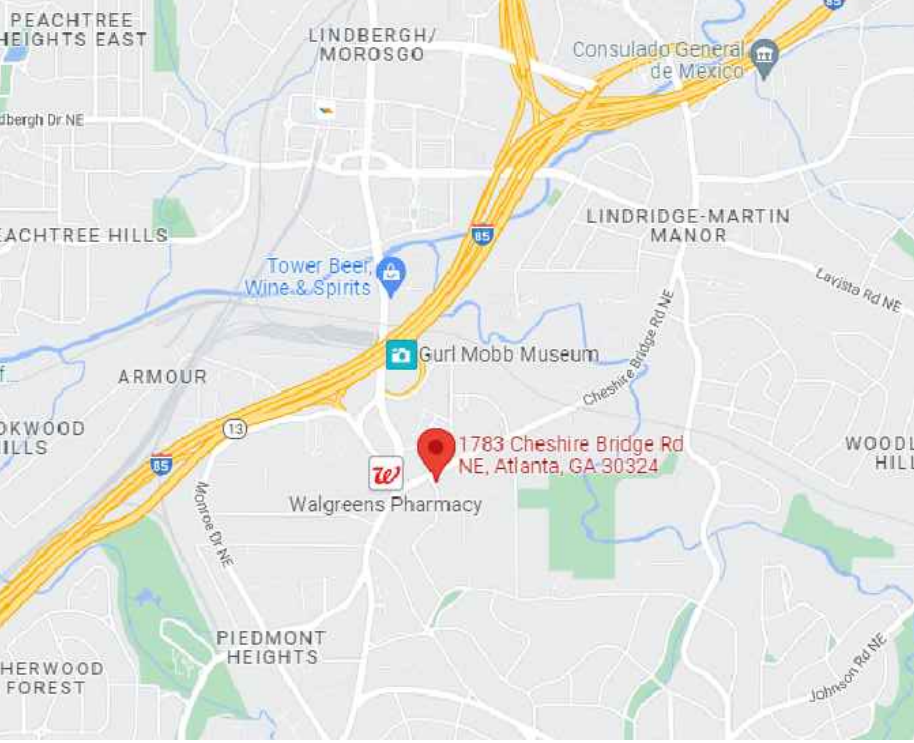


VICINITY - LOCATION MAP



PROJECT DATA / CRITERIA

PROPERTY DATA:	ZONING: NC-5
OCCUPANCY CLASIFICATION:	BUSINESS (I.B.C.) & (NFPA 101)
CONSTRUCTION CLASIFICATION:	TYPE V-B, UNPROTECTED (I.B.C.) TYPE V (000) (NFPA, 101)
FIRE PROTECTION:	UNSPRINKLERED
TENANT SEPARATION	N/A - SINGLE TENANCY
NUMBER OF STORIES:	ONE STORY / BASEMENT

CODES AND ORDINANCES

- 2018 INTERNATIONAL BUILDING CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL RESIDENTIAL CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL PLUMBING CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE WITH 2020 GA AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS CODE WITH 2020 GA AMENDMENTS
- 2020 NATIONAL ELECTRICAL CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2020 GA AMENDMENTS AND SUPPLEMENTS
- 2018 INTERNATIONAL SWIMMING POOL & SPA CODE WITH 2020 GA AMENDMENTS
- 2018 NFPA 101 LIFE SAFETY CODE WITH 2020 GA AMENDMENTS
- 2016 LSC DESIGN OCCUPANT LOAD REDUCTION
- 2010 ADA STANDARDS FOR ACCESSIBILITY DESIGN

CONTACT OFFICES

- FIRE SERVICES:	678-518-4800
- WATER RESOURCES:	678-376-6700
- ZONING/ REZONING	678-518-6000
- WATER / SEWER PLAN REVIEW	678-518-6000
- BUILDING INSPECTIONS INFO.	404-865-8079
- BUILDING INSPECTIONS (AIRS)	404-865-8400
- BUILDING PERMITS-RESIDENTIAL	404-330-69061

SPECIAL INSPECTIONS

NOT REQUIRED. NO BUSINESS TENANCY.

SIGNS

SIGNS ARE NOT PART OF THESE SET OF DOCUMENTS OR BUILDING PERMIT. A SEPARATE SIGN APPLICATION AND PERMIT SHALL BE PROVIDED BY OTHERS.

"WHITEBOX" BUILDING RENOVATION

1783 CHESHIRE BRIDGE ROAD
ATLANTA, GA 30324

EXISTING FRONT VIEW



AREA CALCULATION	/	OCCUPANT LOAD CALCULATION	DRAWINGS INDEX	PROJECT INFORMATION
<div>HEATED SPACE AREAS</div> <div><div><div>- FRONT RETAIL AREA</div><div>2,535.0</div><div>SQ. FT.</div></div><div><div>- MAIN BUILDING FLOOR AREA</div><div>1,041.6</div><div>SQ. FT.</div></div><div><div>- TOTAL EXISTING HEATED SPACE AREA</div><div>3,576.6</div><div>SQ. FT.</div></div></div> <div>UNFINISHED / UNHEATED FLOOR AREAS</div> <div><div><div>- UNFINISHED BASEMENT</div><div>1,880.0</div><div>SQ. FT.</div></div><div><div>- CRAWL SPACE AREAS</div><div>1,696.6</div><div>SQ. FT.</div></div></div>		NOT REQUIRED. NO BUSINESS TENANCY.	<div>PD-1 PROJECT DATA</div> <div>SP-1 EXISTING SURVEY (BY MERIDIAN GE MATICS, LLC)</div> <div>SP-2 SITE PLAN</div> <div>A-1 FIRST FLOOR DEMOLITION PLAN</div> <div>A-2 BASEMENT DEMOLITION PLAN</div> <div>A-3 EXISTING ROOF PLAN</div> <div>A-4 PROPOSED FLOOR PLAN</div> <div>A-5 EXISTING BUILDING ELEVATIONS</div> <div>A-6 EXISTING BUILDING ELEVATIONS</div> <div>A-7 LIFE SAFETY FLOOR PLANS*</div>	<div>DEVELOPER / OWNER:</div> <div>ALFRED J. NAULT</div> <div>1738 CHESHIRE BRIDGE, LLC</div> <div>1739 CHESHIRE BRIDGE RD. ATLANTA, GA 3024</div> <div>ARCHITECT</div> <div>ARCADE DESIGN CORPORATION</div> <div>JOSE F. JIMENEZ, RA</div> <div>3311 LINDENRIDGE DRIVE</div> <div>BUFORD, GA 30619</div> <div>TEL: 770-527-1429</div> <div>EMAIL: jfdjimenez@arcadesign.com</div> <div>STRUCTURAL ENGINEERING</div> <div>NOT REQUIRED</div> <div>MEP ENGINEERING</div> <div>NOT INCLUDED</div> <div>24 HR. CONTACT</div> <div>CONSTRUCTION MGR.</div> <div>MONIZE SIQUEIRA</div> <div>TEL: 404-683-5837</div> <div>Email: monizesqr@gmail.com</div>
SCOPE OF WORK		GENERAL NOTES		OFFICIAL USE
<div>- INTERIOR RENOVATION, REMOVAL OF EXISTING BAKERY EQUIPMENT</div> <div>- NEW INTERIOR PAINTING, PLUMBING FIXTURES</div> <div>- POWER AND LIGHTING RENOVATION</div> <div>- NEW HVAC DESIGNED BY THE GENERAL CONTRACTOR</div> <div>- NEW ROOFING</div> <div>- NEW PARKING RESURFACING</div>		<div>1. DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS, THEY ARE PROVIDED TO DESCRIBE THE SCOPE OF WORK, THE DETAILS AND THE MINIMUM SPECIFICATIONS FOR THE WORK DESCRIBED. THE CONTRACTORS SHALL INSPECT THE SITE AND TO GET ACQUAINTED WITH EXISTING CONDITIONS THAT MAY AFFECT THEIR TRADE.</div> <div>2. THE INTENT OF THE DOCUMENTS IS TO COMPLY WITH ALL CODES AND REGULATIONS. CONTRACTORS SHALL REPORT ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND EXISTING CONDITIONS FOUND TO THE ARCHITECT, THE OWNER OR THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK.</div> <div>3. CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITIES, EQUIPMENT TO REMAIN, STRUCTURAL COMPONENTS, PIPING, WIRING, ETC, BEFORE ANY CUTTING, DRILLING OR TRENCHING WORK.</div> <div>4. CONTRACTORS SHALL MAINTAIN ALL FIRE AND LIFE SAFETY SYSTEMS INTACT, THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL SAFETY PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION. A TEMPORARY FENCING AND STRUCTURES, WALLS OR BARRIERS AS NECESSARY TO MAINTAIN SAFETY, PATHS OF TRAVEL AND EXITING. EXTERIOR TEMPORARY FENCING SHALL SCREEN UNSIGHTED AREAS FROM PUBLIC ACCESS AND VIEW.</div> <div>5. CONTRACTORS SHALL MAINTAIN THE JOB SITE CLEAN AND IN ORDERLY FASHION THROUGHOUT CONSTRUCTION AND SHALL REMOVE ALL DEBRIS AND WASTE ON A DAILY BASIS.</div> <div>6. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED AND ALWAYS VERIFY EXISTING CONDITIONS. IF CONFLICT IS FOUND BETWEEN EXISTING CONDITIONS AND THE DOCUMENTS, THAT CAN AFFECT THE INTENT OF THE DESIGN, THE CONTRACTOR SHALL REPORT IT TO THE ARCHITECT OR THE GENERAL CONTRACTOR AT ONCE FOR CLARIFICATIONS AND DIRECTIVES.</div> <div>7. ELEVATIONS ARE SHOWN TO TOP OF FINISHED FLOOR OR TOP OF STEEL, EXCLUSIVE OF APPLIED FINISHES.</div> <div>8. ELECTRICAL PANELS, ALARM BOXES, FIRE EQUIPMENT CABINETS, AND RECESSED EQUIPMENT AND PANELS SHALL BE BACKED BY DRYWALL LAYERS SUFFICIENT TO PROTECT AND TO MAINTAIN FIRE RATINGS AS REQUIRED.</div> <div>9. ALL VERTICAL EXPOSED EXPOSED PIPING, WIRING OR DUCTS SHALL BE FURRED AND FINISHED TO MATCH ADJACENT WORK, EXCEPT ARE EXPOSED MECHANICAL, ELECTRICAL OR MECHANICAL EQUIPMENT INSIDE MECHANICAL OR ELECTRICAL ROOMS AND CLOSETS.</div> <div>10. CEILING AND ACCESS PANELS SHALL BE PROVIDED IN NON-ACCESSIBLE CEILINGS AND WALLS WHERE MECHANICAL, ELECTRICAL DEVICES ARE LOCATED TO INCLUDE VALVES, POWER OPERATED DAMPERS AND EQUIPMENT CONTROLS.</div> <div>11. THE GENERAL CONTRACTORS SHALL CONSULT AND NOTIFY LOCAL OFFICIALS OF ANY DEVIATIONS FROM THE APPROVED DOCUMENTS.</div> <div>12. ALL MATERIAL SELECTION SHALL BE DONE BY THE CONSTRUCTION/PROJECT MANAGER OR THE OWNER. ALL SHOP DRAWINGS AND SUBMITTALS SHALL BE DIRECTED TO THE CONSTRUCTION / PROJECT MANAGER.</div> <div>13. ALL INTERIOR FINISHES AND SYSTEMS SHALL BE APPROVED FOR INDOOR POOL AREAS.</div>		
RESTROOM CALCULATION				
NOT REQUIRED. NO BUSINESS TENANCY.				
EGRESS REQUIREMENTS				
NOT REQUIRED. NO BUSINESS TENANCY.				
CLEAN INDOOR ORDINACE				
NOT REQUIRED. NO BUSINESS TENANCY.				

