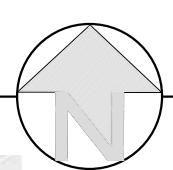
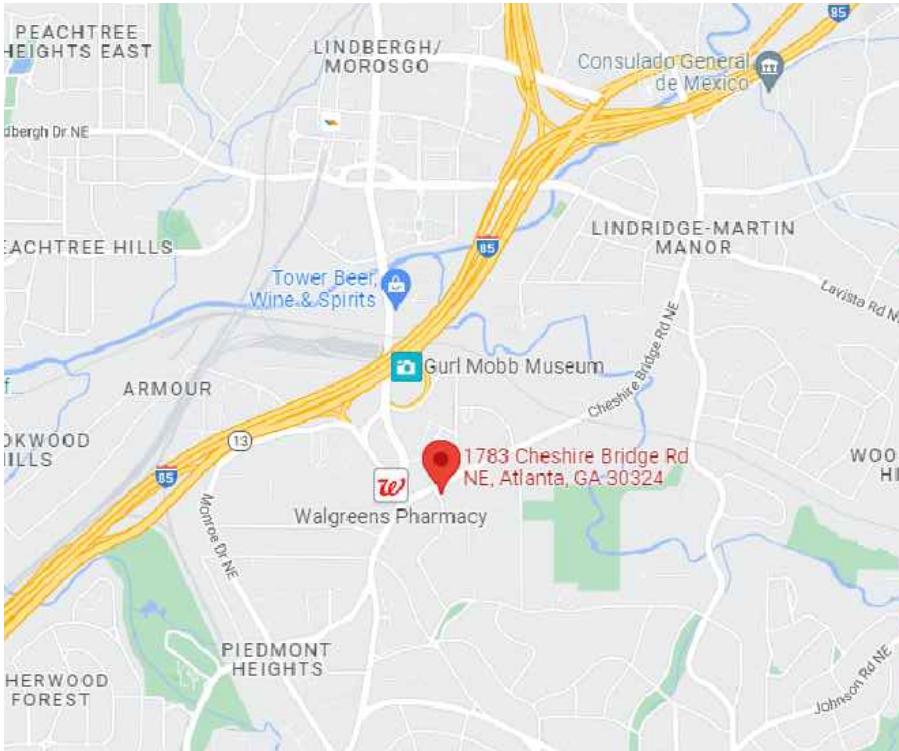


VICINITY - LOCATION MAP



"WHITEBOX" BUILDING RENOVATION

1783 CHESHIRE BRIDGE ROAD
ATLANTA, GA 30324



EXISTING FRONT VIEW

PROJECT DATA / CRITERIA

PROPERTY DATA: ZONING: NC-5

OCCUPANCY CLASIFICATION: BUSINESS (I.B.C.) & (NFPA 101)

CONSTRUCTION CLASIFICATION: TYPE V-B, UNPROTECTED (I.B.C.)
TYPE V (000) (NFPA, 101)

FIRE PROTECTION: UNSPRINKLERED

TENANT SEPARATION: N/A - SINGLE TENANCY

NUMBER OF STORIES: ONE STORY / BASEMENT

CODES AND ORDINANCES

- 2018 INTERNATIONAL BUILDING CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL RESIDENTIAL CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL PLUMBING CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS CODE WITH 2020 GA AMENDMENTS
- 2020 NATIONAL ELECTRICAL CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2020 GA AMENDMENTS AND SUPPLEMENTS
- 2018 INTERNATIONAL SWIMMING POOL & SPA CODE WITH 2020 GA AMENDMENTS
- 2018 NFPA 101 LIFE SAFETY CODE WITH 2020 GA AMENDMENTS
- 2016 LSC DESIGN OCCUPANT LOAD REDUCTION
- 2010 ADA STANDARDS FOR ACCESSIBILITY DESIGN

CONTACT OFFICES

- FIRE SERVICES: 678-518-4800
- WATER RESOURCES: 678-376-6700
- ZONING/ REZONING: 678-518-6000
- WATER / SEWER PLAN REVIEW: 678-518-6000
- BUILDING INSPECTIONS INFO: 404-865-8679
- BUILDING INSPECTIONS (AIRS): 404-865-8400
- BUILDING PERMITS-RESIDENTIAL: 404-330-69061

AREA CALCULATION

/

OCCUPANT LOAD CALCULATION

DRAWINGS INDEX

PROJECT INFORMATION

HEATED SPACE AREAS

- FRONT RETAIL AREA 2,535.0 SQ. FT.
- MAIN BUILDING FLOOR AREA 1,041.6 SQ. FT.
- TOTAL EXISTING HEATED SPACE AREA 3,576.6 SQ. FT.

NOT REQUIRED. NO BUSINESS TENANCY.

PD-1 PROJECT DATA
SP-1 EXISTING SURVEY (BY MERIDIAN GE MATICS, LLC)
SP-2 SITE PLAN
A1 FIRST FLOOR DEMOLITION PLAN
A2 BASEMENT DEMOLITION PLAN
A3 EXISTING ROOF PLAN
A4 PROPOSED FLOOR PLAN
A5 EXISTING BUILDING ELEVATIONS
A6 EXISTING BUILDING ELEVATIONS
A7 LIFE SAFETY FLOOR PLANS+

DEVELOPER / OWNER: ALFRED J. NAULT
1738 CHESHIRE BRIDGE, LLC
1739 CHESHIRE BRIDGE RD. ATLANTA, GA 30324

ARCHITECT: ARCADE DESIGN CORPORATION
JOSE F. JIMENEZ, RA
3311 LINDENRIDGE DRIVE
BUFORD, GA 30519
TEL: 770-527-1429
EMAIL: jdjimenez@arcadesign.com

STRUCTURAL ENGINEERING: NOT REQUIRED

MEP ENGINEERING: NOT INCLUDED

24 HR. CONTACT CONSTRUCTION MGR. MONIZE SIQUEIRA
TEL: 404-683-5837
Email: monizesqr@gmail.com

SCOPE OF WORK

GENERAL NOTES

OFFICIAL USE

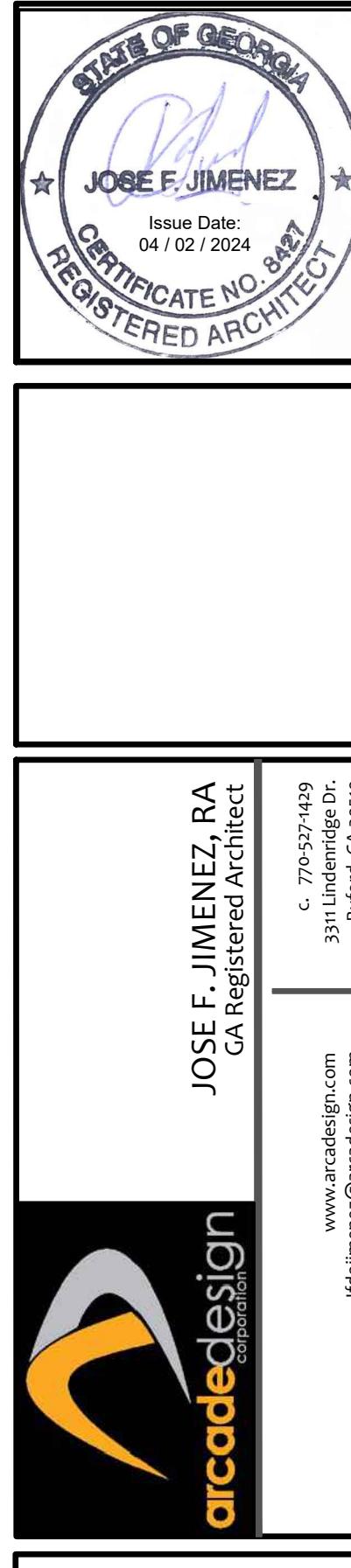
- INTERIOR RENOVATION, REMOVAL OF EXISTING BAKERY EQUIPMENT
- NEW INTERIOR PAINTING, PLUMBING FIXTURES
- POWER AND LIGHTING RENOVATION
- NEW HVAC DESIGNED BY THE GENERAL CONTRACTOR
- NEW ROOFING
- NEW PARKING RESURFACING

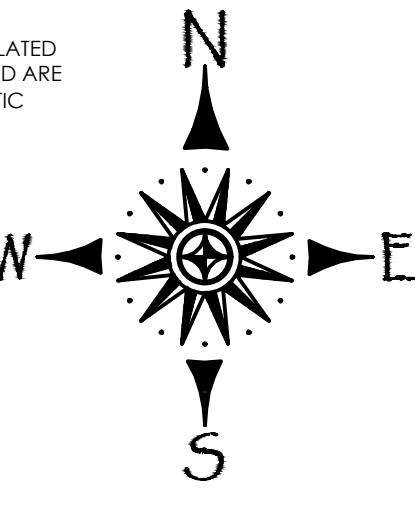
1. DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS, THEY ARE PROVIDED TO DESCRIBE THE SCOPE OF WORK, THE DETAILS AND THE MINIMUM SPECIFICATIONS FOR THE WORK DESCRIBED. THE CONTRACTORS SHALL INSPECT THE SITE AND TO GET ACQUAINTED WITH EXISTING CONDITIONS THAT MAY AFFECT THEIR TRADE.
2. THE INTENT OF THE DOCUMENTS IS TO COMPLY WITH ALL CODES AND REGULATIONS, CONTRACTORS SHALL REPORT ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND EXISTING CONDITIONS FOUND TO THE ARCHITECT, THE OWNER OR THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITIES, EQUIPMENT TO REMAIN, STRUCTURAL COMPONENTS, PIPING, WIRING, ETC, BEFORE ANY CUTTING, DRILLING OR TRENCHING WORK.
4. CONTRACTORS SHALL MAINTAIN ALL FIRE AND LIFE SAFETY SYSTEMS INTACT. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL SAFETY PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION, A TEMPORARY FENCING AND STRUCTURES, WALLS OR BARRIERS AS NECESSARY TO MAINTAIN SAFETY, PATHS OF TRAVEL AND EXITING. EXTERIOR TEMPORARY FENCING SHALL SCREEN UNSIGHTED AREAS FROM PUBLIC ACCESS AND VIEW.
5. CONTRACTORS SHALL MAINTAIN THE JOB SITE CLEAN AND IN ORDERLY FASHION THROUGHOUT CONSTRUCTION AND SHALL REMOVE ALL DEBRIS AND WASTE ON A DAILY BASIS.
6. DO NOT SCALE DRAWINGS, USE DIMENSIONS PROVIDED AND ALWAYS VERIFY EXISTING CONDITIONS. IF CONFLICT IS FOUND BETWEEN EXISTING CONDITIONS AND THE DOCUMENTS, THAT CAN AFFECT THE INTENT OF THE DESIGN, THE CONTRACTOR SHALL REPORT IT TO THE ARCHITECT OR THE GENERAL CONTRACTOR AT ONCE FOR CLARIFICATIONS AND DIRECTIVES.
7. ELEVATIONS ARE SHOWN TO TOP OF FINISHED FLOOR OR TOP OF STEEL, EXCLUSIVE OF APPLIED FINISHES.
8. ELECTRICAL PANELS, ALARM BOXES, FIRE EQUIPMENT CABINETS, AND RECESSED EQUIPMENT AND PANELS SHALL BE BACKED BY DRYWALL LAYERS SUFFICIENT TO PROTECT AND TO MAINTAIN FIRE RATINGS AS REQUIRED.
9. ALL VERTICAL EXPOSED EXPOSED PIPING, WIRING OR DUCTS SHALL BE FURRED AND FINISHED TO MATCH ADJACENT WORK, EXCEPT ARE EXPOSED MECHANICAL, ELECTRICAL OR MECHANICAL EQUIPMENT INSIDE MECHANICAL OR ELECTRICAL ROOMS AND CLOSETS.
10. CEILING AND ACCESS PANELS SHALL BE PROVIDED IN NON-ACCESSIBLE CEILINGS AND WALLS WHERE MECHANICAL, ELECTRICAL DEVICES ARE LOCATED TO INCLUDE VALVES, POWER OPERATED DAMPERS AND EQUIPMENT CONTROLS.
11. THE GENERAL CONTRACTORS SHALL CONSULT AND NOTIFY LOCAL OFFICIALS OF ANY DEVIATIONS FROM THE APPROVED DOCUMENTS.
12. ALL MATERIAL SELECTION SHALL BE DONE BY THE CONSTRUCTION/PROJECT MANAGER OR THE OWNER. ALL SHOP DRAWINGS AND SUBMITTALS SHALL BE DIRECTED TO THE CONSTRUCTION / PROJECT MANAGER.
13. ALL INTERIOR FINISHES AND SYSTEMS SHALL BE APPROVED FOR INDOOR POOL AREAS.

