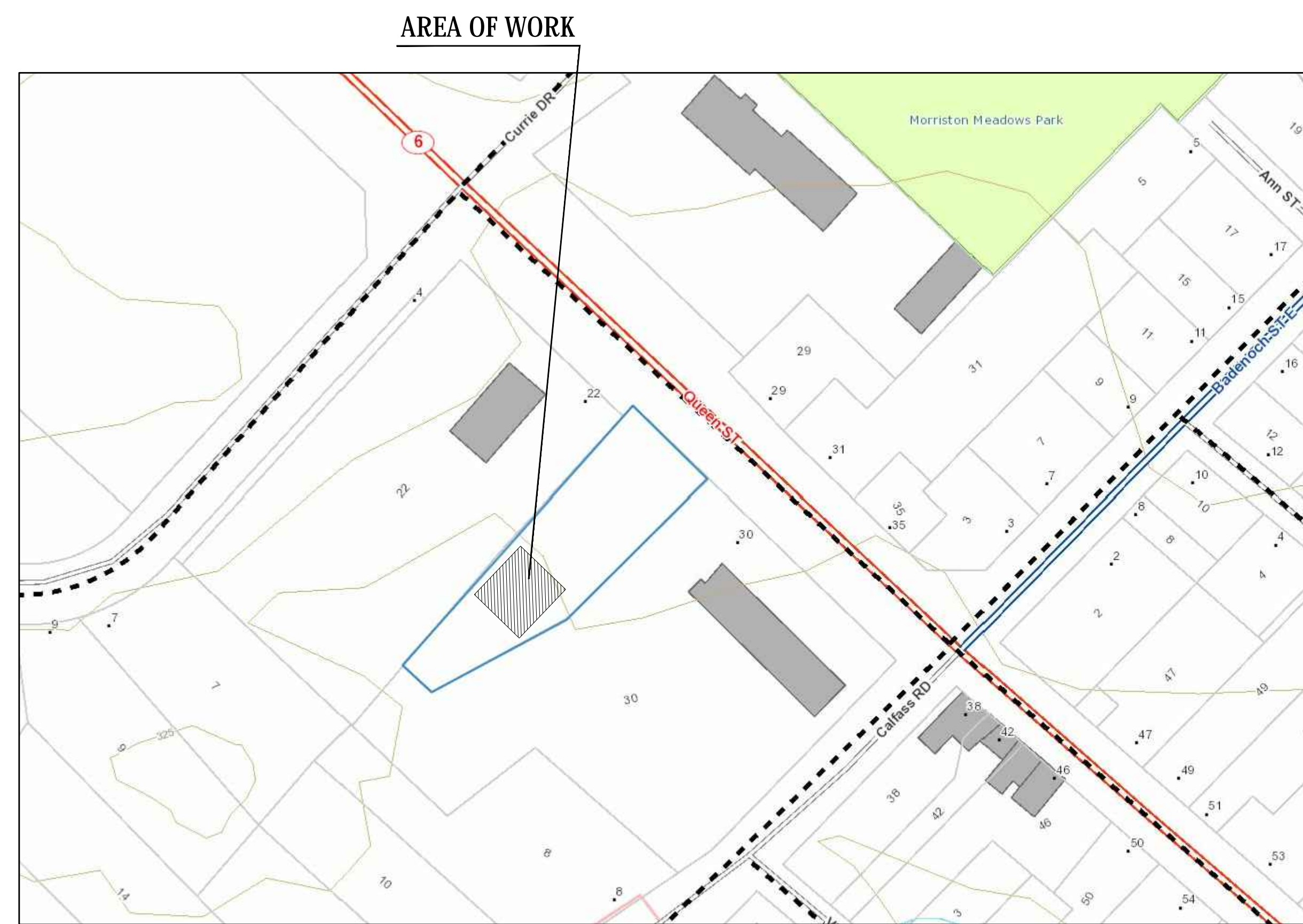


# WALEED SADAQAT RESIDENCE- STORAGE SHED

30 QUEEN STREET, MORRISTON, (PUSLINCH) ONTARIO



1 SITE PLAN  
G01 SCALE: N.T.S.

## GENERAL REQUIREMENTS

1. ALL WORK CALLED FOR ON THESE DRAWINGS SHALL BE IN COMPLIANCE WITH CODES, RULES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION. THIS INCLUDES BUT IS NOT LIMITED TO THE ONTARIO BUILDING CODE, THE ONTARIO ELECTRICAL SAFETY CODE, FIRE PROTECTION CODES AND THE ACCESSIBILITY GUIDELINES.
2. THE CONTRACTOR MUST COMPLY WITH ANY AND ALL RULES SET BY EITHER THE BUILDING OWNER AND OR BUILDING'S MANAGEMENT.
3. THE CONTRACTOR IS TO REMOVE ALL DEBRIS ASSOCIATED WITH THE DEMOLITION / CONSTRUCTION OF THE PROJECT. THE CONSTRUCTION SITE IS TO BE BROOM SWEEP AT THE CONCLUSION OF EACH WORKING DAY.
4. THE CONTRACTOR IS TO SUPPLY ALL MATERIAL AND LABOR NECESSARY TO COMPLETE THE WORK DESCRIBED HEREIN.
5. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE CONSTRUCTION SITE AND FOR THE STORAGE OF MATERIALS.
6. THE CONTRACTOR WILL SCHEDULE THE USE AND OR SHUT DOWN OF BUILDING SERVICES WITH THE BUILDING OWNER AND OR MANAGEMENT. CONTRACTOR SHOULD BE PREPARED TO PERFORM ANY WORK RELATED TO THE SAME DURING NON BUSINESS HOURS.
7. THE CONTRACTOR SHALL SCHEDULE AND OBTAIN PERMISSION FROM THE BUILDING OWNER AND OR MANAGEMENT FOR ACCESS TO SPACES OUTSIDE OF THE CONSTRUCTION SITE. THESE SPACES INCLUDE, BUT ARE NOT LIMITED TO, MECHANICAL ROOMS, ROOFS, ELECTRICAL ROOMS, ADJACENT TENANTS, AND FLOORS ABOVE AND BELOW THE CONSTRUCTION. CONTRACTORS SHOULD BE PREPARED TO PERFORM ANY WORK RELATED TO THE SAME DURING NON BUSINESS HOURS.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL COMPLETED WORK AND AREAS WITHIN THE BUILDING USED FOR ACCESS TO THE CONSTRUCTION SITE. THIS INCLUDES, BUT IS NOT LIMITED TO, PUBLIC CORRIDORS, ELEVATORS, LOBBIES, LOADING DOCKS, AND TOILET FACILITIES. CONTRACTOR IS ALSO TO CLEAN THE SAME AFTER USE.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES WITH THESE DOCUMENTS AND ACTUAL FIELD CONDITIONS. THE CONTRACTOR MUST BRING THIS TO THE ATTENTION OF THE ARCHITECT DURING THE BIDDING PROCESS (IF APPLICABLE).
10. WHEN SUBMITTALS ARE CALLED FOR ON THE DOCUMENTS, THEY ARE FIRST TO BE REVIEWED BY THE GENERAL CONTRACTOR. THE SUBMITTAL MUST BE STAMPED INDICATING THE DATE WHEN RECEIVED BY THE GENERAL CONTRACTOR. AFTER THE GENERAL CONTRACTOR'S REVIEW, SUBMITTALS CAN THEN BE ISSUED TO THE ARCHITECT AND OR ENGINEER. ALL SUBMITTALS ARE TO BE SUPPLIED TO THE ARCHITECT IN TRIPLICATE.
11. THE CONTRACTOR IS TO WARRANTY ALL WORK, MATERIALS AND EQUIPMENT FOR A PERIOD OF ONE YEAR STARTING AT THE DATE OF SUBSTANTIAL COMPLETION.
12. THE CONTRACTOR IS RESPONSIBLE FOR FINAL FINE CLEANING AT THE COMPLETION OF THE JOB PRIOR TO OCCUPANCY.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING DAMAGED SPRAY-ON FIREPROOFING FROM DISTURBED STRUCTURAL STEEL (IF APPLICABLE).