STATE OF GEORGIA

JOSE F. JIMENEZ RA

Issue Date: 04 / 02 / 2024

CERTIFICATE NO. 8487

REGISTERED ARCHITECT

JOSE F. JIMENEZ, RA

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corporation

"WHITEBOX" BUILDING RENOVATION

ALFRED J NAULT

1783 CHESHIRE BRIDGE ROAD

ATLANTA, GEORGIA 30324

Project Description:

Revisions	Mark:	Description:	Date:						

Project Number:

AE-033124

Date:

April, 2, 2024

Project Architect:

Jose F. Jimenez, RA

Scale:

AS NOTED

Sheet Name:

PROJECT DATA

Sheet Number:

PD - 1

Released For:

CONSTRUCTION

TEMPORARY FACILITIES
SECTION 01500

1.0 TEMPORARY FACILITIES

- Office: Provide at all times during construction a temporary weather tight office space structure with temporary power and telephone service for contractors, principal subcontractors and Architect's representative.
- Toilet facilities: Provide temporary toilet facilities on-site for construction workers to comply with health standards and regulations.
- Material and Tool Storage: Provide adequate protective storage for materials and tools.

2.0 PROTECTIVE STRUCTURES

- Provide fence enclosure: a temporary fencing enclosure around area as necessary. Fence shall be 4' high minimum and shall be properly installed and maintained to protect public, workers and/or materials.
- Trees and existing structures protection: provide adequate protective fencing for existing trees or structures before beginning any work.
- All temporary structures and facilities shall be removed at the end of the project.

MATERIALS AND EQUIPMENT
SECTION 01600

1.0 GENERAL

- Refer to instructions for Bidders for requirements on substitutions and pre-approvals.
- Any substitution following contract execution shall be submitted for approval to the Architect only on extreme or unusual circumstances.
- The Contractor shall be responsible for coordination of all work related or affected by substitutions and shall pay any cost necessary for re-design or installation of said substitutions.

2.0 STORAGE AND HANDLING

- Contractor shall inspect all material upon delivery and shall be responsible for any damages and/or quantities.
- Contractor shall provide and coordinate proper storage and protection of materials and equipment.
- Contractor shall follow all codes, laws or Manufacturer's Instructions for handling, storage and installation of materials and equipment; shall also mark storage containers for proper identification of material, subcontractor, and any precautions information.
- Contractor shall maintain adequate Fire Extinguishers near by areas of storage or of fire or smoke combustion.

PAVING AND SURFACING
SECTION 02500

1.0 DESCRIPTION

- Provide all labor, materials, and services necessary to complete paving work as described on drawings.
- All work, materials and methods shall comply with the latest edition of the State of Georgia Department of Transportation.
- Areas to be paved shall be proof-rolled and tested by testing agency.
- All work shall be inspected and approved by Architect before painting and installation of signs.

2.0 PRODUCTS

- Regular parking and drive areas:
 - 4" thick compacted crushed stone base.
 - 2" Type "B" asphalt binder course.
 - 1" Type "F" topping.
- Bus lane and heavy traffic areas:
 - 6" thick compacted crushed stone base
 - 2" Type "B" asphalt binder course
 - 1" Type "F" topping
- Right of way paving:
 - 6" thick compacted crushed stone base.
 - 3 1/2" Type "B" asphalt binder course.
 - 1 1/2" thick type "F" topping.
- Prime coat shall be in accordance with DOT section 412 standards.

3.0 EXECUTION

- Grade and compact all areas to a 95% min. Density, proof-roll with fully loaded tandem dump truck or a 10 ton, min. power roller.
- Place and compact aggregate base to a min. 95% density test.
- Apply chemical weed control over compacted areas in compliance with manufacture's recommendations and dosage, and dry before application of prime coat.
- Provide prime coat before asphaltic concrete surfacing.
- Place and compact binder course to minimum specified thickness with a max. Variation of 3/8 inch from a true section.
- Apply topping with a mechanical spreader to the specified thickness with a max. Variation of 1/4" from a true section.
- Defective areas due to level, spills or marking shall be removed and replace with fresh hot mix compacted to match adjacent areas. No spreading will be acceptable.
- When asphalt paving is placed early during construction, topping course application shall be delayed until project is near to completion to avoid damage by heavy equipment.
- prime and tack coats shall not be placed when temperature is below 50°F (10°C) or when base is wet or contain high moisture.
- Establish and maintain grade control at all times to prevent water ponding.

4.0 EXISTING CONDITIONS

- Repair and patch all existing paving areas damaged or disturbed during construction.
- Provide new topping over existing pavement areas to match adjacent work and to provide smooth transition between paved areas.

5.0 TRAFFIC AND LANE MARKING

- Sweep and clean surface before painting.
- Used approved heavy duty traffic paint.
- Color:
 - Yellow at 2-way traffic lines
 - Blue at handicapped marking
 - White at all other areas.