Project Description: "WHITEBOX" BUILDING RENOVATION
ALFRED J NAULT
1783 CHESHIRE BRIDGE ROAD
ATLANTA, GEORGIA 30324

Revisions	Date:
Mark:	

Project Number:	AE-033124
Date:	April, 2, 2024
Project Architect:	Jose F. Jimenez, RA
Scale:	AS NOTED
Sheet Name:	PROJECT DATA
Sheet Number:	
Released For:	CONSTRUCTION
PD - 1	
CONSTRUCTION	





THIS BLOCK RESERVED FOR COURT CLERK

ZONING: NC-5 CHESHIRE BRIDGE ROAD SOUTH NEIGHBORHOOD COMMERCIAL DISTRICT

SETBACKS

FRONT = NONE LISTED
SIDE = NONE
REAR = NONE
TRANSITIONAL YARD = 20'

BOUNDARY REFERENCES:

1. SUBJECT DEED BOOK 50966, PAGE 496
2. PLAT BOOK 6, PAGE 37
3. SEE ADJOINERS

ADDRESS(S)

1783 CHESHIRE BRIDGE ROAD
ATLANTA, GEORGIA, 30324

FLOOD NOTE

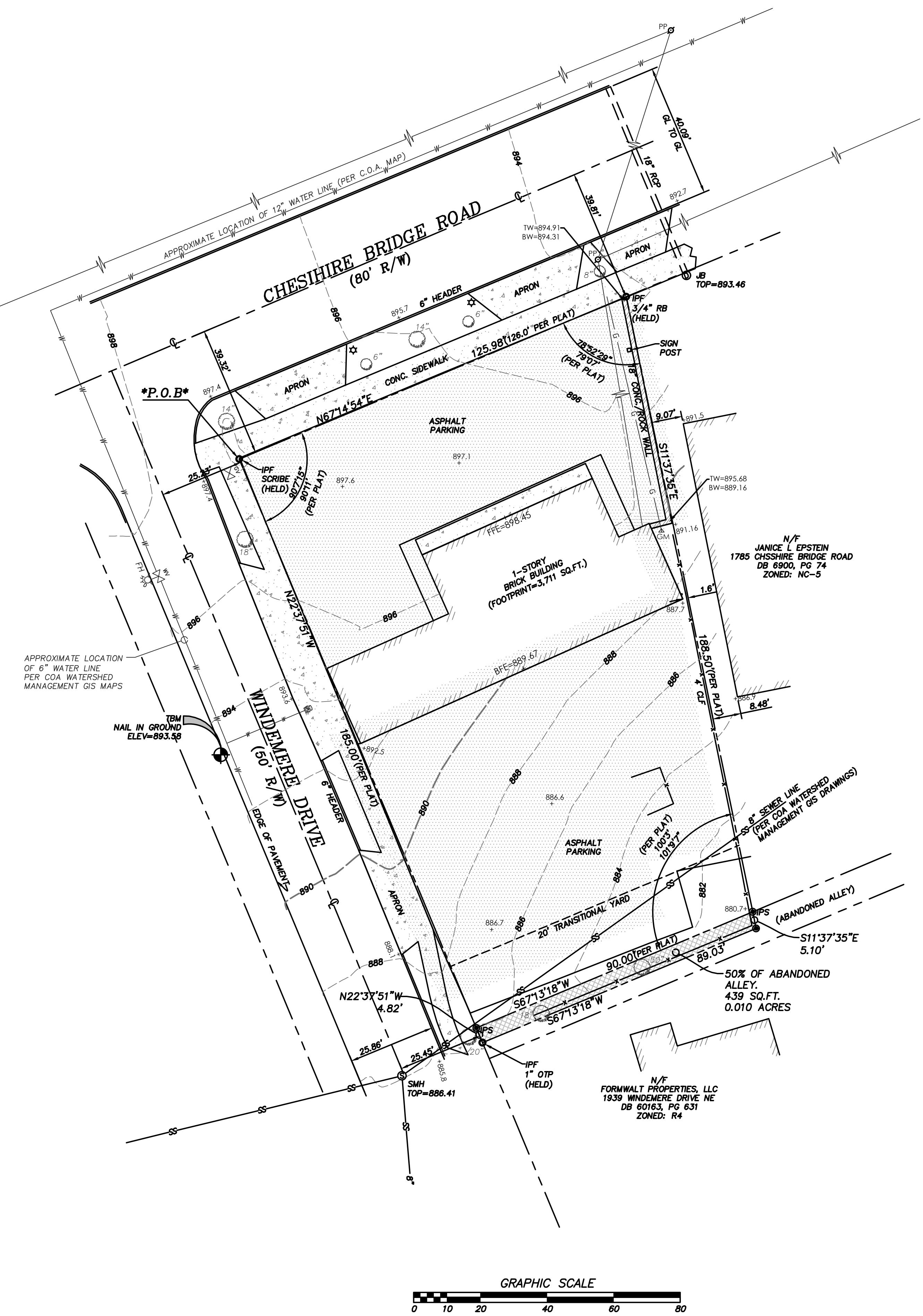
AS PER THE F.I.R.A. FLOOD INSURANCE RATE MAP FULTON COUNTY COMMUNITY PANEL NO. 13121 C 0244 F DATED SEPTEMBER 18, 2013, THIS PROPERTY IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

BENCHMARK REFERENCE

ALL ELEVATIONS ARE GROUND SURVEY ELEVATIONS ARE BASED OFF APPROXIMATE MEAN SEA LEVEL AS IT RELATED TO THE FULTON COUNTY GIS MAPS LOCATED ONLINE AT [HTTP://GIS.FULTONCOUNTYGA.GOV/](http://GIS.FULTONCOUNTYGA.GOV/)

TOTAL SITE AREA

19,976 SQ. FT.
0.459 ACRES



LEGEND	
IPF	IRON PIN FOUND
IPS	1" REBAR SET
CMP	COPPER COATED METAL PIPE
R/W	RIGHT OF WAY
C	CENTER LINE
P	PROPERTY LINE
FES	FLARED END SECTION
LLC	LAND LOT LINE
T.M.	TRADE MARK/TRADEMARK
INV.	INVERT ELEVATION
⑤	SANITARY SEWER MANHOLE
⑥	POWER POLE
⑦	FIRE HYDRANT
⑧	LIGHT POLE
ICV	IRRIGATION CONTROL VALVE
⑨	GEORGIA POWER MANHOLE LID
⑩	TELE COMM MANHOLE LID
GAS VALVE	
BENCHMARK	
IRON PIN FOUND	
PT	PERC. TEST (BOREHOLE)
4x4	4x4 TRANSFORMER
RRT	RAIL ROAD TIE WALL
TREE LEGEND	
○	EX. HARDWOOD TREE
●	PINE TREE
◆	PECAN TREE
◆	OAK TREE

INSTRUMENT USED: TOPCON ES-150
(ROBOTIC/MOTORIZED)
WORK PERFORMED ON APRIL 29,
2021.

EXISTING SURVEY
SP - 1

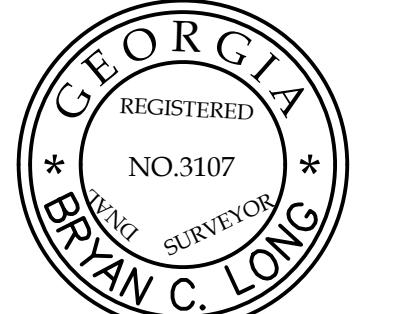
THE DATA SHOWN ON THIS PLAT HAS
BEEN CALCULATED FOR CLOSURE
AND WAS FOUND TO BE ACCURATE
WITHIN ONE FOOT IN 327,489 FEET.

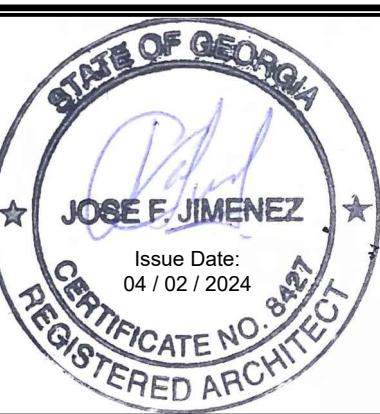
THE FIELD DATA UPON WHICH THIS
PLAT IS BASED HAS A CLOSURE
PRECISION OF ONE FOOT IN 10,000+
FEET AND AN ANGULAR ERROR OF 5'
PER ANG. AND WAS ADJUSTED BY
COMPASS RULE.

