An aerial, isometric illustration of a town. The buildings are white with dark outlines and are arranged in a grid-like pattern. There are several trees with yellow and orange foliage scattered throughout the town. The overall style is clean and modern.

Montclair

# Corridors Code

April 2025



**1**

## Introduction

9

**2**

## Purpose, Design Principles & Applicability

11

**3**

## Zones & Regulating Plan

16

**4**

## Public Realm

21

**5**

## Development Standards

37

**6**

## Frontage Standards

46

**7**

## Land Use

53

**8**

## Signs

59

**9**

## Other Development Standards

64

**10**

## Administration

77

**11**

## Glossary

78

## City Council

**Mayor** Javier "John" Dutrey  
**Mayor Pro Tem** Tenice Johnson  
Bill Ruh  
Corysa Martinez  
Benjamin "Ben" Lopez  
**City Manager** Edward C. Starr

## Planning Commission

**Chairman** Manny Martinez  
**Vice-chair** Jaso Sanchez  
Sergio Sahagun  
Xavier Mendez  
Krishna Patel

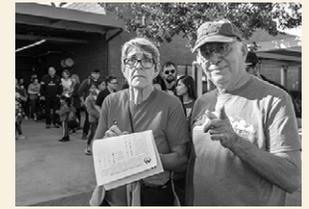
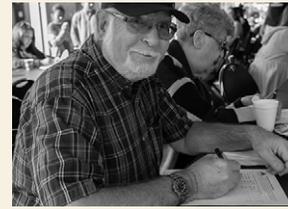
## Staff

**Director of Economic Development** Mikey D. Fuentes  
**Director of Community Development** Michael Diaz  
**Economic Development Consultant** Christine Caldwell  
**Senior Planner** Silvia Gutiérrez  
**Director of Public Works/City Engineer** Monica Heredia

## Consultants

Rangwala Associates  
in association with  
Moule & Polyzoides  
HR&A  
Fehr & Peers  
Rincon  
Fusco  
Alta Planning  
National CORE  
ARG

... and thanks to numerous members of City Staff & thousands of Montclair residents.

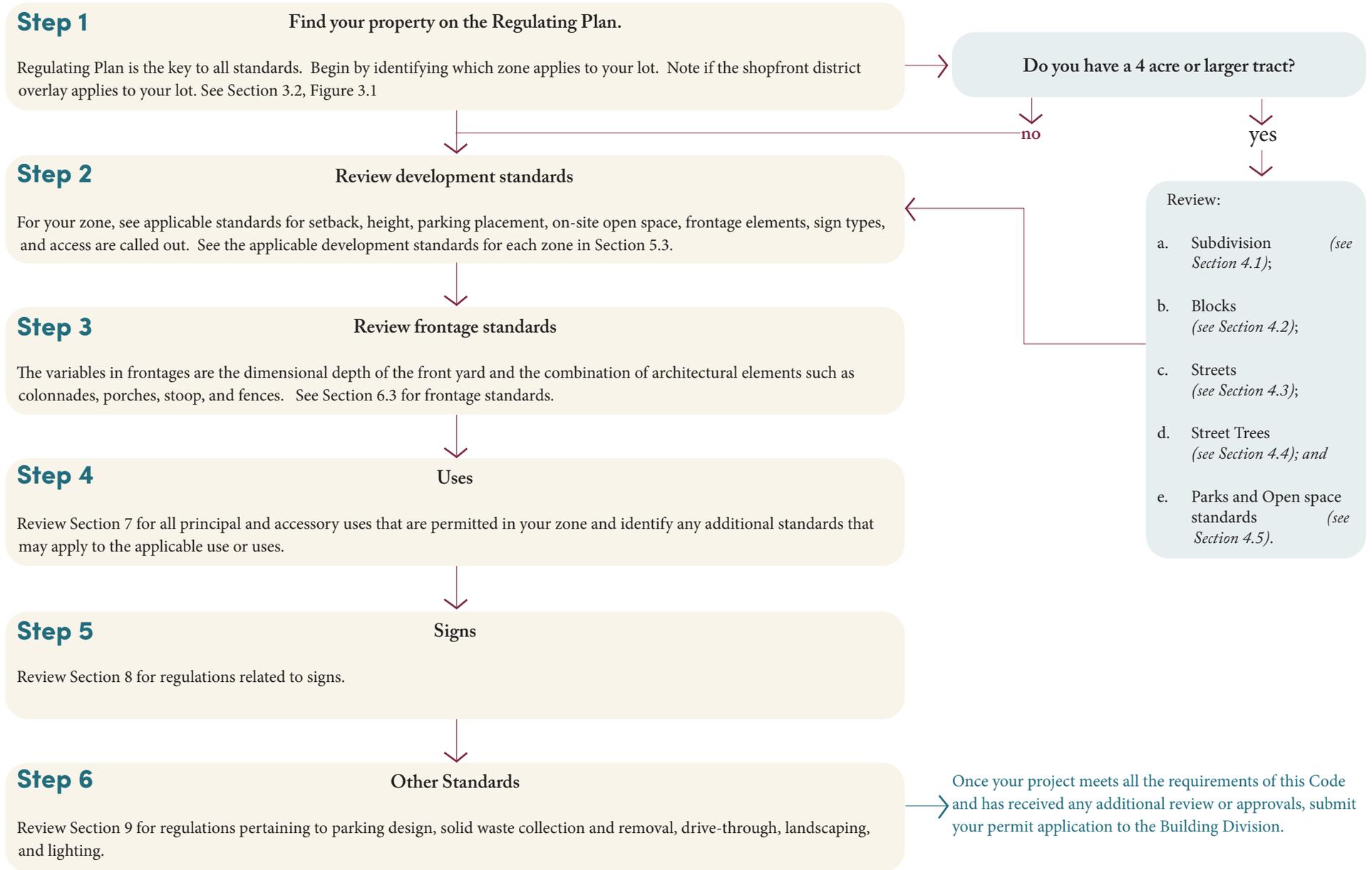




**“Whatever you vividly imagine, ardently desire, sincerely believe, and enthusiastically act upon... must inevitably come to pass!”**

Paul J. Meyer

# How to Use this Code?

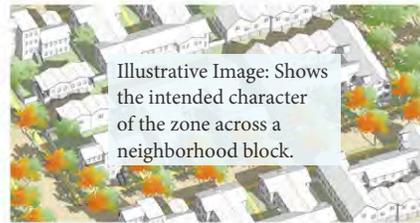
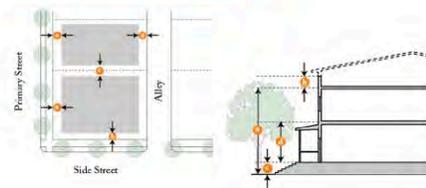


Glossary: Review Section 11 for definitions of terms found throughout this code.

# Understanding Development Standards

The development standards (Section 5.3) for the four zones contained in this Code govern the physical development and form of real estate. The regulations for each zone are presented across two pages with the same general format for each district as depicted below:

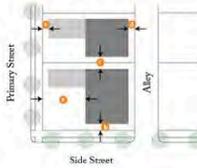
## 5.3C Neighborhood Edge



1 Setbacks	
Primary Street Setback	
i Ground Floor non-residential	10 ft. min./25 ft. max.
ii Ground Floor residential and upper floors	10 ft. min./25 ft. max.
Side Street Setback	
i Ground Floor non-residential	5 ft. min.
ii Ground Floor residential and upper floors	10 ft. min.
Side Yard Setback	
i Non-residential	5 ft. min.
ii Residential	5 ft. min.
Rear Setback	
i With Alley	10 ft. min.
ii Without Alley	15 ft. min.

2 Heights	
Top of plate height	Average 2 stories/25 ft. max.
Parapet height	4 ft. max.
Parapet	Allowed
Ground Floor above grade	
i Non-residential	0 ft.
ii Residential	3.5 ft. min.
Ground story floor to floor height	
i Non-residential	15 ft. min.
ii Residential	12 ft. min.
Up to 30% of the building footprint area may be three (3) stories/40 ft. to top of plate, provided an equal amount of building footprint area is no taller than one story/15 ft. to top of plate (see figure 5.1).	

3 Parking Placement	
On-site parking shall be located as indicated below and shown in the diagram on the right.	
Primary Street Setback	
i Surface	5 ft. min. for 34% max. of lot width; 50% of lot depth for remaining 66% of lot width; parking prohibited on corners
ii Podium	50% of lot depth
iii Subterranean	10 ft. min.
Side Street Setback	
i Surface	5 ft. min.
ii Podium	25 ft. min.
iii Subterranean	5 ft. min.
Side Yard Setback	
i Surface	5 ft. min.
ii Podium	15 ft. min.
iii Subterranean	5 ft. min.
Rear Setback	
i Surface	5 ft. min.
ii Podium	20 ft. min.
iii Subterranean	5 ft. min.



4 Signs	
Allowed Signage Types: A maximum of two of the below listed sign types are allowed per business. Signs may encroach into Primary Street and Side Street right-of-way as measured from the building facade as identified below.	
Sign Type	Encroachment
a Awning Canopy	Within 2 ft. of curb
b Window Sign	0 ft.
c Projecting Sign	3 ft.
d Wall	Sign thickness
e Directory/Building ID Sign	Sign thickness

## 5 On-site Open Space

a One (1) or more of the Open Space Types listed below shall be provided on each lot and must be accommodated behind the Primary Street setback line.

Open Space type	Minimum Area	Minimum Dimensions
Side Garden		
Courtyard	15% of total lot area	20 ft. by 20 ft.
Back yard		
Roof deck		

b Residential projects without a back yard shall provide for each residential unit a private open space in the form of a balcony, door yard, or yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.



## 6 Frontage Elements and Encroachments

a Required Frontage Elements: Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. These Frontage Elements may encroach into the Primary Street and Side Street setbacks or right-of-way as identified below.

i Arcade, Gallery	To R.O.W. line
ii Shopfront	0 ft.
iii Stoop	5 ft.
iv Door yard	To R.O.W. line

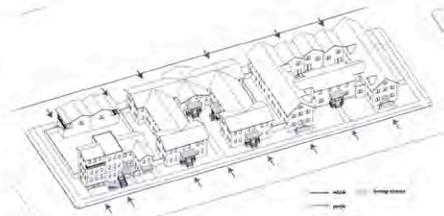
b Optional Frontage Elements. The following elements may be provided on all Street- and Court-facing facades, and may encroach into the Primary Street and Side Street setbacks or right-of-way as identified below:

i Balcony	3 ft. into R.O.W. or setback
ii Bay Window	
iii Awning, Canopy	Within 2 ft. of curb

## 7 Access

a Pedestrian Access: All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate frontage element, lobby, or open space, such as a court. Upper floor uses may be accessed through an exterior or interior stair, or lobby.

b Vehicular Access: Parking shall be accessed from an alley. Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible. Parking/service areas for corner lots shall be accessed from side street.



**Building Placement:** Regulates minimum lot dimensions and where a building is allowed to sit within a lot.

**Building Form:** Defines the allowed height and form of buildings on a lot.

**Parking Location:** Regulates where parking may be located on the lot.

**Signs:** Regulates the type, size, and location of signs on a lot.

**Open Space:** Regulates what type of open space is required, the minimum dimensions, and where it may be located.

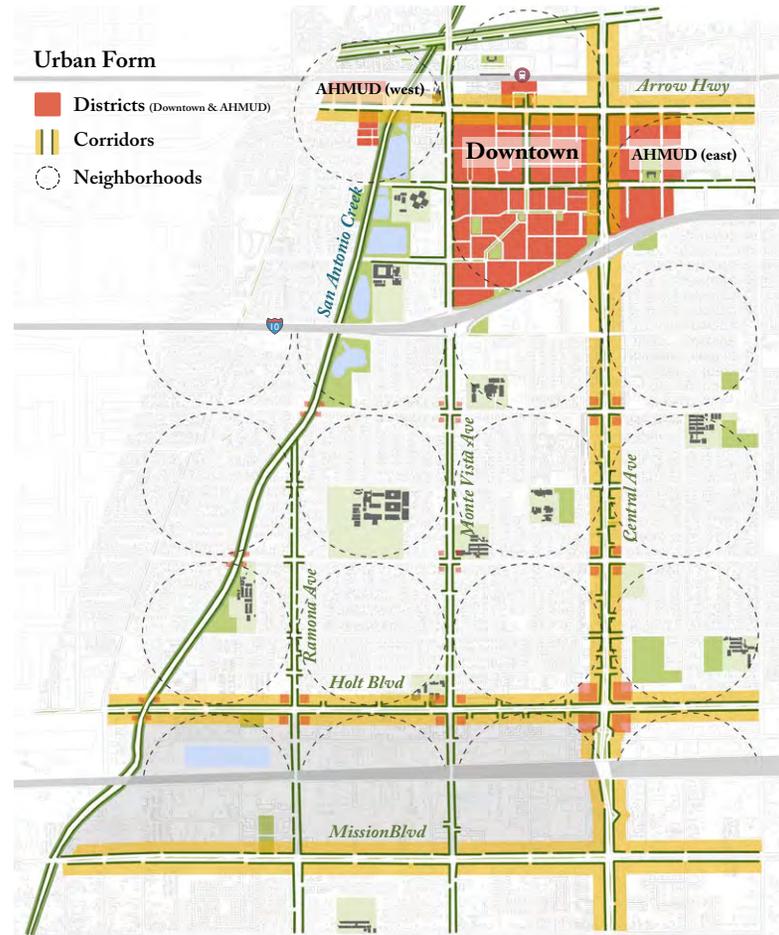
**Building Components:** Regulates attached elements and allowed encroachment into any required setbacks.