CHAIN LINK FENCING
SECTION 02700

1.0 DESCRIPTION

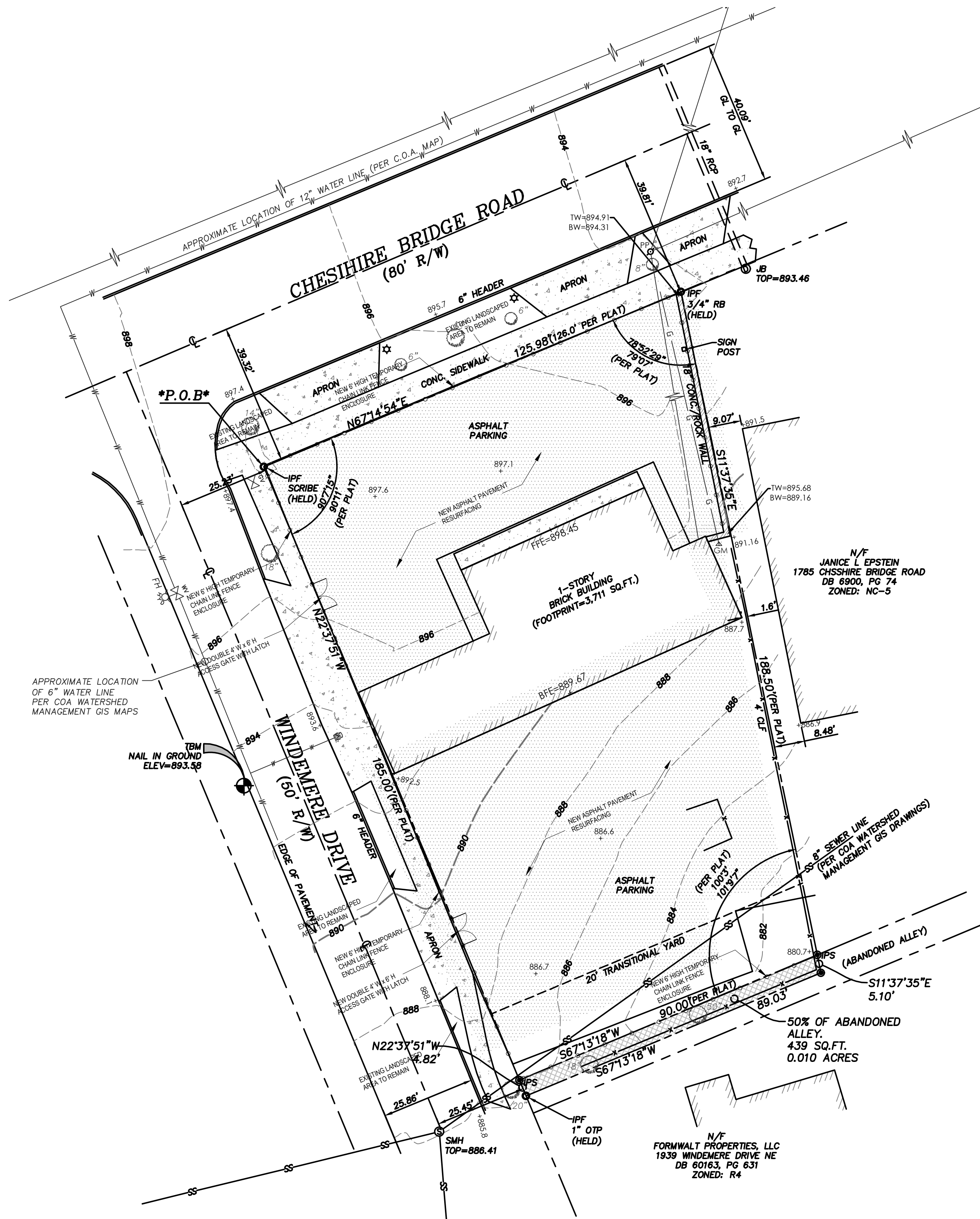
- Provide all labor, materials and services necessary to the installation of chain link fencing whether permanent or temporary according to the drawings and the General and Supplementary Conditions
- Submit manufacture's technical information and installation instructions for fencing and gates.
- All materials shall be galvanized standard to meet ASTM A-392-916.

2.0 PRODUCTS

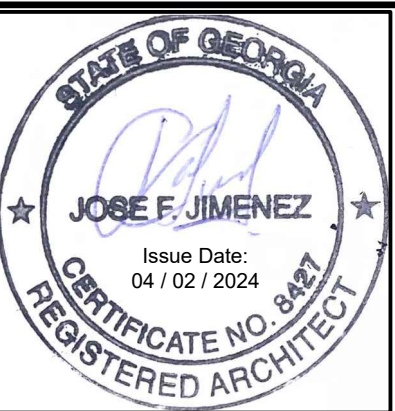
- 4' high galvanized chin link fence 9 min. wire with barbs turned down top and bottom for safety.
- Mesh shall be 2" diamond shape. Furnish one piece fabrics width.
- Terminal posts shall be hot galvanized 3" diameter min. and line posts shall be 2 3/8" diameter min. Cap all posts.
- Top rail shall be 1 5/8" hot dipped galvanized.
- Gates shall be 1 5/8" hot sipped galvanized and shall have positive latching device with padlock position.

3.0 EXECUTION

- Do not installed fence until grading is completed unless otherwise permitted or authorized.
- Locate, align, plumb and secure posts in 10" diameter concrete footing 24" deep min. space at 10' O.C. max.
- Provide 2" min. between finish grade and bottom of selvage. Pull fabric laut and tie posts, rails and tension wires.
- Install, plumb and level gates for smooth opening and latching.



1 EXISTING SITE PLAN
SP-2 SCALE: 1" = 32'



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"WHITEBOX" BUILDING RENOVATION
ALFRED J NAULT
1783 CHESHIRE BRIDGE ROAD
ATLANTA, GEORGIA 30324

Project Description:

Revisions	Mark:	Description:	Date:

