

**OFFICE  
BUILD-TO-SUIT**

**FOR LEASE**



**15,045 SF**

**INDUSTRIAL BUILDING**

**INVERNESS NORTH BUSINESS PARK**

21730 INVERNESS FOREST BLVD, HOUSTON, TX 77073



**JUAN C. SANCHEZ**  
Managing Principal



281.407.0601, ext 1



Juan@SenderoGroup.net



**SENDERO**  
REAL ESTATE



### PROPERTY DETAILS

This 15,045 SF single-tenant industrial building recently completed shell construction in 2024. Located inside Inverness North Business Park, which is a deed restricted industrial business park located at the corner of FM 1960 & Hardy Toll Rd, offering high visibility and superb access, to Beltway 8, I-45, Hardy Toll Rd, Grand Pkwy/99, and Bush IAH. The site is fully fenced with gated access, it is well parked, and includes 1/3 acre stabilized ground storage. Warehouse is 10T crane-ready and office will be built-to-suit. The adjacent 15k single tenant building is also available for lease. Please contact us for more information.

### BUILDING DETAILS

ADDRESS	21730 Inverness Forest Blvd
LOCATION	NWC Hardy Toll Rd & FM1960
BLDG SIZE	15,045 SF
LOT SIZE	1.1± Acre; of which 0.3± Acre is stabilized ground storage
OFFICE	BUILT-TO-SUIT
PARKING	11 Spaces
TRUCK COURT	130'
LEASE PRICE	\$13.80/SF/YR + 3.47 NNN

### PROPERTY HIGHLIGHTS

- ⊕ RECENTLY COMPLETED CONSTRUCTION IN 2024
- ⊕ OFFICE BUILT-TO-SUIT
- ⊕ 28.5' CLEAR HEIGHT
- ⊕ 25' COLUMN SPACING
- ⊕ THREE (3) GRADE LEVEL LOADING DOORS 14'Wx16'H
- ⊕ 10 TON CRANE READY
- ⊕ 3-PHASE POWER; 480V/277V; 400 AMP SERVICE
- ⊕ SECURITY FENCED WITH 0.3± ACRE STABILIZED GROUND STORAGE INCLUDED

# DEMOGRAPHIC SUMMARY

Ring of 5 miles

243,992

Population



83,763

Households

33.1

Median Age

\$57,421

Median Disposable Income



\$67,844

Median Household Income



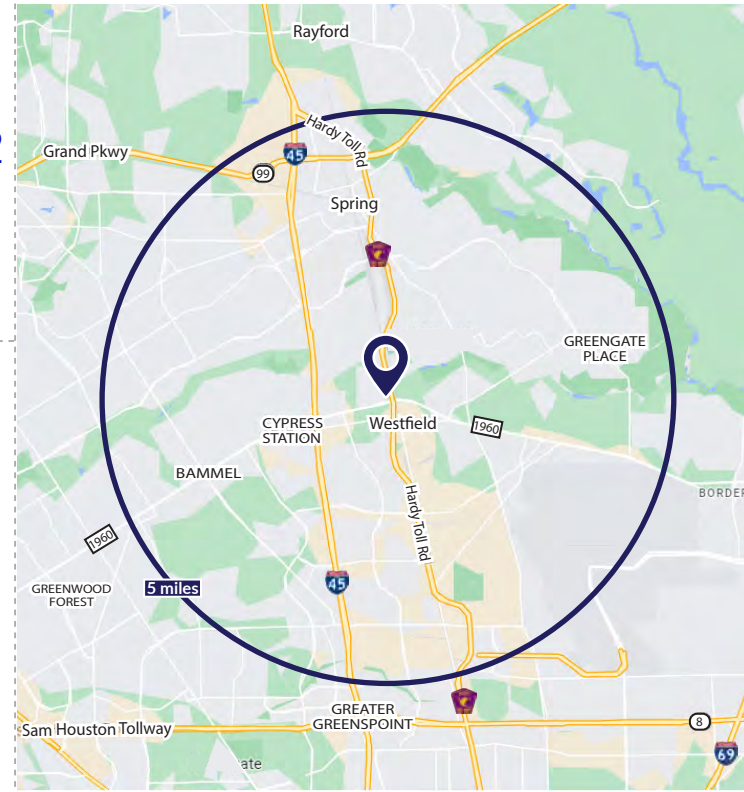
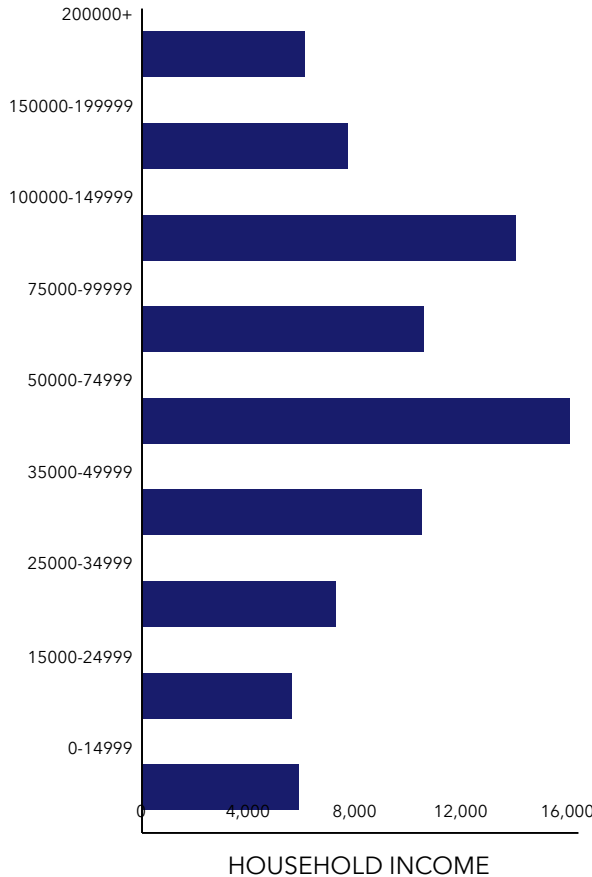
\$32,190