**Access:** Regulates how pedestrians and vehicles access a site.



# 1.0 Introduction

## 1.1 Vision



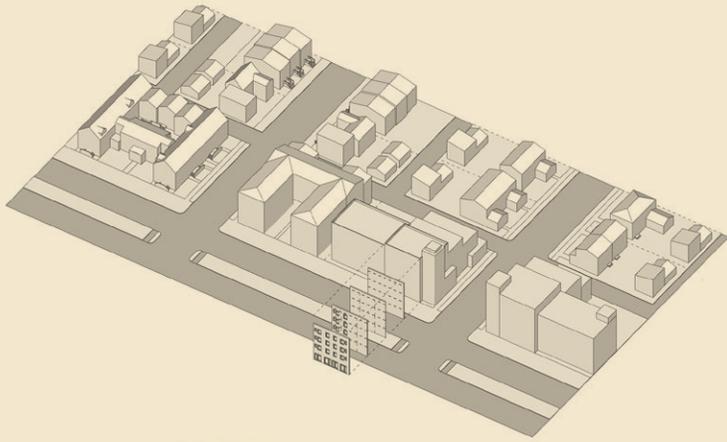
*Figure 1.1: Urban Form Map. Development pressures are the greatest in the Districts and along the Corridors. Development in the Downtown and AHMUD Districts is regulated by separate Specific Plans. Central Avenue, Holt Boulevard, and Mission Boulevard are the three corridors addressed in this code.*

Urban form is the physical pattern and configuration of settlements. Montclair provides a range of living, working, and recreational options to suit diverse needs. The urban form and character of the different human habitats is conceived as a geography of diverse place types such as neighborhoods, districts, and corridors. The Urban Form Map (figure 1.1) shows a physical framework of place types that informs and guides the nature, form, and character of the built physical environment.

The City is largely built out with stable residential and commercial areas. Some of the vacant and underutilized infill sites along the Corridors offers the greatest potential for attracting context sensitive new growth. Community preferences and directions shape the corresponding policies and implementation. These statements guide the coding of the built environment — the blocks, buildings, and open spaces consistent with the desired vision for the Corridors.

Central Avenue is the signature north-south street with a mix of regional and community serving commercial uses and residential uses. Holt Boulevard is a regional corridor with a mix of commercial and residential uses. The north side of Mission Boulevard is commercial and light industrial uses while the southern side is mostly residential.

The existing pattern of development and land uses along the three corridors are designed around the automobile. The General Plan recommends the corridors be retrofitted to accommodate pedestrians, bicycle, and transit. The three corridors will be redesigned to provide narrow travel lanes, bicycle facilities, on-street parking, continuous tree cover, ample sidewalks, appropriate street furniture and lighting, and supportive building frontages. To facilitate the General Plan vision this code provides integrated standards for both the public and private realm.



*Context-based Code: The standards are carefully calibrated for varying context offering a rich public realm and a variety of living and working environments.*

The Corridors Code is purposeful place-based regulations with an increased focus on the design of the public realm: the public space defined by the exterior of buildings and the surrounding streets and open space.

Corridors typically comprise of more intense uses than the adjacent neighborhoods.

The Corridor Codes seeks to attract appropriate infill (re)development while protecting and preserving existing stable areas from incompatible development. This Corridor Code reinforces the historical form patterns with the use of streets, frontages, buildings, and open spaces that are appropriate for Corridor context.

Overly restrictive use and density regulations are common barriers to small-scale development. The focus of this code is on the few but critically important urban standards that shape the public realm. These include design of streets and open spaces, setback, building height, building frontage at street level, parking, and access.

Most of the properties along the Corridors are build-out. The vision for the Corridor calls for preservation of existing stable development while allowing incremental and contextual infill development.

The regulations in this code focus on creating a unifying public realm and is intended to be less regulatory on the private side. The Corridor area is distinctively different than neighboring residential and commercial areas. The area will develop incrementally and more organically.

This code intentionally encourages innovative infill development that creates a rhythmic pattern of existing and new buildings unified by a distinctive, vibrant, and walkable public realm.

The Development Code consists of the following sections:

- 1.0 **Introduction:** What is vision and purpose of the Corridors Code?
- 2.0 **Purpose and Applicability:** The purpose, use, and applicability of the code.
- 3.0 **Zones and Regulating Plan:** A zone map that assign standards based on desired character and intensity.
- 4.0 **Public Realm:** Standards for subdivision, blocks, streets, and open spaces. Features a Public Realm Plan showing a range of open spaces; and standards for street types, street tree master plan, street furniture, and outdoor seating areas.
- 5.0 **Development Standards:** Setbacks, height, parking standards, and access aimed at generating the individual buildings on a block that collectively with other buildings will shape the form of the public realm.
- 6.0 **Frontage Standards:** Standards for private frontages that provide a transition and interface between the street and the building.
- 7.0 **Land Uses:** Allowed and restricted land uses.
- 8.0 **Signs:** Design standards for signs.
- 9.0 **Other Development Standards:** Standards for on-site landscaping, lighting, drive-thru businesses, and solid waste.
- 10.0 **Administration:** Responsibility and authority to review and make final decision.
- 11.0 **Glossary:** General and land use terms defined.

# 2.0 Purpose, Design Principles, and Applicability

## 2.1 Purpose

### 2.1A Intent

The Corridors Code implements the Montclair General Plan's Vision, Goals, and Policies. This Development Code is intended to facilitate the continuing evolution of the Plan Area into a place where:

1. A mixture of land uses including shops, workplaces, and residences are within walking distance of one another and produce an urban form that is inviting, comfortable, safe, and ecologically resilient;
2. Streets and open spaces promote a vibrant, safe, healthy, and prosperous place; and
3. New infill and remodeled buildings work together with existing buildings to define the pedestrian-oriented space of the public streets within the Corridor Area, and are harmonious with each other and the desired character of the Corridors.

### 2.1.B Relationship to the Montclair General Plan

The Corridors Code is consistent with the Montclair General Plan currently in effect, as required by California Government Code 65000, et seq. The Corridors Code implements the General Plan's community supported goal to direct new growth to the corridors in a contextual manner.

### 2.1.C Relationship to the Montclair Housing Element

The California Government Code Section 65302(c) mandates that each city shall include a Housing Element in its General Plan. The Montclair Housing Element includes an analysis of potential housing sites that could accommodate development of new housing units, to accommodate existing and projected housing needs. All development projects within the Corridor Area shall be consistent with the Housing Element Site Analysis.

### 2.1.D Relationship to the Municipal Code

Title 11.14.050 of the Montclair Municipal Code (MMC) shall be referred to as the Montclair Corridors Code (MCC). The Montclair Corridor Code provides all requirements for development and land use activity for the areas identified in the Corridors Code Boundary Map (Figure 2.1). The development criteria in the MCC shall take precedence over the MMC.

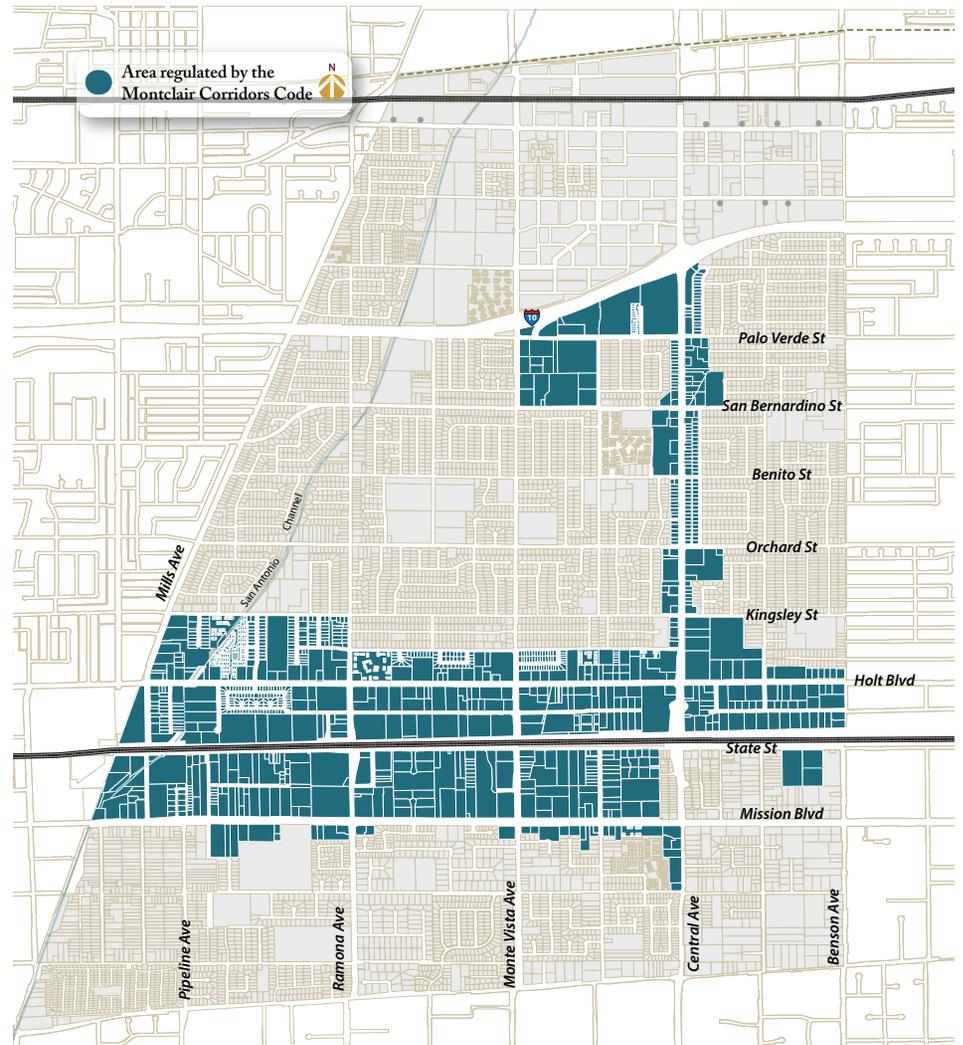


Figure 2.1: Corridors Code Boundary Map.

## 2.2 Design Principles

The design principles are a reflection of the City’s vision for the Corridors as expressed in the Montclair General Plan. They provide guidance for new infill development, encouraging contextual scale, massing, and proportion, while creating an engaging street presence.



Figure 2.2: Diverse and Integrated Mix.

### 2.2B Curated Street Level Experience

The ground floor provides an opportunity to create visible, eye-level landmarks, making corridors more navigable, and reinforcing a sense of place and belonging. A curated ground floor helps to create an attractive environment where people want to live and where businesses want to be.

- 1 Privacy, visibility, shelter, shade, or exposure should be appropriately designed for different uses.
- 2 A new residential building’s formal rooms (living room, dining room, etc.) should help establish its human scale to the street by being placed to face the street.
- 3 Buildings should be accessed through prominent public entrances that are visible and directly accessible from the street.
- 4 The street level appearance of objects and surfaces and the selection of materials should consider human scale details, craftsmanship, texture, color, and durability. It includes public and private structures and space, street furniture, paving, lighting and signage. Taken together, these elements enhance human comfort, safety and enjoyment of the public or private domain.
- 5 Mechanical, electrical, and plumbing systems should be properly integrated within the form of new buildings, concealed from public view, in a manner that reinforces the building’s overall character and quality.
- 6 Public utility connection points should be located in a manner that does not interfere with the form of the buildings or their landscape.

The design principles illustrate options, solutions, and techniques to achieve the goal of excellence in infill design. These principles do not supersede zoning regulations or standards in this Corridors Code or the Municipal Code. Applicants may submit design proposals that are in conflict with these guidelines, but must clearly describe the reasons for the deviation.

### 2.2A Diverse and Integrated Mix

Corridors are edges to neighborhoods. Complete and diverse neighborhoods accommodate people of every age, race, family dynamic, income, and ability. This requires buildings that support flexible patterns of live-work-play, as opposed to separated and siloed zones. Designs need to respond to the nuances of culture, climate, and place, reinforcing a sense of relevance and identity.

- 1 Encourage a compatible mix of uses at the neighborhood scale.
- 2 Identify opportunities for shared uses.

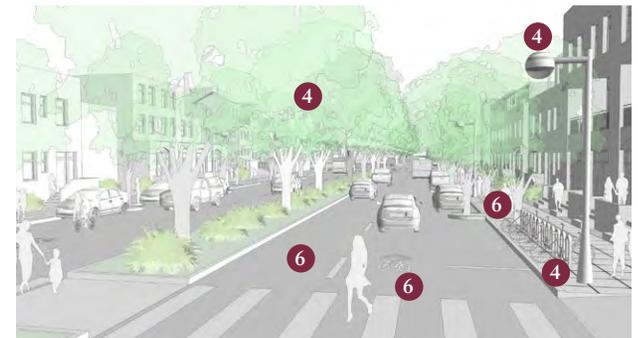


Figure 2.3: Human-scale street design.



Figure 2.4: Building entrances are visible and directly accessible from the street.



### 2.2C Human-centric Design

Corridors need to be scaled to human proportions, senses, and unique experiences. New development should be designed to create attractive, comfortable and safe walking environments.

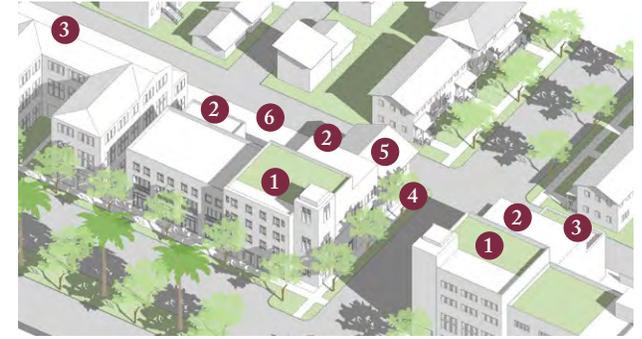
- 1 Locate buildings to define street edges and corner.
- 2 Buildings should be designed with exterior walls that have windows and doors that are arranged into a definite pattern.
- 3 Blank building walls should be avoided.