## INTERIOR METAL STUD & GYPSUM WALL BOARD PARTITIONS

01. GYPSUM WALL BOARD IS TO BE PROVIDED IN THE THICKNESS SPECIFIED ON THE PLANS. GYPSUM BOARD SHALL COMPLY WITH ASTM C36.
02. GYPSUM WALL BOARD SHALL BE FASTENED TO METAL STUDS VERTICALLY WITH No. 6 SCREWS WITH TAPERED HEADS. SCREWS ARE TO PENETRATE FRAMING NOT LESS THAN 1/4". MAXIMUM SPACING OF SCREWS SHALL BE 12" FOR 1/2" AND 3/4" GYPSUM BOARD.
03. STEEL SCREWS TO COMPLY WITH ASTM C1002 AND C954.
04. JOINT REINFORCING TAPE AND COMPOUND SHALL CONFORM TO ASTM C474, C475. ASBESTOS FREE.
05. STEEL STUDS ARE TO BE NON LOAD BEARING SUPPLIED IN THE THICKNESS SPECIFIED ON THE PLANS. THEY ARE TO COMPLY WITH ASTM C845. CONTRACTOR IS TO SUPPLY TOP AND BOTTOM TRACKS AND RUNNERS.
06. HEIGHT AND SPACING LIMITATIONS FOR ONE LAYER OF GYPSUM BOARD ARE AS FOLLOWS.
  - 25 GAUGE 2 1/2" THICKNESS 16" OC = 10'-9"
  - 25 GAUGE 2 1/2" THICKNESS 24" OC = 9'-6"
  - 25 GAUGE 3 5/8" THICKNESS 16" OC = 14'-0"
  - 25 GAUGE 3 5/8" THICKNESS 24" OC = 12'-3"
07. STEEL FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C754, AND C1007.
08. WHEN THE PLANS INDICATE THAT A PARTITION IS TO RUN FROM FLOOR SLAB TO DECK ABOVE, THE ENTIRE PARTITION ASSEMBLY IS TO RUN FROM FLOOR SLAB TO THE DECK ABOVE. GYPSUM BOARD IS TO BE CUT IN AND AROUND CELLULAR FLOOR DECK, FRAMING AND ANY OTHER OBSTRUCTIONS.
09. WHEN THE PLANS INDICATE A FIRE RATED PARTITION, THE PARTITION IS TO BE CONSTRUCTED IN ACCORDANCE WITH UNDER WRITERS LABORATORY'S DESIGN CRITERIA FOR THE RATING AND CONSTRUCTION TYPE SPECIFIED.
10. WHEN SPECIFIED ON THE PLANS, SOUND ATTENUATING INSULATION IS TO FILL THE ENTIRE WALL CAVITY. 3 5/8" WALL CAVITIES ARE TO HAVE A STC RATING OF 50. 2 1/2" WALL CAVITIES ARE TO HAVE A STC RATING OF 47. A SILICONE BEAD IS TO BE USED TO SEAL ALL WALL PENETRATIONS AND TO SEAL THE WALL TO THE FLOOR, THE WALL TO THE CEILING AND THE WALL TO THE STRUCTURAL DECK ABOVE.
11. ALL GYPSUM BOARD SURFACES ARE TO BE TAPED, SPACKLED AND SANDED UNTIL SMOOTH AND ARE TO BE MADE READY TO RECEIVE THE SPECIFIED WALL FINISH.
12. WHERE A PARTITION MEETS A BUILDING CURTAIN WALL MULLION, THE MULLION CONDITION IS TO MATCH THOSE EXISTING IN THE BUILDING. IF NO MULLION CONDITIONS EXIST THE WALL IS TO BE EXTENDED TO THE MULLION BY NOTCHING OUT THE WALL BOARD OR A BY WAY OF A BREAK METAL CLOSURE PIECE.
13. ALL GYPSUM BOARD SURFACES TO BE TAPED, PLASTERED, SANDED AND FINISHED READY TO RECEIVE PAINT / WALL PAPER / FINISHES AS INDICATED ON INTERIOR DESIGN DRAWINGS (IF INCLUDED). FOR ALL FINISH INFORMATION COORDINATE WITH OWNER.
14. GYPSUM BOARD SHALL BE WATER & MOLD RESIST (WMR) IN ALL KITCHENS, WASHROOMS OR OTHER APPROPRIATE AREAS.

## SUSPENDED CEILING SYSTEM

01. THE SUSPENDED CEILING SYSTEM IS TO BE OF THE TYPE, COLOR AND MANUFACTURER SPECIFIED ON THE DRAWINGS.
02. MAIN RUNNERS ARE TO HAVE A MAXIMUM LENGTH OF 12'-0" AND A LOAD CARRYING CAPACITY OF NOT LESS THAN 12 LBS./LF. HANGER SPACING IS TO BE 4'-0" OC. HANGER WIRE IS TO BE 12 GAUGE.
03. CROSS TEES ARE TO BE IN 24" AND 48" LENGTHS. 24" LENGTHS ARE TO HAVE A LOAD CARRYING CAPACITY OF NOT LESS THAN 35 LBS./LF AND 48" LENGTHS ARE TO HAVE A LOAD CARRYING CAPACITY OF NOT LESS THAN 12.5 LBS./LF.
04. EXPOSED TEE SYSTEMS ARE TO MEET ASTM CLASS INTERMEDIATE-DUTY.
05. EXPOSED TEE SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH ALL JURISDICTIONAL AUTHORITIES AND ARE TO MEET LOCAL SEISMIC ZONE CRITERIA.
06. ALL PERIMETER CLOSER ANGLES OR CHANNELS MUST PROVIDE A SUPPORT LEDGE OF 7/8 INCH. A TERMINAL END OF A GRID MEMBER OR TILE MUST REST ON THE LEDGE OR MOLDING WITH AT LEAST 3/8" CLEARANCE FROM AN EDGE OR WALL. ALL CEILING PENETRATIONS COLUMNS, SPRINKLERS, ETC. ARE TO BE CONSIDERED PERIMETER CLOSURES.
07. AT WALL CLOSURE LEDGES, THE CROSS RUNNER AND MAIN RUNNER ENDS SHALL BE PREVENTED FROM SPREADING APART FROM EACH OTHER. PERMANENT ATTACHMENT, POP RIVETS, FOR GRID ALIGNMENT PURPOSES SHALL NOT BE PERMITTED.
08. THE CEILING SYSTEM IS TO BE INSTALLED AT THE ELEVATION SPECIFIED. THE CEILING PLANE IS TO BE LEVEL.
09. IN RENOVATION PROJECTS EXISTING CEILING GRIDS ARE TO BE RETROFIT TO THE ABOVE CRITERIA.
10. DEVICES INSTALLED IN THE CEILING, SUCH AS, DOWN LIGHTS, SPRINKLER HEADS, DIFFUSERS, ETC. ARE TO BE INSTALLED IN THE CENTER OF TILES.
11. LIGHT FIXTURES ARE TO BE ATTACHED TO GRID WITH EARTHQUAKE CLIPS.
12. CONTRACTOR TO SUBMIT MANUFACTURER'S CUT SHEETS ON CEILING SYSTEM ALONG WITH A TILE AND GRID SAMPLE TO ARCHITECT FOR APPROVAL.  
GRID: ASTM C835, HEAVY DUTY, STEEL EXPOSED 9/16" T, DOUBLE WEB, ELECTRO-GALVANIZED COMMERCIAL QUALITY, COLD ROLLED STEEL.

ACCESSORIES: STABILIZER BARS, CLIPS, AND SPLICES.  
GRID FINISH: PRE-PAINTED WHITE SATIN FINISH.  
SUPPORT SYSTEM: HOT OR COLD ROLLED GALVANIZED STEEL CHANNELS; GALVANIZED HANGER WIRE. SIZE AND TYPE TO SUIT APPLICATION TO RIGIDLY SECURE ACOUSTIC CEILING SYSTEM INCLUDING INTEGRAL MECHANICAL AND ELECTRICAL COMPONENTS WITH MAXIMUM DEFLECTION OF 1/360.  
EDGE MOLDINGS: METAL CHANNEL WITH EXPOSED FLANGE TO MATCH SUSPENSION SYSTEM.  
HOLD-DOWN CLIPS: MANUFACTURER'S STANDARD RETENTION CLIPS TO SUIT CONDITIONS SPECIFIED.

## PAINT GYPSUM BOARD SURFACES

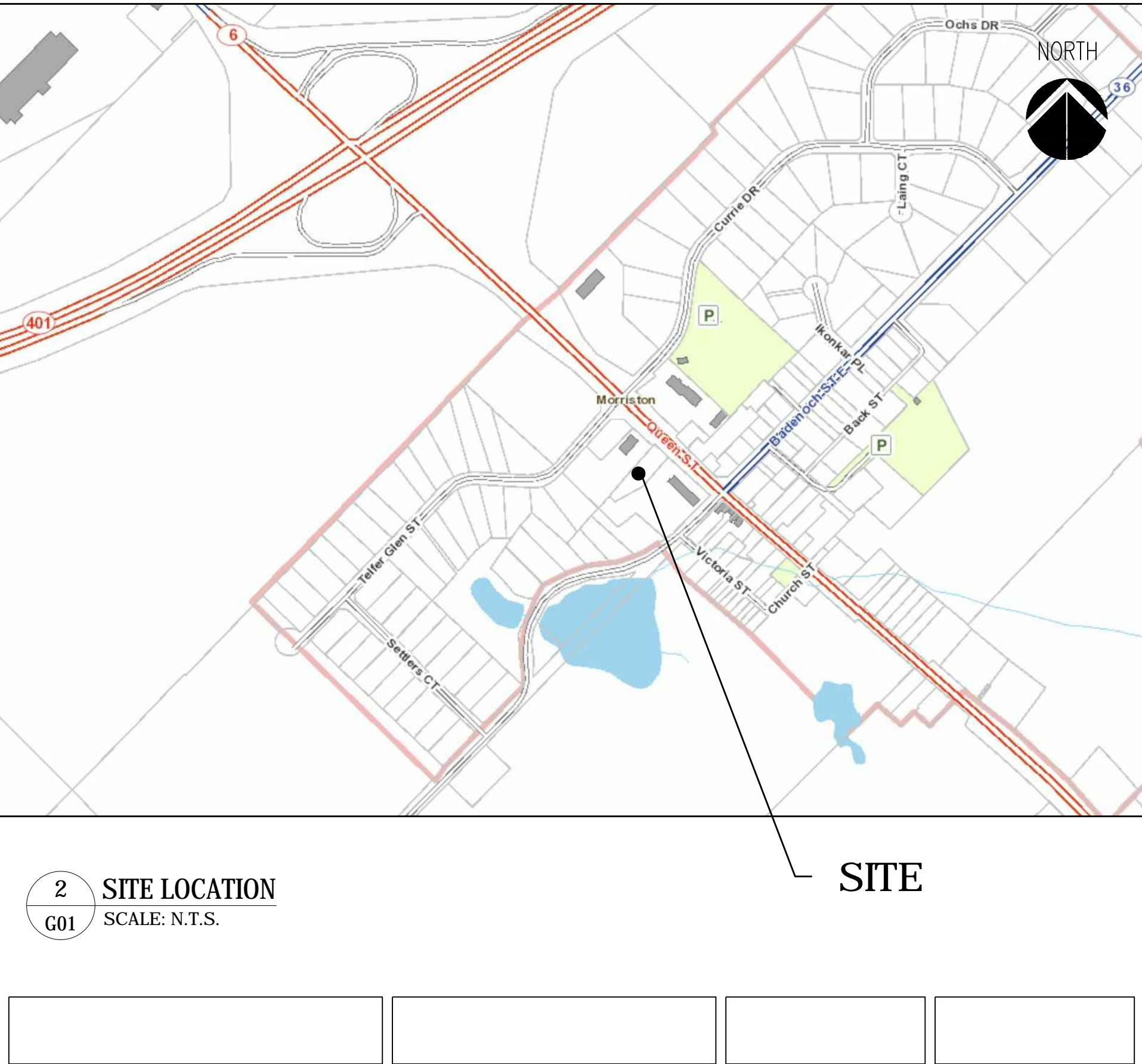
01. CONTRACTOR IS TO SUPPLY PAINT IN THE COLOUR, TYPE, FINISH AND MANUFACTURER SPECIFIED ON THE DRAWINGS OR BY THE OWNER DIRECTLY. ALL PAINT AND MATERIAL MUST BE DELIVERED TO THE JOB SITE IN THE MANUFACTURER'S ORIGINAL CONTAINERS.
02. PAINT IS TO BE APPLIED AS PER MANUFACTURER'S SPECIFICATIONS.
03. ALL SURFACES RECEIVING PAINT ARE TO BE PREPARED AS REQUIRED TO RECEIVE THE SPECIFIED FINISH.
04. EXISTING TO REMAIN SURFACES SCHEDULED FOR PAINTING ARE TO BE PREPARED AND MADE READY FOR PAINTING AS IF THEY WERE NEW SURFACES. THIS INCLUDES, BUT IS NOT LIMITED TO REMOVING BLISTERED, PEELING AND SCALING PAINT, CLEANING THE SURFACE, AND PATCHING ALL HOLES AND CRACKS.
05. SURFACES ARE TO RECEIVE ONE PRIMER COAT SOON AFTER SURFACE PREPARATION HAS BEEN COMPLETED.
06. SURFACES ARE TO RECEIVE TWO FINISH COATS OF PAINT.
07. THE CONTRACTOR IS TO SUBMIT PAINT COLOUR SAMPLE TO ARCHITECT FOR APPROVAL.
08. PERFORM ALL PAINTING OPERATIONS IN ACCORDANCE WITH CAN/CGSB-85.100 EXCEPT WHERE SPECIFIED OTHERWISE.
09. APPLY ALL PAINT MATERIALS IN ACCORDANCE WITH PAINT MANUFACTURERS WRITTEN APPLICATION INSTRUCTIONS.

