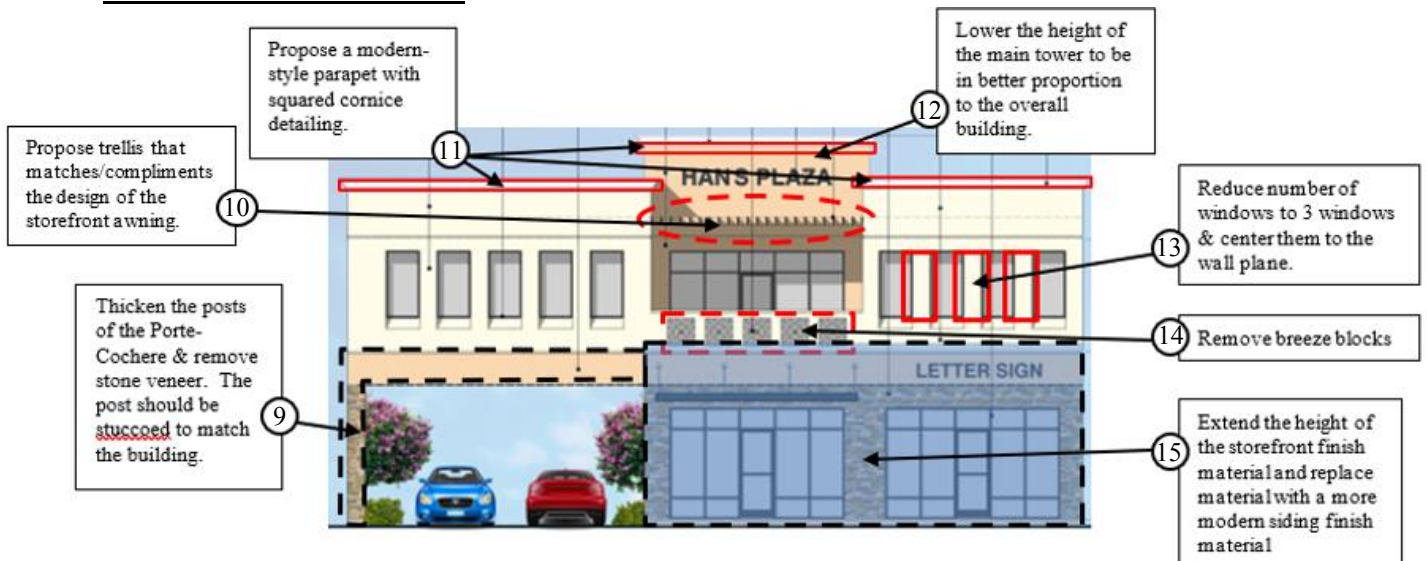


ARCHITECTURAL COMMENTS

Front Elevation

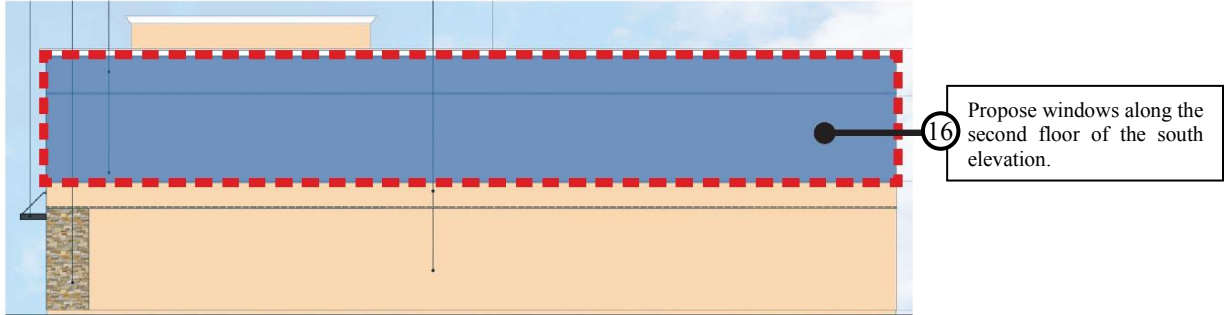
9. Thicken the posts of the porte-cochere and remove the stone veneer. The posts should be stuccoed to match the building. (See Exhibit A below)
10. Propose a second story trellis that matches/compliments the design of the storefront awning. (See Exhibit A below)
11. Propose a modern-contemporary style parapet with squared cornice detailing. (See Exhibit A below)
12. Lower the height of the main tower to be in better proportion to the overall building. (See Exhibit A below)
13. Reduce the number of windows to 3 windows and center them to the wall plane. (See Exhibit A below)
14. Remove the breeze blocks. (See Exhibit A below)
15. Extend the height of the storefront finish material and replace the material with a more modern style siding finish material. (See Exhibit A below)

Exhibit A- Front Elevation

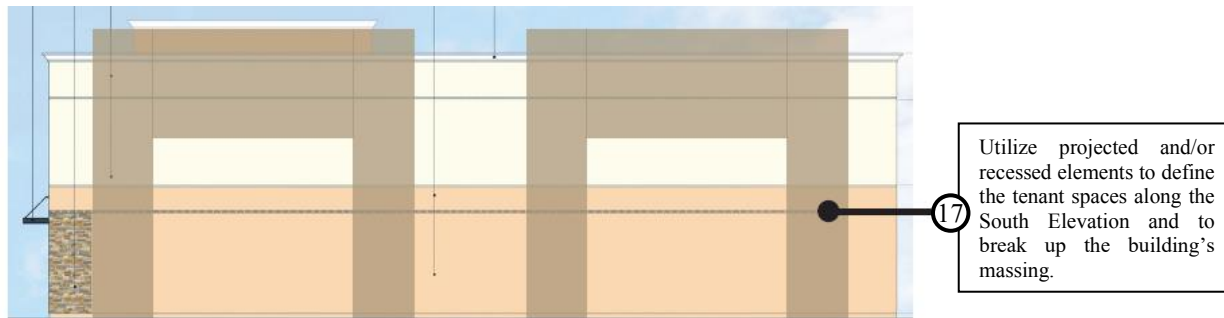


South Elevation

16. Propose windows along the second floor of the South Elevation to introduce natural light and depth in the building façade. (See below)