Project Number: AE-033124

Date: April, 2, 2024

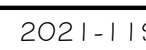
Project Architect: Jose F. Jimenez, RA

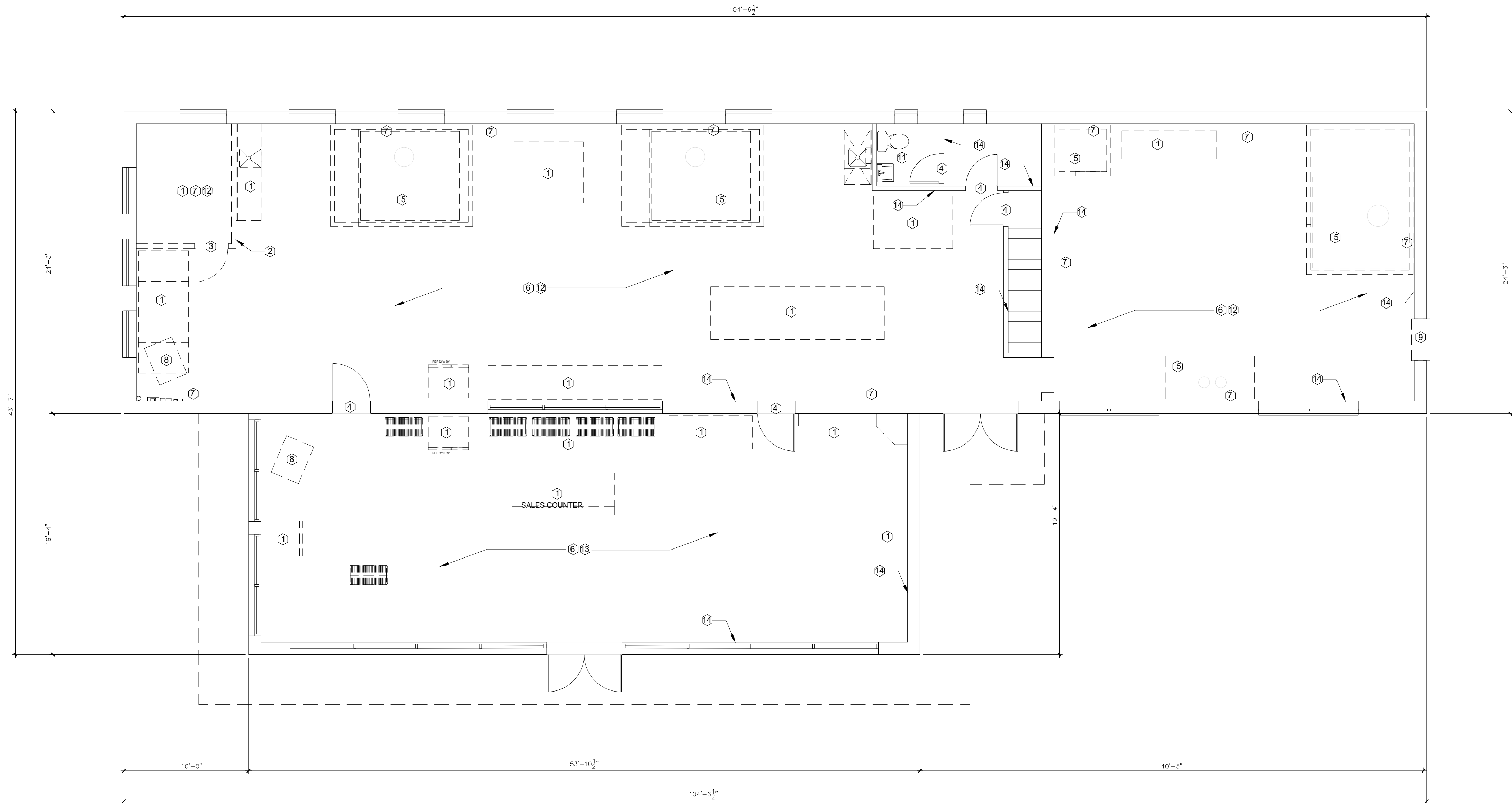
Scale: AS NOTED

Sheet Name: SITE PLAN

Sheet Number: SP - 2

Released For: CONSTRUCTION



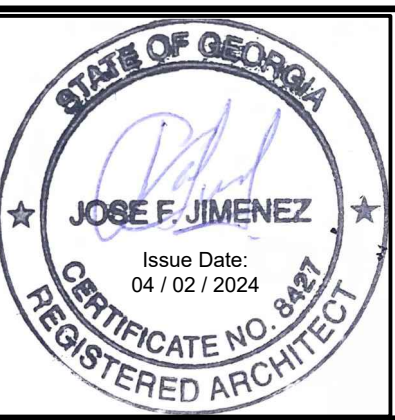



1
A-1
EXISTING FIRST FLOOR DEMOLITION PLAN
SCALE: 3/16" = 1'-0"

DEMOLITION NOTES	
1.	THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS. IT IS INTENDED TO EXPRESS THE INTENTION AND THE SCOPE OF WORK. THESE DOCUMENTS ARE TO BE CONSIDERATE AS A PERMIT ONLY AND NOT AS A COMPLETE CONTRACT DOCUMENTS. THE OWNER IS RESPONSIBLE FOR THE INSPECTION AND THE COORDINATION OF THE WORK, MATERIAL SELECTION, SPECIFICATIONS
2.	THE BUILDING WAS ERECTED ON 1970. AN ENVIRONMENTAL ASSESSMENT FOR THE PRESENCE OF LEAD BASE PAINT AND ASBESTOS IS RECOMMENDED, HOWEVER IT IS NOT CONSIDERED AS PART OF THE SCOPE OF WORK.
3.	REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE DRAWINGS
4.	WHERE CONTRACTOR IS INSTRUCTED TO REMOVE EXISTING MATERIALS, EQUIPMENT OR FIXTURES, VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL REMAIN THE PROPERTY OF THE OWNER, UNLESS AGREED OTHERWISE
5.	REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL
6.	CONTACT THE OWNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT
7.	PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS
8.	PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER
9.	PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION
10.	WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING CONDITIONS WHENEVER POSSIBLE.

MAINTENANCE AND CLEANING	
1.	USE ONLY RECOMMENDED AND APPROVED MATERIALS FOR THE SURFACES TO BE CLEANED
2.	PREVENT ANY CONDITIONS THAT MAY LEAD TO A HAZARDOUS CONDITIONS.
3.	HEAVY EQUIPMENT MUST BE DISMANTLED TO FACILITATE REMOVAL AND TO MINIMIZE DAMAGE TO THE EXISTING BUILDING STRUCTURE.
4.	DISPOSE WASTE AND DEBRIS IN DESIGNATED DUMPING AREAS
5.	DO NOT BURN ON SITE OR DISPOSE IN SANITARY OR STORM DRAINS.
6.	DURING CONSTRUCTION THE SITE, AND BUILDERS SHALL MAINTAIN TO PREVENT ACCUMULATE OF WASTE AND TO PROVIDE ADEQUATE WORK SPACE AND ENVIRONMENT FOR ALL TRADES.
7.	MAINTENANCE AND CLEANING INCLUDES ALL AREAS AND BUILDING COMPONENTS, SUCH AS, BUT NOT LIMITED TO FLOORS, WALLS, ROOMS, WINDOWS, EQUIPMENT, FILTERS, DUCTS, SITE, DRIVEWAYS, ETC.
8.	CLEANING SHALL BE PART OF FINAL INSPECTION ITEMS. THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT, TEMPORARY BUILDING AND STRUCTURES, UNUSED MATERIALS AND DEBRIS WITHOUT DELAY AND LEAVE PREMISES IN OPTIMAL CONDITION.

DEMOLITION / CONSTRUCTION NOTES	
1	EXISTING BAKERY EQUIPMENT AND FURNISHINGS TO BE REMOVED
2	NON-BEARING PARTITION WALL TO BE REMOVED
3	DOOR AND DOOR FRAME TO BE REMOVED
4	EXISTING INTERIOR DOOR AND FRAME TO BE REPAIRED OR REPLACED
5	EXISTING HEAVY BAKERY EQUIPMENT TO BE REMOVED. REMOVE VENTS, WIRING, GAS OR PLUMBING ATTACHED.
6	REMOVE ALL SUSPENDED CEILING TILES, FRAMING AND LIGHT FIXTURES
7	EXISTING LIGHT FIXTURES, POWER OUTLETS AND WIRING TO BE REMOVED.
8	EXISTING CEILING MOUNT HEATER TO BE REMOVED. DELETE GAS AND POWER CONNECTIONS.
9	EXISTING THROUGH-WALL VENT TO BE REMOVED. FILL EXISTING WALL OPENING TO MATCH EXISTING BRICK AND INTERIOR WALL FRAMING.
10	EXISTING ELECTRICAL PANEL TO BE INSPECTED BY THE ELECTRICAL CONTRACTOR. REPLACE IF NECESSARY.
11	REPLACE EXISTING TOILET FIXTURES. PLUMBING CONTRACTOR TO INSPECT AND REPLACE DAMAGED OR DEFECTIVE PLUMBING PIPING.
12	EXISTING WOOD FLOOR TO BE REPAIRED PATCHED AND REFINISHED.
13	EXISTING VINYL FLOORS TO BE REMOVED. REPLACED ALL DAMAGED WOOD DECKING.
14	ALL INTERIOR AND EXTERIOR WALLS TO REMAIN SHALL BE REPAIRED, PATCHED AND PAINTED.





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Project Description:

Revisions	Mark:	Description:	Date:

Project Number: AE-033124

Date: April, 2, 2024

Project Architect: Jose F. Jimenez, RA

Scale: AS NOTED

Sheet Name: FIRST FLOOR DEMOLITION PLAN

Sheet Number: A - 1

Released For: CONSTRUCTION



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[illegible]