## ACCESSIBILITY NOTES:

01. EMERGENCY WARNING SYSTEMS SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT, INCLUDING RESTROOMS, AND PLACED 80" ABOVE THE FLOOR OR 6" BELOW CEILING, WHICHEVER IS LOWER WHERE APPLICABLE.
02. DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (i.e. LEVER-OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED NO HIGHER THAN 48" ABOVE THE FINISHED FLOOR.
03. FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25" AND 0.5" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5" REQUIRE RAMPS. CARPET PILE THICKNESS SHALL BE 0.5" MAX. GRATINGS IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5" WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5" IN HEIGHT.
04. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY OR SINK.

## ABBREVIATIONS:

H.M.P = HOLLOW METAL PARTED  
EXIST. = EXISTING (TO REMAIN)  
TYP. = TYPICAL  
RAD. = RADIUS  
A.F.F. = ABOVE FINISHED FLOOR  
G.C. = GENERAL CONTRACTOR  
N.T.S. = NOT TO SCALE

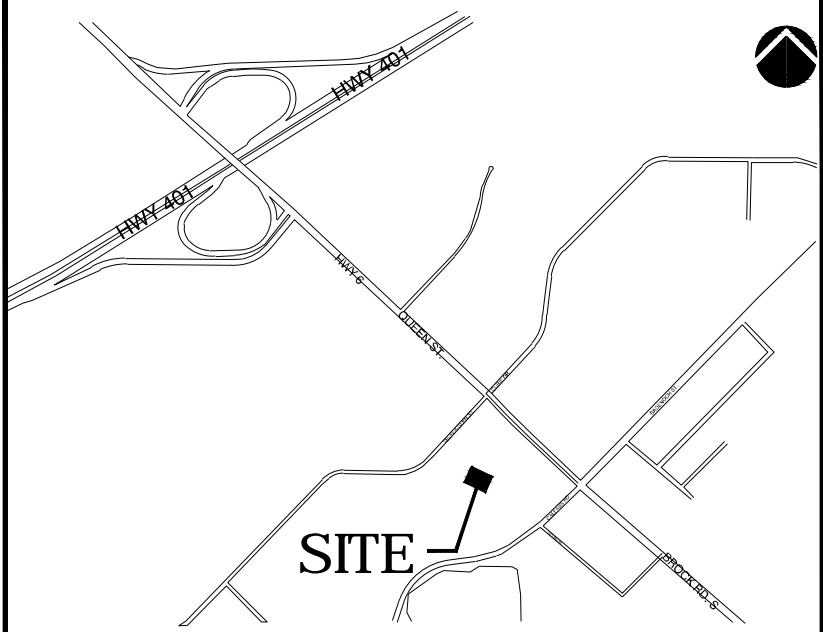


2 SITE LOCATION  
G01 SCALE: N.T.S.

| ONTARIO BUILDING CODE DATA MATRIX |   |  |   |                                 |  |
|-----------------------------------|---|--|---|---------------------------------|--|
| Item                              | ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9   |  |   | OBC Reference                   |  |
| 1                                 | PROJECT DESCRIPTION:<br>CONSTRUCTION AN ACCESSORY<br>BUILDING TO A HOUSE                                      | <input checked="" type="checkbox"/> New  | <input type="checkbox"/> Part 11  | <input type="checkbox"/> Part 3 | <input checked="" type="checkbox"/> Part 9 |
|                                   |   | <input type="checkbox"/> Addition  |   |                                 | 1.1.2. [A]                                 |
|                                   |   | <input type="checkbox"/> Alteration  |   |                                 | 9.10.1.3.                                  |
|                                   |   | <input type="checkbox"/> Change of use   |   |                                 |  |
| 2.1                               | MAJOR OCCUPANCY : GROUP 'C'   |  |   | 3.1.2.6                         | 9.10.2.                                    |
| 2.2                               | OCCUPANCY OF SUITE COVERED UNDER THIS PERMIT : C ( RESIDENTIAL)   |  |   | 3.1.2.1.(1)                     |  |
| 3.1                               | BUILDING AREA (m²):EXISTING 0 NEW 140 TOTAL 140   |  |   | 1.1.3.2.                        | 1.4.1.2. [A]                               |
| 4                                 | AREA OF SUITE COVERED UNDER THIS PERMIT APPLICATION (m²): 140   |  |   | 1.1.3.2.                        |  |
| 5                                 | NUMBER OF STOREYS ABOVE GRADE 1 BELOW GRADE 0   |  |   | 3.2.1.1. & 1.1.3.2.             | 1.4.1.2. [A]<br>9.10.4.                    |
| 6                                 | HEIGHT OF BUILDING (m) ABOVE GRADE 5 BELOW GRADE 0  |  |   |                                 |  |
| 7                                 | NUMBER OF STREETS/ACCESS ROUTES 1   |  |   | 3.2.2.10.<br>3.2.5.4 TO 3.2.5.6 | 9.10.20.                                   |
| 8                                 | BUILDING CLASSIFICATION RESIDENTIAL 'C'   |  |   | 3.2.2.28                        | 9.10.2.                                    |
| 9                                 | SPRINKLER SYSTEM  | <input type="checkbox"/> existing<br><input type="checkbox"/> proposed<br><input checked="" type="checkbox"/> not required | <input type="checkbox"/> entire building<br><input type="checkbox"/> basement only<br><input type="checkbox"/> in lieu of roof rating | 3.2.2.28                        | 9.10.8.2.                                  |
| 10                                | STANDPIPE SYSTEM REQUIRED   | <input type="checkbox"/> Yes <input type="checkbox"/> No   |   |                                 | N/A  |
| 11                                | FIRE ALARM SYSTEM REQUIRED  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Existing                      |   | 3.2.4.                          | 9.10.18.                                   |
| 12                                | WATER SERVICE/SUPPLY IS ADEQUATE  | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  |   |                                 | N/A  |
| 13                                | HIGH BUILDING   | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  |   |                                 | N/A  |
| 14                                | PERMITTED CONSTRUCTION  | <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> both     |   | 3.2.2.28                        | 9.10.6.                                    |
|                                   | ACTUAL CONSTRUCTION   | <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> both     |   |                                 |  |
| 15                                | MEZZANINE AREA WITHIN SUITE (m2) N/A  |  |   |                                 | 9.10.4.1.                                  |
| 16                                | OCCUPANT LOAD BASED ON <input type="checkbox"/> m2/person <input checked="" type="checkbox"/> design of suite |  |   | 3.1.17.(6)                      | 9.9.1.3.                                   |
|                                   | TOTAL OCCUPANT LOAD = 2   |  |   |                                 |  |
| 17                                | BARRIER-FREE DESIGN   | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Not required)   |   | 3.8                             | 9.5.2.                                     |
| 18                                | HAZARDOUS SUBSTANCES  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  |   | 3.3.1.2 & 3.3.1.19              | 9.10.1.3.(4)                               |
| 19                                | REQUIRED FIRE RESISTANCE RATING   |  |   | 3.2.2.25 & 3.2.1.4              | 9.10.8.<br>9.10.9.                         |
| 20                                | SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS   |  |   | 3.2.3                           | 9.10.14.                                   |
|                                   |   |  |   |                                 |  |