17. Utilize projected and/or recessed elements to define the tenant spaces along the South Elevation and to break up the building's massing. (See below)



East Elevation

18. Increase the thickness of the posts along the second story and Porte-Corte to be wider in order to provide an appearance of structural integrity and balance. (See below)



Building Colors & Materials

19. Replace the proposed “La Habra Stucco Adobe” color with a more modern-contemporary color.
20. Remove the “Wrought Iron Decorative” detailing from the plans.
21. Replace the “Stone Veneer (Hey Tiles)” with a more contemporary-modern siding material.
22. Replace the “Aluminum Trellis” along the second floor with a more contemporary-modern style trellis that matches/compliments the awning at the ground floor.
23. Replace the “Cement Coated Foam Crown Molding” with a more contemporary-modern style parapet with a squared cornice.
24. Foam finish material is not allowed.

MISCELLANEOUS COMMENTS

25. Digital & Hard Copies- Provide digital and hard copies of all plans and resubmittal documents.

Once all of the previously mentioned items have been addressed, and revised plans and other requested items are submitted, the Planning Division will commence another review of the submitted materials to determine completeness of the application. In addition, the revised plans will need to be reviewed by the Fire Department and other City Department/Divisions. Please be advised that additional comments or items may be requested. All resubmittals are to be dropped off at City Hall West from Monday through Thursday from 8:00 AM to 4:00 PM or mailed in to City Hall at the address below:

City of El Monte
Attn: Tony Bu, Planning Division
11333 Valley Blvd
El Monte, CA 91731

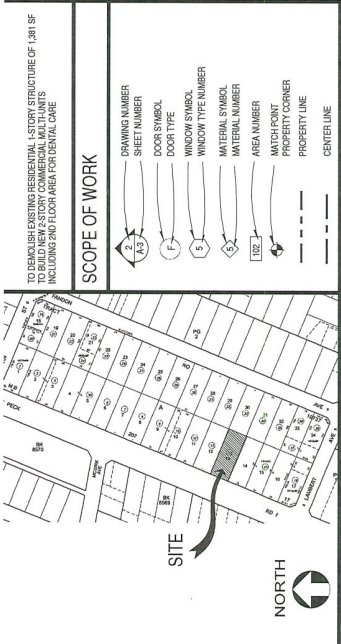
Should you have any questions regarding this matter, please contact me at 626-580-2152 or via email at tbu@elmonteca.gov.

Sincerely,



Tony Bu, Senior Planner

Enclosure: No. 1- Marked-Up Site Plan



TO DEMOLISH EXISTING RESIDENTIAL 1-STORY STRUCTURE OF 1,881 SF INCLUDING 2ND FLOOR AREA FOR DENTAL CARE

SCOPE OF WORK

- DRAWING NUMBER
- SHEET NUMBER
- DOOR SYMBOL
- DOOR TYPE
- WINDOW SYMBOL
- WINDOW TYPE NUMBER
- MATERIAL SYMBOL
- MATERIAL NUMBER
- AREA NUMBER
- MATCH POINT
- PROPERTY CORNER
- PROPERTY LINE
- CENTER LINE

HAN'S PLAZA
COMMERCIAL MULTI-UNIT DEVELOPMENT
 4336 PECK ROAD, EL MONTE, CA 91732

LEGAL

ALL WORKS INCLUDING MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA LAND USE CODE, AND CITY AMENDMENTS.

PROJECT: HAN'S PLAZA COMMERCIAL MULTI-UNIT DEVELOPMENT
SITE ADDRESS: 4336 PECK ROAD, EL MONTE, CA 91732
LOT: 13 BLOCK A TRACT NO. 1077
CITY: EL MONTE
TRACT NO: 1077 LOT 13 B.L.K.A.
CITY: EL MONTE
CITY MAP: RECONCLUSTER: 1909177

UPDATE.
SEE COMMENT # 4

CONSTRUCTION TYPE: B/S2
OCCUPANCY GROUP: B/S2
STORY: 2 STORY
1ST FLOOR: 738 SF + 658 SF LOBBY + 231 SF RESTROOM + 238 SF
2ND FLOOR: 693 SF + 738 SF + 424 SF + 424 SF + 1319 SF LOBBY + 279 SF RESTROOM + 254 SF
FLOOR AREA RATIO: 2.248 SF + 2.244 SF + 4.068 SF + 14.582 SF + 2.577%
PARKING SPACE REQUIRED: 4100 SF + 220 SF = 4320 SF
PROVIDED PARKING SPACE: 4320 SF + 16 STALLS
PARKING SPACE PROVIDED: 48 STALLS
REQUIRED PARKING SPACE: 4320 SF
PROPOSED PARKING SPACE: 4320 SF
PROPOSED LANDSCAPING AREA: 2,108 SF
REQUIRED COMMON OPEN AREA: 2,571 SF X 15% = 381.15 SF
PROVIDED COMMON OPEN AREA: 599 SF > 381.15 SF