Released For: CONSTRUCTION



3. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS. IT IS INTENDED TO EXPRESS THE INTENTION AND THE SCOPE OF THE WORK. THE CONTRACTOR SHALL BE CONSIDERED AS A PARTY BOUND BY AND AS A COMPLETE CONTRACT DOCUMENTS, THE OWNER IS RESPONSIBLE FOR THE INSPECTION AND THE COORDINATION OF THE WORK, MATERIAL, SELECTION, SEQUENCE AND SCHEDULING.
4. THE BUILDING WAS ERRECTED ON 1970. AN ENVIRONMENTAL ASSESSMENT FOR THE PRESENCE OF LEAD BASE PAINT AND ASBESTOS IS RECOMMENDED; HOWEVER IT IS NOT CONSIDERED AS PART OF THE SCOPE OF WORK
5. REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO: EXISTING SHIMS, SHOCK BOLTS, ANCHORS, BRACKETS, BOLTS, DISCONNECTS AND ALTERATIONS TO EXISTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TO REMAIN IN ACCORDANCE WITH THE DRAWINGS.
6. WHERE CONTRACTOR IS INSTRUCTED TO REMOVE EXISTING MATERIALS, EQUIPMENT OR FIXTURES, VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS AGREED OTHERWISE.
7. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS (IE. BEARING WALLS, BEAMS, JOISTS, SUPPORTING FLOOR, ROOF OR CEILING JOISTS) ARE DESIGNATED FOR REMOVAL.
8. CONTACT THE OWNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT
9. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM COVERS, BASE, PANELS, RAELS AND TRIMMINGS. VERIFY THE COLOR OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, SHEEN, ETC., ETC., TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS.
10. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED TO BE APPROVED BY OWNER.
11. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED EDGES OF NEW SHEET SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SAND/SEAL AND PAINT IN PAINTY REDD CONDITION.
12. WHERE APPLICABLE LEAD ALL EXISTING FLOORS TO BE REMOVED TO REVEIVE NEW FLOOR FINISHES. INSTAL REPAIR TRANSITION PIECES BETWEEN VARIOUS FLOOR TYPES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCEPTABLE TO THE OWNER. MATERIALS AND METHODS TO BE USED SHALL BE ACCEPTABLE TO THE OWNER. MATERIALS AND METHODS TO BE USED SHALL BE ACCEPTABLE TO THE OWNER. MATERIALS AND METHODS TO BE USED SHALL BE ACCEPTABLE TO THE OWNER.

1. USE ONLY RECOMMENDED AND APPROVED MATERIALS FOR THE SURFACES TO BE CLEANED
2. PREVENT ANY CONDITIONS THAT MAY LEAD TO A HAZARDOUS CONDITIONS.
3. HEAVY EQUIPMENT MUST BE DISMANTLED TO FACILITATE REMOVAL AND TO MINIMIZE DAMAGE TO THE EXISTING BUILDING STRUCTURE.
4. DISPOSE WASTE AND DEBRIS IN DESIGNATED DUMPING AREAS.
5. DO NOT TURN ON SITE OR DISPOSE IN SANITARY OR STORM DRAINS.
6. DURING CONSTRUCTION THE SITE, AND BUILDERS SHALL MAINTAIN TO PREVENT ACCUMULATE OF WASTE AND TO PROVIDE ADEQUATE WORK SPACE AND ENVIRONMENT FOR ALL TRADES.
7. MAINTENANCE AND CLEANING INCLUDES ALL AREAS AND BUILDING COMPONENTS, SUCH AS, BUT NOT LIMITED TO, FLOORS, WALLS, ROOMS, WINDOWS, EQUIPMENT, FILTERS, DUCTS, SITE, DRIVEWAYS, ETC.
8. CLEANING SHALL BE PART OF FINAL INSPECTION BEFORE THE CONTRACTOR SHALL BE ALLOWED TO OCCUPY TEMPORARY BUILDING AND STRUCTURES. UNWASTED MATERIALS AND DEBRIS WITHOUT DELAY AND LEAVE PREMISES IN OPTIMAL CONDITION.

- 1 EXISTING BAKERY EQUIPMENT AND FURNISHINGS TO BE REMOVED
- 2 NON-BEARING PARTITION WALL TO BE REMOVED
- 3 DOOR AND DOOR FRAME TO BE REMOVED
- 4 EXISTING INTERIOR DOOR AND FRAME TO BE REPAIRED OR REPLACED
- 5 EXISTING HEAVY BAKERY EQUIPMENT TO BE REMOVED. REMOVE VENTS, WRING, GAS OR PLUMBING ATTACHED.
- 6 REMOVE ALL SUSPENDED CEILING TILES, FRAMING AND LIGHT FIXTURES
- 7 EXISTING LIGHT FIXTURES, POWER OUTLETS AND WIRING TO BE REMOVED.
- 8 EXISTING CEILING MOUNT HEATER TO BE REMOVED. DELETE GAS AND POWER CONNECTIONS.
- 9 EXISTING THOUGH WALL VENT TO BE REMOVED. FILL EXISTING WALL OPENING TO MATCH EXISTING BRICK AND INTERIOR WALL FINISHING.
- 10 EXISTING ELECTRICAL PANEL TO BE INSPECTED BY THE ELECTRICAL CONTRACTOR. REPLACEMENT IF NECESSARY.
- 11 REPLACE EXISTING TOILET FIXTURES. PLUMBING CONTRACTOR TO INSPECT AND REPLACE DAMAGED OR DEFECTIVE PLUMBING PIPING.
- 12 EXISTING WOOD FLOOR TO BE REPAIRED PATCHED AND REFINISHED.
- 13 EXISTING WYI, FLOORS TO BE REMOVED. REPLACED ALL DAMAGED WOOD DECKING
- 14 ALL INTERIOR AND EXTERIOR WALLS TO REMAIN SHALL BE REPAIRED, PATCHED AND PAINTED.

1.0 GENERAL

- ## 2.0 PRODUCTS

- ### **3.0 EXECUTION**

Preparation shall include but not limited to the following

- #### 4.0 EXECUTION

- #### 4.0 APPLICATION RATES

- ## **5.0 RESTRICTIONS / LIMITATIONS**

This system is to be used only in conjunction with commonly accepted roofing standards but not limited to the following:

- ## 1.0 GENERAL

- ## 2.0 PRODUCTS

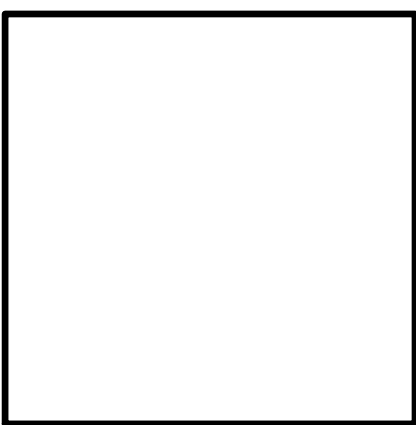
- ### **3.0 EXECUTION**

- ## 1.0 GENERAL

- ## 2.0 MATERIALS

- ### **3.0 EXECUTION**

- | | |
|--------------------|---------------------|
| Project Number: | AE-033124 |
| Date: | April, 2, 2024 |
| Project Architect: | Jose F. Jimenez. RA |
| Scale: | AS NOTED |
| Sheet Name: | ROOF PLAN |
| Sheet Number: | A - 3 |
| Released For: | CONSTRUCTION |





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"WHITEBOX" BUILDING RENOVATION

ALFRED J NAULT

1783 CHESHIRE BRIDGE ROAD
ATLANTA, GEORGIA 30324

Revisions	Mark	Description	Date

Project Number: AE-033124

Date: April, 2, 2024

Project Architect: Jose F. Jimenez, RA

Scale: AS NOTED

Sheet Name: PROPOSED FLOOR PLAN

Sheet Number: A - 4

Released For: CONSTRUCTION

1
A-1
EXISTING FIRST FLOOR DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

GENERAL ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND EVALUATE THE EXISTING CONDITIONS IN ORDER TO PROVIDE A NEW ELECTRICAL WIRING, POWER OUTLETS AND LIGHTING FIXTURES TO COMPLY WITH THE MINIMUM CODE REQUIREMENTS FOR A "WHITEBOX" BUILDING SHELL.

2. ALL THE ELECTRICAL WORK SHALL BE PERFORM IN ACCORDANCE TO THE LATEST NATIONAL ELECTRIC CODE, AMENDMENTS AND LOCAL CODES OR ORDINANCES HAVING JURISDICTION

3. ALL ELECTRICAL MATERIALS SHALL BE NEW, IN ACCORDANCE TO THE NATIONAL ELECTRICAL CODE AND SHALL BEAR THE UL LABEL

4. ALL WIRING AND/OR CONDUIT SHALL BE LOCATED ABOVE THE LOWER CORD OF THE TRUSS SYSTEM AND SHALL BE EITHER PERPENDICULAR OR PARALLEL TO THE FRAMING SYSTEM, AND BE ORGANIZED AND INSTALLED IN A NEAT WORKMANLIKE MANNER

5. WIRE AND CABLE SHALL BE INSULATED SOLID COPPER WIRE WITH FIRE RESISTANT OUTER COVERING, TYPE THN, THHN OR THWN. WIRE AND CABLE SHALL BE PROPERLY CODED WITH THE NEUTRAL PER NEC.