THIS SURVEY WAS MADE WITHOUT
THE BENEFIT OF A CURRENT TITLE
COMMITMENT, EASEMENTS AND
ENCUMBRANCES MAY EXIST WHICH
BENEFIT AND BURDEN THIS
PROPERTY.

THIS SURVEY ONLY INCLUDES OBJECTS
THAT ARE VISIBLE AND IS NOT
RESPONSIBLE FOR ANY GROUND
UTILITIES OR OTHER OBJECTS THAT ARE
NOT APPARENT BY VISUAL
OBSERVATION, I.E. UNDERGROUND
GAS TANKS, GAS LINES, WATERLINES,
SEWER LINES, ETC.

SURVEYOR'S CERTIFICATION
This plat is a retrace of an existing parcel or parcels of land and does not subdivide or create a new
parcel or make any changes to any real property boundaries. The recording information of the
documents, maps, plats, or other instruments which created the parcel or parcels are stated on
RECORD. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ACTS OR OMISSIONS OF THE OWNER OR THE
PERMIT. COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS OR SUITABILITY FOR ANY USE OR
PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with
the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations
of the Georgia B



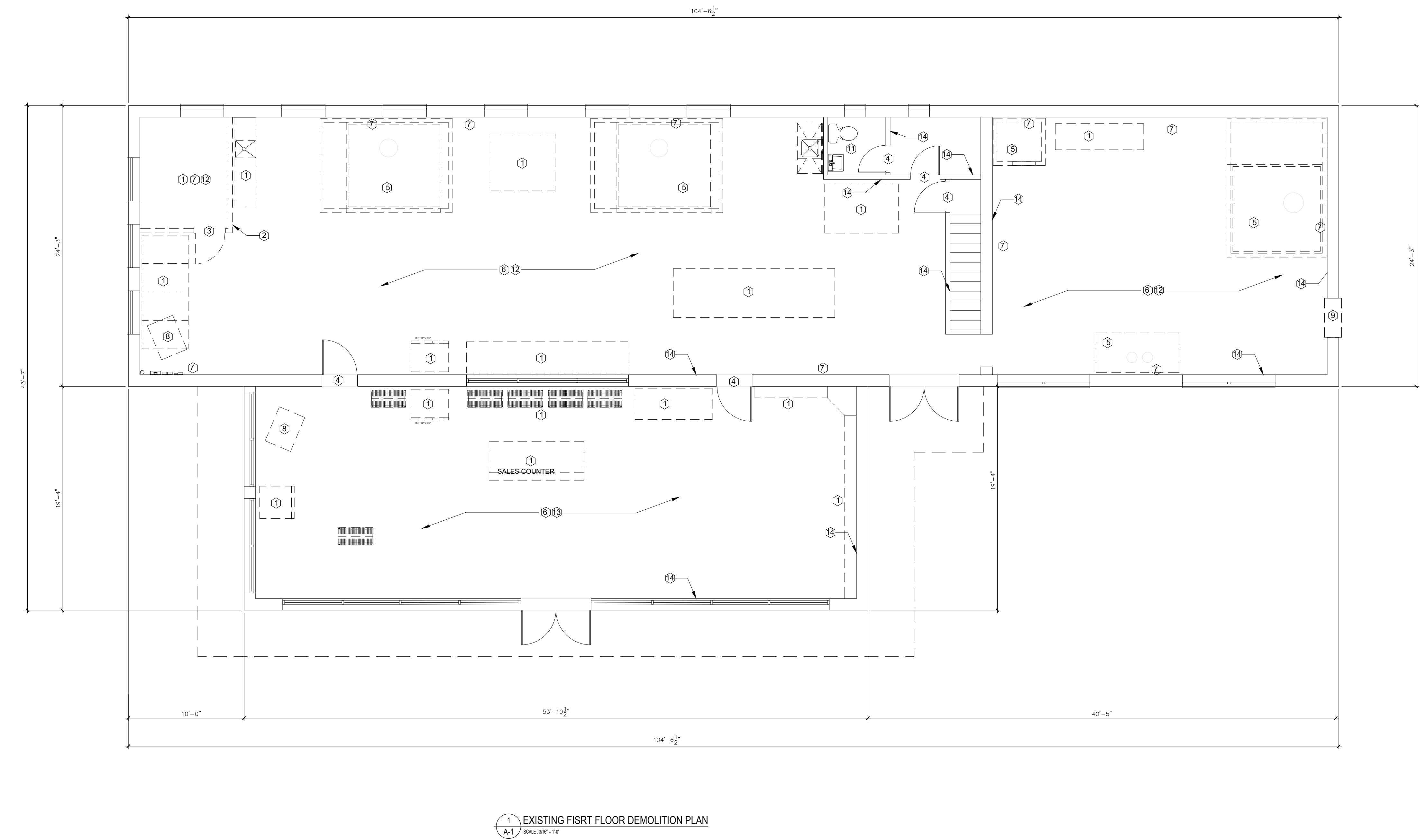


JOSE F. JIMENEZ

Issue Date:
04 / 02 / 2024

CERTIFICATE NO. 8447

REGISTERED ARCHITECT



1 EXISTING FIRST FLOOR DEMOLITION PLAN
A-1 SCALE: 3'0" x 1'-0"

DEMOLITION NOTES

- THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS. IT IS NOT TO BE EXPRESSED AS A CONTRACT FOR THE SCOPE OF WORK. THESE DRAWINGS ARE TO BE CONSIDERED AS A PERMIT ONLY AND NOT AS A COMPLETE CONTRACT DOCUMENTS. THE OWNER IS RESPONSIBLE FOR THE INSPECTION AND THE COORDINATION OF THE WORK, MATERIAL SELECTION, SPECIFICATIONS
- THE BUILDING WAS ERECTED ON 1970. AN ENVIRONMENTAL ASSESSMENT FOR THE PRESENCE OF LEAD BASE PAINT AND ASBESTOS IS RECOMMENDED. HOWEVER IT IS NOT CONSIDERED AS PART OF THE SCOPE OF WORK
- REMOVE ALL EXISTING CONSTRUCTION AND FEATURES NECESSARY FOR THE COMPLETION OF THE WORK AS NOTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE DRAWINGS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE DRAWINGS
- WHERE CONTRACTOR IS INSTRUCTED TO REMOVE EXISTING MATERIALS, EQUIPMENT OR FIXTURES, CONTRACTOR OWNERSHIP OVER THE DISPOSITION AND REMOVAL OF ANY COMPANY LOGO OR SALVAGEABLE VALUE. ALL REMOVED AND SALVAGED UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL REMAIN THE PROPERTY OF THE OWNER, UNLESS AGREED OTHERWISE
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL
- CONTACT THE OWNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEViating FROM THE DESIGN INTENT
- PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE PANELS, RAILS AND DOORS. PERMIT MATES OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS
- PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED TO BE APPROVED BY OWNER
- PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION
- WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING CONDITIONS WHENEVER POSSIBLE

MAINTENANCE AND CLEANING

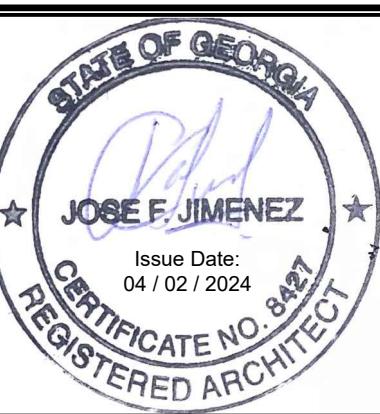
- USE ONLY RECOMMENDED AND APPROVED MATERIALS FOR THE SURFACES TO BE CLEANED
- PREPARE ANY CONDITIONS THAT MAY LEAD TO A HAZARDOUS CONDITIONS
- HEAVY EQUIPMENT MUST BE DISMANTLED TO FACILITATE REMOVAL AND TO MINIMIZE DAMAGE TO THE EXISTING BUILDING STRUCTURE
- DISPOSE WASTE AND DEBRIS IN DESIGNATED DUMPING AREAS
- DO NOT BURN ON SITE OR DISPOSE IN SANITARY OR STORM DRAINS
- DURING CONSTRUCTION THE SITE, AND BUILDERS SHALL MAINTAIN TO PREVENT ACCUMULATE OF WASTE AND TO PROVIDE ADEQUATE WORK SPACE AND ENVIRONMENT FOR ALL TRADES
- MAINTENANCE AND CLEANING INCLUDES ALL AREAS AND BUILDING COMPONENTS, SUCH AS, BUT NOT LIMITED TO FLOORS, WALLS, ROOMS, WINDOWS, EQUIPMENT, FILTERS, DUCTS, SITE, DRIVEWAYS, ETC.
- CLEANING SHALL BE PART OF FINAL INSPECTION ITEMS. THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT, TEMPORARY BUILDING AND STRUCTURES, UNUSED MATERIALS AND DEBRIS WITHOUT DELAY AND LEAVE PREMISES IN OPTIMAL CONDITION

DEMOLITION / CONSTRUCTION NOTES

- EXISTING BAKERY EQUIPMENT AND FURNISHINGS TO BE REMOVED
- NON-BEARING PARTITION WALL TO BE REMOVED
- DOOR AND DOOR FRAME TO BE REMOVED
- EXISTING INTERIOR DOOR AND FRAME TO BE REPAIRED OR REPLACED
- EXISTING HEAVY BAKERY EQUIPMENT TO BE REMOVED. REMOVE VENTS, WIRING, GAS OR PLUMBING ATTACHED
- REMOVE ALL SUSPENDED CEILING TILES, FRAMING AND LIGHT FIXTURES
- EXISTING LIGHT FIXTURES, POWER OUTLETS AND WIRING TO BE REMOVED
- EXISTING CEILING MOUNT HEATER TO BE REMOVED. DELETE GAS AND POWER CONNECTIONS
- EXISTING THOUGH-WALL VENT TO BE REMOVED. FILL EXISTING WALL OPENING TO MATCH EXISTING BRICK AND INTERIOR WALL FRAMING
- EXISTING ELECTRICAL PANEL TO BE INSPECTED BY THE ELECTRICAL CONTRACTOR. REPLACE IF NECESSARY
- REPLACE EXISTING TOILET FIXTURES. PLUMBING CONTRACTOR TO INSPECT AND REPLACE DAMAGED OR DEFECTIVE PLUMBING PIPING
- EXISTING WOOD FLOOR TO BE REPAIRED, PATCHED AND REFINISHED
- EXISTING VINYL FLOORS TO BE REMOVED. REPLACED ALL DAMAGED WOOD DECKING
- ALL INTERIOR AND EXTERIOR WALLS TO REMAIN SHALL BE REPAIRED, PATCHED AND PAINTED