### 2.2D Rich Public Realm (streets and open space)

The public realm includes the natural and built environment used by the general public on a day-to-day basis such as streets, plazas, parks, and public infrastructure. Some aspects of privately owned space such as the bulk and scale of buildings, courtyards and entries that are traversed by the public or gardens that are visible from the public realm, can also contribute to the overall sense of place.

- 1 Buildings should define and frame adjacent public streets, and/or public or common spaces, while promoting the collective form of corridors by matching or complementing adjacent building setbacks, heights, and massing.
- 2 The design of commercial and residential front yard landscape should contribute to the creation of a seamless public realm.
- 3 New private open spaces should be designed to be inviting, usable, and to properly utilize the space between buildings.



### 2.2E Context Sensitive Design

The size, shape, location, and use of buildings create "patterns" that define the character of the Corridors.

- 1 Infill development along the Corridors should be compatible with the pattern of its surrounding context. New infill buildings over two stories in height should respect adjacent buildings by responding to their massing, scale, and need for light, natural ventilation, and views. Typically, this can be accomplished by matching or exceeding existing building heights by only one story. Additional stories should be modulated by setbacks.
- 2 Modulating side and rear yard volumes to provide as much distance as possible between the facades of a proposed building and existing buildings in order to preserve the privacy of the outdoor spaces of both.
- 3 Orienting the side yards of proposed buildings to face the side yards of adjacent buildings.
- 4 Including elements such as porches, galleries, arcades, etc. to relate the scale of facades to those of existing buildings.
- 5 Reducing building bulk by introducing dwelling space in attic spaces.
- 6 Introducing landscape and/or trees as a screen between existing and new buildings.

## 2.3 Use and Applicability

### 2.3A Use of Corridors Code

1. **Responsibility for Administration:** The Montclair Planning Division shall be the primary body responsible for administering the Corridors Code subject to the provisions of Article 11.

### 2.3B Applicability to Montclair Municipal Code

Property, including structures, land uses and physical improvements such as signs, landscaping, and lighting within the boundaries of the Corridors Code (Figure 2.1) shall comply with all applicable requirements of the Corridors Code as follows:

1. **Zoning District(s) Requirements:** All property subject to the Corridors Code shall comply with the relevant requirements of the applicable zoning district(s).
2. **Conflicting Requirements:** Where a requirement exists for the same topic, in both the Corridors Code and other sections of the Montclair Municipal Code, the requirement of the Corridors Code shall prevail unless otherwise specified.
3. **Applicability:** Where the Corridors Code is silent or does not provide an explicit provision, the Montclair Municipal Code, Title 11 — Zoning and Development shall apply.

4. **Permit Approval Requirements:** Each structure and land use shall be constructed, reconstructed, enlarged, altered, or replaced in compliance with the following requirements:
  - a. **Allowable use:** The land use must be allowed in the zoning district where the site is located (see Table 7.1, pages 53-57).
  - b. **Permit and approval requirements:** Any and all permits or other approvals required by the Corridors Code shall be obtained before the issuance of any required grading, building, or other construction permit, and before the proposed structure is constructed and land use established or otherwise put in operation.
  - c. **Development standards and conditions of approval:** Each land use and structure shall comply with the applicable development standards of the Corridors Code for the zoning district in which the site is located.
5. **Improvements, Modifications, and/or Expansions of Sites or Structures**
  - a. **Improvements to Existing Structures or Sites:** Applicants that involve an improvement to a existing site, an existing structure(s), or a modification/expansion of an existing structure(s), or sign(s) shall comply with the applicable requirements of Section 2.3C.
  - b. **Civic Buildings:** Applications that involve a civic building as defined by the Corridors Code shall comply with Section 2.3B.8.
6. **Modification or Subdivision of Existing Parcel(s):** Applications involving the modification of an existing parcel or the subdivision of an existing parcel shall comply with the applicable requirements of the applicable zoning district(s) and Section 4.0 Public Realm (Subdivision, Streets, and Block Standards).
7. **Approved Entitlements:** Entitlements approved prior to the adoption of the Corridors Code that have yet to be constructed are not subject to the Corridors Code. The entitlement(s) may not be extended beyond the four-year approval period and upon expiration, the owner must demonstrate substantial completion in constructing the approved structure(s) or the property shall then comply with the Corridors Code. Substantial completion means at least 90 percent completion of the approved structure(s) as determined by the City of Montclair Building Official.

- 8 **Civic Buildings:** Applications involving the modification or construction of a building for civic purposes as defined in Section 11 “Glossary,” shall comply with the following:
- a. Section 5.0 Development Standards and Section 6.0 Frontage Standards are not required of civic buildings.
  - b. All other sections of the Corridors Code apply.

### 2.3C Existing Lots, Uses, and Structures

- 1 **Intent:** The regulations of this section are intended to:
  - a Recognize the interests of property owners in continuing to use their property for uses that were lawfully established.
  - b. Promote maintenance, reuse, and rehabilitation of existing buildings.
  - c. Place reasonable limits on nonconformities that have the potential to adversely affect adjacent properties.
- 2 **Existing Lots:** Lots which are non-conforming as to lot area or lot width may be adjusted or subdivided provided the resulting re-configuration brings the existing lot into, or closer to conformity with the requirements of current applicable regulations.
- 3 **Existing Use:** Existing uses are those that were legally established but that are not currently listed as permitted or conditionally permitted in the zoning district in which they are located or those that currently require a conditional use permit but at the time of their initiation did not require a conditional use permit. The following provisions shall apply to legal existing uses:
  - a. No existing use shall be expanded or moved in whole or part to any portion of the lot or parcel upon which it is located or other structure other than that occupied by such use at the time it was established.
  - b. No existing use shall be changed to a different use, unless permitted or conditionally permitted by the Corridors Code.
  - c. If an existing use is discontinued or abandoned for a continuous period of 180 days or more, such use shall be deemed to have lost its existing status and shall not be reestablished.

- 4 **Existing Structures:**
  - a. **Additions:** An existing building or other structure may be added to, provided that an addition of 50 percent or more of the floor area existing as of the adoption of this Corridors Code shall trigger compliance with all Corridors Code provisions for the portion of the building or structure comprising the addition.
  - b. **Repairs and Maintenance:** General non-structural repairs and normal maintenance necessary to keep a nonconformity in sound condition are permitted. Structural repairs to a legal existing structure may be authorized by the Building Official if it is determined that said repairs are necessary to protect the health and safety of the occupants, public at-large, or adjacent property and the cost does not exceed 50 percent of the replacement cost of the legal existing structure. Structural improvements required to strengthen unreinforced masonry structures in compliance with seismic safety standards shall be permitted without replacement cost limitations.
  - c. **Replacement of Existing Structures:** Any existing structure that is damaged by fire or other catastrophic event may be restored or reconstructed to its original condition provided the cost of such restoration/reconstruction does not exceed 50 percent of the replacement value of the structure and that the restoration shall commence within one year from the date the damage occurred.

# 3. Zones and Regulating Plan

## 3.1 Zoning Districts and Overlays

### 3.1A Purpose and Establishment of Zoning Districts and Overlays

This section establishes the zoning districts and overlays to implement the Montclair General Plan regarding property and rights-of-way within the Corridors Code boundaries. Property and rights-of-way subject to the Corridors Code shall be divided into the following zones and overlays, which shall be applied to all properties as shown on Figure 3.1.

### 3.1B Zoning Districts and Overlays

The Corridors Code is consistent with the Montclair General Plan currently in effect, as required by California Government Code 65000, et seq. The Corridors Code implements the General Plan's community-supported goal to direct new growth to the corridors in a contextual manner.

## 3.2 Regulating Plan

### 3.2A Purpose and Establishment of Regulating Plan

This section establishes the regulating plan, Figure 3.1, as the map that identifies and implements the various intentions and principles of the Montclair General Plan. Table 3.1 defines the zoning districts, overlays and standards for site development, design and land use through the following:

- 1 **Zoning Districts:** Each zoning district is allocated standards in the following areas:
  - Building Placement
  - Allowed Development Standards
  - Allowed Frontage Types
  - Building Height and Size
  - Allowed Encroachments into Required Yards
  - Parking Placement and Site Access
  - Required Parking
  - Allowed Land Uses

- 2 **Shopfront Frontage Overlay:** This overlay on parcels located at the intersection of Holt Boulevard and Central Avenue requires buildings to have shopfront frontage and a minimum floor-to-ceiling height. This requirement is to accommodate ground floor live-work, commercial, retail or other such non-residential activity on streets where the vision expects active, pedestrian-oriented streetscapes.
- 3 **Regulating Plan Diagram:** Each zoning district and overlay established by the Corridors Code is identified on Figure 3.1 to show the boundaries of each zoning districts, overlay, and the parcels within each boundary. Figure 3.1 is established as the zoning atlas for all property within the Corridors Code boundaries.

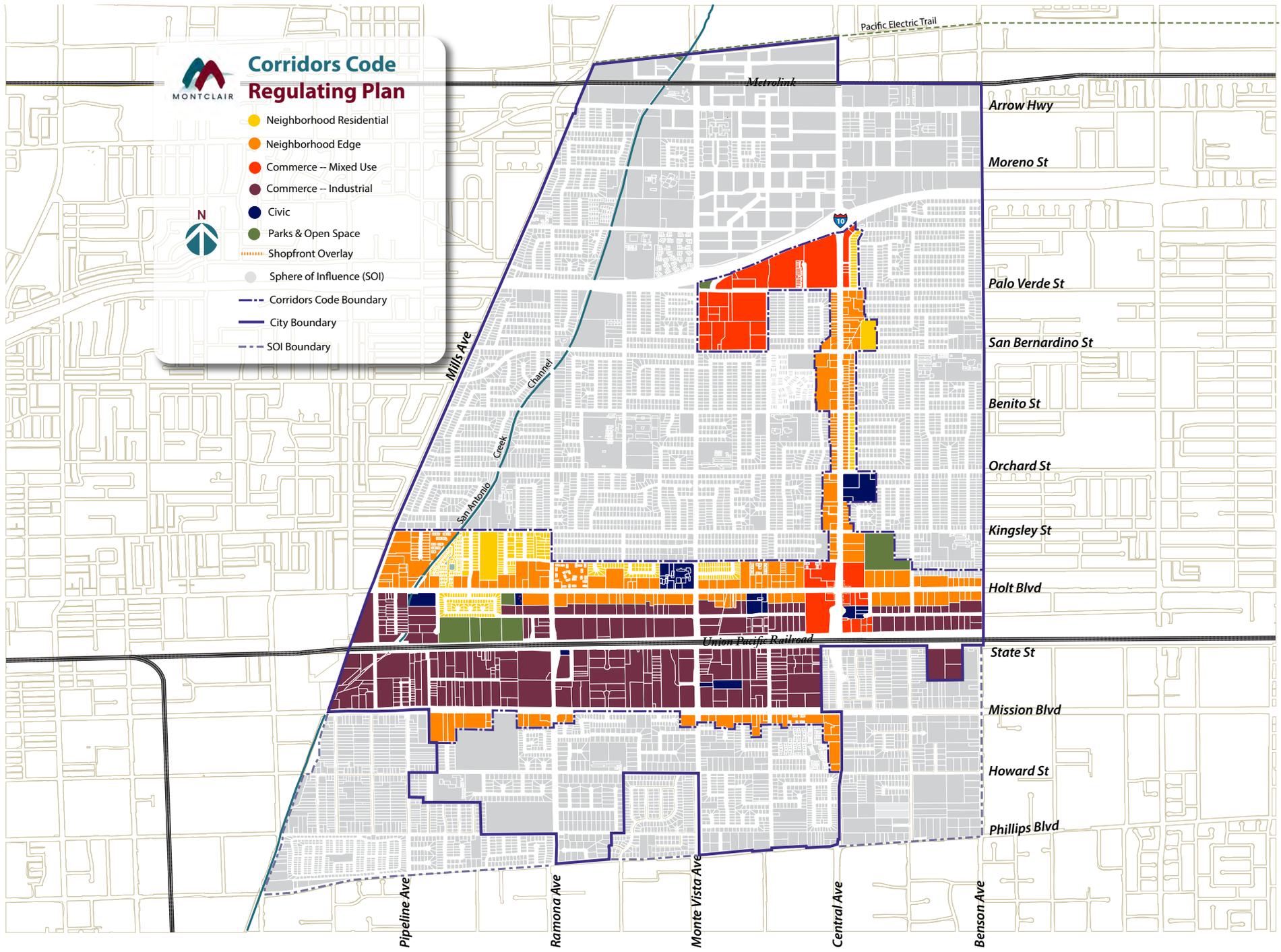


Figure 3.1: Regulating Plan

The Montclair Corridors Code has six zones with distinctive character and intensity:

**Neighborhood Residential:** The zone permits detached single family-homes.

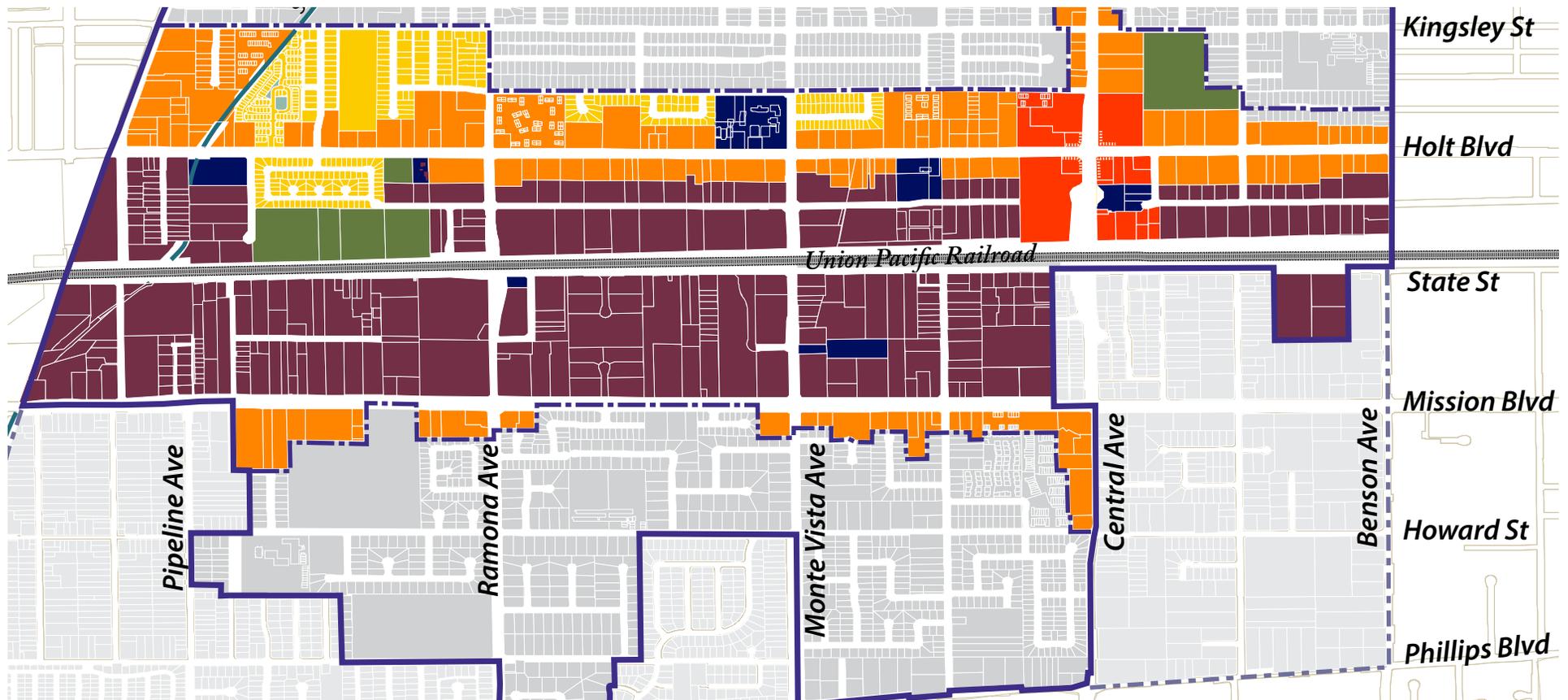
**Neighborhood Edge:** The zone is comprised primarily of single family, and single-family-compatible multi-family residential uses including live/work, organized along walkable streetscapes. The basic needs of daily life met by limited neighborhood serving commercial/ retail uses in close proximity. Streets form a connected network, providing alternate routes that help to disperse traffic, and are equitable for vehicles, pedestrians, and bicyclists. Diversity in the type, size, and disposition of buildings, streets, and open spaces creates many options in environments, functions, uses, prices, and populations.

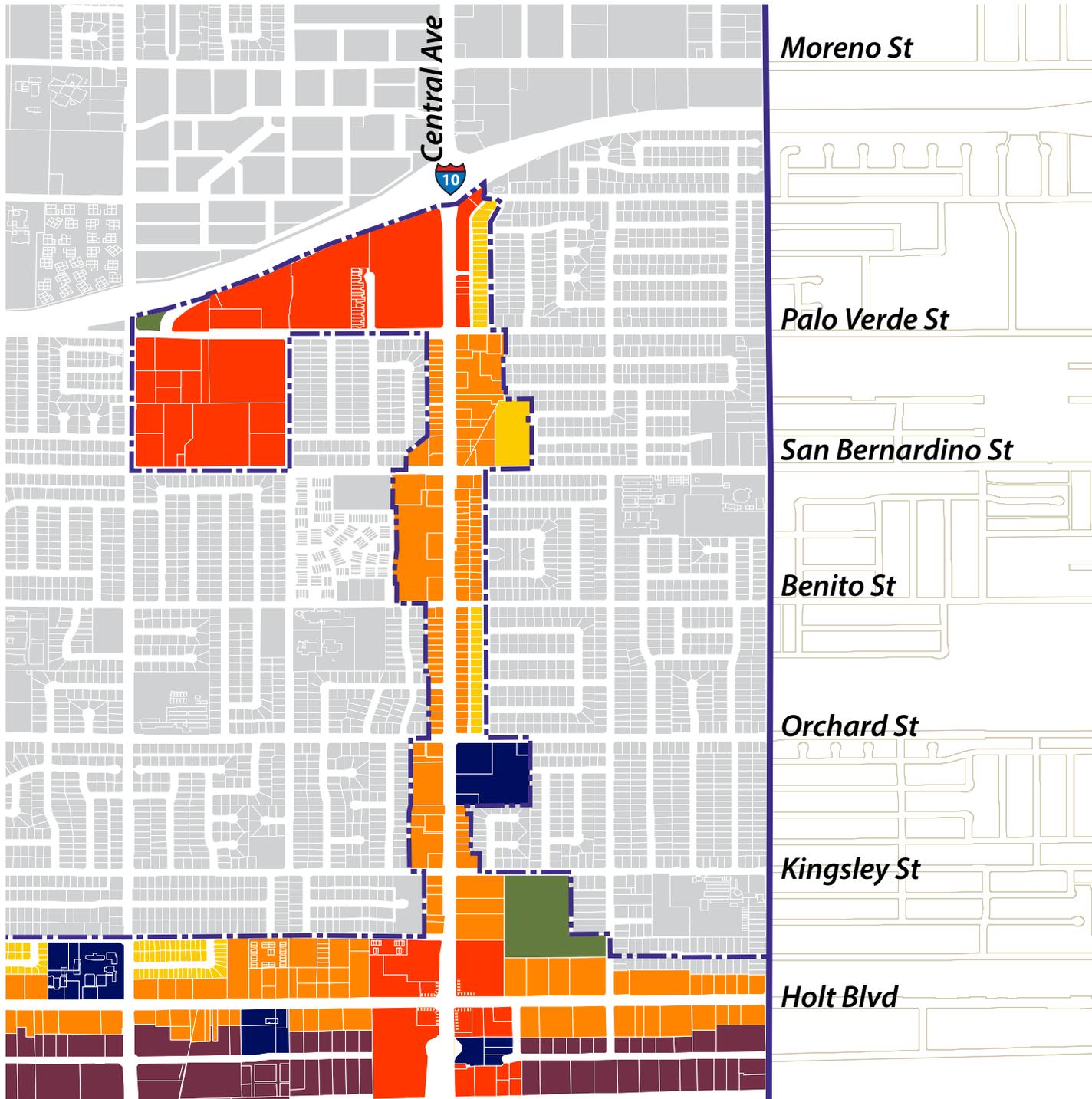
**Commerce—Mixed Use:** The Commerce—Mixed Use Zone permits a wide variety of office and large-format retail and commercial activity along with multi-family dwellings. Uses would include flex/light industrial uses including research and development uses, small scale smart manufacturing, professional and medical office, and traditional business park. The Commerce Zone supports continued reinvestment and context sensitive

intensification that enhance promotes local businesses and enhances housing choices. Range of open spaces and walkable streets and alleys weave together the various existing and proposed assets.

**Commerce—Industrial:** The zone is established to provide a location for low- to medium intensity industrial uses, typically comprised primarily of large and varied building sizes with substantial activity from large cargo vehicles. These areas are accessible and interconnected but not typically oriented to the pedestrian.

**Civic:** Public or quasi-public in operation, civic buildings and spaces are the cornerstone of neighborhoods and a symbolic reflection of Montclair's values and aspirations. The civic buildings may operate in the fields of the arts, culture, education, recreation, government, transit, security, health, safety, and public utility. Since public buildings represent a collective identity, their design should set them apart from more conventional private buildings. Civic building sites should be located within or adjacent to a civic space, or at the terminated vista of a significant thoroughfare. These places are easily accessible by foot or automobile and have formal access points that address the street.





**Regulating Plan**

MONTCLAIR

- Neighborhood Residential
- Neighborhood Edge
- Commerce -- Mixed Use
- Commerce -- Industrial
- Civic
- Parks & Open Space
- Shopfront Overlay

N

**Parks & Open Space:** Designate lands to public recreation and leisure and visual resources, and can range from neighborhood tot lots and pocket parks to urban squares and plazas and playgrounds to large regional parks.

Figure 3.1: Regulating Plan

Zoning District Intent	Commerce-Mixed Use	Commerce - Industrial	Neighborhood Edge	Neighborhood Residential
Desired Form				
	<p>New buildings are block scale, up to four floors (50 feet in height), buildings close to property line, and active ground floor commercial activities fronting key streets.</p>	<p>New buildings are block scale, up to three floors (40 feet in height). Buildings are located close to property line.</p>	<p>New buildings are up to two floors (25 feet in height) with provision for three stories element (up to 40 feet). Buildings are located close to property line.</p>	<p>Infill development should respect adjacent buildings by responding to their massing, scale, need for light, natural ventilation, privacy, and views. Typical height of the building is two floors (25 feet in height).</p>
Intensity	<p>40 to 85 units per acre.</p>		<p>10 to 50 units per acre.</p>	<p>5 to 15 units per acre.</p>
Streetscape and Public Realm Improvements	<p>Active streetscapes on Central Avenue and Holt Boulevard provide continuity with adjacent areas. Commercial frontages such as shopfronts, arcades, or galleries; wide sidewalks; and street trees encourage interesting, safe, and comfortable walking environment.</p>	<p>Buildings that face residential areas will be articulated with human scale detailing. Outdoor activity will be screened from public view. Larger sites when subdivided will enhance the public realm with landscaped public spaces and walkable streets.</p>	<p>Active streetscape providing continuity with adjacent areas. Residential frontages and street trees encourage interesting, safe, and comfortable walking environment.</p>	<p>Parking and service location and access is placed to reduce their visual impact on the street. Where an alley is present, parking should always be accessed from the alley. This will allow the active and visually engaging features of the residence to dominate the streetscape.</p>
Parking	<p>Parking consists of on-site spaces located either behind buildings or in above- or underground parking structure. On-street public parking spaces are provided. Parking ratios are lower due to available transit and shared parking options.</p>	<p>Parking consists of on-site spaces located either behind buildings or in above- or underground parking structure. On-street public parking spaces are provided.</p>	<p>Parking consists of on-site spaces located either behind buildings or in above- or underground parking structures. On-street public parking spaces are provided.</p>	<p>Parking consists of on-site spaces. On-street public parking spaces are provided.</p>
General Use	<p>Ground floor retail, cultural, entertainment, and office activity. Upper floors and the floor area behind shopfronts is flexible for a wide variety of uses such as research and development uses, small scale manufacturing, professional and medical office, and residential uses.</p>	<p>Buildings are occupied with light industrial uses including research and development uses, small scale manufacturing, professional and medical office, and traditional business park.</p>	<p>Primarily multi-family residential with limited street level neighborhood serving uses such as retail, restaurant, and office uses at major street intersections, where feasible.</p>	<p>Single-family residences, duplexes, triplexes, quads, and accessory dwelling units.</p>

Table 3.1 Summary Characteristics of Zoning District  
20 Montclair Corridors Code

# 4. Public Realm

The public realm is a vital aspect of the built environment that helps to give the Corridors its identity and where civic interaction occurs. It primarily consists of the streets, parks, and other open spaces.

A well designed public realm balances the mobility and access needs for all users and contributes to the efficient functioning of a corridor and its sense of place. The quality of our public realm is at the heart of how we experience and relate to the surrounding environment. Therefore, it is important that the public realm is safe, sustainable, and enriching.

Subdivision shapes the public realm by creating streets, blocks, and open spaces, and sets the tone for development that will follow because the layout and quality of streets greatly influence the future built environment.

## 4.1 Subdivision

The placement and design of streets, blocks, and open spaces that are fundamental components of public realm are initially established during the subdivision process.

### A. Intent:

The intent of this section is to promote development patterns that support the creation of complete neighborhoods with a mix of housing, civic, retail, and service choices within a compact, walkable, and transit friendly environment. This section provides a framework for the subdivision of buildable land that meets the following goals.

- i. Provide clear standards for private development that influences the function and character of the corridors.
- ii. Ensure orderly growth and development through the conservation, protection, and proper use of land through adequate provisions for circulation, utilities, and services.
- iii. Ensure street connectivity and safety within walkable corridors having numerous route options.
- iv. Provide access to open space.
- v. Promote the health, safety, and general welfare of the City.

### B. Applicability:

- i. The subdivision, consolidation of lots, or lot line adjustment will comply with regulations specified in this Section of the Corridors Code.
- ii. Where a requirement exists for the same topic, in both the Corridors Code and other sections of the Montclair Municipal Code, the requirement of the Corridors Code shall prevail unless otherwise specified.
- iii. Where the Corridors Code is silent or does not provide an explicit provision, the Montclair Municipal Code, Title 11.86 — Subdivisions shall apply.

### C. Responsible Authority:

As development projects and subdivisions are proposed, the Director of Community Development and Director of Public Works (or designees) shall jointly determine the type and scope of public improvements that shall be required as conditions of project approval and shall recommend such public improvements to the Development Review Committee (DRC) for consideration and approval. The Planning Commission and City Council, as appropriate, shall have final authority to modify these requirements when it is demonstrated by applicant(s) that the project modification would provide the same or greater level of public improvement(s) as intended by purpose and objectives of this policy.