6. THE ELECTRICAL CONTRACTOR SHALL EVALUATE THE EXISTING POWER PANELS TO DETERMINING THE NEED TO UPGRADE OR REPLACE AND SHALL PROVIDE ALL WIRING, RECEPTACLES AND ELECTRICAL EQUIPMENT

7. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROPERLY BALANCE ALL BRANCH CIRCUITS BETWEEN THE PHASES OF THE SYSTEM REGARDLESS OF CIRCUITING INDICATED ON THE DRAWINGS AND SHALL INSTALL WIRING IN PANELS, ETC. IN A NEAT AND WORKMANLIKE MANNER

8. IF REQUIRED BY THE BUILDING INSPECTION DEPARTMENT, WHEN NEW SERVICE POWER LINE IS REQUIRED OR WHEN A NEW OR EXISTING ELECTRICAL PANELS ARE CONSIDERATE TO BE REPLACED, THE ELECTRICAL CONTRACTOR SHALL PROVIDE AN ELECTRICAL DRAWING SEALED BY A LICENSED PROFESSIONAL ENGINEER

9. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND THE VERIFICATION OF FIELD CONDITIONS. IF FIELD CONDITIONS DIFFER FROM THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE DESIGNATED GENERAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK

10. ALL HVAC WIRING AND CONTROLS BY THE HVAC CONTRACTOR

11. UNLESS INDICATED OR DIRECTED OTHERWISE ALL WIRING DEVICES SHALL BE LOCATED AS FOLLOWS:

- WALL SWITCHES: 48" AFF
- DUPLEX RECEPTACLES: 18" AFF TO CENTERLINE

13. ALL EMPTY CONDUIT IN WHICH WIRING WILL BE INSTALLED BY OTHERS SHALL HAVE PULL WIRE AND BE TAGGED TO IDENTIFY THE USE

14. RIGID CONDUIT IF USED, SHALL BE HOT DIPPED GALVANIZED

MECHANICAL NOTES

1. THE MECHANICAL CONTRACTOR SHALL VISIT THE SITE AND EVALUATE THE EXISTING CONDITIONS IN ORDER TO PROVIDE A NEW VENTILATION SYSTEM TO COMPLY WITH THE MINIMUM CODE REQUIREMENTS FOR A "WHITEBOX" BUILDING SHELL.

2. THE CONTRACTOR SHALL VISIT THE SITE AND REQUEST A PRE-CONSTRUCTION MEETING WITH THE PROJECT MANAGER, THE OWNER AND / OR THE G.C. AND SHALL VERIFY THE SCOPE OF WORK, LOCATION, SIZE, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION

3. FLEXIBLE DUCTWORK SHALL BE SAME SIZE AS DIFFUSER NECKS. FLEXIBLE DUCTWORK SHALL BE INSTALLED AS STRAIGHT AS POSSIBLE AND SHALL BE ROUTED AND SUPPORTED WITHOUT FORMING CRIMPS OR OTHER AIR FLOW RESTRICTIONS

4. ALL MECHANICAL EQUIPMENT, SYSTEMS AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE MECHANICAL CODE 2012, THE INTERNATIONAL BUILDING CODE, THE STATE ENERGY CODE, NFPA 90A, AND 2014 AND 2015 GA STATE AMENDMENTS.

5. ALL REQUIRED CONTROL WIRING NOT SHOWN ON THE DRAWINGS SHALL BE INCLUDED AS PART OF THE MECHANICAL WORK.

6. ALL NEW MECHANICAL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

7. ALL MECHANICAL WORK AND NEW EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY OWNER.

8. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL MECHANICAL EQUIPMENT, DUCTWORK, ETC. TO FIT WITHIN THE SPACE ALLOWED BY THE ARCHITECTURAL AND STRUCTURAL CONDITIONS. CUTTING OR OTHERWISE ALTERING ANY STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

9. RESTROOM DOORS SHALL BE UNDERCUT 3/4" OR PROVIDED WITH A LOUVER TO ALLOW EXHAUST VENTILATION.

DEMOLITION NOTES

1. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS. IT IS INTENDED TO EXPRESS THE INTENTION AND THE SCOPE OF WORK. THESE DOCUMENTS ARE TO BE CONSIDERATE AS A PERMIT ONLY AND NOT AS A COMPLETE CONTRACT DOCUMENTS. THE OWNER IS RESPONSIBLE FOR THE INSPECTION AND THE COORDINATION OF THE WORK, MATERIAL SELECTION, SPECIFICATIONS

2. THE BUILDING WAS ERRECTED ON 1970. AN ENVIRONMENTAL ASSESSMENT FOR THE PRESENCE OF LEAD BASE PAINT AND ASBESTOS IS RECOMMENDED, HOWEVER IT IS NOT CONSIDERED AS PART OF THE SCOPE OF WORK

3. REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE DRAWINGS

4. WHERE CONTRACTOR IS INSTRUCTED TO REMOVE EXISTING MATERIALS, EQUIPMENT OR FIXTURES, VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL REMAIN THE PROPERTY OF THE OWNER, UNLESS AGREED OTHERWISE

5. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL

6. CONTACT THE OWNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT

7. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS

8. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER

9. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION

10. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING CONDITIONS WHENEVER POSSIBLE.

MAINTENANCE AND CLEANING

1. USE ONLY RECOMMENDED AND APPROVED MATERIALS FOR THE SURFACES TO BE CLEANED

2. PREVENT ANY CONDITIONS THAT MAY LEAD TO A HAZARDOUS CONDITIONS.

3. HEAVY EQUIPMENT MUST BE DISMANTLED TO FACILITATE REMOVAL AND TO MINIMIZE DAMAGE TO THE EXISTING BUILDING STRUCTURE.

4. DISPOSE WASTE AND DEBRIS IN DESIGNATED DUMPING AREAS

5. DO NOT BURN ON SITE OR DISPOSE IN SANITARY OR STORM DRAINS.

6. DURING CONSTRUCTION THE SITE, AND BUILDERS SHALL MAINTAIN TO PREVENT ACCUMULATE OF WASTE AND TO PROVIDE ADEQUATE WORK SPACE AND ENVIRONMENT FOR ALL TRADES.

7. MAINTENANCE AND CLEANING INCLUDES ALL AREAS AND BUILDING COMPONENTS, SUCH AS, BUT NOT LIMITED TO FLOORS, WALLS, ROOMS, WINDOWS, EQUIPMENT, FILTERS, DUCTS, SITE, DRIVEWAYS, ETC.

8. CLEANING SHALL BE PART OF FINAL INSPECTION ITEMS. THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT, TEMPORARY BUILDING AND STRUCTURES, UNUSED MATERIALS AND DEBRIS WITHOUT DELAY AND LEAVE PREMISES IN OPTIMAL CONDITION.

DEMOLITION / CONSTRUCTION NOTES

1. EXISTING BAKERY EQUIPMENT AND FURNISHINGS TO BE REMOVED

2. NON-BEARING PARTITION WALL TO BE REMOVED

3. DOOR AND DOOR FRAME TO BE REMOVED

4. EXISTING INTERIOR DOOR AND FRAME TO BE REPAIRED OR REPLACED

5. EXISTING HEAVY BAKERY EQUIPMENT TO BE REMOVED. REMOVE VENTS, WIRING, GAS OR PLUMBING ATTACHED

6. REMOVE ALL SUSPENDED CEILING TILES, FRAMING AND LIGHT FIXTURES

7. EXISTING LIGHT FIXTURES, POWER OUTLETS AND WIRING TO BE REMOVED.

8. EXISTING CEILING MOUNT HEATER TO BE REMOVED. DELETE GAS AND POWER CONNECTIONS.

9. EXISTING TROUGH-WALL VENT TO BE REMOVED. FILL EXISTING WALL OPENING TO MATCH EXISTING BRICK AND INTERIOR WALL FRAMING.