Project Description: "WHITEBOX" BUILDING RENOVATION
ALFRED J NAULT
1783 CHESHIRE BRIDGE ROAD
ATLANTA, GEORGIA 30324

Revisions	Date:
Mark:	Description:
Project Number: AE-033124	
Date: April, 2, 2024	
Project Architect: Jose F. Jimenez, RA	
Scale: AS NOTED	
Sheet Name: FIRST FLOOR DEMOLITION PLAN	
Sheet Number: A - 1	
Released For: CONSTRUCTION	

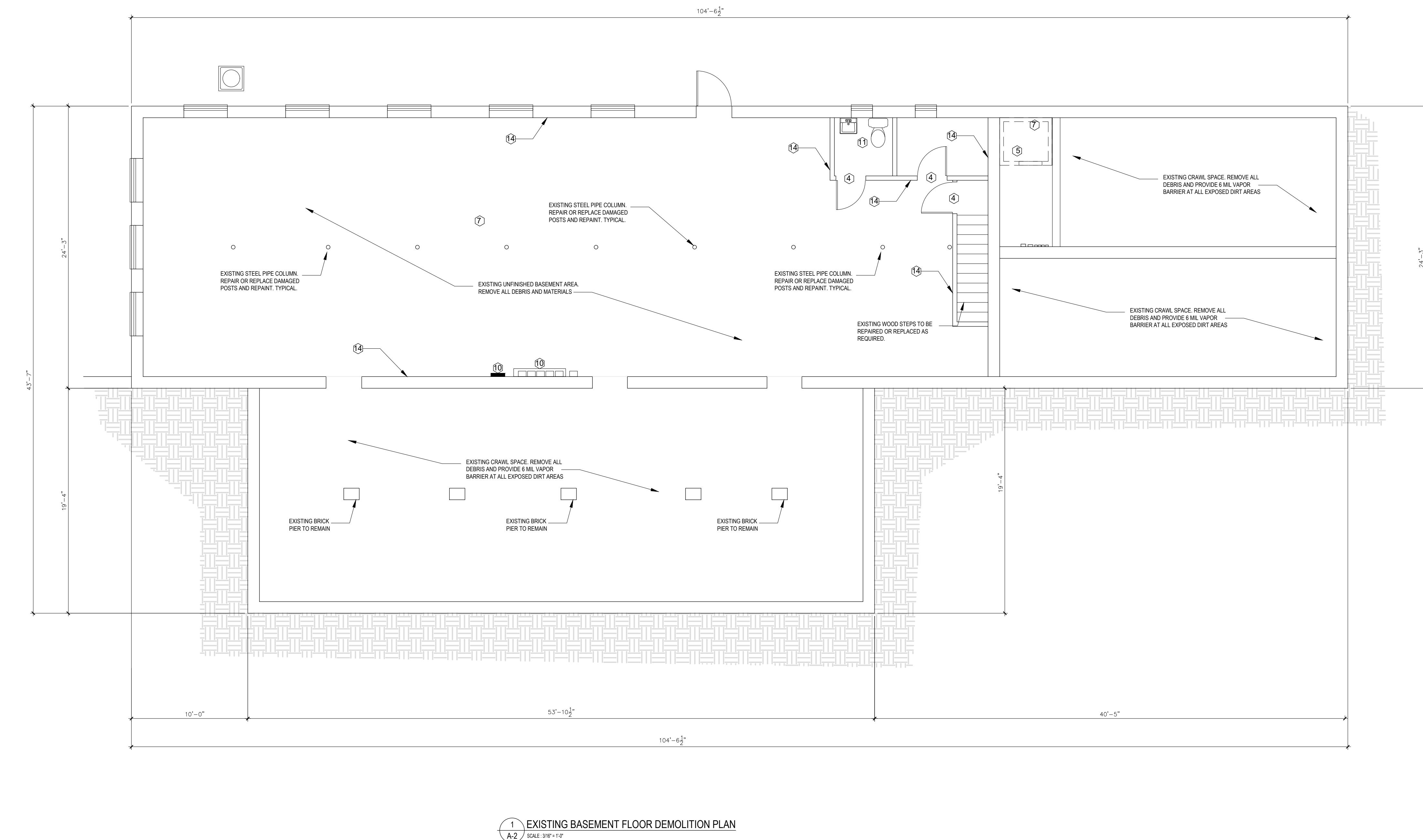


JOSE F. JIMENEZ

Issue Date:
04 / 02 / 2024

CERTIFICATE NO. 8447

REGISTERED ARCHITECT



1 EXISTING BASEMENT FLOOR DEMOLITION PLAN
A-2 SCALE: 3/8" = 1'-0"

DEMOLITION NOTES	
1. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS. IT IS NOT TO BE EXPRESSED AS A CONTRACT FOR THE SCOPE OF WORK. THESE DRAWINGS ARE TO BE CONSIDERED AS A PERMIT ONLY AND NOT AS A COMPLETE CONTRACT DOCUMENTS. THE OWNER IS RESPONSIBLE FOR THE INSPECTION AND THE COORDINATION OF THE WORK, MATERIAL SELECTION, SPECIFICATIONS	
2. THE BUILDING WAS ERECTED ON 1970. AN ENVIRONMENTAL ASSESSMENT FOR THE PRESENCE OF LEAD BASE PAINT AND ASBESTOS IS RECOMMENDED. HOWEVER IT IS NOT CONSIDERED AS PART OF THE SCOPE OF WORK	
3. REMOVE ALL EXISTING CONSTRUCTION AND FEATURES, NECESSARY FOR THE COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE DRAWINGS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE DRAWINGS	
4. WHERE CONTRACTOR IS INSTRUCTED TO REMOVE EXISTING MATERIALS, EQUIPMENT OR FIXTURES, CONTRACTOR OWNERSHIP OF THE REMOVAL AND DISPOSAL OF ANY COMPANY OWNED OR SALVAGEABLE VALUE, ALL REMOVAL AND DISPOSAL UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL REMAIN THE PROPERTY OF THE OWNER, UNLESS AGREED OTHERWISE	
5. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL	
6. CONTACT THE OWNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT	
7. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE PANELS, RAILS AND Treads. PERMIT MATERIAL OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS	
8. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED TO BE APPROVED BY OWNER	
9. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATERS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION	
10. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING CONDITIONS WHENEVER POSSIBLE	

MAINTENANCE AND CLEANING	
1. USE ONLY RECOMMENDED AND APPROVED MATERIALS FOR THE SURFACES TO BE CLEANED	
2. PREVENT ANY CONDITIONS THAT MAY LEAD TO A HAZARDOUS CONDITIONS	
3. HEAVY EQUIPMENT MUST BE DISMANTLED TO FACILITATE REMOVAL AND TO MINIMIZE DAMAGE TO THE EXISTING BUILDING STRUCTURE	
4. DISPOSE WASTE AND DEBRIS IN DESIGNATED DUMPING AREAS	
5. DO NOT BURN ON SITE OR DISPOSE IN SANITARY OR STORM DRAINS	
6. DURING CONSTRUCTION THE SITE, AND BUILDERS SHALL MAINTAIN TO PREVENT ACCUMULATE OF WASTE AND TO PROVIDE ADEQUATE WORK SPACE AND ENVIRONMENT FOR ALL TRADES	
7. MAINTENANCE AND CLEANING INCLUDES ALL AREAS AND BUILDING COMPONENTS, SUCH AS, BUT NOT LIMITED TO FLOORS, WALLS, ROOMS, WINDOWS, EQUIPMENT, FILTERS, DUCTS, SITE, DRIVEWAYS, ETC.	
8. CLEANING SHALL BE PART OF FINAL INSPECTION ITEMS. THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT, TEMPORARY BUILDING AND STRUCTURES, UNUSED MATERIALS AND DEBRIS WITHOUT DELAY AND LEAVE PREMISES IN OPTIMAL CONDITION	

DEMOLITION / CONSTRUCTION NOTES	
① EXISTING BAKERY EQUIPMENT AND FURNISHINGS TO BE REMOVED	
② NON-BEARING PARTITION WALL TO BE REMOVED	
③ DOOR AND DOOR FRAME TO BE REMOVED	
④ EXISTING INTERIOR DOOR AND FRAME TO BE REPAVED OR REPLACED	
⑤ EXISTING HEAVY BAKERY EQUIPMENT TO BE REMOVED. REMOVE VENTS, WIRING, GAS OR PLUMBING ATTACHED	
⑥ REMOVE ALL SUSPENDED CEILING TILES, FRAMING AND LIGHT FIXTURES	
⑦ EXISTING LIGHT FIXTURES, POWER OUTLETS AND WIRING TO BE REMOVED	
⑧ EXISTING CEILING MOUNT HEATER TO BE REMOVED. DELETE GAS AND POWER CONNECTIONS	
⑨ EXISTING THOUGH-WALL VENT TO BE REMOVED. FILL EXISTING WALL OPENING TO MATCH EXISTING BRICK AND INTERIOR WALL FRAMING	
⑩ EXISTING ELECTRICAL PANEL TO BE INSPECTED BY THE ELECTRICAL CONTRACTOR. REPLACE IF NECESSARY	
⑪ REPLACE EXISTING TOILET FIXTURES. PLUMBING CONTRACTOR TO INSPECT AND REMOVE DAMAGED OR DEFECTIVE PLUMBING PIPING	
⑫ EXISTING WOOD FLOOR TO BE REPAVED PATCHED AND REFINISHED	
⑬ EXISTING VINYL FLOORS TO BE REMOVED. REPLACED ALL DAMAGED WOOD DECKING	
⑭ ALL INTERIOR AND EXTERIOR WALLS TO REMAIN SHALL BE REPAVED, PATCHED AND PAINTED	

Project Description: "WHITEBOX" BUILDING RENOVATION
ALFRED J NAULT
1783 CHESHIRE BRIDGE ROAD
ATLANTA, GEORGIA 30324

Revisions	Date:
Mark:	Description:
Project Number: AE-033124	
Date: April, 2, 2024	
Project Architect: Jose F. Jimenez, RA	
Scale: AS NOTED	
Sheet Name: BASEMENT FLOOR DEMOLITION PLAN	
Sheet Number: A - 2	
Released For: CONSTRUCTION	

MODIFIED BITUMEN ROOF SYSTEM
SECTION 07520

1.0 GENERAL

- a) Provide all labor, material and equipment necessary for the installation of coating MODIFIED BITUMEN AND BUILT-UP GRANULATED CAPSHEET surfaces. These suggested specifications describe materials, methods and conditions necessary for the proper application of Energy Seal coatings.
- b) Submittal of shop drawings and product data shall comply with general conditions. Submit roof plan and flashing details and metal fabrications. Include standard and special details, including blocking or other work as required for other trades.
- c) All work shall be warranted for a period of two (2) years against defects in materials and workmanship.