Per Capita Income



\$126,782

Median Net Worth



No High School Diploma



28.6%  
High School Graduate



32.9%  
Some College/  
Associate's Degree



27.4%  
Bachelor's/Graduate/  
Professional Degree



White Collar

60.8%



Blue Collar

25.5%



Services

17.1%

3.8%  
Unemployment Rate

Source: This infographic contains data provided by Esri (2024, 2029). © 2024 Esri

INVERNESS FOREST BLVD

FM 1960



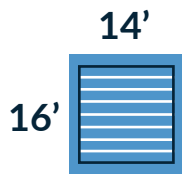
HARDY TOLL RD



15,048 SQUARE FEET



OFFICE SPACE (BUILD TO SUIT)



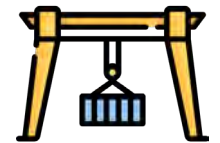
THREE GRADE LEVEL DOORS



3-PHASE HEAVY POWER



28.5' CLEAR HEIGHT



10 TON CRANE READY



**CLICK TO  
SEE VIDEO**

**46K - VPD**

**INVERNESS FOREST BLVD**

**HARDY TOLL FRONTAGE**

**65K - VPD**



**0.3± ACRE  
STABILIZED  
GROUND STORAGE**

**15,045 SF**





Reception/Lobby



Restroom



Kitchen/Breakroom



Conference Room



SOURCE  
logistics  
 ELITE  
MATERIAL HANDLING  
 ALL MY SONS  
MOVING & STORAGE

FRESH FOR EVERYONE™  
Kroger  
 ROSS  
DRESS FOR LESS™  
 Chick-fil-A  
 RED LOBSTER  
FRESH HIGH-LOW LOCALS

WESTWOOD  
RESTORATION  
 NETZSCH  
Proven Excellence.  
 MESSA™  
 GEMSTAR  
PRODUCTS  
 OneHydraulics  
 TEF Services, LLC