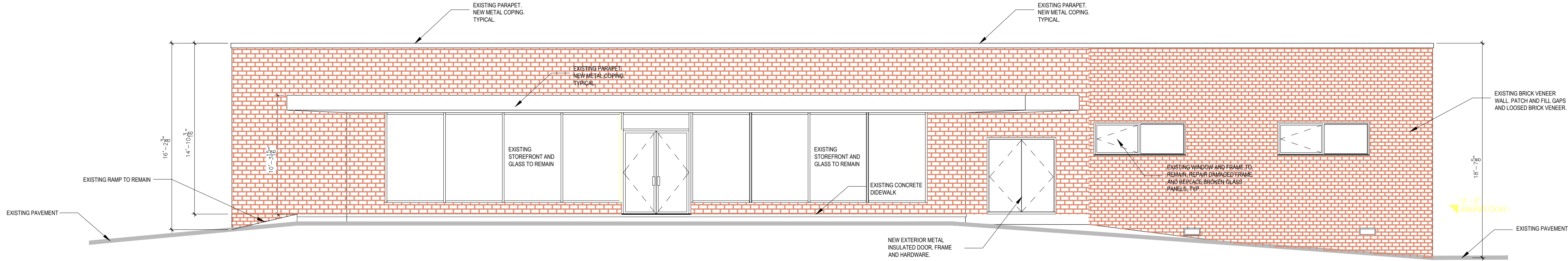
10. EXISTING ELECTRICAL PANEL TO BE INSPECTED BY THE ELECTRICAL CONTRACTOR. REPLACE IF NECESSARY.

11. REPLACE EXISTING TOILET FIXTURES. PLUMBING CONTRACTOR TO INSPECT AND REPLACE DAMAGED OR DEFECTIVE PLUMBING PIPING.

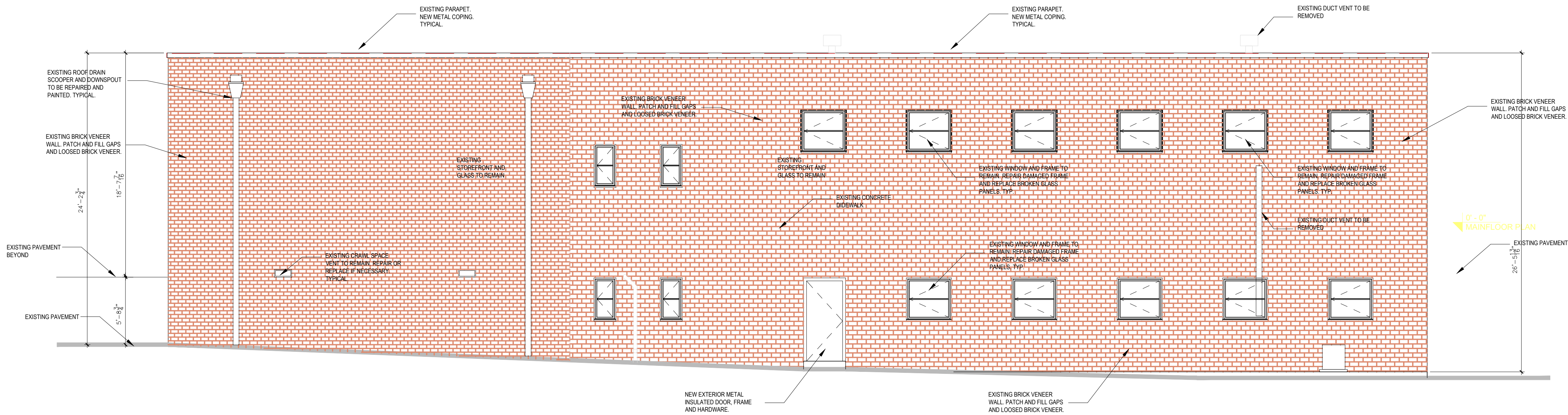
12. EXISTING WOOD FLOOR TO BE REPAIRED PATCHED AND REFINISHED.

13. EXISTING VINYL FLOORS TO BE REMOVED. REPLACED ALL DAMAGED WOOD DECKING

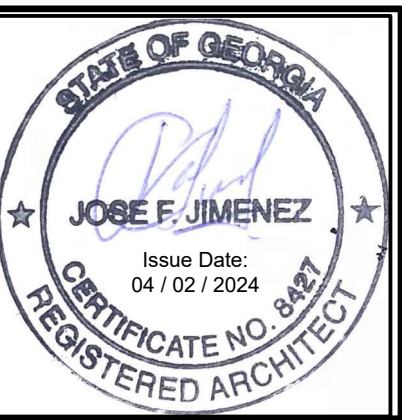
14. ALL INTERIOR AND EXTERIOR WALLS TO REMAIN SHALL BE REPAIRED, PATCHED AND PAINTED.



1
A-5
EXISTING FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2
A-5
EXISTING REAR SIDE ELEVATION
SCALE: 3/16" = 1'-0"



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Project Description:

Revisions	Mark	Description	Date

Project Number: AE-033124

Date: April, 2, 2024

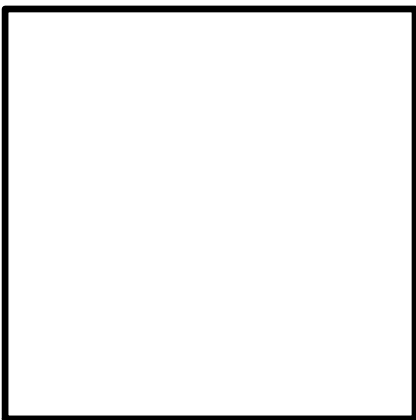
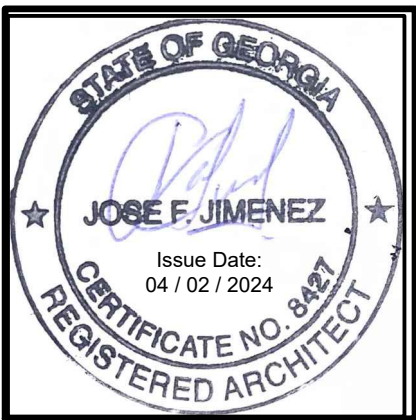
Project Architect: Jose F. Jimenez, RA