2.0 PRODUCTS

- a) All materials used shall be manufactured by and or approved by Advanced Coating Systems, Inc. or equal approved.
- ACU-SHIELD** - 100% acrylic, elastomeric roof coating.
- ACU-SHIELD: CERAMIC** - 100% acrylic elastomeric ceramic roof coating.
- ACU-CAULK: BG** - 100% acrylic, elastomeric brush grade caulk.
- ACU-CAULK: FG** - 100% acrylic, elastomeric flashing grade caulk.
- ACU-PRIME ALL** - Durable primer for non-metal or non-rusted metal surfaces.
- ACU-TAC** - Bonding agent.
- ACU-FABRIC** - Compound polyester reinforcing scrim.
- ACU-GLOSS** - Clear acrylic finish.
- b) Materials shall be delivered in their original, tightly sealed containers or unopened packages, all clearly labeled with the manufacturer's name, file number and lot numbers.
- d) Materials shall be stored out of the weather in their original tightly sealed containers or unopened packages as recommended by the manufacturer.

3.0 EXECUTION

Preparation shall be done, but not limited to the following:

- a) Preparation shall include all requirements specified by Energy Seal Coatings, to ensure proper adhesion of the Energy Seal Coatings products to the existing substrate. New smooth, modified bitumen roofing surfaces must be allowed to cure a minimum of 90 days prior to application.
- b) All unnecessary and non-functional equipment and debris shall be removed from the roof.
- c) Substrates must be pressure-washed. A minimum working pressure of 3,000 psi shall be used to remove all dirt, dust, previous paints & coatings which are delaminating as well as waste products (oil, oil-based roof cements, solvents, grease, animal fats, etc). Use TSP (Tri Sodium Phosphate).
- d) HVAC condensate drains shall be properly routed to roof drains to allow roof membrane and coating to drain.
- e) Wet insulation and damaged membranes are to be removed and replaced as necessary to match existing specified material. New, smooth modified bitumen roofing surfaces must be allowed to cure a minimum of 90 days prior to application.
- f) Secure and seal flashings to structural members.
- g) Flashing at heads or sill shall be extended 8" min. each side.
- c) Guttering, when called for in the drawings, shall be installed by roofing contractor and shall be included in his overall warranty. Secure gutters with strap hangers at 36" o.c. max. Attach downspouts with straps at 6'0" o.c. max.

4.0 EXECUTION

- a) Examine substrate to receive roof coating. Do not proceed with installation of Energy Seal Coatings until unsatisfactory conditions have been corrected in a manner acceptable to the manufacturer.
- B) ACU-PRIME ALL is recommended for roofs over 5 years. Entire roof shall be primed at a rate of 150 square feet per gallon. To help stop leaks, all seams, penetrations and parapet walls are to be flashed using ACU-FABRIC and ACU-TAC. Apply a thin layer of ACU-TAC on each seam, roll out 6" ACU-FABRIC into the wet coating and then apply a layer of ACU-TAC over the ACU-FABRIC. The same procedure should be used on all parapet walls using 4" ACU-FABRIC with 20" running up the wall.
- c) ACU-SHIELD roof coating is to be applied at a rate of 1 gallon per 100 square feet. Recommended coverage is two coats (20 mils) on new roofs or three coats (30 mils) for aged older roofs.
- d) Apply ACU-GLOSS clear acrylic coating (optional) at a rate of 250 square feet per gallon. ACU-GLOSS helps keep the surface clean thereby reducing maintenance costs.
- e) Each coat must be allowed to cure for 24 - 48 hours depending on humidity and temperature. The roof is to be inspected for defects, flaws or holidays and repaired if necessary before a subsequent coat is applied.

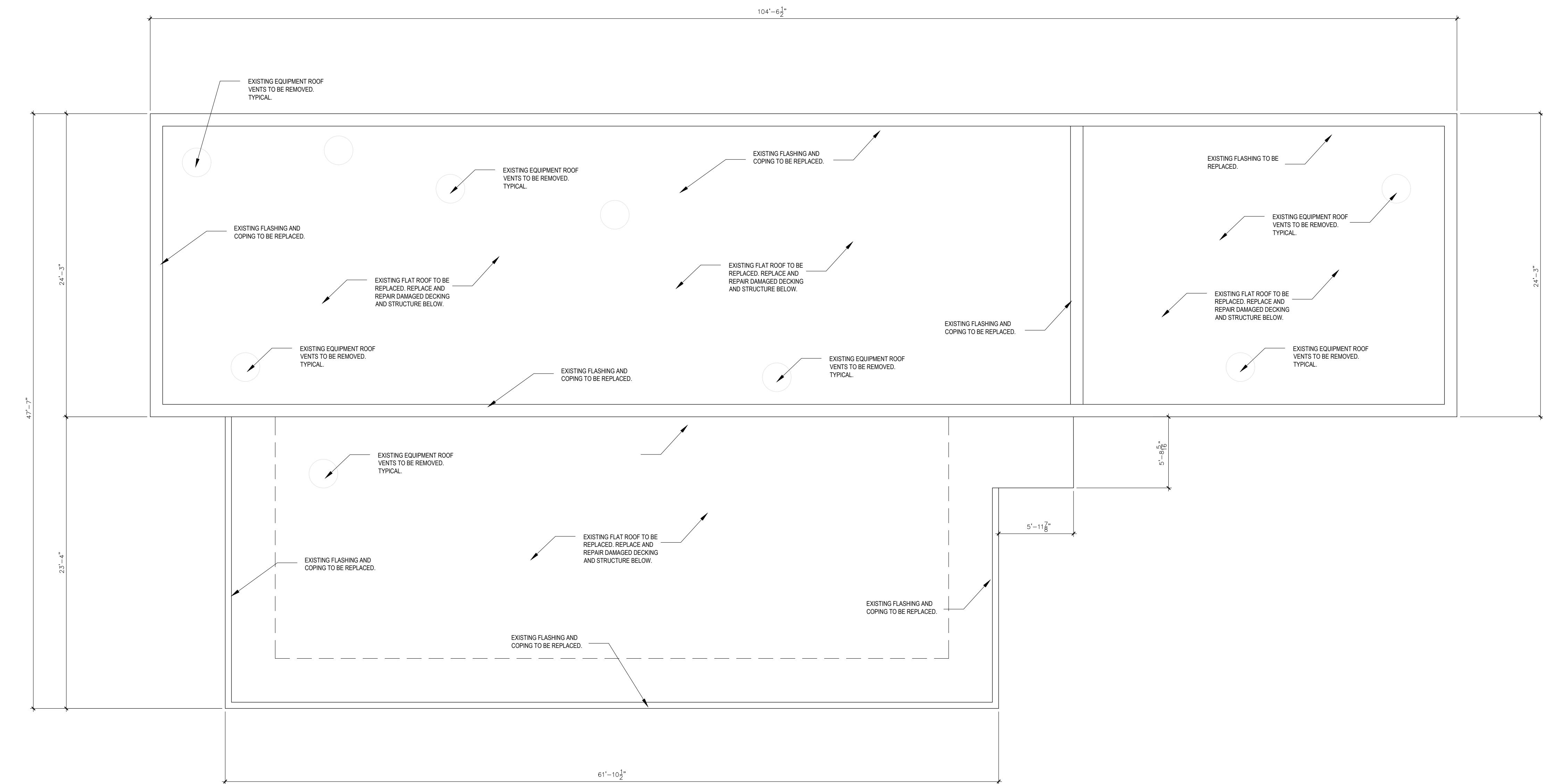
4.0 APPLICATION RATES

- a) 5-year warranty: ACU-FLEX (2 gal./ 100 sq.ft.) - 1 primer, 2 finish coats (20 dry mils average).
- b) 10-year warranty: ACU-FLEX (3 gal./100 sq.ft.) - 1 primer, 3 finish coats (30 dry mils average).

5.0 RESTRICTIONS / LIMITATIONS

This system is to be used only in conjunction with commonly accepted roofing standards but not limited to the following:

- a) No ACU-TAC or materials shall commence during inclement weather or when precipitation is imminent. No thinning of materials permitted.
- b) No materials are to be applied to wet, dirty or frozen surfaces.
- c) No materials are to be applied at temperatures below 40°F.
- d) No materials are to be applied at ambient temperatures above 100°F.
- e) No materials are to be applied at relative humidity levels above 88%.
- f) In conjunction with the final inspection, all debris, containers, materials and equipment are to be properly removed from the job site. Grounds are to be cleaned undamaged and acceptable to the owner.
- g) Reflectivity of coatings may be reduced if roof surface is not cleaned on a regularly scheduled basis.
- h) Pounding water areas must be repaired prior to any coating application so as to allow water to drain off the roof.



1 EXISTING BASEMENT FLOOR DEMOLITION PLAN
A-2 SCALE: 3/16" = 1'-0"

FLASHING AND SHEET METAL
SECTION 07600

1.0 GENERAL

- a) Provide all labor, material and equipment necessary for the installation of all pre-finished wall and roof flashing (metal and/or vinyl) in conjunction with wall construction, roofing and equipment installation. Whether or not cover under other sections of the contract documents.
- b) Submittal of shop drawings and color selection shall comply with general conditions.
- c) All work shall be warranted for a period of two (2) years against defects in materials and workmanship.

2.0 PRODUCTS

- a) Exposed pre-finished metal flashing shall be 24 ga galvanized steel with a nominal 0.0023 inch (1.26 per SF) of zinc coating. (20 year finish).
- b) All concealed flashing and gutters shall be of 16 oz copper.
- c) Gutters and downspouts shall be of 24 ga galvanized steel with a nominal 0.0023 inch (1.25 oz per SF) of zinc coating. (20 year finish)
- d) Vinyl thru-wall flashing at heads and sills shall be vinyl Perma Clad, Wasco, Vincent or equal approved.

3.0 EXECUTION

- a) Secure and seal flashing to structural members.
- b) Flashing at heads or sill shall be extended 8" min. each side.
- c) Guttering when called for in the drawings shall be installed by roofing contractor and shall be included in his overall warranty. Secure gutters with strap hangers at 36" o.c. max. Attached downspouts with straps at 6'0" o.c. max.

JOINT SEALERS
SECTION 07900

1.0 GENERAL

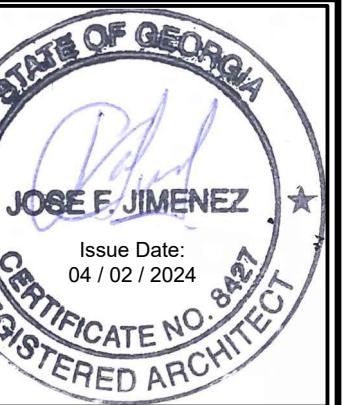
- a) Provide all labor, material and equipment necessary for the application of sealant and caulking throughout the building.
- b) Submittals for approval and color selection shall comply with the general conditions.
- c) Contractor shall provide a 2 year min. warranty for watertightness or failure of sealant.
- d) Contractor shall provide a one year maintenance to control shrinkage and cracking.