- A. ALL WORK SHALL CONFORM TO THE 2012 EDITION OF THE ONTARIO BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE TOWN OF PUSLINCH IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- B.
- C. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (O.B.C 2012) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- D. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- E. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT, IN WRITING, PRIOR TO INSTALLATION.
- F. SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT (IF APPLICABLE). THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. YUM BRANDS WILL PAY FOR 'CONNECTION FEES' ASSOCIATED WITH UTILITY PERMITS. PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- G. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.
- H. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- I. ALL MATERIALS STAGED TO BE USED FOR CONSTRUCTION SHALL BE PROTECTED FROM EXCESSIVE MOISTURE. IF THEY ARE EXPOSED TO MOISTURE THEY SHOULD BE ADEQUATELY DRIED BEFORE ENCAPSULATED INTO THE BUILDING.
- J. ALL PAINTS, ADHESIVES, COATINGS AND SEALANTS USED INSIDE THE BUILDING SHALL HAVE A LOW VOC CONTENT.
- K. CONSTRUCTION PROJECT MANAGER TO COORDINATE ALL UTILITY CONNECTIONS WITH RESPECTIVE AUTHORITIES & HAVE IN PLACE.

| PROJECT CONTACTS:  |   |
|--|---|
| OWNER<br>MEHMOOD BUTT<br>PHONE : (705) 977-1786<br>EMAIL : LAKEFIELDESSO@GMAIL.COM   | MAINTAIN INTEGRITY OF ALL EXISTING FIRE SEPARATIONS (TYPICAL).                          |
|  | ALL CONSTRUCTION TO MEET ONTARIO BUILDING CODE REQUIREMENTS.                            |
|  | ALL THE EXITS AND ACCESS TO EXITS SHALL BE CLEARLY VISIBLE AND ACCESSIBLE AT ALL TIMES. |
| ARCHITECT<br>MEHBOOB BANGASH ARCHITECTS INC.<br>8140 HORNBY ROAD,<br>HALTON HILLS, ON L0P 1E0<br>PHONE : (416) 444.3162<br>Email : MEHBOOB@MBARCH.CA           |   |
|  |   |
|  |   |
| MECH. / ELEC. ENGINEER<br>THE NB PARTNERSHIP<br>12 BRADWORTHY COURT, TORONTO, ON<br>CONTACT : ZAKHAM NAQUI<br>PHONE : (416) 838-2784<br>EMAIL : ZNAQUI@TNBP.CA |   |
|  |   |
|  | ALL THE EXITS AND ACCESS TO EXITS SHALL BE CLEARLY VISIBLE AND ACCESSIBLE AT ALL TIMES. |
|  |   |
|  |   |
|  |   |



## KEY PLAN

## ISSUED FOR PERMIT

| No. | DATE        | DESCRIPTION       |
|-----|-------------|-------------------|
| 0   | 20/FEB/2018 | ISSUED FOR PERMIT |
|     |             |                   |
|     |             |                   |
|     |             |                   |

ALL PREVIOUS COPIES TO BE MARKED VOID

NOTE:  
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
DO NOT SCALE THE DRAWING.  
THIS DRAWING CONTAINS COPYRIGHT MATERIALS BELONGING TO THE ARCHITECT.  
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE; USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.  
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THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE DOCUMENT.

DRAWING TITLE:  
**TITLE SHEET, OBC MATRIX, SITE PLAN AND NOTES**

PROJECT TITLE:  
**STORAGE SHED**  
30 QUEEN STREET,  
MORRISTON, ON, CANADA

**MEHBOOB BANGASH ARCHITECTS**  
8140 HORNBY ROAD, HALTON HILLS, ONTARIO CANADA L0P1E0  
www.mbarch.ca  
TEL: 416-444-3162  
FAX: 866-571-1317  
info@mbarch.ca

|   |                |             |                               |
|---|----------------|-------------|-------------------------------|
| ONTARIO ASSOCIATION<br>OF<br>ARCHITECTS<br>MEHBOOB BANGASH<br>LICENCE<br>6230 | DATE           | 2018/AUG/01 | 00<br>REVISION<br>NUMBER      |
|   | SCALE          | AS NOTED    |                               |
|   | DRAWN BY       | MB          |                               |
|   | DRAWING NUMBER |             |                               |
| <b>G01</b>  |                |             | PROJECT NUMBER<br><b>1682</b> |





THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.

- TOGETHER WITH AND SUBJECT TO AN EASEMENT AS IN INSTRUMENT ROS572908
- TOGETHER WITH AN EASEMENT OVER PART 7, 61R-10731, AS IN INSTRUMENT WC213019 FOR INGRESS AND EGRESS

| SITE STATISTICS |                  |                    |
|-----------------|------------------|--------------------|
| ITEM            | REQUIRED         | PROPOSED           |
| LOT AREA        | 00m <sup>2</sup> | 2944m <sup>2</sup> |
| LOT COVERAGE    | 5%               | 4.7%               |
| BUILDING HEIGHT | 5m               | 5m                 |
|                 |                  |                    |
|                 |                  |                    |
|                 |                  |                    |

## KEY PLAN

**ISSUED FOR PERMIT**

| No. | DATE        | DESCRIPTION       |
|-----|-------------|-------------------|
| 0   | 20/FEB/2018 | ISSUED FOR PERMIT |
|     |             |                   |
|     |             |                   |

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DRAWING TITLE:

# TITLE SHEET, OBC MATRIX, SITE PLAN AND NOTES

PROJECT TITLE:

**STORAGE SHED**  
30 QUEEN STREET,  
MORRISTON, ON, CANADA

**MEHBOOB BANGASH  
ARCHITECTS**

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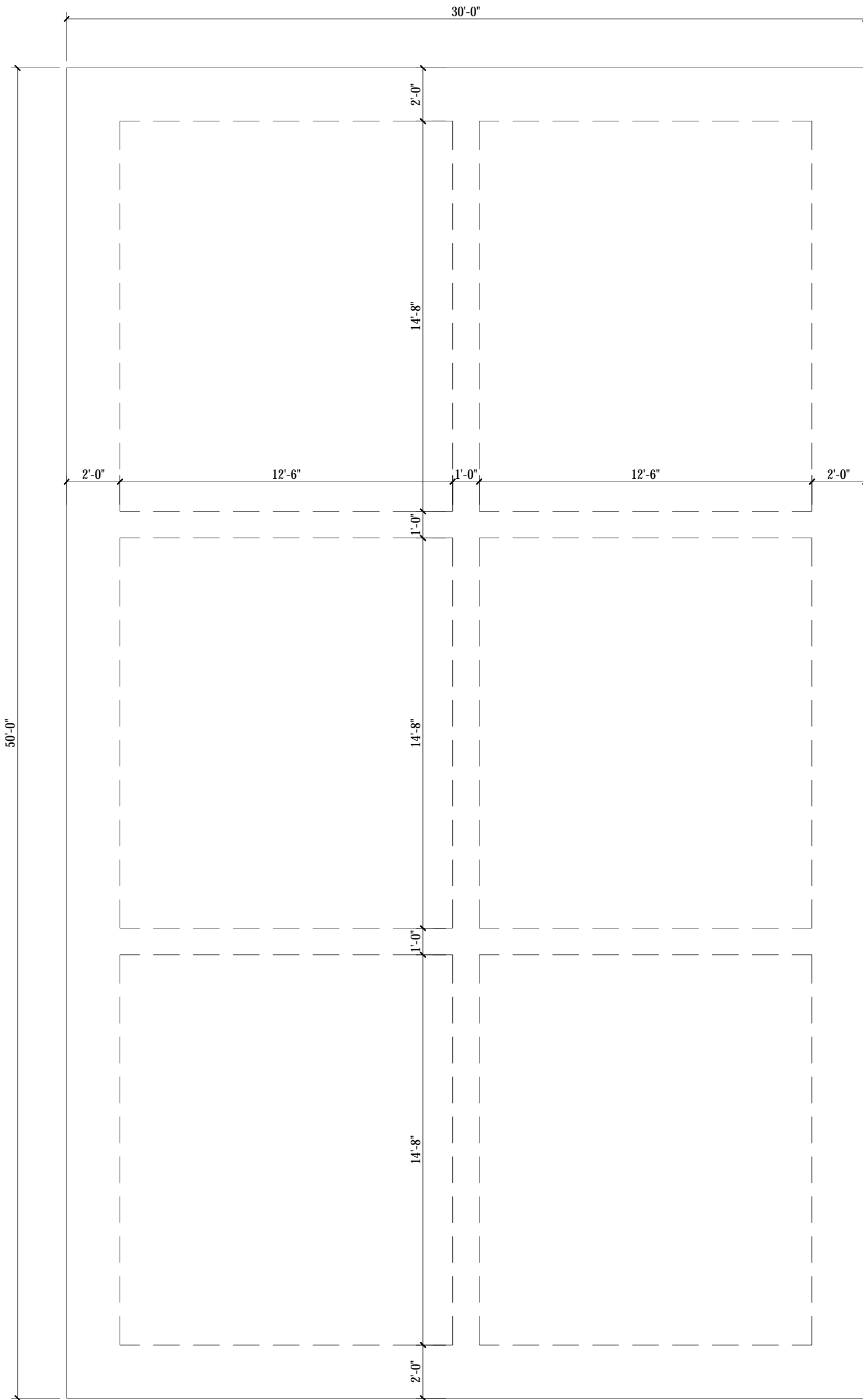
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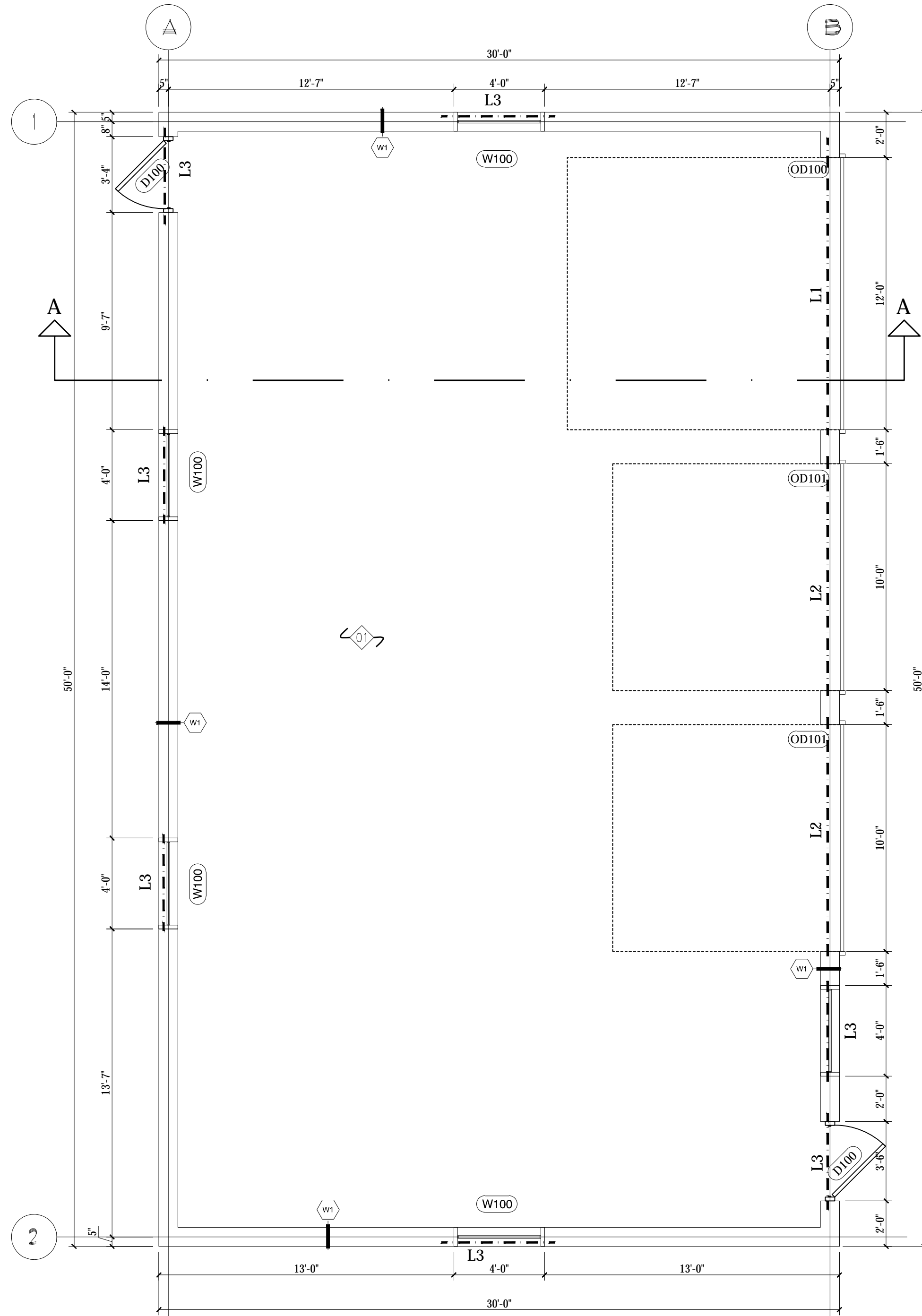
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|----------------|-------------|--------------------|--------|
| DATE           | 2018/AUG/01 | 00                 | NUMBER |
| SCALE          | AS NOTED    |                    |        |
| DRAWN BY       | MB          | REVISION<br>NUMBER |        |
| DRAWING NUMBER |             |                    |        |