CODES OF DESIGN

SUMMARY

ARCHITECTURAL	SITE PLAN AND SUMMARY
T-1.00	SITE PLAN AND SUMMARY
A-1.00	EXISTING FLOOR PLAN
A-1.10	SCHEMATIC SECTION
A-1.12	ROOF PLAN
A-2.01	ELEVATIONS



ARCHITECTURAL	SITE PLAN AND SUMMARY
T-1.00	SITE PLAN AND SUMMARY
A-1.00	EXISTING FLOOR PLAN
A-1.10	SCHEMATIC SECTION
A-1.12	ROOF PLAN
A-2.01	ELEVATIONS

CONTRACT INFORMATION

ENGINEER RECORDS

NOTES TO CONTRACTOR

OWNER: TOM HAN
 4336 PECK ROAD, EL MONTE, CA 91732

CONSULTANT ENGINEERS:
 CIVIL ENGINEER
 SOIL ENGINEER
 ENERGY DESIGNER

ENGINEER ON RECORDS:
 BUILDING STRUCTURE

STAMP:

REVISIONS:

1	BY: [Signature]
2	BY: [Signature]
3	BY: [Signature]

PROJECT: HAN'S PLAZA COMMERCIAL MULTI-UNIT DEVELOPMENT
 4336 PECK ROAD, EL MONTE, CA 91732

OWNER: TOM HAN
 4336 PECK ROAD, EL MONTE, CA 91732

CONSULTANT ENGINEERS:
 CIVIL ENGINEER
 SOIL ENGINEER
 ENERGY DESIGNER

ENGINEER ON RECORDS:
 BUILDING STRUCTURE

STAMP:

REVISIONS:

1	BY: [Signature]
2	BY: [Signature]
3	BY: [Signature]

NOTES TO CONTRACTOR:

VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. ALL DIMENSIONS AND CONDITIONS ON THE JOB SHALL BE VERIFIED BY THE CONTRACTOR AND THE ARCHITECT. ALL DIMENSIONS AND CONDITIONS ON THE JOB SHALL BE VERIFIED BY THE CONTRACTOR AND THE ARCHITECT. ALL DIMENSIONS AND CONDITIONS ON THE JOB SHALL BE VERIFIED BY THE CONTRACTOR AND THE ARCHITECT.

SHEET NUMBER: T-1.00

COMPREHENSIVE BUILDING DESIGN & CONSULTATION
 1837 BUFFWOOD STREET, FOWLAND HEIGHTS, CA 91746
 TEL: (925) 228-8855 E-MAIL: JIM@COMDCOLLAR.COM

RE-PROGRAM TO BE PUBLIC OPEN SPACE

REMOVE PEDESTRIAN CONNECTION FROM THE DRIVEWAY

PROVIDE LOW-GROWTH LANDSCAPING TO NOT IMPED VISIBILITY INTO BUILDING

INCREASE REAR LANDSCAPE PLANTER TO MINIMUM OF SIX FEET

PROVIDE DIRECT PEDESTRIAN CONNECTION FROM SIDEWALK

SCALE: 1/4" = 1'-0"

PECK ROAD

NORTH

VICINITY MAP

RE-PROGRAM TO BE PUBLIC OPEN SPACE

REMOVE PEDESTRIAN CONNECTION FROM THE DRIVEWAY

PROVIDE LOW-GROWTH LANDSCAPING TO NOT IMPED VISIBILITY INTO BUILDING

INCREASE REAR LANDSCAPE PLANTER TO MINIMUM OF SIX FEET

PROVIDE DIRECT PEDESTRIAN CONNECTION FROM SIDEWALK

DEPARTMENT OF COUNTY ENGINEER
 DIVISION OF BUILDING AND SAFETY
 COUNTY OF LOS ANGELES
 WILLIAM J. FOX, COUNTY ENGINEER

SEWER—SEWAGE DISPOSAL
 PERMIT APPLICATION

1

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: [REDACTED]
 LOCALITY: [REDACTED]
 NEAREST CROSS ST.: [REDACTED]
 OWNER: [REDACTED]
 MAIL ADDRESS: [REDACTED]
 CITY: [REDACTED] TEL. NO.: [REDACTED]
 CONTRACTOR: [REDACTED]
 ADDRESS: [REDACTED]
 CITY: [REDACTED] TEL. NO.: [REDACTED]
 REGISTRATION NO.: [REDACTED] STATE COUNTY
 LEGAL DESCRIPTION: [REDACTED] LOT NO.: [REDACTED] BLOCK: [REDACTED] TRACT: [REDACTED]
 SIZE OF LOT: [REDACTED] NO. OF BLDGS. NOW ON LOT: [REDACTED]
 USE OF BUILDINGS: [REDACTED]

NO.	DESCRIPTION OF WORK	FEE
	HOUSE SEWER CONNECTING TO PUBLIC SEWER	@ \$ 3.50
	HOUSE SEWER CONNECTING TO PRIVATE DISPOSAL SYSTEM	1.00
	CONNECT ADDITIONAL BLDG. OR WORK TO HOUSE SEWER	1.00
	ALTER OR REPAIR EXISTING SEWER OR DISPOSAL SYSTEM	1.00
	DISCONNECT AND ABANDON SEWER AND/OR DISPOSAL SYSTEM	1.00
	SEPTIC TANK, SEEPAGE PIT OR PITS AND/OR DRAINFIELD	2.00
	CESSPOOL—DRYWELL SPECIAL CONDITIONS ONLY	2.00
		2.00