2.0 MATERIALS

- a) Exterior sealant shall be one (1) part acrylic terpolymer complying with U.S. Government Specifications TT-S-230.
- b) Joint bedding shall be non-staining polyethylene, provide 30% min. compression at joints 1/2" wide or larger.
- c) Joint tape for closed joints shall be self adhering synthetic and shall not adhere to sealant.

3.0 EXECUTION

- a) All surfaces shall be clean, dry, smoothed and primed as recommended by manufacturer.
- b) Seal all length of jambs, seals and heads of windows, doors, louvers, etc.
- c) All applications shall follow manufacturer's instructions and recommendations to insure best performance.
- d) Tool and remove any excess of material immediately after application.



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"WHITEBOX" BUILDING RENOVATION

ALFRED J NAULT
1783 CHESHIRE BRIDGE ROAD
ATLANTA, GEORGIA 30324

Project Description:

Date:	
Description:	

Revisions:

Mark:	
Description:	

Project Number:

AE-033124

Date:

April, 2, 2024

Project Architect:

Jose F. Jimenez, RA

Scale:

AS NOTED

Sheet Name:

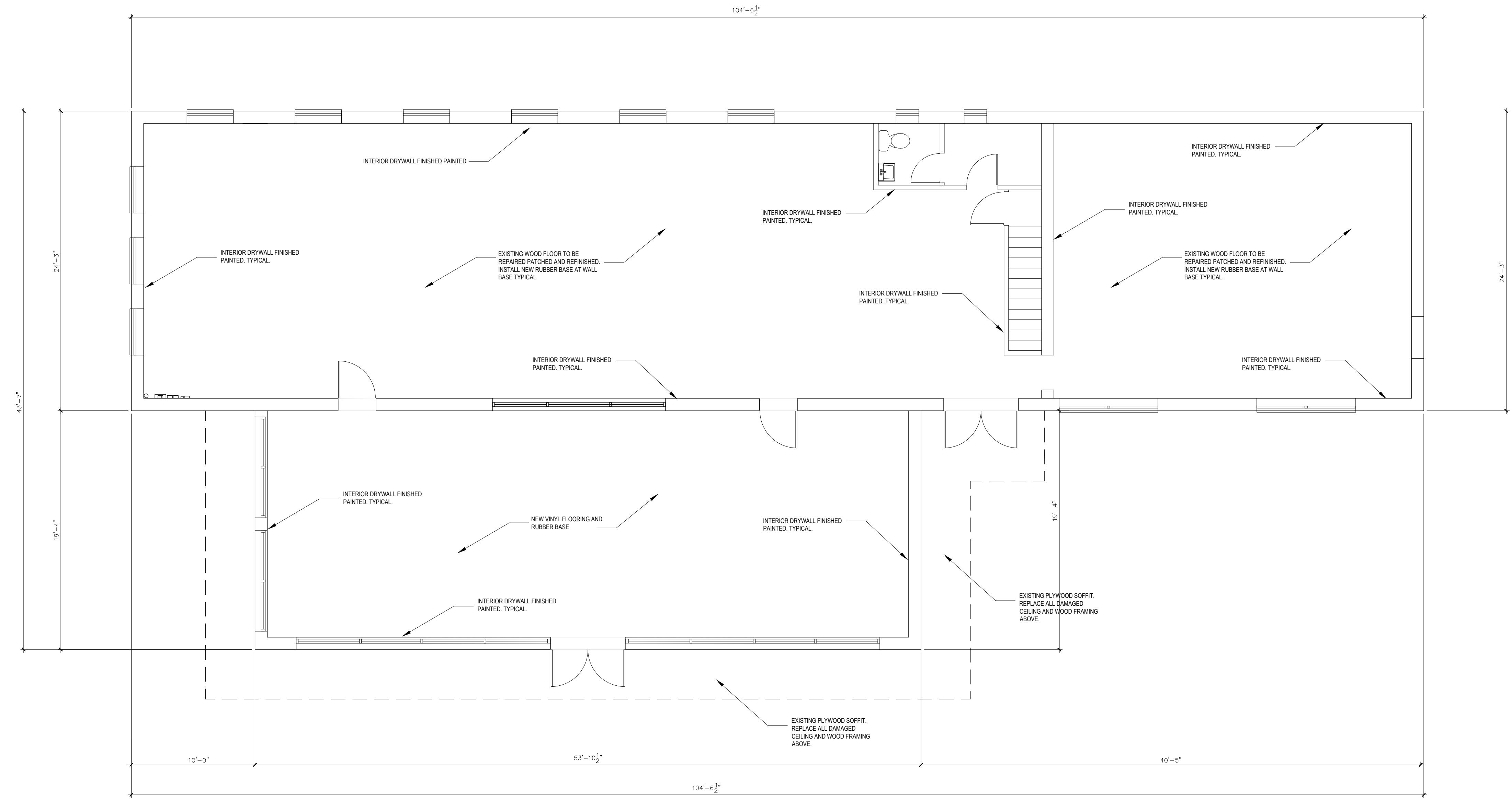
ROOF PLAN

Sheet Number:

A - 3

Released For:

CONSTRUCTION



1 EXISTING FIRST FLOOR DEMOLITION PLAN
A-1 SCALE: 3/8" = 1'-0"

DEMOLITION NOTES	
1. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS. IT IS NOT TO BE EXPRESSED AS A CONTRACT FOR THE SCOPE OF WORK. THESE DRAWINGS ARE TO BE CONSIDERED AS A PERMIT ONLY AND NOT AS A COMPLETE CONTRACT DOCUMENTS. THE OWNER IS RESPONSIBLE FOR THE INSPECTION AND THE COORDINATION OF THE WORK, MATERIAL SELECTION, SPECIFICATIONS	
2. THE BUILDING WAS ERECTED ON 1970. AN ENVIRONMENTAL ASSESSMENT FOR THE PRESENCE OF LEAD BASE PAINT AND ASBESTOS IS RECOMMENDED. HOWEVER IT IS NOT CONSIDERED AS PART OF THE SCOPE OF WORK	
3. REMOVE ALL EXISTING CONSTRUCTION AND DEBRIS NECESSARY FOR THE COMPLETION OF THE WORK AS LISTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO ITEMS LISTED ON THE DRAWINGS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE DRAWINGS	
4. WHERE CONTRACTOR IS INSTRUCTED TO REMOVE EXISTING MATERIALS, EQUIPMENT OR FIXTURES, CONTRACTOR OWNERSHIP OVER THE DISPOSITION AND REMOVAL OF ANY COMPANY LOGO OR SALVAGEABLE VALUE, ALL REMAINING PROPERTY UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS AGREED OTHERWISE	
5. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL	
6. CONTACT THE OWNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT	
7. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE PANELS, RAILS AND TRIM. PROVIDE TERRIMATE OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS	
8. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED TO BE APPROVED BY OWNER	
9. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATERS OF SPACKLING, SANDED AND LEFT IN A PAINT READY CONDITION	
10. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING CONDITIONS WHENEVER POSSIBLE	

MAINTENANCE AND CLEANING	
1. USE ONLY RECOMMENDED AND APPROVED MATERIALS FOR THE SURFACES TO BE CLEANED	

DEMOLITION / CONSTRUCTION NOTES	
1. EXISTING BAKERY EQUIPMENT AND FURNISHINGS TO BE REMOVED 2. NON-BEARING PARTITION WALL TO BE REMOVED 3. HEAVY EQUIPMENT MUST BE DISMANTLED TO FACILITATE REMOVAL AND TO MINIMIZE DAMAGE TO THE EXISTING BUILDING STRUCTURE 4. DISPOSE WASTE AND DEBRIS IN DESIGNATED DUMPING AREAS 5. DO NOT BURN ON SITE OR DISPOSE IN SANITARY OR STORM DRAINS 6. DURING CONSTRUCTION THE SITE AND BUILDERS SHALL MAINTAIN TO PREVENT ACCUMULATE OF WASTE AND TO PROVIDE ADEQUATE WORK SPACE AND ENVIRONMENT FOR ALL TRADES 7. MAINTENANCE AND CLEANING INCLUDES ALL AREAS AND BUILDING COMPONENTS; SUCH AS, BUT NOT LIMITED TO FLOORS, WALLS, ROOMS, WINDOWS, EQUIPMENT, FILTERS, DUCTS, SITE, DRIVEWAYS, ETC. 8. CLEANING SHALL BE PART OF FINAL INSPECTION ITEMS. THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT, TEMPORARY BUILDING AND STRUCTURES, UNUSED MATERIALS AND DEBRIS WITHOUT DELAY AND LEAVE PREMISES IN OPTIMAL CONDITION	