## Types of Improvements

Type of Project	Street Trees	Sidewalk	Curb & Gutter	Street widening/ Resurfacing	Dedication of Rights-of-Way	Sewer Improvements	Street Lights	Drainage Improvements	Fire Hydrants	Trash Enclosures	Others as Mitigation Measures	Median Improvements	Signal Construction/ Modifications	Utility Undergrounding
New Single-family Home(s)	✓	✓	✓	✓	✓	✓	✓	✓	≈	≈	—	—	—	✓
Additions to Single-family Home(s)	≈	≈	≈	≈	≈	≈	≈	≈	≈	—	≈	—	—	—
New Multi-family Home Project	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	≈	≈	✓
New Commercial Buildings	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	≈	≈	✓
Additions of 25% or more to all buildings/ uses, except Single-family	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	≈	≈	✓
New Industrial Buildings	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	≈	≈	✓
New Educational Buildings	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	≈	≈	✓
Parcel Maps	✓	✓	✓	✓	✓	✓	✓	✓	✓	≈	≈	≈	≈	✓
Tract Maps	✓	✓	✓	✓	✓	✓	✓	✓	✓	≈	✓	≈	≈	✓
Lot line Adjustments/ Parcel Mergers	<i>As may be required and/or allowed by the Subdivision Map Act [Government Code Section 66412(d) and 66499.35 (a) and (b)]</i>													
Permits	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈
Variances	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈	≈

✓ Required
 ≈ Potentially Required Based on Specific Project Impacts
 — Not Required

Table 4.1 Types of Improvements.

### D. Required Improvements:

Table 4.1 outlines the typical type of improvements that are required for a given application. Improvements include new infrastructure and may require the repair of existing infrastructure (e.g., sidewalks, curbs, gutter, pavement, etc.). Depending on the extent of trench work for utility connections, street improvements and other roadway/public right-of-way impacts, requirements could include curb, gutter, and sidewalk reconstruction and resurfacing of the existing pavement within and beyond the limits of the development.

## 4.2 Blocks

### 4.2A Purpose

The design of blocks influence the type of street network, building types, and the quality of urban space. Smaller blocks produce more intersections, therefore more human scale buildings, greater public realm and superior street network system. All blocks shall be designed per the applicable requirements identified in Table 4.1 to ensure that new and modified blocks result in walkable, interconnected streetscapes aligned by appropriately scaled buildings.

### 4.2B Applicability

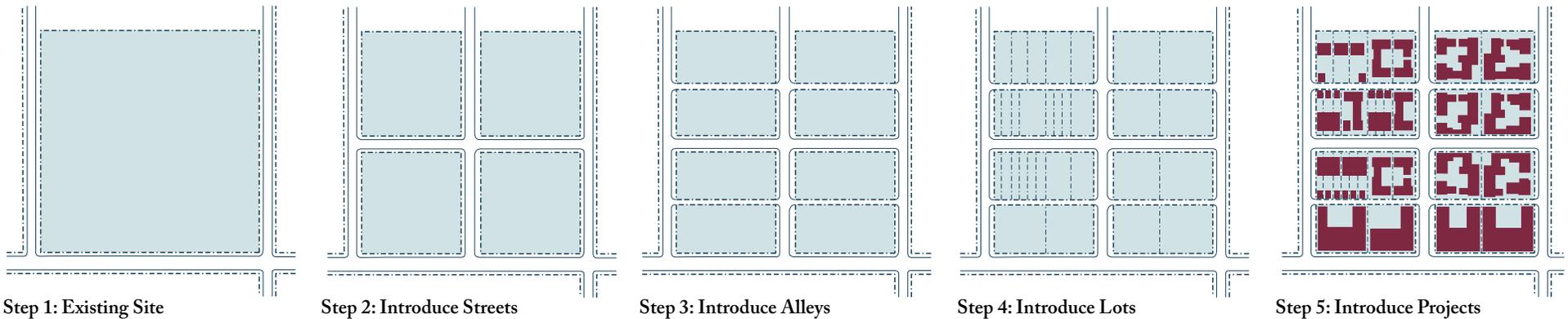
The standards shall apply to all new or modified blocks in the Corridors Code area.

### 4.2C Block Standards

- New or modified blocks shall front a street (public or private).
- New or modified blocks shall be subdivided to generate individual lots for buildings or open space as required by the applicable zoning district(s) and overlay(s) and in compliance with Section 5.0 Development Standards.
- New or modified blocks may be designed in a variety of shapes. Individual block lengths and the total block perimeter length shall follow the standards established in the Table 4.2 below.

Zone	Block Length	Perimeter Length
Commerce-Mixed Use	400 ft. max.	1,600 ft. max.
Commerce-Industrial	600 ft. max.	1,800 ft. max.
Neighborhood Edge	600 ft. max.	2,000 ft. max.
Neighborhood Residential	600 ft. max.	2,000 ft. max.

Table 4.2: Block standards.



Sites that are 4 acres or larger in size or existing blocks with 700 feet of frontage on any side shall be subdivided further to create additional blocks per the requirements of Table 4.2.

Sites being subdivided into additional blocks shall introduce streets as allowed in the applicable zoning district(s) and comply with the applicable block-size requirements of Table 4.2.

Access to new blocks and their individual lots is allowed primarily by alley or, side street, with a certain portion of lots allowed to access the lot via the primary street. The intent of limiting access to the rear or side of lots is to maintain the continuity of the streetscape without interruptions such as driveway access.

Lots are introduced on each block to correspond with the selected building type(s) allowed by each zoning district.

Each lot is to receive no more than one main building. The main building is then designed per the requirements of the applicable zoning district along with the allowed frontages and arranged to suit the particular organization of buildings desired for the block.

## 4.3 Streets

### 4.3A Intent

The key to transforming the Corridors Code Area into walkable area is the introduction of an interconnected street network with streets that are sized appropriately for intended volume and safe traffic speeds. The principal characteristics and strategies of this kind of network are:

- i. Interconnected streets that serve all modes of travel, including walking, biking, taking transit, or driving.
- ii. A diversity of context based street types, each designed according to the adjacent building intensities and uses and each with its own unique character.
- iii. Streets that accommodate two-way traffic, facilitating navigation and safe traffic speeds, while eliminating traffic-related fatalities.
- iv. On-street parking that provides convenient parking in front of businesses and residences, reduces the amount of required off-street parking, provides a barrier between vehicles in the travel lane and pedestrians on sidewalks, and provide a presence on the street that helps calm vehicular speeds.
- v. Appropriate lane widths, tight curb radii, and narrow street crossings that calm traffic and provide a more comfortable and safe environment for pedestrians, cyclists, and automobiles.
- vi. Ample sidewalks, crosswalks, street trees, and generous streetscapes that provide shady, comfortable, and inviting places for pedestrians to walk, while defining the Corridor's unique and memorable sense of place.
- vii. Streets that result in a reduced quantity and improved quality of stormwater runoff, and a diminished heat island effect.
- viii. Energy-efficient, pedestrian-oriented lighting that generates an inviting and safe environment for pedestrians, cyclists, and commerce.

### 4.3B Applicability

- i. The standards in this section apply to all new streets and to the substantial improvement of an entire block length of an existing street, subject to the review and approval of Public Works Director, Fire Chief, and Community Development Director.
- ii. Figure 4.1 shows the street and block network within the entire Corridor's Code Area. As larger parcels on the Corridors redevelop, additional streets and blocks may be added. Additionally, Figure 4.2 shows conceptual landscape characteristics for each street, contributing to the richness of the Corridor's sense of place.
- iii. The street sections in this section suggest quality and intent. The dimensions in the street sections are based on field observations and aerials. Pre-construction topographic survey should determine existing conditions and final street dimensions and improvements should be modified accordingly.
- iv. To facilitate orderly, integrated, and cohesive public infrastructure design, in 2016, the City Council adopted a Public Infrastructure Improvement Policy. This policy document will provide direction on the type, timing, and extent of public improvements required by abutting properties being developed within the Corridor's Code Area. Public Improvements may include new infrastructure or repair of existing infrastructure (see Table 4.1).

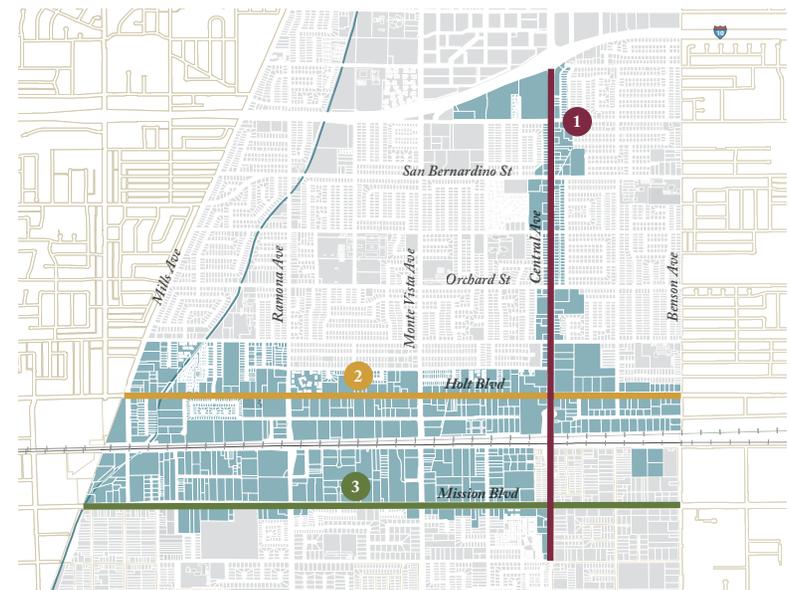
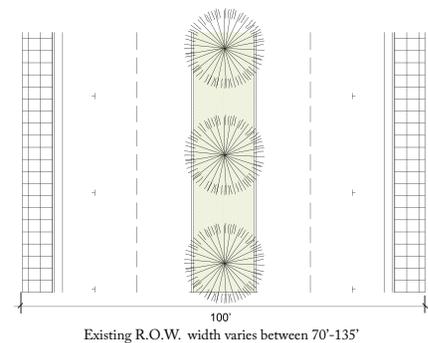
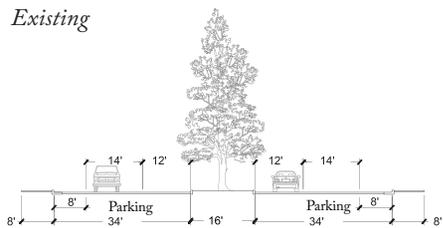


Figure 4.1: Street Network Plan

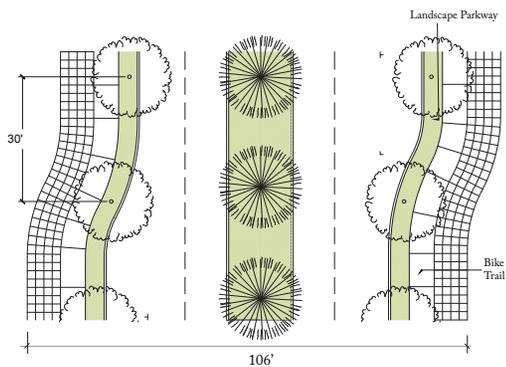
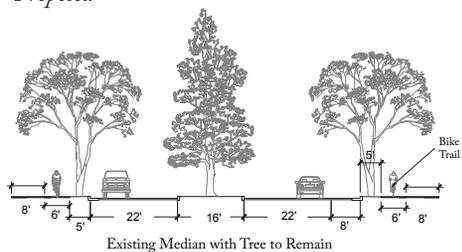
1

Central Avenue

Existing



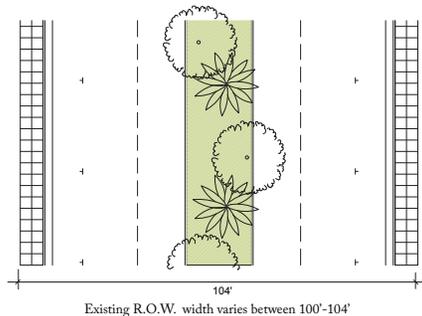
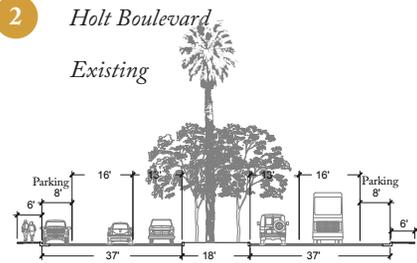
Proposed



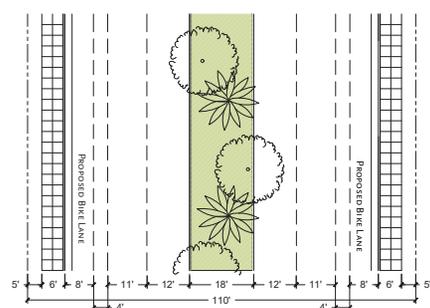
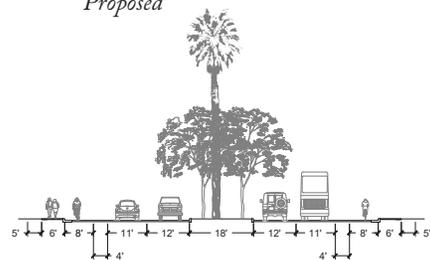
2

Holt Boulevard

Existing



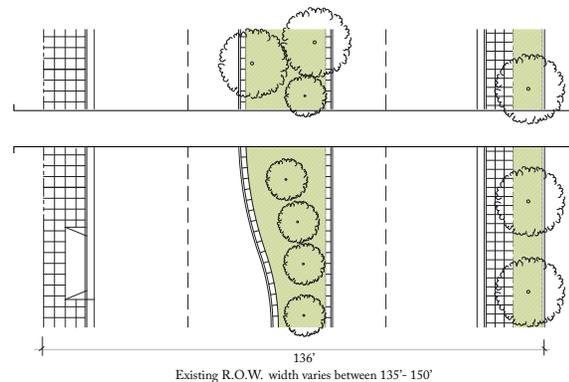
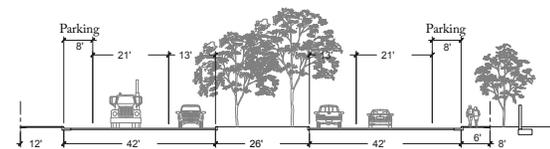
Proposed