**SITE**

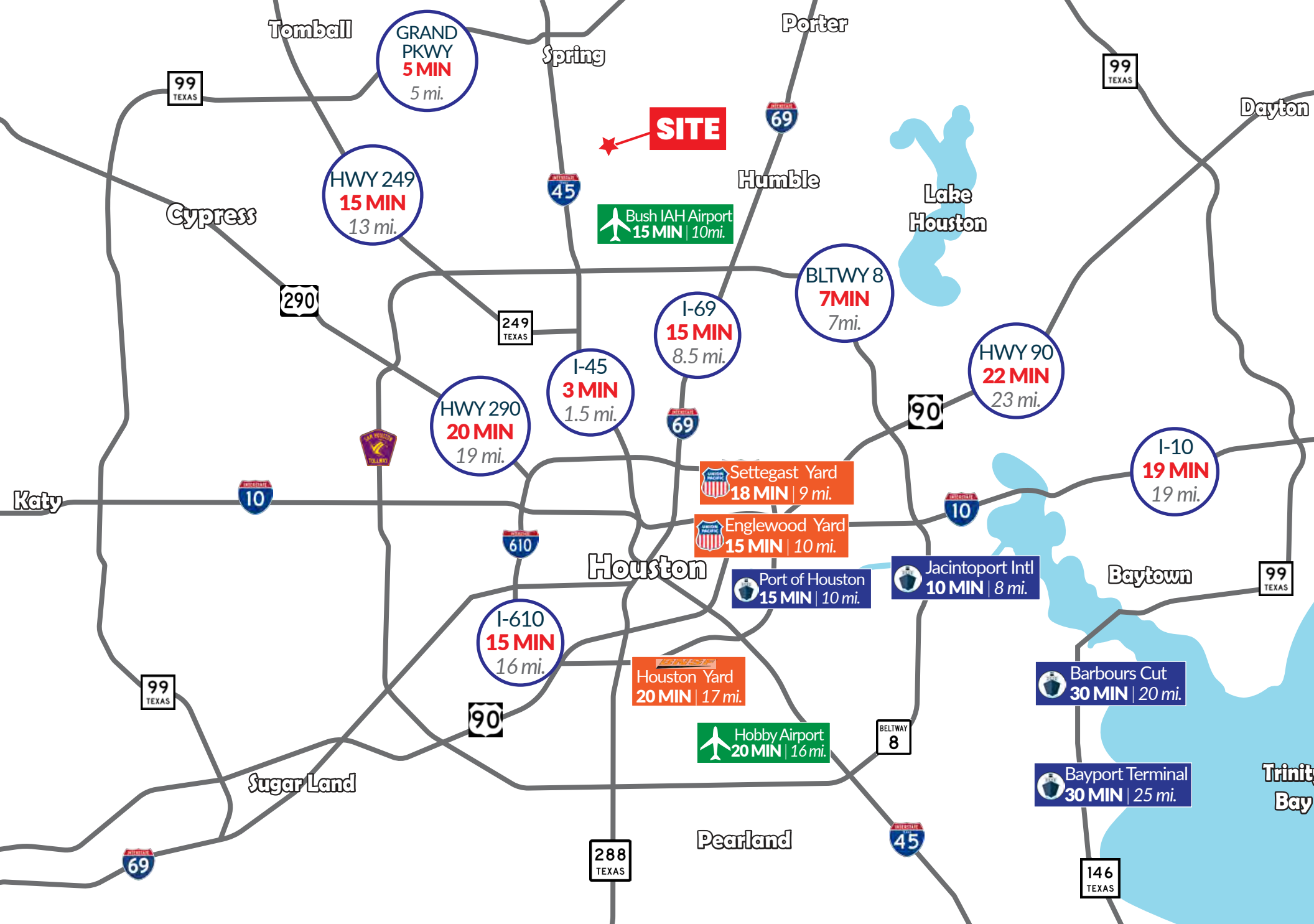
SMART SHOP  
Meat • Produce • Groceries  
 Auto Zone  
 CIRCLE K  
 T Mobile  
 Capital One  
 MIDAS  
 Walmart  
 STARBUCKS  
 HERB BLOCK  
 TEXACO  
 SHERWIN WILLIAMS  
 WHATABURGER  
 CHICKEN BUFFET  
 DOLLAR GENERAL  
 PNC BANK

WAFFLE HOUSE  
 smart financial

THE DOG STOP  
 Holiday Inn Express  
 Quest Diagnostics  
 Donut Delight  
 SOUTHERN  
YANKEE  
BEER CO.  
 3-C Valve  
& Equipment

N-SPEC  
Pipeline Services  
 ACE INDUSTRIES  
CRANE & HOIST  
 xtend  
PACKAGING  
INCORPORATED  
 American Clutch  
ACE  
and Equipment Company  
 MiTek  
 CORE  
SUPPLY  
 IES  
Residential  
 DARR  
 Antero  
 intralogistics  
 PREFERRED PUMP  
 ELLIOTT  
ELECTRIC  
SUPPLY  
 HENRY H. PARIS  
DISTRIBUTOR, INC.

SUBWAY  
 alorica  
 PAPA JOHN'S  
 Pizza Hut  
 KFC  
 MCDONALD'S  
 POPEYES  
 United Rentals  
 DOLLAR TREE  
 PROSPERITY  
BANK  
 Maaco  
 NEXT AUTO REPAIR  
AUTOMOTIVE SERVICE AND REPAIR







# Information About Brokerage Services

Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

11-2-2015



### TYPES OF REAL ESTATE LICENSE HOLDERS:

- A **BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- A **SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

### A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

### A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

**AS AGENT FOR OWNER (SELLER/LANDLORD):** The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

**AS AGENT FOR BUYER/TENANT:** The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

**AS AGENT FOR BOTH - INTERMEDIARY:** To act as an intermediary between the parties the broker must first obtain the written agreement of *each party* to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
  - o that the owner will accept a price less than the written asking price;
  - o that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
  - o any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

**AS SUBAGENT:** A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

### TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

**LICENSE HOLDER CONTACT INFORMATION:** This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

<u>SENDERO REAL ESTATE</u>	<u>9010551</u>	<u>JUAN@SENDEROGROUP.NET</u>	<u>281-407-0601</u>
Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
<u>JUAN C. SANCHEZ</u>	<u>520895</u>	<u>JUAN@SENDEROGROUP.NET</u>	<u>281-407-0601</u>
Designated Broker of Firm	License No.	Email	Phone
_____ Licensed Supervisor of Sales Agent/ Associate	_____ License No.	_____ Email	_____ Phone
_____ Sales Agent/Associate's Name	_____ License No.	_____ Email	_____ Phone

\_\_\_\_\_  
Buyer/Tenant/Seller/Landlord Initials

\_\_\_\_\_  
Date

Regulated by the Texas Real Estate Commission

Information available at [www.trec.texas.gov](http://www.trec.texas.gov)

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