GENERAL ELECTRICAL NOTES	
1. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND EVALUATE THE EXISTING CONDITIONS IN ORDER TO PROVIDE A NEW ELECTRICAL WIRING, POWER OUTLETS AND LIGHTING FIXTURES TO COMPLY WITH THE MINIMUM CODE REQUIREMENTS FOR A "WHITEBOX" BUILDING SHELL 2. ALL THE ELECTRICAL WORK SHALL BE PERFORM IN ACCORDANCE TO THE LATEST NATIONAL ELECTRIC CODE, AMENDMENTS AND LOCAL CODES OR ORDINANCES HAVING JURISDICTION 3. ALL ELECTRICAL MATERIALS SHALL BE NEW, IN ACCORDANCE TO THE NATIONAL ELECTRICAL CODE AND SHALL BEAR THE UL LABEL 4. ALL WIRING AND/OR CONDUIT SHALL BE LOCATED ABOVE THE LOWER CORD OF THE TRUSS SYSTEM AND SHALL BE EITHER PERPENDICULAR OR PARALLEL TO THE FRAMING SYSTEM, AND BE ORGANIZED AND INSTALLED IN A NEAT AND WORKMANLIKE MANNER 5. WIRE AND CABLE SHALL BE INSULATED SOLID COPPER WIRE WITH FIRE RESISTANT OUTER COVERING, TYPE THHN, THWN OR THHN. WIRE AND CABLE SHALL BE PROPERLY CODED WITH THE NEUTRAL, PER NEC 6. THE ELECTRICAL CONTRACTOR SHALL EVALUATE THE EXISTING POWER PANELS TO DETERMINING THE NEED TO UPGRADE OR REPLACE AND SHALL PROVIDE ALL WIRING, RELOCATING ELECTRICAL EQUIPMENT 7. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROPERLY BALANCE ALL BRANCH CIRCUITS BETWEEN THE PHASES OF THE SYSTEM REGARDLESS OF CIRCUITING INDICATED ON THE DRAWINGS AND SHALL INSTALL WIRING IN PANELS, ETC. IN A NEAT AND WORKMANLIKE MANNER 8. IF REQUIRED BY THE BUILDING INSPECTION DEPARTMENT, WHEN NEW SERVICE POWER LINE IS REQUIRED OR WHEN A NEW OR EXISTING ELECTRICAL PANELS ARE CONSIDERED TO BE REPLACED, THE ELECTRICAL CONTRACTOR SHALL PROVIDE AN ELECTRICAL DRAWING SEALED BY A LICENSED PROFESSIONAL ENGINEER 9. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND THE VERIFICATION OF FIELD CONDITIONS. IF FIELD CONDITIONS DIFFER FROM THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE DESIGNATED GENERAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK 10. ALL HVAC WIRING AND CONTROLS BY THE HVAC CONTRACTOR 11. UNLESS INDICATED OR DIRECTED OTHERWISE ALL WIRING DEVICES SHALL BE LOCATED AS FOLLOWS: - DUEPLEX SMOOTHES: 48" AFF - DUPLEX RECEPTACLES: 18" AFF TO CENTERLINE 12. ALL EMPTY CONDUIT IN WHICH WIRING WILL BE INSTALLED BY OTHERS SHALL HAVE PULL WIRE AND BE TAGGED TO IDENTIFY THE USE 14. RIGID CONDUIT IF USED, SHALL BE HOT DIPPED GALVANIZED	

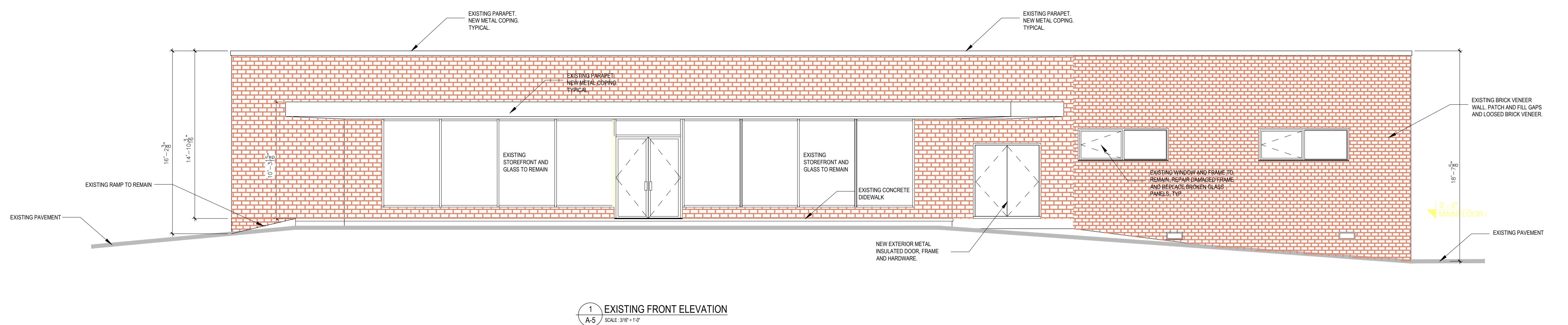
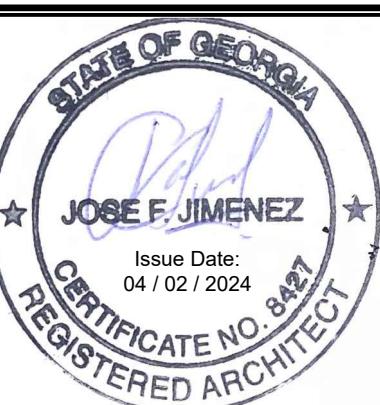
MECHANICAL NOTES	
1. THE MECHANICAL CONTRACTOR SHALL VISIT THE SITE AND EVALUATE THE EXISTING CONDITIONS IN ORDER TO PROVIDE A NEW VENTILATION SYSTEM TO COMPLY WITH THE MINIMUM CODE REQUIREMENTS FOR A "WHITEBOX" BUILDING SHELL 2. THE CONTRACTOR SHALL VISIT THE SITE AND REQUEST A PRE-CONSTRUCTION MEETING WITH THE PROJECT MANAGER, THE OWNER AND / OR THE G.C. AND SHALL VERIFY THE SCOPE OF WORK, LOCATION, SIZE, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION 3. FLEXIBLE DUCTWORK SHALL BE SAME SIZE AS DIFFUSER NECKS. FLEXIBLE DUCTWORK SHALL BE INSTALLED AS STRAIGHT AS POSSIBLE AND SHALL BE ROUTED AND SUPPORTED WITHOUT FORMING CRIMPS OR OTHER AIR FLOW RESTRICTIONS 4. ALL MECHANICAL EQUIPMENT, SYSTEMS AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE MECHANICAL CODE 2012, THE INTERNATIONAL BUILDING CODE, THE STATE ENERGY CODE, NFPA 90A, AND 2014 AND 2015 GA STATE AMENDMENTS 5. ALL REQUIRED CONTROL WIRING NOT SHOWN ON THE DRAWINGS SHALL BE INCLUDED AS PART OF THE MECHANICAL WORK 6. ALL NEW MECHANICAL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS 7. ALL MECHANICAL WORK AND NEW EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY OWNER 8. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL MECHANICAL EQUIPMENT, DUCTWORK, ETC. TO FIT WITHIN THE SPACE ALLOWED BY THE ARCHITECTURAL AND STRUCTURAL CONDITIONS. CUTTING OR OTHERWISE ALTERING ANY STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT 9. RESTROOM DOORS SHALL BE UNDERCUT 3/4" OR PROVIDED WITH A LOUVER TO ALLOW EXHAUST VENTILATION	

"WHITEBOX" BUILDING RENOVATION
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ATLANTA, GEORGIA 30324

Project Description:
Revisions:
Mark:
Date:
Description:

Project Number:
AE-033124
Date:
April, 2, 2024
Project Architect:
Jose F. Jimenez, RA
Scale:
AS NOTED

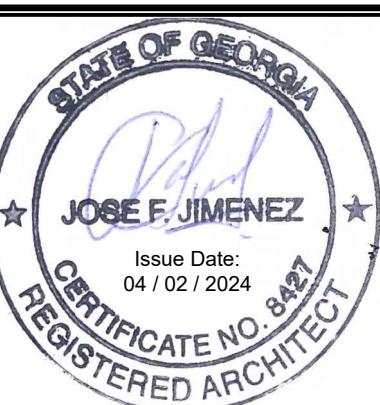
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PROPOSED FLOOR PLAN
Sheet Number:
A - 4
Released For:
CONSTRUCTION



"WHITEBOX" BUILDING RENOVATION
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Sheet Number:	A - 5
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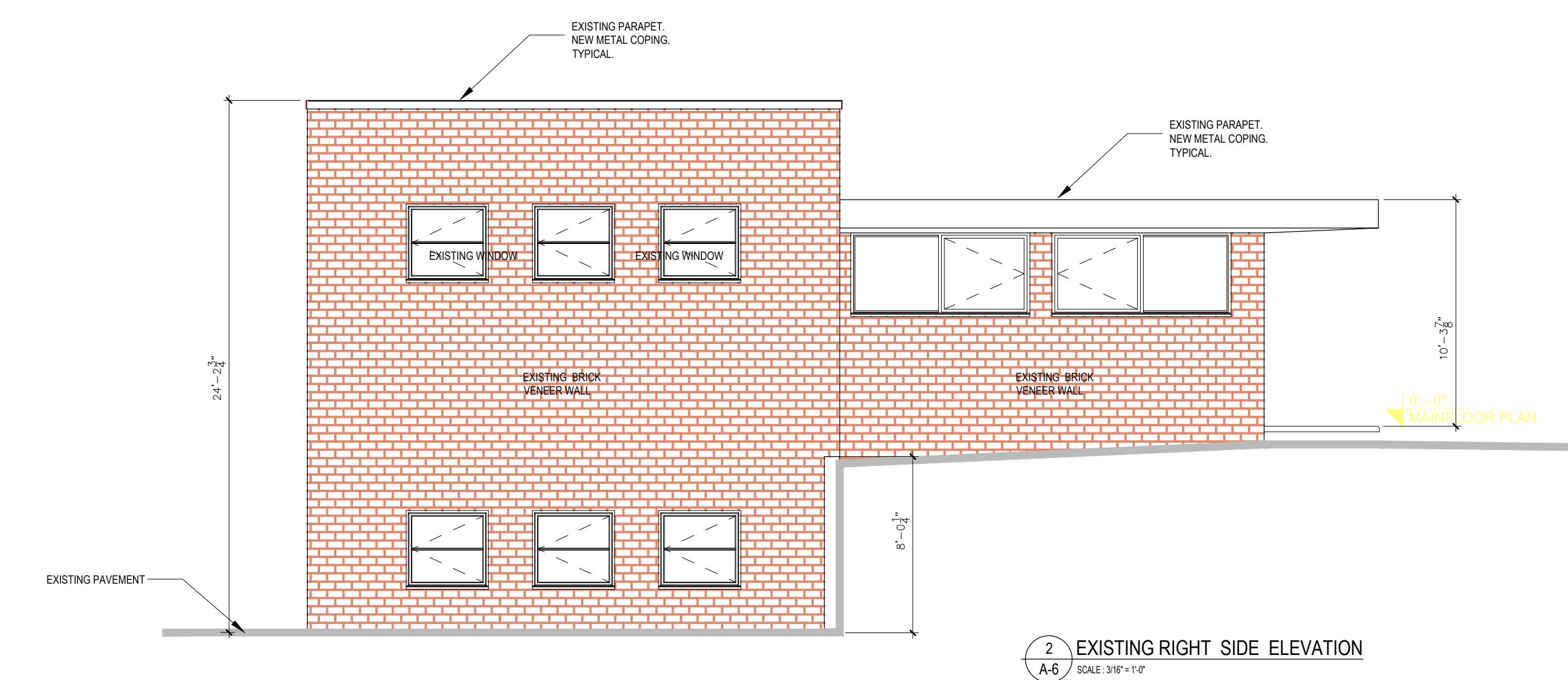
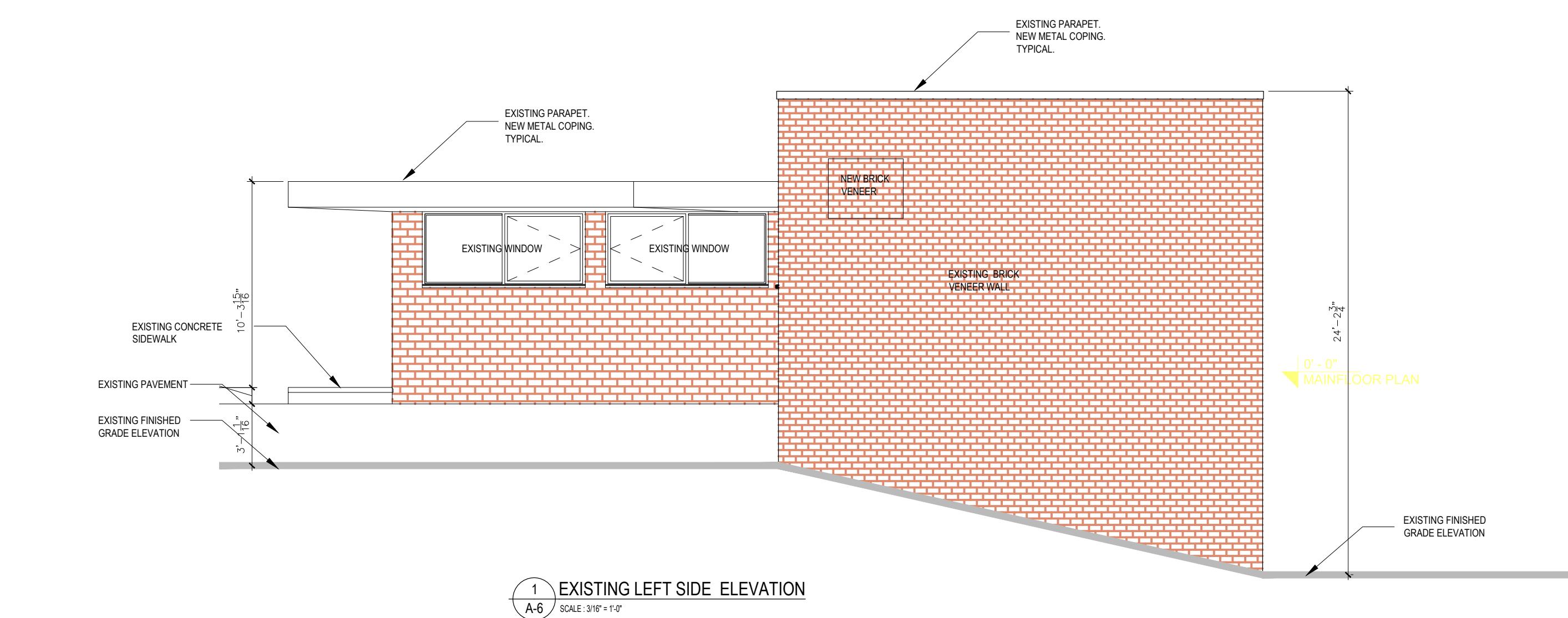