BUILDING ADDRESS: 4336 N. Pacific
 LOCALITY: EL PASO
 NEAREST CROSS ST.: LAUREL
 DISTRICT NO.: 2 SERIAL NO.: A PERMIT NO.: 3021 S
 RECEIVED BY: [Signature] Ready for Inspection DATE ISSUED: 26 MAR 63
 USE ZONE: C2 OCCUPANCY: [REDACTED] BK MAP PG: 2108
 CO. IMP. NO.: [REDACTED] JOB. NO.: [REDACTED]
 TRUNK PERMIT NO.: [REDACTED] ROAD PERMIT NO.: [REDACTED]
 STATE ENCROACHMENT PERMIT NO.: [REDACTED] INDUSTRIAL WASTE APPROVAL: [REDACTED]
 CHARGES
 CONNECTION CHARGE FEE: [REDACTED] REIMBURSEMENT FEE: [REDACTED]
 RECEIPT NO.: [REDACTED] DATE: [REDACTED] BY: [REDACTED]
 EXCEPTION RECORDED
 NO.: [REDACTED] DATE: [REDACTED] BY: [REDACTED]
 CONNECTION DATA
 STATION: [REDACTED] DEPTH: [REDACTED]
 MANHOLE REFERENCE UPPER: [REDACTED] LOWER: [REDACTED]
 TYPE OF CONNECTION CURB P.L. LENGTH FROM M.L. TO P.L.: [REDACTED]

OWNERS AUTHORIZATION

PERMIT	\$	1	00
TOTAL FEE		3	00

I HAVE THIS DATE CONTRACTED WITH THE HEREIN NAMED CONTRACTOR TO CONNECT THE ABOVE DESCRIBED EXISTING DWELLING TO THE PUBLIC SEWER

SIGNED THIS _____ DAY OF _____ 19____

OWNER OR OWNERS AGENT: [Signature]
 ADDRESS: [REDACTED]

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING PLUMBING AND SEWERS.

I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND/OR LICENSED AS REQUIRED BY LOS ANGELES COUNTY AND STATE OF CALIFORNIA OR THAT I AM THE LEGAL OWNER OF THE ABOVE DESCRIBED RESIDENTIAL PROPERTY.

SIGNATURE OF PERMITTEE: [Signature]

APPROVALS

	INSPECTOR'S SIGNATURE	DATE
NEW HOUSE SEWER		
CONNECT ADDITIONAL BUILDING OR WORK		
SEPTIC TANK, SEEP. PIT(S) AND/OR DRAINFIELD		
CESSPOOL <input type="checkbox"/> DRYWELL <input type="checkbox"/>		
ALTER, REPAIR, SEWER OR SEWAGE DISPOSAL SYSTEM	[Signature]	4/3/55
DISCONNECT PLUG AND ABANDON HOUSE SEWER		
BACKFILL SEPTIC TANKS <input type="checkbox"/>		
SEEP. PIT(S) <input type="checkbox"/> CESSPOOLS <input type="checkbox"/>		

#623

APPLICATION FOR ELECTRICAL PERMIT

1

COUNTY OF LOS ANGELES
 DEPARTMENT OF COUNTY ENGINEER
 BUILDING AND SAFETY DIVISION
 JOHN A. LAMBIE, COUNTY ENGINEER
 COLEMAN W. JENKINS, SUPERINTENDENT OF BUILDING

BUILDING ADDRESS	14336 NO PECK RD		
LOCALITY	EL MONTE		
NEAREST CROSS ST.	LAMBERT		
OWNER	SAM HORII		
MAIL ADDRESS	SAME AS ABOVE		
CITY	TEL. NO.		
CONTRACTOR	FW SMITH ELECTRIC SHOP		
ADDRESS	107 E. HUNTINGTON DR		
CITY	ARCADIA	TEL. NO.	447-1464
STATE LICENSE NO.	97300		

FOR APPLICANT TO FILL IN

RECEPT.	TOTAL OUTLETS	NO.	EACH	FEE
LIGHT	1	FIRST 20	1	\$.20
SWITCH		ADD'L OVER 20		.10
LIGHTING FIXTURES	TOTAL FIXTURES	FIRST 20		.20
		ADD'L OVER 20		.10
RANGES	DRYERS	WTR. HTRS.		1.00
GARB. DISP.	STA. COOK			
DISHWASH.	AUTO.-WASH.			
SPACE HTRS.	STA. APPL.			.50
MOTORS: OVER NOT OVER H.P.				
	0	1		1.00
	1	3		1.50
	3	8		2.00
	8	15		2.50
	15	50		3.00
	50	100		5.00
SIGNS: NO. TRANS NO. LAMPS				
SERVICE 0-600V-NOT OVER 200A			1.00	1.00
SERVICE 0-600V-OVER 200 A.			2.00	
SERVICE OVER 600V			5.00	
OTHER (SEE COMPLETE FEE SCHEDULE)				
PERMIT ISSUING FEE			2.00	2.00
SUPPLEMENTARY PERMIT ISSUING FEE			1.00	
TOTAL FEE			\$	370

DISTRICT NO.	GROUP	ZONE	PROCESSED BY
5	ITC2		Tom

INSPECTION RECORD

APPROVALS	DATE	INSPECTOR'S SIGNATURE
UNDERSLAB WORK		
ROUGH CONDUIT		
WIRING		
FIXTURES		
POWER		
UTILITY CO. NOTIFIED	7-6-66	Mass
FINAL		

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING ELECTRICAL WIRING.