# G02

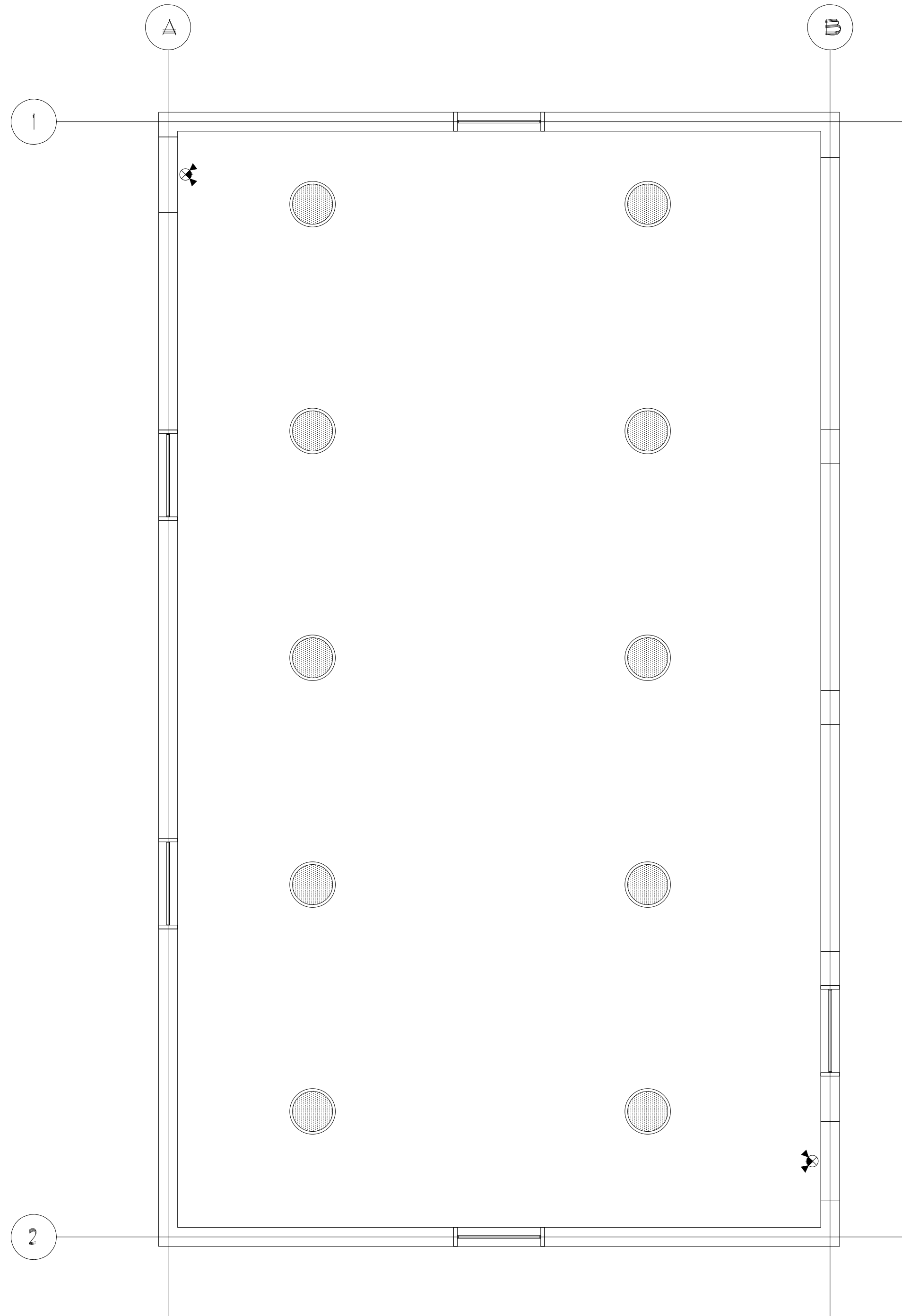
1682  
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**A** PROPOSED FOUNDATION PLAN  
A01 SCALE: 1/4"= 1'-0"



**B** PROPOSED FLOOR PLAN  
A01 SCALE: 1/4"= 1'-0"



**C** REFLECTED CEILING PLAN  
A01 SCALE: 1/4"= 1'-0"

#### LEGEND:

- ODxxx NEW OVERHEAD DOOR. SEE DOOR/ WINDOW SCHEDULE FOR INFO.  
Dxxx NEW DOOR. SEE DOOR/ WINDOW SCHEDULE FOR INFORMATION.  
Wxxx NEW WINDOW. SEE DOOR/ WINDOW SCHEDULE FOR INFORMATION.

- W1 29 GA WHITE STEEL PANEL  
6 MILL POLY TAPED  
2x8" METAL STUDS @ 16" O.C.  
TYPAR BUILDING PAPER  
1"x4" @ 24" O.C.  
29 GA PAINTED SIDING

#### KEY NOTES:

- CONCRETE FLOOR.

#### DOOR/ WINDOW SCHEDULE:

- OD100 3x7' EXTERIOR DOOR C/W WATERPROOFING & DOOR HARDWARE.  
OD109 10x10' EXTERIOR OVERHEAD DOOR C/W WATERPROOFING AND DOOR HARDWARE.  
OD101 12x12' EXTERIOR OVERHEAD DOOR C/W WATERPROOFING AND DOOR HARDWARE.  
W100 4x6' EXTERIOR WINDOW C/W WATERPROOFING AND WINDOW HARDWARE.

#### SPECIFICATIONS:

DIVISION 8: DOORS, WINDOWS AND GLASS  
SECTION 8B: INTERIOR WOOD CORE DOORS AND FRAMES

##### GENERAL PROVISIONS

- SCOPE: FURNISH AND INSTALL ALL INTERIOR WOOD CORE DOORS AND RELATED ALUMINUM FRAMES. REFER TO NATIONAL ACCOUNT DIRECTORY.
- SEE HARDWARE SCHEDULE FOR HARDWARE AND MANUFACTURERS.

##### PERFORMANCE

- INSTALLATION: INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CAULK AROUND ABUTTING EDGES WITH CLEAR SILICONE.

##### SECTION 8C: STEEL DOORS AND FRAMES

##### GENERAL PROVISIONS

- SCOPE: THE GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS, & APPLICABLE PORTIONS OF DIVISION 1 OF THE SPECIFICATIONS ARE PART OF THIS SECTION.