JOSE F. JIMENEZ

Issue Date:
04 / 02 / 2024

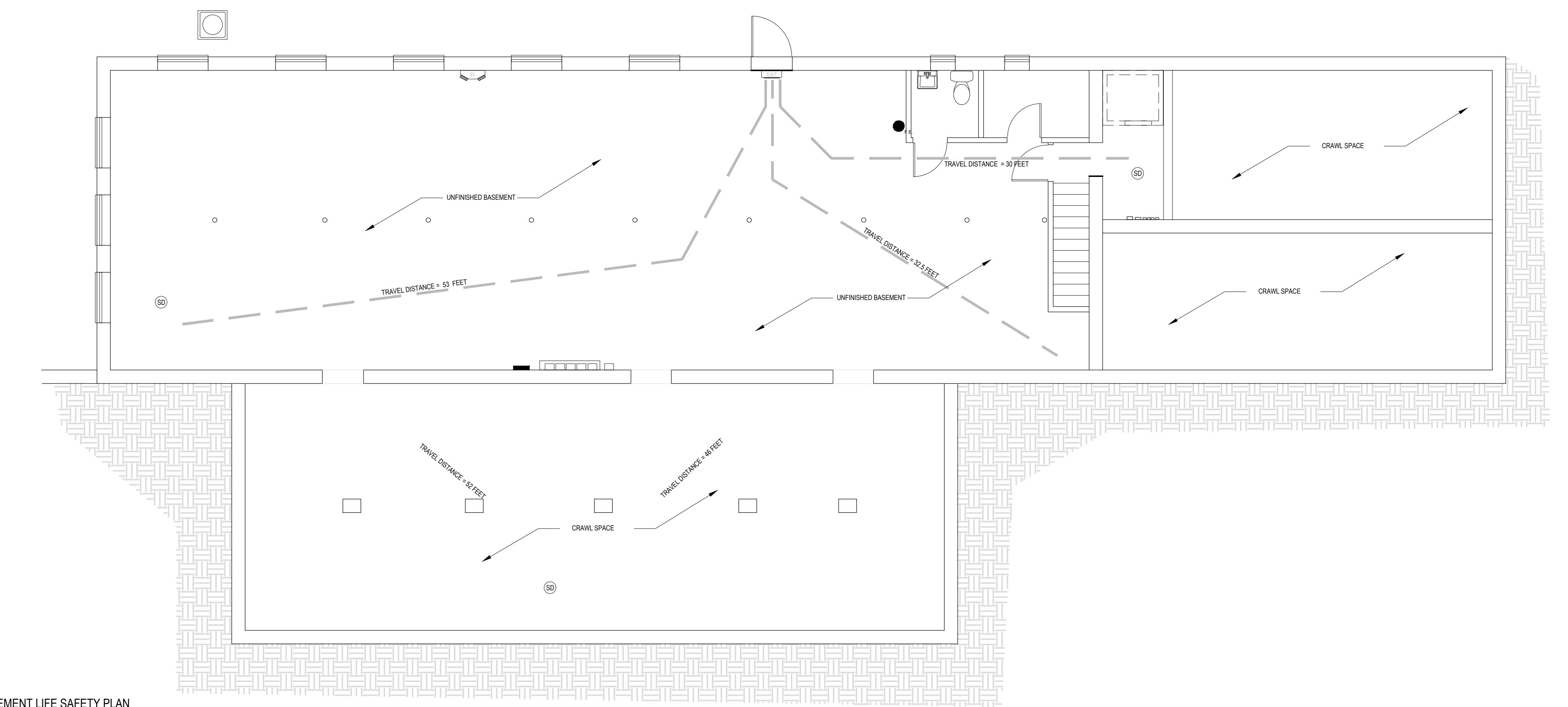
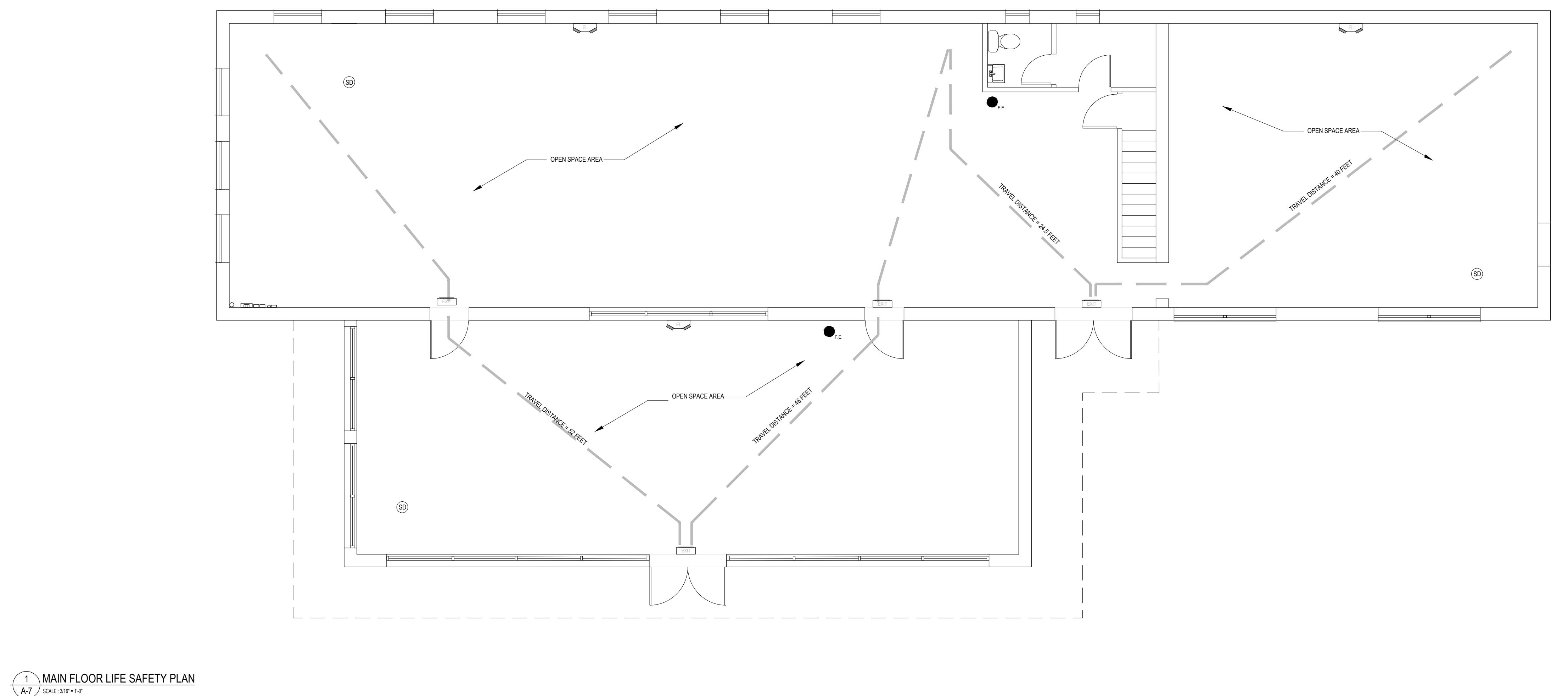
CERTIFICATE NO. 8447

REGISTERED ARCHITECT



"WHITEBOX" BUILDING RENOVATION
ALFRED J NAULT
1783 CHESHIRE BRIDGE ROAD
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Project Number:	AE-033124
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Sheet Number:	A - 6
Released For:	CONSTRUCTION



Project Description: "WHITEBOX" BUILDING RENOVATION
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Project Architect: Jose F. Jimenez, RA
Scale: AS NOTED
Sheet Name: LIFE SAFETY PLANS
Sheet Number:
Released For: CONSTRUCTION
A - 7

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