I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND/OR LICENSED AS REQUIRED BY LOS ANGELES COUNTY AND STATE OF CALIFORNIA OR THAT I AM THE LEGAL OWNER OF, AND INTEND TO RESIDE IN, THE ABOVE DESCRIBED RESIDENTIAL PROPERTY.

SIGNATURE OF PERMITTEE *J.W. Smith*

VALIDATION
 CK MO CASH
 JOSEPH C. ROOHAN
 SUPERVISING ELECTRICAL ENGINEER

LALo 3 2 7 3 8 JUL 5 2 A 3.70

Bonham

INSPECTOR COPY

APPLICATION FOR PLUMBING PERMIT

1

BUILDING AND SAFETY DIVISION
Department of County Engineer
County of Los Angeles
JOHN A. LAMBIE, COUNTY ENGINEER
CASSATT D. GRIFFIN, SUP'T OF BUILDING

BUILDING ADDRESS 4336 Peck Road
LOCALITY El Monte
NEAREST CROSS ST. Lambert

FOR APPLICANT TO FILL IN

OWNER [Redacted]
MAIL ADDRESS 4336 Peck Road
CITY El Monte TEL. NO. _____

PLUMBER Funk Plby Co.
ADDRESS 10639 Mulhally
CITY EL MONTE TEL. NO. 618-1734
LICENSE NO. 162246 C36

NUMBER	TYPE OF FIXTURE OR ITEM	FEE
1	WATER CLOSET (TOILET) @ \$1.00	\$1 00
	BATH TUB @ \$1.00	
1	SHOWER @ \$1.00	1 00
1	LAVATORY (WASH BASIN) @ \$1.00	1 00
	KITCHEN SINK @ \$1.00	
	DISHWASHER @ \$1.00	
	LAUNDRY TUB OR TRAY @ \$1.00	
	CLOTHES WASHER @ \$1.00	
	WATER HEATER @ \$1.00	
1	GAS SYSTEM @ \$1.00	1 00

PERMIT	\$	1 00
TOTAL FEE		5 00

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING PLUMBING.
I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND/OR LICENSED AS REQUIRED BY LOS ANGELES COUNTY AND STATE OF CALIFORNIA OR THAT I AM THE LEGAL OWNER OF THE ABOVE DESCRIBED RESIDENTIAL PROPERTY.
SIGNATURE OF PERMITTEE Wesley M. Funk

DISTRICT NO. 2 GROUP IJC-2 ZONE _____ READY FOR INSPECTION _____
INDUSTRIAL WASTE APPROVAL _____

INSPECTION RECORD

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
UNDER SLAB WORK	<u>8.6.57</u>	<u>[Signature]</u>
ROUGH PLUMBING	<u>8.10.57</u>	<u>[Signature]</u>
GAS PIPING	<u>8.11.57</u>	<u>[Signature]</u>
GAS VENT		
HOT WATER HEATER		
PLUMBING FIXTURES		
GAS TEST		
UTILITY CO. NOTIFIED		
FINAL		

JOHN A. LAMBIE, COUNTY ENGINEER

ROBERT A. WOOD,
SUPERVISING MECHANICAL ENG'R

VALIDATION
CK. M. O. CASH. 98595 AUG 5 3 5.00 @

[Signature]

APPLICATION FOR PERMIT SEWER—SEWAGE DISPOSAL

1

DIVISION OF BUILDING AND SAFETY

Department of County Engineer
County of Los Angeles

JOHN A. LAMBIE, COUNTY ENGINEER
CASSATT D. GRIFFIN, SUP'T OF BUILDING

BUILDING ADDRESS	4336 PECK PL
LOCALITY	EL MONTE
NEAREST CROSS ST.	LAMBIE ST
OWNER	[REDACTED]
MAIL ADDRESS	[REDACTED]
CITY	EL MONTE

FOR APPLICANT TO FILL IN

LEGAL DESCRIPTION	LOT NO.	13
BLOCK	TRACT	10737
SIZE OF LOT	NO. OF BLDGS. NOW ON LOT	75X175 1
USE OF BUILDINGS	RES	
CONTRACTOR	JOHN A. BISKOVICH	
ADDRESS	1107 RANCHITO ST	
CITY	TEL. NO.	EL MONTE SF 88469
REGISTRATION NO.	143787 - C-42	

NO.	DESCRIPTION OF WORK	FEE	
1	HOUSE SEWER CONNECTING TO PUBLIC SEWER @ \$3.50		3.50
	SEPTIC TANK, SEEPAGE PIT OR PITS AND/OR DRAINFIELD @ \$3.00		
	OVERFLOW SEEPAGE PIT, DRAINFIELD EXTN., CESSPOOL, DRYWELL, MANHOLE @ \$2.00		
	HOUSE SEWER CONNECTING TO PRIVATE DISPOSAL SYSTEM @ \$1.00		
	CONNECT ADDITIONAL BLDG. OR WORK TO HOUSE SEWER @ \$1.00		
	ALTER, REPAIR OR ABANDON HOUSE SEWER OR DISPOSAL SYSTEM @ \$1.00		

OWNER'S AUTHORIZATION	PERMIT	\$	1	00
	TOTAL FEE		4	50

I HAVE AT THIS DATE A CONTRACT WITH THE HEREIN NAMED CONTRACTOR TO CONNECT THE ABOVE DESCRIBED EXISTING DWELLING TO THE PUBLIC SEWER.

SIGNED THIS _____ DAY OF _____ 19____

OWNER OR OWNERS AGENT: [REDACTED]

ADDRESS: [REDACTED]

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING PLUMBING AND SEWERS.