FURNISH & INSTALL ALL STEEL DOORS & FRAMES, COMPLETE W/ JAMB ANCHORS.

##### MATERIALS

- DOORS & FRAMES BY PIONEER INDUSTRIES, INC., STEELCRAFT, OR CECO. DOOR FRAMES SHALL BE OF 16 GAUGE COLD ROLLED STEEL. THEY SHALL BE MITERED & WELDED AT CORNERS. FRAMES SHALL BE FURNISHED FACTORY-PRIMED & SHALL HAVE THREE (3) "T" TYPE JAMB ANCHORS FOR EACH SIDE OF EACH FRAME. CAULK AROUND ALL ABUTTING EDGES W/ CLEAR SILICONE.
- SEE HARDWARE SCHEDULE FOR HARDWARE AND MANUFACTURERS.

##### GYPSUM BOARD:

1/2" GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR WALLS WHERE PLYWOOD IS NOT REQUIRED. ALL JOINTS ARE TO BE TAPED.

##### FRAMING NOTES:

NEW FLOOR TO CEILING GYP. BD WALL. 5/8" GYP. BD EACH SIDE ON 3-5/8" STEEL STUDS @ 16" O.C. TILE WALL BASE TO MATCH POPEYES INTERIOR FINISHES.

ALL INTERIOR WALLS TO BE FRAMED TO UNDERSIDE OF TRUSS U.N.O.

##### GENERAL NOTES:

REFER TO STRUCTURAL DRAWINGS FOR THE LOCATION OF STRUCTURAL MEMBERS THAT WILL REQUIRE BRACING DURING CONSTRUCTION.

ALL DIMENSIONS TO BE SITE VERIFIED BEFORE CONSTRUCTION.

WINDOW AND DOOR STYLES TO BE COORDINATED WITH OWNER (MUST MEET O.B.C. STANDARDS)

##### ROOF CONSTRUCTION NOTES:

ENGINEERED ROOF TRUSS @ 24" O/C (BY OTHERS)  
2"x4" STRAPPING @ 20" O.C.  
29 GA STEEL ROOF  
8" OVERHANG

PROVIDE PROPER VENTING/ AIR FLOW MEETING O.B.C. REQUIREMENTS.

PROVIDE SUITABLE GUTTERS/ DOWNSPOUTS/ SPLASH PADS & EXTENSIONS TO PREVENT SOIL EROSION AROUND THE FOUNDATION.

##### CEILING CONSTRUCTION NOTES:

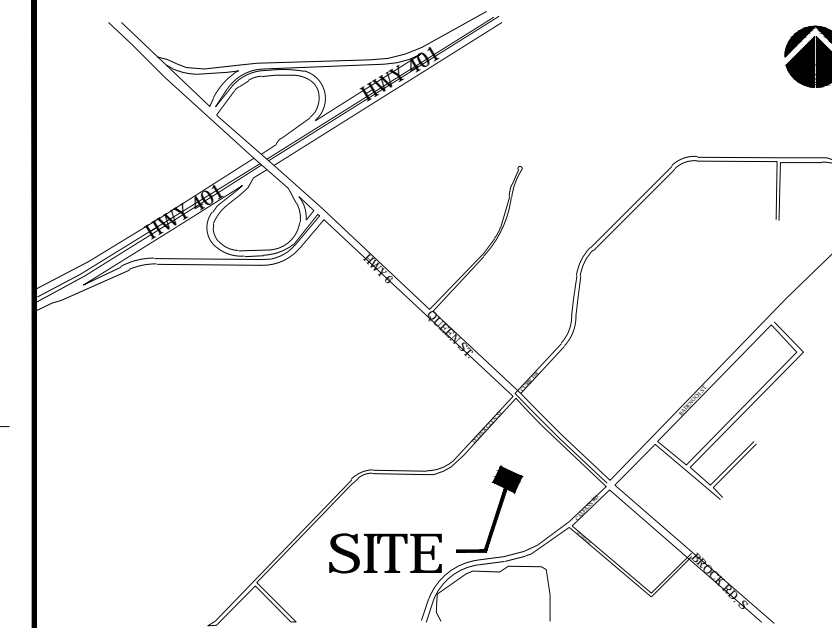
ENGINEERED TRUSS (BY OTHERS)  
R50 MINIMUM INSULATION VALUE  
VAPOUR BARRIER  
STEEL SIDING

##### LINTEL SCHEDULE:

- L1 4 PLY 1 3/4"x16" LVL WITH 7.5" END BEARING.  
5 PLY 2"x8" SUPPORTS AT EACH END OF LINTEL.
- L2 4 PLY 2"x12" WITH 6" END BEARING.  
5 PLY 2"x8" SUPPORTS AT EACH END OF LINTEL.
- L3 2 PLY 2"x12" WITH 6" END BEARING.  
5 PLY 2"x8" SUPPORTS AT EACH END OF LINTEL.

#### LIGHTING SCHEDULE

| SYMBOL  | TYPE                          | DESCRIPTION   | DIMMING | LOCATION | SUPPLIED BY |
|---|-------------------------------|---|---------|----------|-------------|
|   | LED PENDANT                   | 3'-0" DIAMETER FLUORESCENT LIGHT FIXTURE SUSPENDED NO LOWER THAN 12'-0".  | YES     |          | OWNER       |
|   | EMERGENCY LIGHT AND EXIT SIGN | EMERGENCY LIGHTS, AS REQUIRED. LSC SERIES LED EMERGENCY LIGHT TO CONFORM WITH CSA 22.2 NO.141-10 STDR. FOR UNIT EQUIPMENT & PICTOGRAM EXIT SIGNS. 2 LED HEADS 2 HOUR BATTERY BACKUP. AS MANUFACTURED. BY THOMAS & BETTS (LUMACEL) OR EQUAL. |         |          |             |
| NOTES:<br>1. GC TO CONFIRM QUANTITIES OF FIXTURES ON PLAN PRIOR TO ORDERING.<br>2. 'EX' DENOTES EXISTING FIXTURES TO REMAIN. GC TO ENSURE FIXTURES ARE IN GOOD WORKING ORDER. RELAMP AND RE-LENSE AS REQUIRED.<br>3. ALL FRONT OF HOUSE LIGHTS TO BE DIMMABLE.<br>4. LIGHT CIRCUIT ZONES; ONE FOR FRONT OF HOUSE FIXTURES, ONE FOR BACK OF HOUSE FIXTURES |                               |   |         |          |             |



#### KEY PLAN

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#### DRAWING TITLE:

### PROPOSED FOUNDATION, FLOOR & RC PLANS

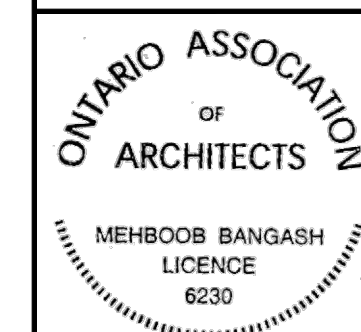
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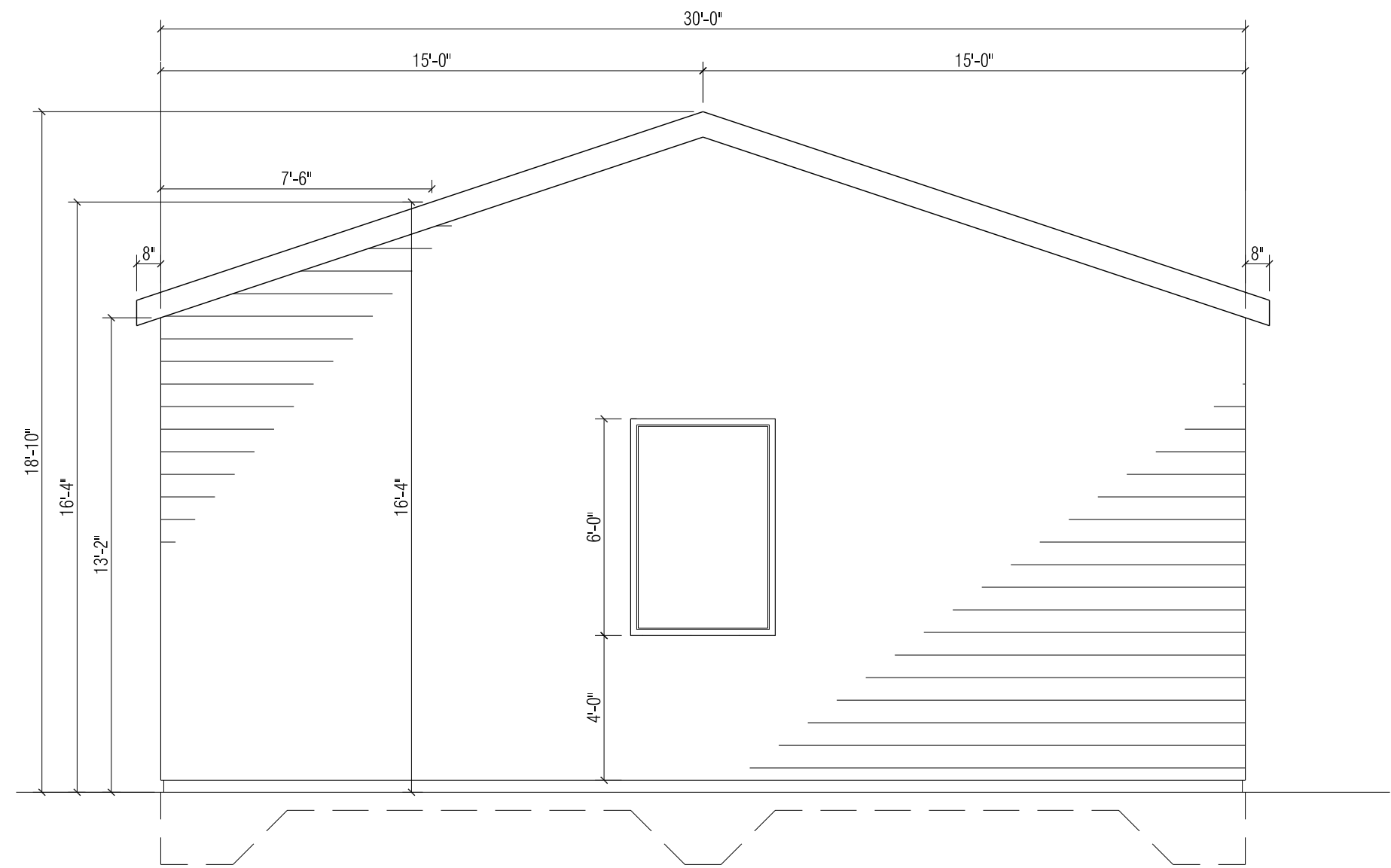
#### MEHBOOB BANGASH ARCHITECTS