3

Mission Boulevard

Existing



Proposed

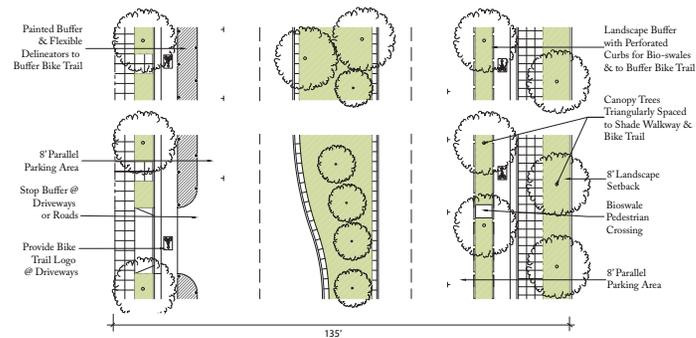
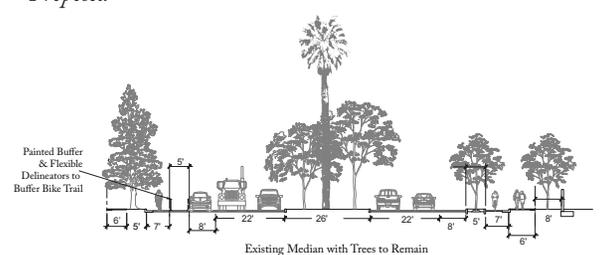


Figure 4.2: Conceptual Typical Street Design



## 4.4 Street Trees

### 4.4A Intent

The intent of street trees is to provide a rich pedestrian experience with shade, planted edges in the public right of way, and increase environmental performance with low impact development strategies that absorb and clean urban runoff.

The Street Tree Master Plan (see Figure 4.3) locates specific tree species amongst the public realm's street network, open spaces, and greenways. Tree species are chosen for each type of thoroughfare and open spaces to support its unique aesthetic character, spatial quality, and environmental value. Tree selection considerations included the tree's shape, color, seasonal change, scent, size at maturity, drought tolerance, and resilience.

The numerous qualitative benefits from selecting a diverse street tree palette include shade for pedestrians, a visual rhythm to reduce driving speeds along vehicular streets, and overall balance of the built environment. A street tree's environmental benefits include cooling the immediate area, local air quality improvement through carbon sequestration, and storm-water management which contribute toward a pedestrian friendly urban character of Montclair.

The street tree species shown in Figure 4.3 (Street Tree Master Plan) are conceptual and may be adjusted subject to Director of Public Works and/or Director of Community Development approval.

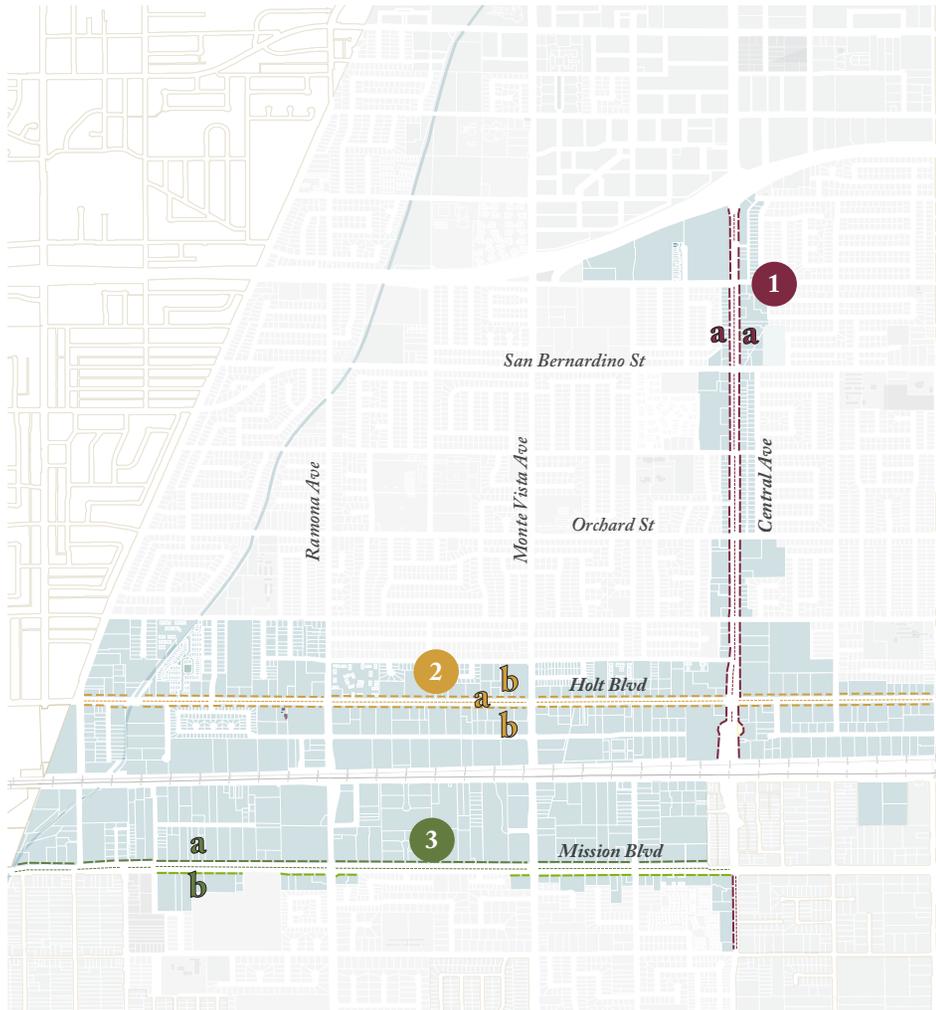


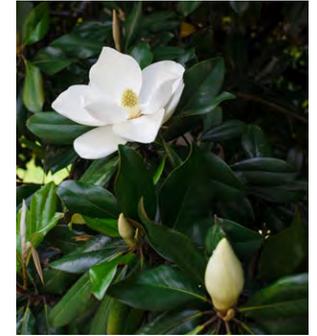
Figure 4.3: Street Trees Master Plan

**1 Central Avenue**

**a.** Parkway Tree: Magnolia grandiflora Southern Magnolia

Tree form: Conical/Rounded

Spacing at 30 ft. on center.



**a.** Alternate Parkway Tree: Brachychiton acerifolius, Australian Flame Tree

Tree form: Conical

Spacing at 30 ft. on center



**a.** Alternate Parkway Tree: Ginkgo biloba, Autumn-Gold, Autumn Gold Maidenhair Tree

Tree form: Conical

Spacing at 30 ft. on center



The existing Pine Trees in the Central Avenue median will be preserved.

## 2 Holt Boulevard

**a. Median Tree:** *Quercus agrifolia* Coast Live Oak

Tree form: Oval

Spacing at 40 ft. on center.



**a. Alternate Median Tree:** *Quercus suber* Cork Oak

Tree form: Oval

Spacing at 40 ft. on center



**b. Parkway Tree:** *Ulmus parvifolia* 'Brea' Brea Chinese Elm

Tree form: Vase

Spacing at 30 ft. on center



**b. Alternate Parkway Tree:** *Zelkova serrata* Sawleaf Zelkova

Tree form: Vase

Spacing at 30 ft. on center



## 3 Mission Boulevard

**a. North Side Tree:** *Lophostemon confertus*, Brisbane box (*Tristania conferta*)

Tree form: Vertical

Spacing at 30 ft. on center.



**a. North Side Tree:** *Cupaniopsis anacardioides*, Carrot-wood Tree

Evergreen tree where power lines are present to be mixed in with Brisbane box trees.

Tree form: Rounded

Spacing at 30 ft. on center.



**b. South Side Tree:** *Pistachia chinensis*, Chinese Pistache

Tree form: Rounded

Spacing at 30 ft. on center.



**b. Alternate South Side Tree:** *Koelreuteria paniculata*, Golden Rain Tree

Tree form: Rounded

Spacing at 30 ft. on center





## **4.5 Parks and Open Space**

### **4.5A Intent**

This Section establishes a range of open spaces specified based on location and characteristics such as size, landscaping, access, and frontage conditions needed to implement the intended form and character for the corridors. The Montclair General Plan vision seeks to establish a seamless weave of public and private open spaces at the regional, neighborhood, block, lot, and building level. The Development Standards include private open space requirements for different building types.

The intent of this Section is to:

1. Improve quality of life, instill civic pride, and sense of community.
2. Provide places for diverse people to meet and interact thereby increasing social capital of the neighborhood.
3. Increase property values and help attract and retain knowledge workers and businesses.
4. Provide venues for many arts and cultural programs which also promotes tourism.
5. Inspire children to explore, discover, learn and become better stewards of the natural environment, through informal play and shared experiences with peers in open spaces.
6. Promote walking, biking, and other physical activities essential for fitness and well being and to reduce diabetes, and heart and mental illness.
7. Reduce the urban heat island effect. Trees in parks and open spaces sequester carbon and other pollutants from the area.

### **4.5B Applicability**

The standards shall apply to all new or modified blocks in the Corridors Code area. Additional Public Open Spaces can be integrated into this Section as they are approved by the City.



## 4.5C Park Types

### 1 San Antonio Creek Greenway

#### a Description

The Greenway is a linear open space intended to provide extensive opportunities for recreation. The Greenway corridor would connect many neighborhoods, existing parks, schools, Pacific Electric Trail and the Metrolink Station. It would also connect the wildlife habitat and reduce the heat island effect.

#### b Standards

- i **Size:** The greenway would be variable width and span the entire City. In the future, the greenway could become part of a regional trail network.
- ii **Design:**
  - a) The landscape along the greenway shall consist of unobstructed lawns, planting beds, naturalistically arranged trees. Hardscape is minimal in the form of access pathway and peripheral connections.
  - b) Pedestrian amenities such as benches, picnic tables, drinking fountains, exercise equipment, bike racks and playground equipment may be located at appropriate intervals along the greenway.
  - c) For additional design considerations, see the San Antonio Creek Trail Plan Feasibility Study.

## 2 Community Garden

### a Description

A semi-private grouping of garden plots available for small-scale cultivation by residents of apartments and other dwelling types without private gardens. Community gardens strengthen community bonds, provide food, create recreational and therapeutic opportunities, and promote environmental awareness and education.

### b Standards

- i **Size:** Community gardens can vary in shape, size, and function.
- ii **Design:**
  - a) Community Gardens shall be located: in areas that receive adequate sunlight for the intended purpose without the removal or excessive trimming of trees; in prominent areas of a park where they may detract from the aesthetics of the park, and in areas that are agriculturally suitable, including soil conditions, topography and solar access.
  - b) The site shall be designed and maintained so that water and fertilizer will not drain to adjacent property.
  - c) A minimum 3-foot-wide, clearly marked entrance path shall be provided from the public right-of-way to the garden.
  - d) Refuse areas shall be located as close as practicable to the rear and center of the property. Refuse shall be removed from the site at least once a week.





### 3 Neighborhood Green

#### a Description

A small open space within a neighborhood available for passive recreation, spatially defined by building frontages and streets.

#### b Standards

i **Size:** 0.25 acre to 0.5 acre

#### ii Design:

- a) Neighborhood Greens are highly visible and accessible and have as boundaries at least two streets. The open spaces shall be in the line of sight of adjacent land uses and activities to ensure visibility. The frontages shall have active edges such as front doors and windows.
- b) All parking shall be located on-street. The location and design of open space shall facilitate walking and biking to the open spaces.
- c) Landscape consists generally of unobstructed lawn, planting beds, and trees arranged naturalistically and providing shade.
- d) Amenities may include pergolas, picnic shelters, flexible gathering and event spaces, benches, chairs, tables (movable recommended) bike racks, playground equipment, and athletic courts and fields.

#### 4 Pocket Park

##### a Description

Pocket parks are urban open spaces on a small-scale and provide a safe and inviting environment for surrounding community members. They also meet a variety of needs and functions, including: small event space, play areas for children, spaces for relaxing or meeting friends, taking lunch breaks, etc.

##### b Standards

i Size: Up to 0.25 acre

##### ii Design:

- a) The parks shall be accessible by both foot and bike.
- b) Pocket parks shall strive to accommodate as many different users as possible, prioritizing the needs of surrounding neighborhoods. Pocket parks may include seating, play or fitness equipment, open lawn space, dog runs, community gardens, ecological/educational displays, and community bulletin boards.
- c) Pocket parks may be designed to serve as stormwater retention and infiltration areas.





## 5 Private Open Spaces

### a Lot Level

Each building type shall prescribe private open space. For example the open space for single dwelling is provided in yards, courtyard buildings includes courts, and flex buildings and towers may provide terraces.

### b Within the building

In urban areas where a private yard is not an option, balconies, patios, and roof garden allow residents access to open space, area for small-scale cultivation, recreation, and entertaining.



# 5. Development Standards

## 5.1 Purpose and Intent

This section establishes standards to ensure that development within the Corridors Code area promotes a safe, comfortable, and interesting walkable environment along the street by:

- Placing the buildings in the front and locating the parking behind the building;
- Providing access to adequate public and private parks and open space; and
- Providing contextual building scale and mass, and pedestrian access and visibility that establish a human scale to the street.

## 5.2 Applicability

All proposed buildings and related improvements shall be designed in compliance with the development standards of this Section for the applicable zone, except for public and institutional buildings, which because of their unique disposition and application are not required to comply with these requirements.