I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND/OR LICENSED AS REQUIRED BY LOS ANGELES COUNTY AND STATE OF CALIFORNIA OR THAT I AM THE LEGAL OWNER OF THE ABOVE DESCRIBED RESIDENTIAL PROPERTY.

SIGNATURE OF PERMITTEE: [Signature]

DISTRICT NO.	GROUP	BK	MAP	BG
2	I	P	33	
CONNECTION DATA				
STATION	18+50	DEPTH	6'	
MANHOLE REFERENCE	18+73		23 N	
			UPPER	LOWER
TYPE OF CONNECTION	P.L.	LENGTH FROM M.L. TO P.L.	22'	
CO. IMP. NO.	1851	P. C. NO. JOB NO.		
TRUNK PERMIT NO.		ROAD PERMIT NO.		
STATE ENCROACHMENT PERMIT NO.				
INDUSTRIAL WASTE APPROVAL				

APPROVALS	DATE	INSPECTOR'S SIGNATURE
NEW HOUSE SEWER	10-24-87	[Signature]
CONNECT ADDITIONAL BUILDING OR WORK		
SEPTIC TANK, SEEP. PIT(S) AND/OR DRAINFIELD		
CESSPOOL <input type="checkbox"/> DRYWELL <input type="checkbox"/>		
ALTER, REPAIR, SEWER OR SEWAGE DISPOSAL SYSTEM		
DISCONNECT PLUG AND ABANDON HOUSE SEWER		
BACKFILL SEPTIC TANKS <input type="checkbox"/> SEEP. PIT(S) <input type="checkbox"/> CESSPOOLS <input type="checkbox"/>		

JOHN A. LAMBIE, COUNTY ENGINEER

VALIDATION

ROBERT A. WOOD, CHIEF PLBG. INSPECTOR

M. O. CASH

18 00122 4 4.50

Duff

APPLICATION FOR BUILDING PERMIT

1

BUILDING AND SAFETY DIVISION
 Department of County Engineer
 County of Los Angeles
JOHN A. LAMBIE, COUNTY ENGINEER
 CASSATT D. GRIFFIN, SUP'T OF BUILDING

BUILDING ADDRESS 4336 N. Peck Rd.
 LOCALITY Cl. Monte
 NEAREST CROSS ST. Lambert

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 4336 PECK RD.
 LOT NO. 13 BLOCK
 TRACT 10737
 SIZE OF LOT 180x75 NO. OF BLDGS. NOW ON LOT 2
 USE OF EXISTING BLDG. Residence & bar
 OWNER [Redacted]
 MAIL ADDRESS 4336 N. Peck
 CITY Cl. Monte TEL. NO.
 ARCHITECT OR ENGINEER TEL. NO.
 ADDRESS
 CONTRACTOR Bennett Const Co. TEL. NO. 8-6529
 ADDRESS 10633 E. Mulhall

DISTRICT NO. 2 GROUP IJ TYPE V SEWER MAP BK 1851 PG
 STATISTICAL CLASSIFICATION
 CLASS. NO. 8 DWELL. UNITS
 MAP NUMBER 2105W STATE HWY YES NO
 USE ZONE C-2 SPECIAL CONDITIONS 1494
50' CL PECK
 BUILDING SET BACK YARD HWY STREET NAME EXIST. WIDTH
 FRONT P. L. 0 0 PECK 80'
 SIDE P. L.

DESCRIPTION OF WORK

NEW ADD ALTER REPAIR DEMOLISH
 SQ. FT. SIZE 306 NO. OF STORIES 1 NO. OF FAMILIES 1
 USE OF STRUCTURE Bedroom + Bath

INSPECTION RECORD
20' TO BE TAKEN FROM WEST SIDE PECK
Finish bath on North Wall
Electric Permit Request for lights & fixtures
Suggest Plastering Interior before Exterior Stucco is Applied 8/27/57 Kelly
 APPROVALS

SIGNATURE OF APPLICANT Richard K. Bennett
 ADDRESS 10633 E. Mulhall Cl. Monte
 VALUATION \$ 2,800
 P. C. FEE \$ 1100

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS	8-6-57	Cosker
FRAME: FIRE STOPS, BRACING, BOLTS	8-14-57	Cosker
FURNACE: LOCATION, GAS VENT, DUCTS		
LATH, INT.	9-20-57	Cosker
LATH, EXT.	9-20-57	Cosker
HOUSE NUMBER CORRECT AND POSTED		
FINAL	10-24-57	Cosker

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.
 SIGNATURE OF PERMITTEE Richard K. Bennett
 ADDRESS

JOHN A. LAMBIE, COUNTY ENGINEER, PLAN CHECK VALIDATION CK. M.O. CASH

CLYDE N. DIRLAM, PRINCIPAL STRUCTURAL ENGINEER, PERMIT VALIDATION CK. M.O. CASH

LAC 96585 AUG 5 1 11.00

Jaugh

APPLICATION FOR ELECTRIC PERMIT

1

BUILDING AND SAFETY DIVISION

Department of County Engineer
 County of Los Angeles
 JOHN A. LAMBIE, COUNTY ENGINEER
 CASSATT D. GRIFFIN, SUP'T OF BUILDING