8140 HORNBY ROAD, HALTON  
HILL, ONTARIO CANADA L0P1E0  
www.mbarch.ca

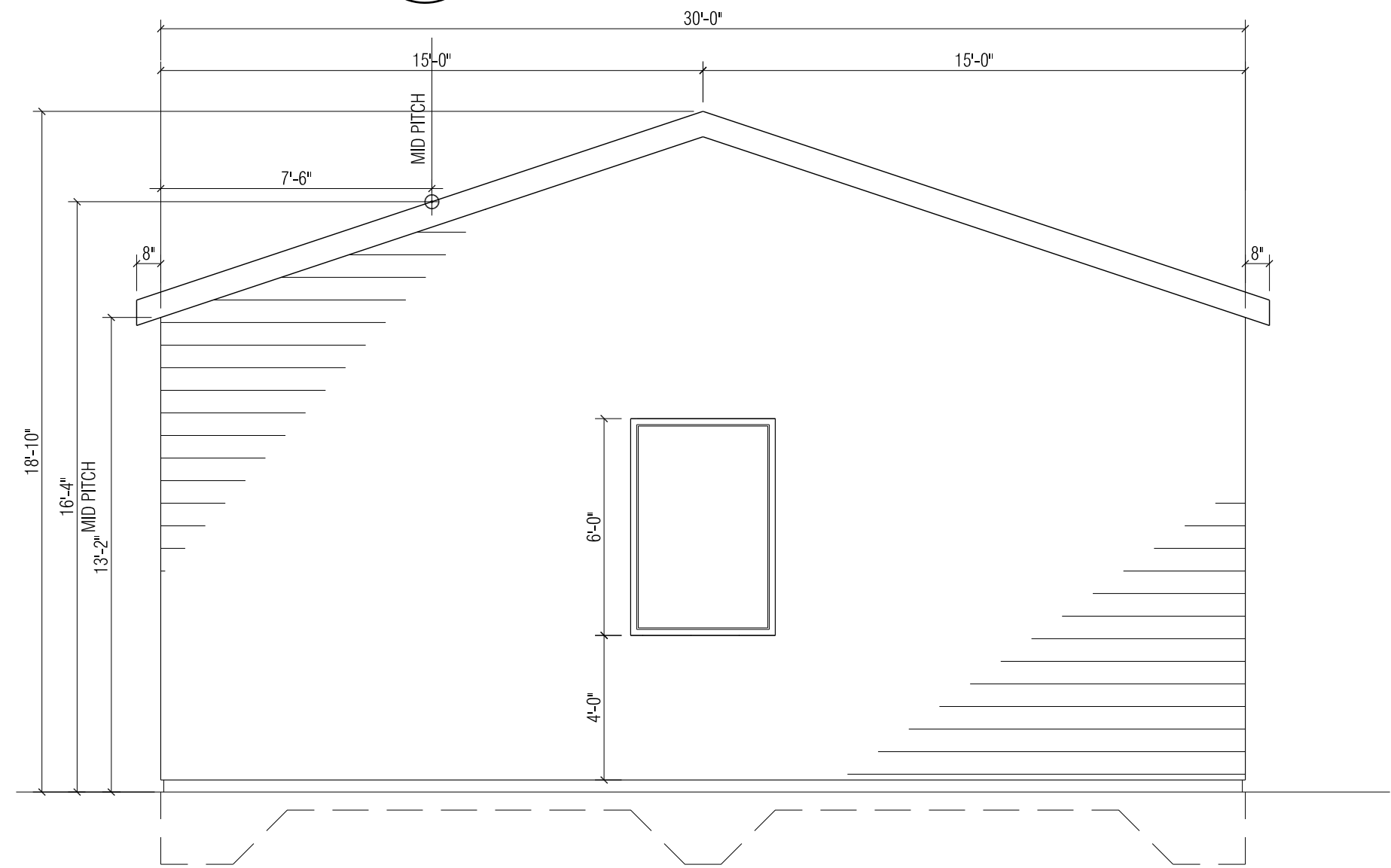
TEL: 416-444-3162  
FAX: 866-571-1317  
info@mbarch.ca



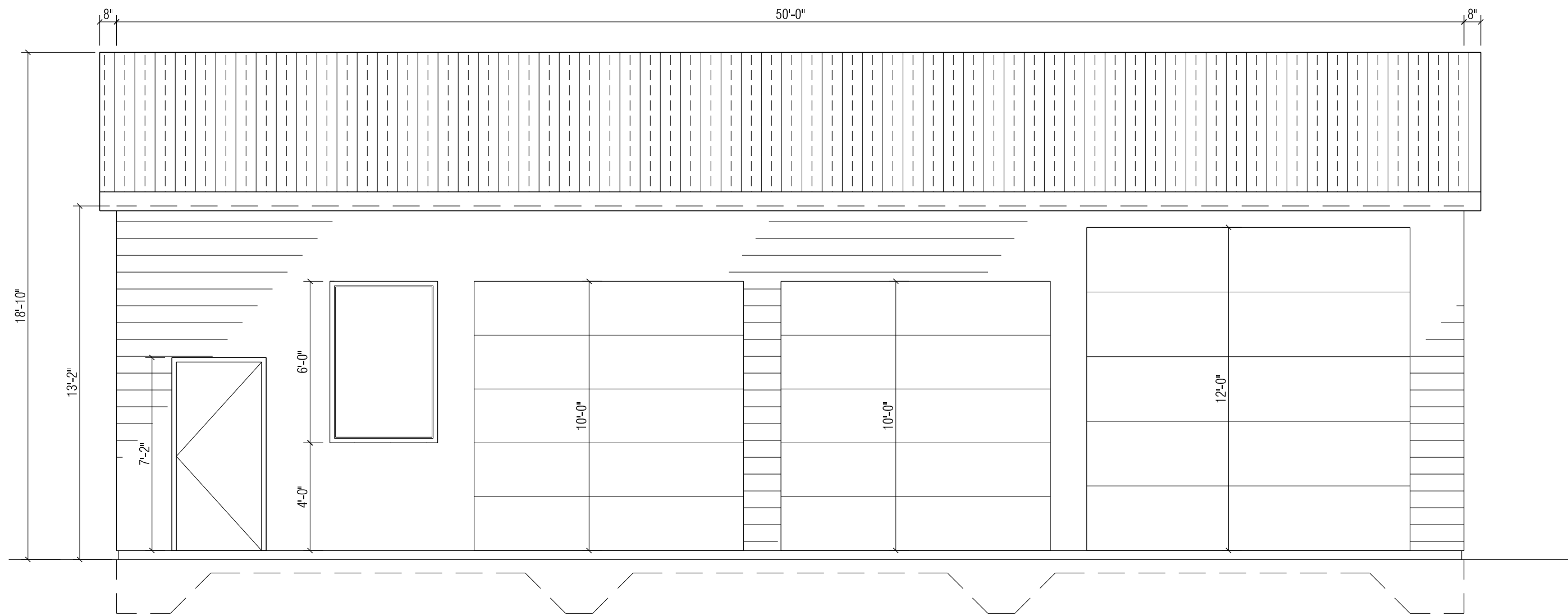
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| DRAWN BY       | MB          | REVISION NUMBER               |
| DRAWING NUMBER |             |                               |
| <b>A01</b>     |             | PROJECT NUMBER<br><b>1682</b> |