## 5.3 Average Building Height

Building within the Neighborhood Edge zone may exceed the maximum allowed base building height by one story for up to 30% of the building footprint area provided an equal amount of building footprint area is one story shorter than the maximum allowed base building height (see Figure 5.1).

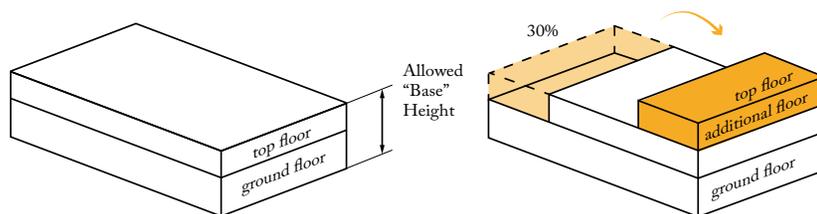
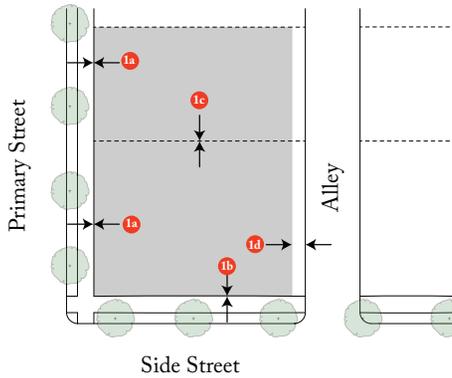


Figure 5.1: Average Building Height

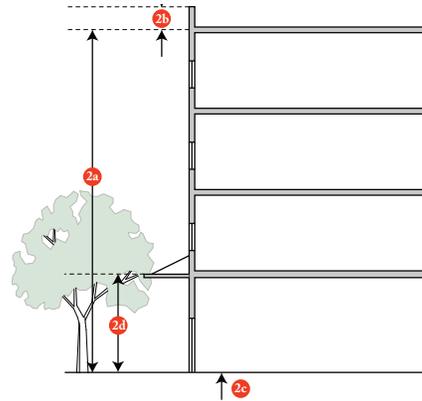
## 5.3A Commerce-Mixed Use



### Building placement

#### 1 Setbacks

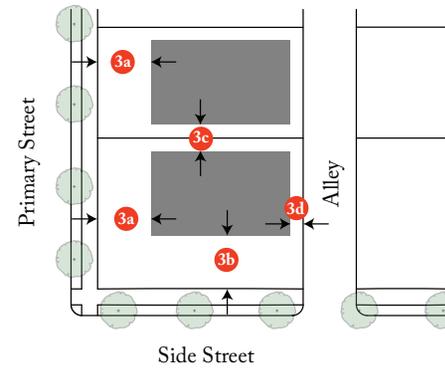
<b>1a</b> Primary Street Setback	
i Ground Floor non-residential	0 ft. min./5 ft. max.
ii Ground Floor residential	5 ft. min./10 ft. max.
<b>1b</b> Side Street Setback	
i Ground Floor non-residential	0 ft. min./5 ft. max.
ii Ground Floor residential and upper floors	5 ft. min./10 ft. max.
<b>1c</b> Side Yard Setback	
i Non-residential	0 ft.
ii Residential	8 ft. min.
<b>1d</b> Rear Setback	
i With Alley	5 ft. min.
ii Without Alley	15 ft. min.



### Building height

#### 2 Heights

<b>2a</b> Top of plate height	4 stories/50 ft. max.
<b>2b</b> Parapet height	4 ft. max.
Pitch roof above top of building plate	Allowed
<b>2c</b> Ground Floor above grade	
i Non-residential	0 ft.
ii Residential	3.5 ft. min.
<b>2d</b> Ground story floor to floor height	
i Non-residential	15 ft. min.
ii Residential	12 ft. min.



### Parking placement

#### 3 Parking Placement

On-site parking shall be located as indicated below and shown in the diagram on the right:

<b>3a</b> Primary Street Setback	
i Podium/Surface	20 ft. min.
ii Subterranean	0 ft.
<b>3b</b> Side Street Setback	
i Podium/Surface	20 ft. min.
ii Subterranean	0 ft.
<b>3c</b> Side Yard Setback	
i Podium/Surface	5 ft. min.
ii Subterranean	0 ft.
<b>3d</b> Rear Setback	
i Podium/Surface	5 ft. min.
ii Subterranean	0 ft.



#### 4 Signs

Allowed Signage Types: A maximum of two of the below listed sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Sign Type	Encroachment
a Awning Canopy	Within 2 ft. of curb
b Window Sign	0 ft.
c Projecting Sign	3 ft.
d Wall	Sign thickness
e Directory/Building ID Sign	Sign thickness

## 5 On-site Open Space

- a One (1) or more of the Open Space Types listed below shall be provided on each lot and must be accommodated behind the Primary Street setback line.

Open Space type	Minimum Area	Minimum Dimensions
i Side Garden	15% of total lot area	20 ft. by 20 ft.
ii Courtyard		
iii Back yard		
iv Roof deck		

- b Residential projects without a back yard shall provide for each residential unit a private open space in the form of a balcony, door yard, or yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.

## 6 Frontage Elements and Encroachments

- a Required Frontage Elements: Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. These Frontage Elements may encroach into the Primary Street and Side Street setbacks as identified below.

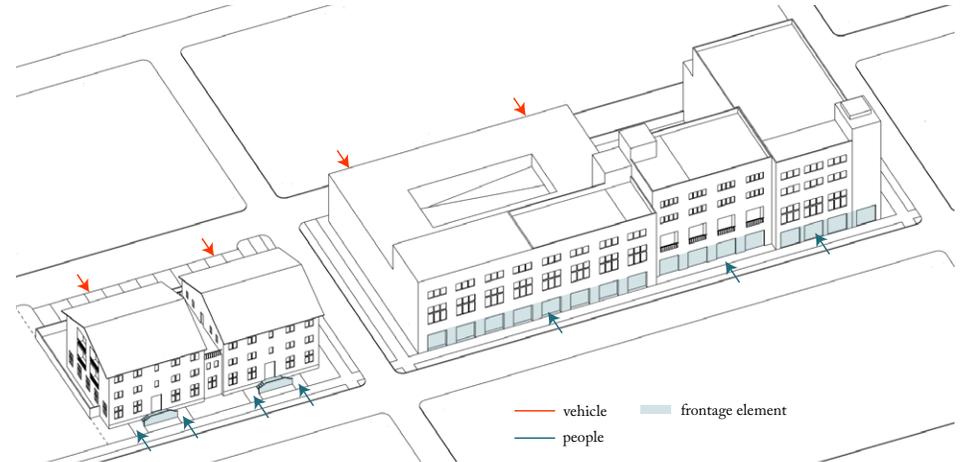
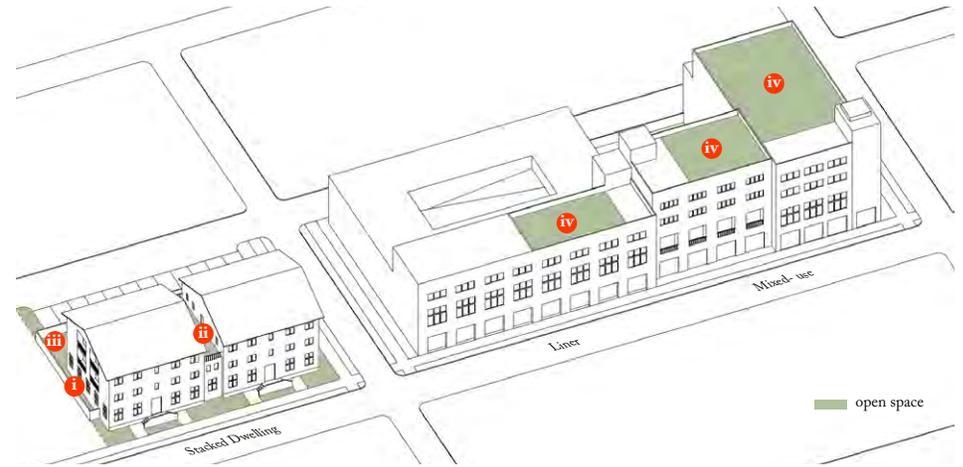
i Arcade, Gallery	To R.O.W. line
ii Shopfront	0 ft.
iii Stoop	5 ft.
iv Door yard	To R.O.W. line

- b Optional Frontage Elements. The following elements may be provided on all Street- and Courtyard-facing facades, and may encroach into the Primary Street and Side Street setbacks or right-of-way as identified below.

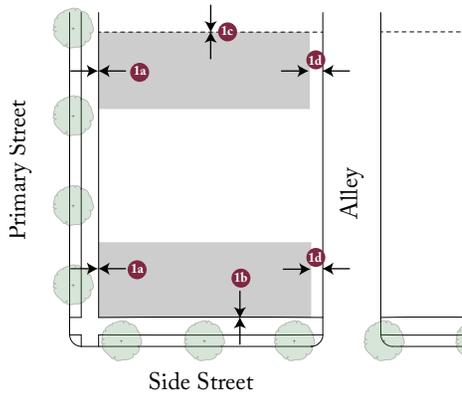
i Balcony	3 ft. into R.O.W. or setback
ii Bay Window	
iii Awning, Canopy	Within 2 ft. of curb

## 7 Access

- a Pedestrian Access: All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate frontage element, lobby, or open space, such as a court. Upper floor uses may be accessed through an exterior or interior stair, or lobby.
- b Vehicular Access: Parking shall be accessed from an alley. Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible. Parking/service areas for corner lots shall be accessed from side street.



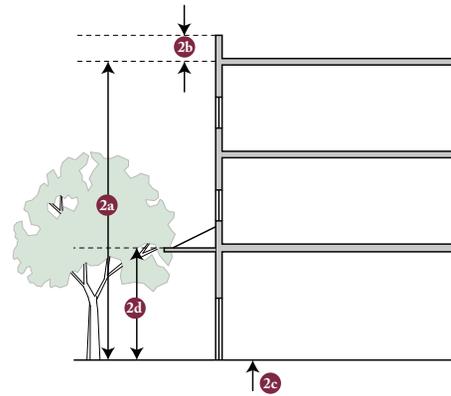
## 5.3B Commerce -Industrial



Building placement

### 1 Setbacks

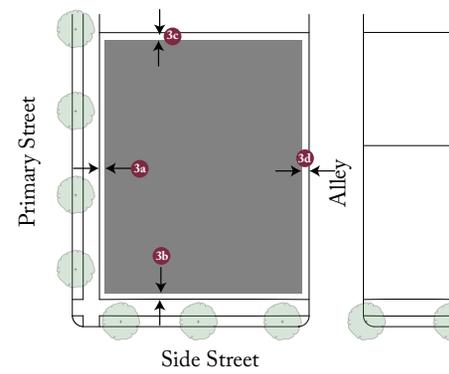
1a	Primary Street Setback	5 ft. min.	No max.
1b	Side Street Setback	5 ft. min.	No max.
1c	Side Yard Setback	5 ft. min.	No max.
1d	Rear Setback		
	i With Alley	5 ft. min.	No max.
	ii Without Alley	15 ft. min.	No max.



Building height

### 2 Heights

2a	Top of plate height	3 stories/45 ft. max.
2b	Parapet height	4 ft. max.
	Pitch roof above top of building plate	Allowed
2c	Ground Floor above grade	0 ft.
2d	Ground story floor to floor height	15 ft. min.



Parking placement

### 3 Parking Placement

On-site parking shall be located as indicated below and shown in the diagram on the right:

3a	Primary Street Setback	
	i Podium/Surface	3 ft. min.
	ii Subterranean	0 ft.
3b	Side Street Setback	
	i Podium/Surface	3 ft. min.
	ii Subterranean	0 ft.
3c	Side Yard Setback	
	i Podium/Surface	3 ft. min.
	ii Subterranean	0 ft.
3d	Rear Setback	
	i Podium/Surface	3 ft. min.
	ii Subterranean	0 ft.



### 4 Signs

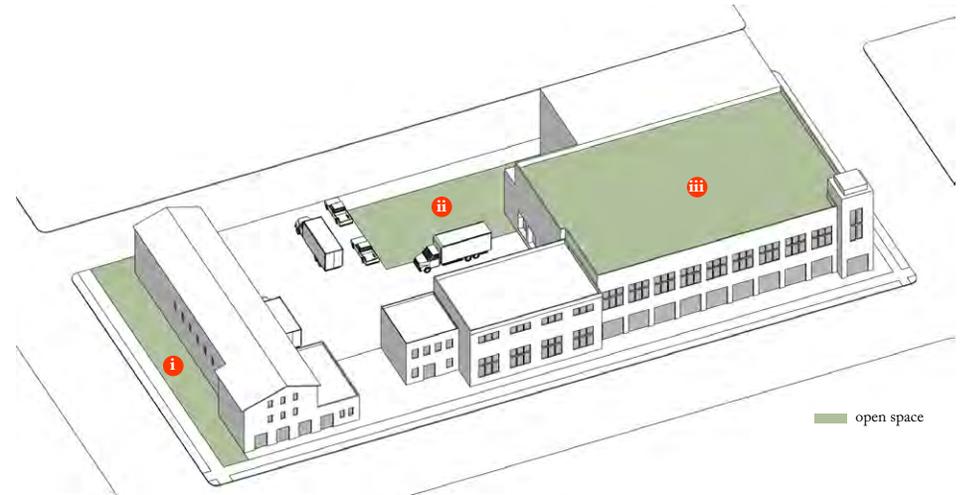
Allowed Signage Types: A maximum of two of the below listed sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Sign Type	Encroachment
a Awning Canopy	Within 2 ft. of curb
b Window Sign	0 ft.
c Projecting Sign	3 ft.
d Wall	Sign thickness
e Directory/Building ID Sign	Sign thickness

## 5 On-site Open Space

- a Open Space is not required but can be provided on each lot behind the Primary Street setback line.