88

FOR APPLICANT TO FILL IN PERMIT FEES

LIGHTS NUMBER	RECEPTACLES ITEM	SWITCHES EACH	FEE
3	TOTAL OUTLETS	.10	1 20
	ELEC. RANGES, WATER HEATERS, CLOTHES DRYERS	.50	
	ELEC. SPACE HEATERS, STAT'Y, COOKING UNITS, GARBAGE DISPOSERS, AUTO WASHERS, DISHWASHER	.25	
3	LIGHTING FIXTURES	.10	30
MOTORS			
HORSEPOWER			
H.P.	OVER	INC.	
		1/2 & LESS	.25
	1/2	2	.50
	2	5	1.00
	5	15	1.50
	15	50	2.50
	50	200	5.00
MISC.			
SIGNALS			
NO. TRANS NO. LAMPS			
SERVICE 0 - 600V		1.00	
SERVICE OVER 600V		5.00	
WIRING PERMIT		1.00	1 00
FIXTURE PERMIT		1.00	1 00
SUPPLEMENTARY PERMIT		.50	
TOTAL FEE			\$ 3 50

BUILDING ADDRESS: 4386 PECK ROAD N.
 LOCALITY: Norwood Village E.M.
 NEAREST CROSS ST.: Lower Azusa Rd
 OWNER: [Redacted]
 MAIL ADDRESS: [Redacted]
 CITY: [Redacted] TEL. NO.: [Redacted]
 ELECTRICIAN: Lorenzi Electric
 ADDRESS: 3204 N. Main St
 CITY: Baldwin Park TEL. NO. ED 73618
 STATE LICENSE NO.: 65189-C-10

DISTRICT NO. 2 GROUP IJ ZONE C3 READY FOR INSPECTION

INSPECTION RECORD

No New Service

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
CONDUIT	9/18/57	Cash
WIRING		
FIXTURES		
POWER		
UTILITY CO. NOTIFIED	10/2/57	Cash
FINAL		

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING ELECTRICAL WIRING.
 I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND/OR LICENSED AS REQUIRED BY LOS ANGELES COUNTY AND STATE OF CALIFORNIA OR THAT I AM THE LEGAL OWNER OF THE ABOVE DESCRIBED RESIDENTIAL PROPERTY.
 SIGNATURE OF PERMITTEE: *[Signature]*

JOHN A. LAMBIE, COUNTY ENGINEER

VALIDATION
 CK MO CASH

ARTHUR C. VEIT, SUPERVISING ELECTRICAL ENGINEER

LAC 19715 SEP 18 2 3.50

Stearne



City of El Monte

City Hall West • 11333 Valley Blvd.
El Monte, CA 91731-3293
(626) 580-2050

PERMIT NO. CO0-003-984

Permit Type: CO Residential

PROJECT	TRACT NO.	BLK. NO.	LOT NO.	APPLIC. DATE	ISSUED BY	Issue Date:	06/28/2016
	00001			6/28/2016	TM	Permit Status:	Finald

PROJECT ADDRESS: **4336 Peck Rd**
 ASSESSORS PARCEL NO.: **8548-001-013**
 GEO CODE:

OWNER: [REDACTED] MAILING ADDRESS: [REDACTED] PHONE NO.: FAX NO.:

APPLICANT: [REDACTED] MAILING ADDRESS: [REDACTED] PHONE NO.: [REDACTED] FAX NO.:

CONTRACTOR/PROFESSIONAL: MAILING ADDRESS: PHONE NO.: FAX NO.: EMAIL ADDRESS:

TENANT: MAILING ADDRESS: PHONE NO.: FAX NO.:

DESCRIPTION

RESIDENTIAL PROPERTY INSPECTION

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE

OCCUPANCY: TOTAL VALUATION: **\$0.00**

FEE DETAIL									
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
1	each	Permit Fee- CO Insp	\$114.00	\$114.00	1		Resale permit issue fee	\$23.50	\$23.50
1	1	Planning fee for CO	\$58.00	\$58.00					

Total Fees: \$ 195.50 Total Paid: \$ 195.50 Balance Unpaid: \$ 0.00 Paid Today:

RECEIPTS DETAIL					
RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT
28,164	6/28/2016	[REDACTED]	Check	1404	\$195.50



City of El Monte
 City Hall West • 11333 Valley Blvd.
 El Monte, CA 91731-3293
 (626) 580-2050

PERMIT NO. B00-024-911

Permit Type: Residential Alter

PROJECT	TRACT NO. 00001	BLK. NO.	LOT NO.	APPLIC. DATE 11/12/2019	ISSUED BY MM	Issue Date: 11/12/2019	Permit Status: Finald
---------	--------------------	----------	---------	----------------------------	-----------------	------------------------	------------------------------

PROJECT ADDRESS: **4336 Peck Rd** ASSESSORS PARCEL NO.: **8548-001-013** GEO CODE:

OWNER
 MAILING ADDRESS: [REDACTED] PHONE NO.: [REDACTED] FAX NO.: [REDACTED]

APPLICANT
 MAILING ADDRESS: [REDACTED] PHONE NO.: [REDACTED] FAX NO.: [REDACTED]

CONTRACTOR/PROFESSIONAL
 MAILING ADDRESS: [REDACTED] PHONE NO.: [REDACTED] FAX NO.: [REDACTED]
 EMAIL ADDRESS: [REDACTED]

TENANT
 MAILING ADDRESS: [REDACTED] PHONE NO.: [REDACTED] FAX NO.: [REDACTED]

DESCRIPTION
 REMOVE UNPERMITTED ELECTRICAL WIRING AND WOOD BOARDS ON WINDOWS THORUGHOUT DWELLING.