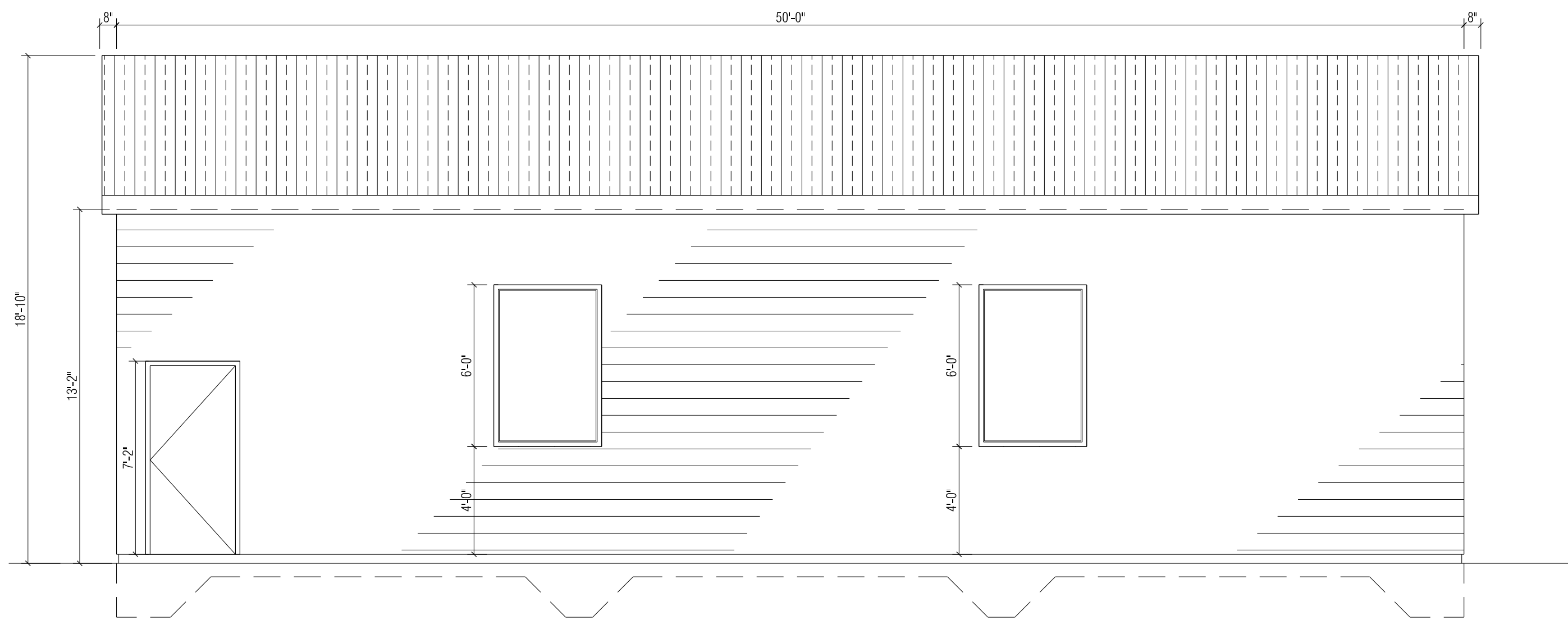
**A LEFT ELEVATION**  
A02 SCALE: 1/4"=1'-0"



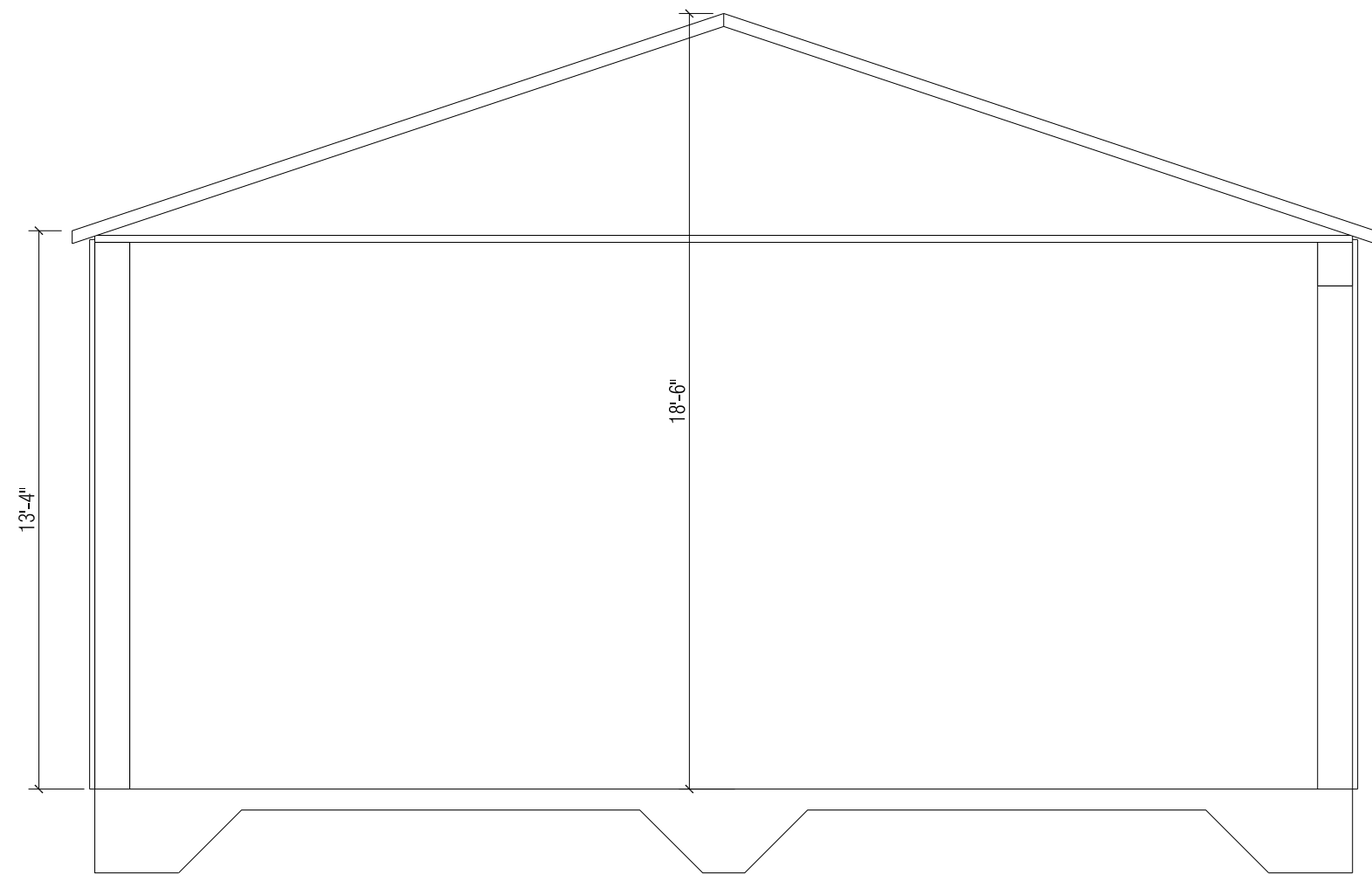
**C RIGHT ELEVATION**  
A02 SCALE: 1/4"=1'-0"



**B FRONT ELEVATION**  
A02 SCALE: 1/4"=1'-0"



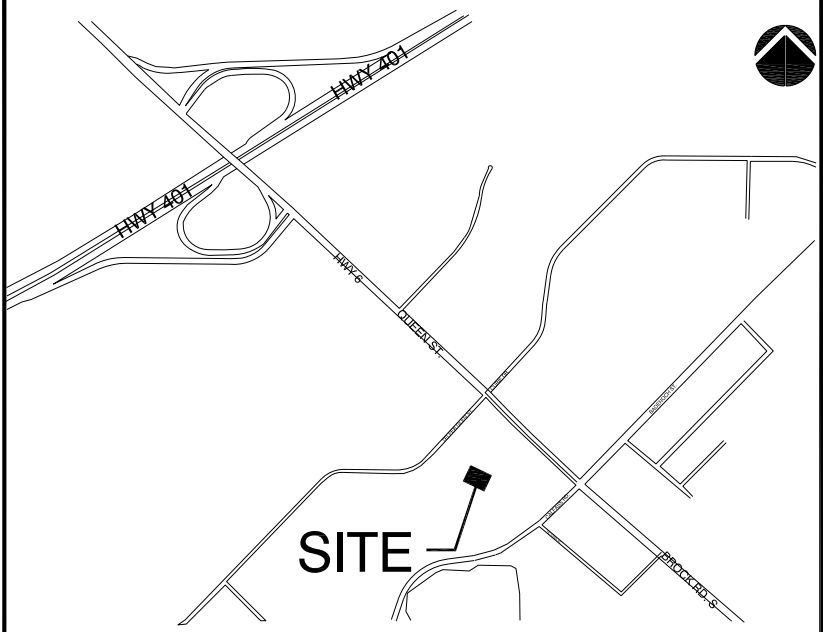
**D BACK ELEVATION**  
A02 SCALE: 1/4"=1'-0"



**E SECTION A-A**  
A02 SCALE: 1/4"=1'-0"

#### GENERAL CONSTRUCTION NOTES:

- NOTE:  
A. CO-ORDINATE ALL SECTIONS OF WORK, PAY ALL FEES AND OBTAIN ALL PERMITS AS REQUIRED.
- B. ANY WORK REQUIRED BY THE DRAWINGS OR REASONABLY NECESSARY TO COMPLETE THE WORK BUT NOT INCLUDED IN ANY SPECIFIC SECTION OF THE DRAWINGS OR NOTES ARE HEREBY INCLUDED.
- C. ALL WORK COMPLETED BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH THE DRAWINGS. ALTERNATIVES CAN BE PROPOSED BY THE CONTRACTOR FOR TENANT / DESIGNER APPROVAL PROVIDED THE APPROVED PROJECT SCHEDULE IS NOT DELAYED AS A RESULT OF SUBSTITUTIONS. CONTRACTOR TO CHECK AND PRE-ORDER MATERIALS REQUIRING LONGER DELIVERIES. ANY DELAYS CAUSED BY NOT ORDERING MATERIALS IN A TIMELY MANNER WILL BE AT THE SOLE COST TO THE CONTRACTOR.
- D. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST APPLICABLE BUILDING CODES AND FIRE REGULATIONS AND ANY LOCAL BUILDING REQUIREMENTS.
- E. CONTRACTOR TO VERIFY AND CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK.**
- F. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SCHEDULES, SPECIFICATIONS AND DETAILS. REFER ALSO TO ENGINEERING DRAWINGS AND SPECIFICATIONS WHERE APPLICABLE.
- G. FOR DOOR INFORMATION REFER TO DOOR SCHEDULE.
- H. CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS AS REQUIRED AS PER LOCAL FIRE-BUILDING CODE REGULATIONS. EXACT LOCATIONS TO BE DETERMINED ON SITE IN RESPECT TO FIXTURE PLACEMENT



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#### SECTION AND ELEVATIONS

PROJECT TITLE:

**STORAGE SHED**  
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MORRISTON, ON, CANADA

#### MEHBOOB BANGASH ARCHITECTS

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|   | DRAWN BY       | MB          | REVISION<br>NUMBER     |
|   | DRAWING NUMBER | A02         | PROJECT NUMBER<br>1682 |