Open Space type	Minimum Area	Minimum Dimensions
i Side Garden		
ii Back yard	No min.	No min.
iii Roof deck		



## 6 Frontage Elements and Encroachments

- a Required Frontage Elements: Street facing building facades shall provide at least one (1) of the frontage elements listed below. These Frontage Elements may encroach into the Primary Street and Side Street setbacks as identified below.

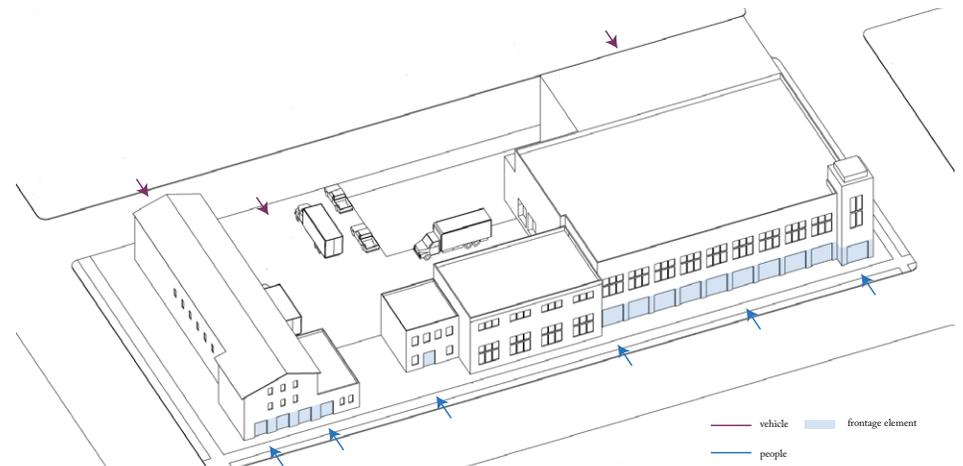
i Arcade, Gallery	To R.O.W. line
ii Shopfront	0 ft.
iii Stoop	5 ft.
iv Door yard	To R.O.W. line

- b Optional Frontage Elements: The following elements may be provided on all Street-facing facades, and may encroach into in the Primary Street and Side Street setbacks or right-of-way as identified below.

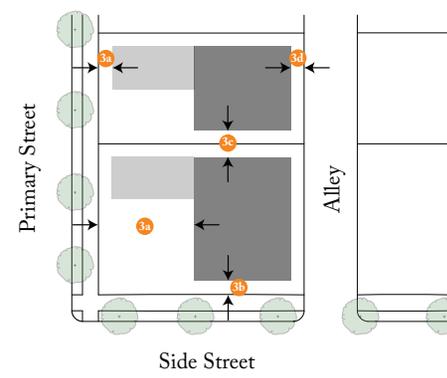
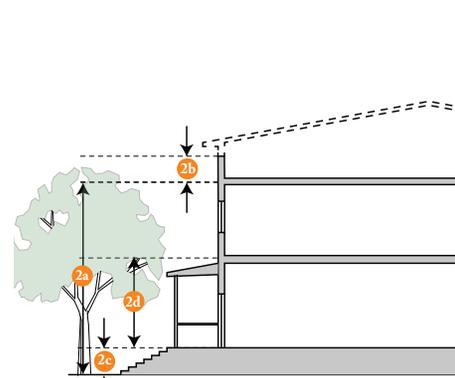
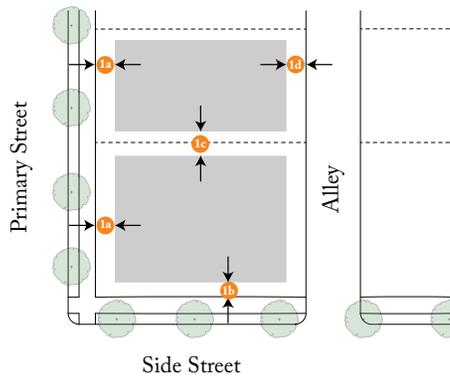
i Balcony	3 ft. into R.O.W. or setback
ii Bay Window	
iii Awning, Canopy	Within 2 ft. of curb

## 7 Access

- a Pedestrian Access: All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate frontage element, lobby, or open space, such as a court. Upper floor uses may be accessed through an exterior or interior stair, or lobby.
- b Vehicular Access: Parking shall be accessed from an alley. Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible. Parking/service areas for corner lots shall be accessed from side street.



## 5.3C Neighborhood Edge



### Building placement

#### 1 Setbacks

<b>1a</b> Primary Street Setback		
i Ground Floor non-residential	10 ft. min./25 ft. max.	
ii Ground Floor residential	10 ft. min./25 ft. max.	
<b>1b</b> Side Street Setback		
i Ground Floor non-residential	5 ft. min.	
ii Ground Floor residential and upper floors	10 ft. min.	
<b>1c</b> Side Yard Setback		
i Non-residential	5 ft. min.	
ii Residential	5 ft. min.	
<b>1d</b> Rear Setback		
i With Alley	10 ft. min.	
ii Without Alley	15 ft. min.	

### Building height

#### 2 Heights

<b>2a</b> Top of plate height	Average 2 stories/25 ft. max.*
<b>2b</b> Parapet height	4 ft. max.
Pitch roof above top of building plate	Allowed
<b>2c</b> Ground Floor above grade	
i Non-residential	0 ft.
ii Residential	3.5 ft. min.
<b>2d</b> Ground story floor to floor height	
i Non-residential	15 ft. min.
ii Residential	12 ft. min.
* Up to 30% of the building footprint area may be three (3) stories/40 ft. to top of plate, provided an equal amount of building footprint area is no taller than one story/15 ft. to top of plate (see figure 5.1).	

### Parking placement

#### 3 Parking Placement

On-site parking shall be located as indicated below and shown in the diagram on the right:

<b>3a</b> Primary Street Setback		
i Surface	5 ft. min. for 34% max. of lot width; 50% of lot depth for remaining 66% of lot width; parking prohibited on corners	
ii Podium	50% of lot depth	
iii Subterranean	10 ft. min.	
<b>3b</b> Side Street Setback		
i Surface	5 ft. min.	
ii Podium	25 ft. min.	
iii Subterranean	5 ft. min.	
<b>3c</b> Side Yard Setback		
i Surface	5 ft. min.	
ii Podium	15 ft. min.	
iii Subterranean	5 ft. min.	
<b>3d</b> Rear Setback		
i Surface	5 ft. min.	
ii Podium	20 ft. min.	
iii Subterranean	5 ft. min.	

#### 4 Signs

Allowed Signage Types: A maximum of two of the below listed sign types are allowed per business. Signs may encroach into Primary Street and Side Street rights-of-way as measured from the building facade as identified below.

Sign Type	Encroachment
a Awning Canopy	Within 2 ft. of curb
b Window Sign	0 ft.
c Projecting Sign	3 ft.
d Wall	Sign thickness
e Directory/Building ID Sign	Sign thickness

## 5 On-site Open Space

- a One (1) or more of the Open Space Types listed below shall be provided on each lot and must be accommodated behind the Primary Street setback line.

Open Space type	Minimum Area	Minimum Dimensions
i Side Garden	15% of total lot area	20 ft. by 20 ft.
ii Courtyard		
iii Back yard		
iv Roof deck		

- b Residential projects without a back yard shall provide for each residential unit a private open space in the form of a balcony, door yard, or yard. Private open space shall have a minimum area of 40 square feet with a minimum width of 5 feet.

## 6 Frontage Elements and Encroachments

- a Required Frontage Elements: Street- and Court-facing building facades shall provide at least one (1) of the frontage elements listed below. These Frontage Elements may encroach into the Primary Street and Side Street setbacks as identified below.

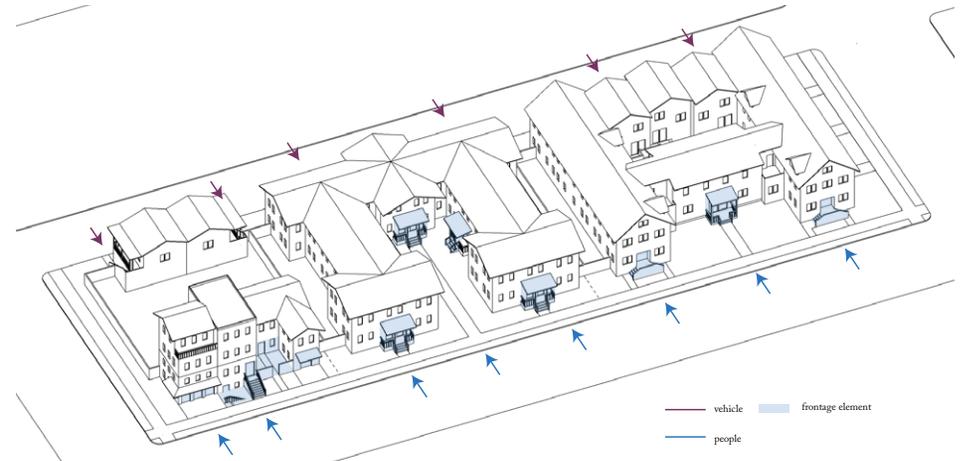
i Arcade, Gallery	To R.O.W. line
ii Shopfront	0 ft.
iii Stoop	5 ft.
iv Door yard	To R.O.W. line

- b Optional Frontage Elements. The following elements may be provided on all Street- and Courtyard-facing facades, and may encroach into the Primary Street and Side Street setbacks or right-of-way as identified below.

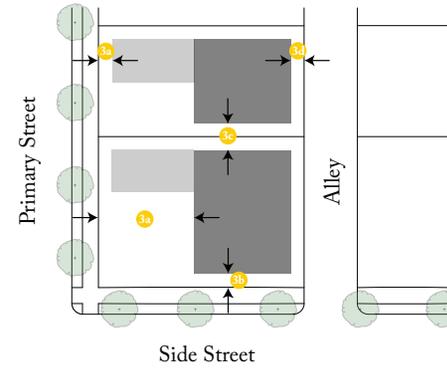
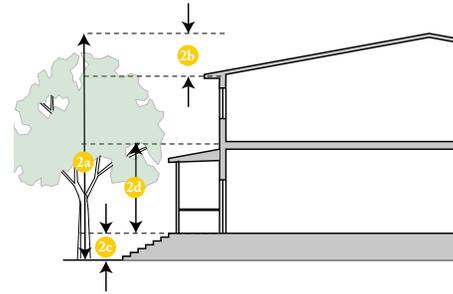
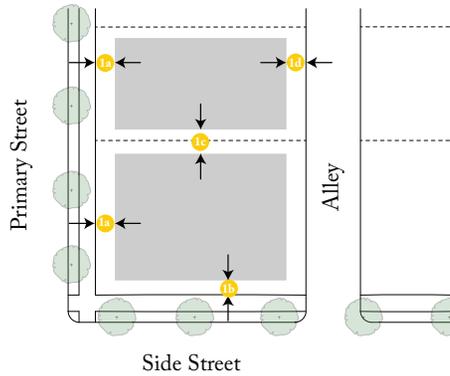
i Balcony	3 ft. into R.O.W. or setback
ii Bay Window	
iii Awning, Canopy	Within 2 ft. of curb

## 7 Access

- a Pedestrian Access: All ground floors shall be accessed directly from the sidewalk either directly to each unit or commercial space through an appropriate frontage element, lobby, or open space, such as a court. Upper floor uses may be accessed through an exterior or interior stair, or lobby.
- b Vehicular Access: Parking shall be accessed from an alley. Where an alley is not present, parking/service areas may be accessed from primary street. Driveways shall be located as close to side property line as possible. Parking/service areas for corner lots shall be accessed from side street.



## 5.3D Neighborhood Residential



### Building placement

#### 1 Setbacks

<b>1a</b> Primary Street Setback		
i	Ground Floor non-residential	10 ft. min./25 ft. max.
ii	Ground Floor residential	10 ft. min./25 ft. max.
<b>1b</b> Side Street Setback		
i	Ground Floor non-residential	5 ft. min.
ii	Ground Floor residential and upper floors	10 ft. min.
<b>1c</b> Side Yard Setback		
i	Non-residential	5 ft. min.
ii	Residential	5 ft. min.
<b>1d</b> Rear Setback		
i	With Alley	10 ft. min.
ii	Without Alley	15 ft. min.

### Building height

<b>2</b> Heights		
<b>2a</b>	Top of plate height	2 stories/25 ft. max.
<b>2b</b>	Parapet height	4 ft. max.
	Pitch roof above top of building plate	Allowed
<b>2c</b>	Ground Floor above grade	3.5 ft. min.
<b>2d</b>	Ground story floor to floor height	12 ft. min.

### Parking placement

#### 3 Parking Placement

On-site parking shall be located as indicated below and shown in the diagram on the right:

<b>3a</b> Primary Street Setback		
i	Surface	5 ft. min. for 34% max. of lot width; 50% of lot depth for remaining 66% of lot width; parking prohibited on corners
ii	Podium	50% of lot depth
iii	Subterranean	10 ft. min.
<b>3b</b> Side Street Setback		
i	Surface	5 ft. min.
ii	Podium	25 ft. min.
iii	Subterranean	5 ft. min.
<b>3c</b> Side Yard Setback		
i	Surface	5 ft. min.
ii	Podium	15 ft. min.
iii	Subterranean	5 ft. min.
<b>3d</b> Rear Setback		
i	Surface	5 ft. min.
ii	Podium	20 ft. min.
iii	Subterranean	5 ft. min.

#### 4 Signs

Business advertisement signs are not permitted in the Neighborhood Residential Zone.