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE
Value	dollars	700	\$700.00				

OCCUPANCY: **Dwellings** TOTAL VALUATION: **\$700.00**

FEE DETAIL									
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
		SMIP 1 - R3	\$0.50	\$0.50			Green Building Fees	\$1.00	\$1.00
		Contractor's Business Lic.	\$25.15	\$25.15			Permit Fee	\$50.30	\$50.30
1		Permit Issuance Fee	\$31.90	\$31.90	50.30		Investigation Fee	\$50.30	\$50.30
		Energy surcharge	\$5.03	\$5.03			General Plan Update Fee	\$0.46	\$0.46
		Plot Plan	\$10.06	\$10.06	1 each		Archive - 8.5" x 11"	\$0.25	\$0.25
		Technology Fee	\$1.05	\$1.05					

Total Fees: \$ 176.00 Total Paid: \$ 176.00 Balance Unpaid: \$ 0.00 Paid Today:

RECEIPTS DETAIL					
RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT
36,488	11/12/2019	[REDACTED]	Cash		\$176.00



City of El Monte
 City Hall West • 11333 Valley Blvd.
 El Monte, CA 91731-3293
 (626) 580-2050

PERMIT NO. B00-020-818
Permit Type: Residential Alter

PROJECT	TRACT NO.	BLK. NO.	LOT NO.	APPLIC. DATE	ISSUED BY	Issue Date:	03/15/2017
	00001			3/15/2017	TMA	Permit Status:	Finalied

PROJECT ADDRESS 4336 Peck Rd
ASSESSORS PARCEL NO. 8548-001-013
GEO CODE

OWNER
 [REDACTED] **MAILING ADDRESS** [REDACTED] **PHONE NO.** [REDACTED] **FAX NO.** [REDACTED]

APPLICANT
 [REDACTED] **MAILING ADDRESS** [REDACTED] **PHONE NO.** [REDACTED] **FAX NO.** [REDACTED]

CONTRACTOR/PROFESSIONAL
 J & C Contractors Inc **MAILING ADDRESS** 11090 58th St
 Mira Loma, CA 91752 **PHONE NO.** (951) 727-1222 **FAX NO.**
EMAIL ADDRESS:

TENANT **MAILING ADDRESS** **PHONE NO.** **FAX NO.**

DESCRIPTION
 RE: DEMO PATIO 10x20 and HORSE STABLE 19x40, AND REPLACING WATER HEATER, INSTALL 1 OUTLET.

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE
Value	dollars	4,000	\$4,000.00				

OCCUPANCY Dwellings **TOTAL VALUATION** \$4,000.00

FEE DETAIL									
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
		SMIP 1 - R3	\$0.52	\$0.52			Green Building Fees	\$1.00	\$1.00
		Permit Fee	\$122.40	\$122.40	1		Permit Issuance Fee	\$29.20	\$29.20
1		Permit Issuance Fee	\$29.20	\$29.20	1 each		Water Heater	\$17.10	\$17.10
1 each		Outlets: light/receptical/switch	\$2.20	\$2.20	1		Electric - Permit Issue	\$29.20	\$29.20
		General Plan Update Fee	\$1.13	\$1.13			Plot Plan	\$24.48	\$24.48
1 each		Archive - 8.5" x 11"	\$0.25	\$0.25			Technology Fee	\$2.56	\$2.56

Total Fees: \$ 259.24 **Total Paid: \$ 259.24** **Balance Unpaid: \$ 0.00** **Paid Today:**

RECEIPTS DETAIL					
RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT
29,940	3/15/2017	[REDACTED]	Cash		\$259.24



City of El Monte

City Hall West • 11333 Valley Blvd.
El Monte, CA 91731-3293
(626) 580-2050

PERMIT NO. B00-005-445

Permit Type: Electrical

PROJECT TRACT NO. BLK. NO. LOT NO. APPLIC. DATE ISSUED BY
10737 0013 1/25/2007 YR

Issue Date: 01/25/2007
Permit Status: Finaled

PROJECT ADDRESS

ASSESSORS PARCEL NO. GEO CODE

4336 Peck Rd

8548-001-013

OWNER

MAILING ADDRESS

PHONE NO.

FAX NO.

APPLICANT

MAILING ADDRESS

PHONE NO. (323) 283-6317 FAX NO.

CONTRACTOR/PROFESSIONAL

MAILING ADDRESS

PHONE NO. (323) 283-6317 FAX NO.

EMAIL ADDRESS:

TENANT

MAILING ADDRESS

PHONE NO.

FAX NO.

DESCRIPTION

Upgrade electrical panel to 200 amps

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE

OCCUPANCY **Electric** TOTAL VALUATION **\$0.00**

FEE DETAIL									
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
1	each	Elec. Business License	\$28.05	\$28.05	1		Electric - Permit Issue	\$23.50	\$23.50
1	each	Sevice/panels 0-399amps	\$32.60	\$32.60					

Total Fees: \$ 84.15 Total Paid: \$ 84.15 Balance Unpaid: \$ 0.00 Paid Today:

RECEIPTS DETAIL						
RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT	
6,399	1/25/2007	G & S Electric	Check	25478	\$84.15	

Certificate of Compliance

City of El Monte



Building Division

This certificate is issued pursuant to the requirements of Section 17.16.040 of the El Monte Municipal Code certifying that at the time of the issuance this property was in substantial compliance with the various ordinances of the City regulating the life/safety aspects of building construction and use.

Building Address: 4336 PECK RD
EL MONTE, CA 91732-1906

Owner(s):	Tom Truong
Address:	4336 Peck Rd. El Monte, CA 91732
Permit Type:	Presale Residential
General Plan:	Mixed/Multi Use
Zone Code:	MMU - Mixed/multi-use Zone
APN:	8548001013

This certificate shall remain valid for a period of six (6) months from the date of its issuance by the Building Official.

Issued: January 08, 2024

APPROVED BY:

Jess McCloskey

Chief Building Official