Scale: AS NOTED

Sheet Name: EXISTING BUILDING ELEVATIONS

Sheet Number: A - 5

Released For: CONSTRUCTION



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Revisions	
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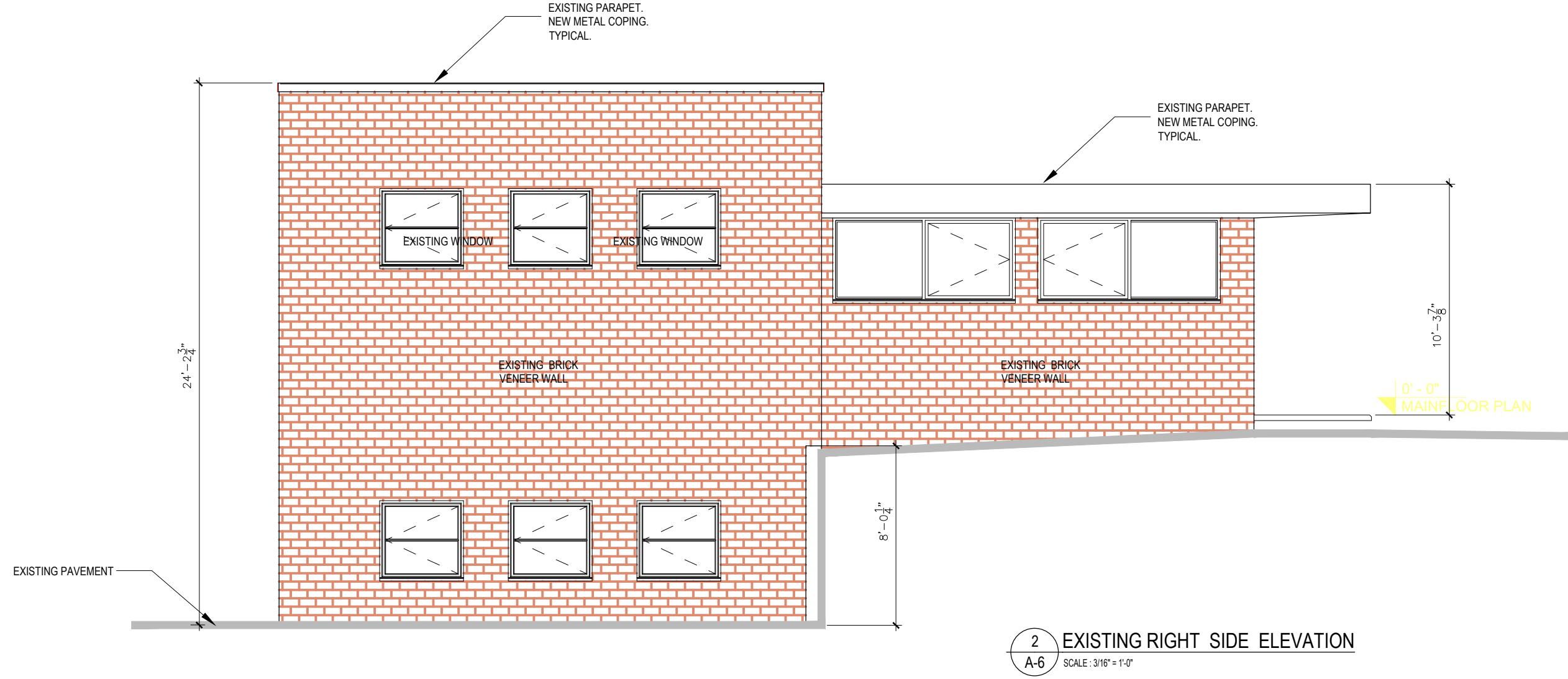
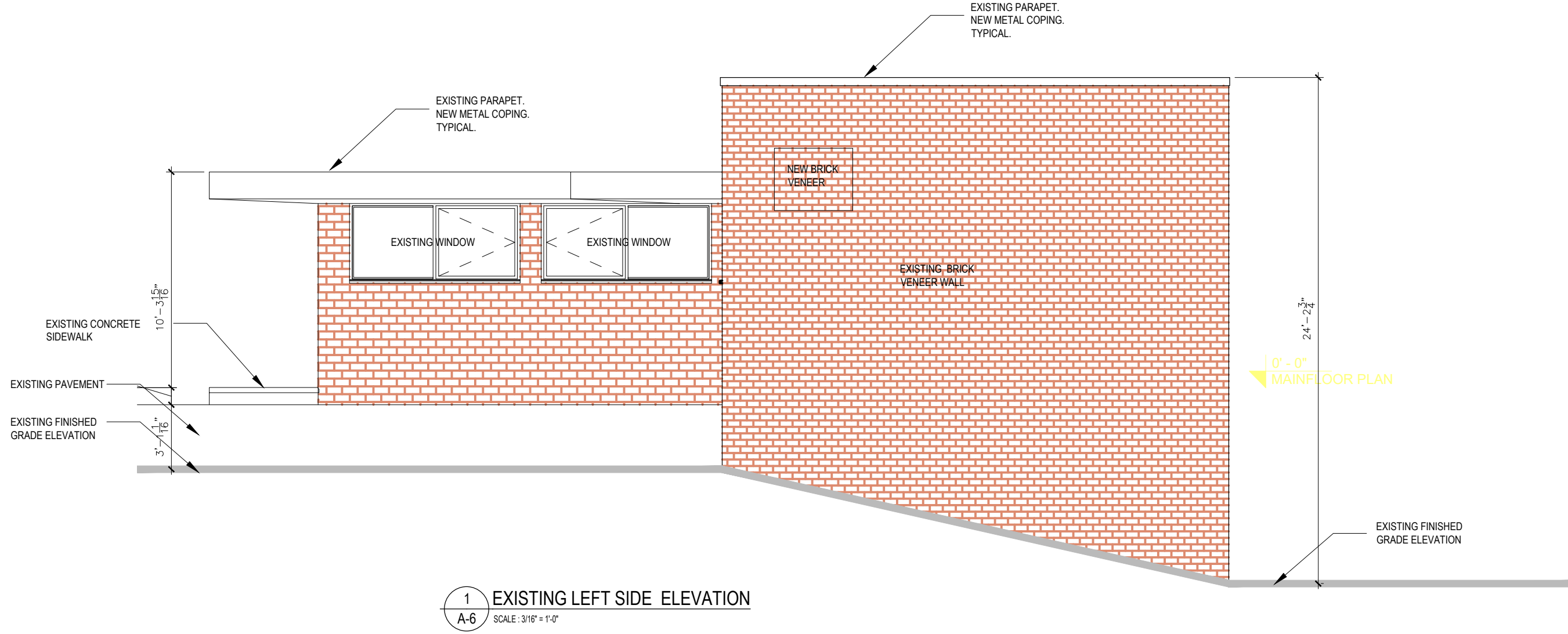
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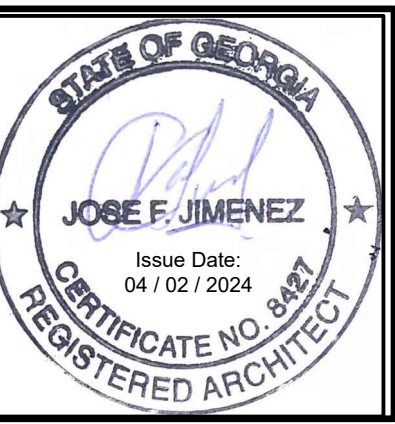
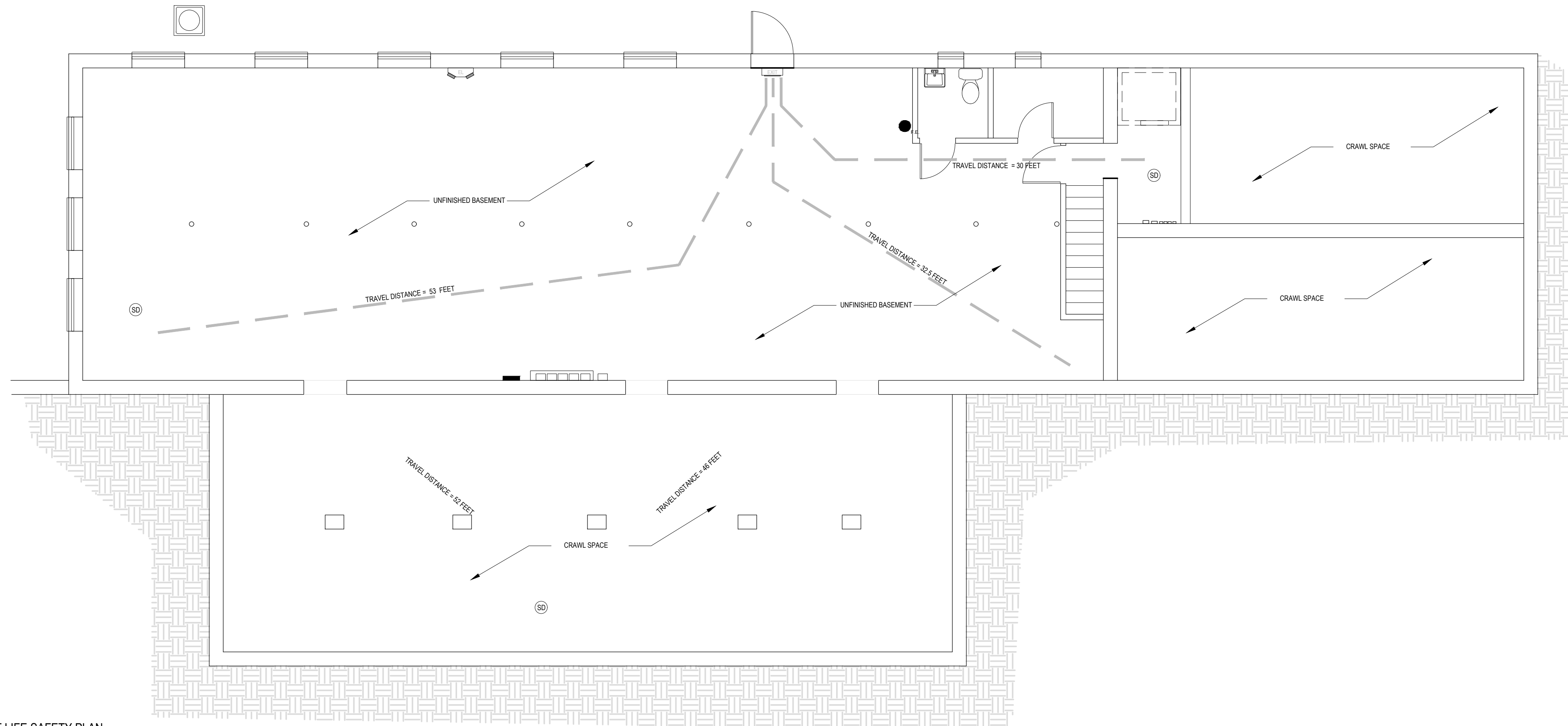
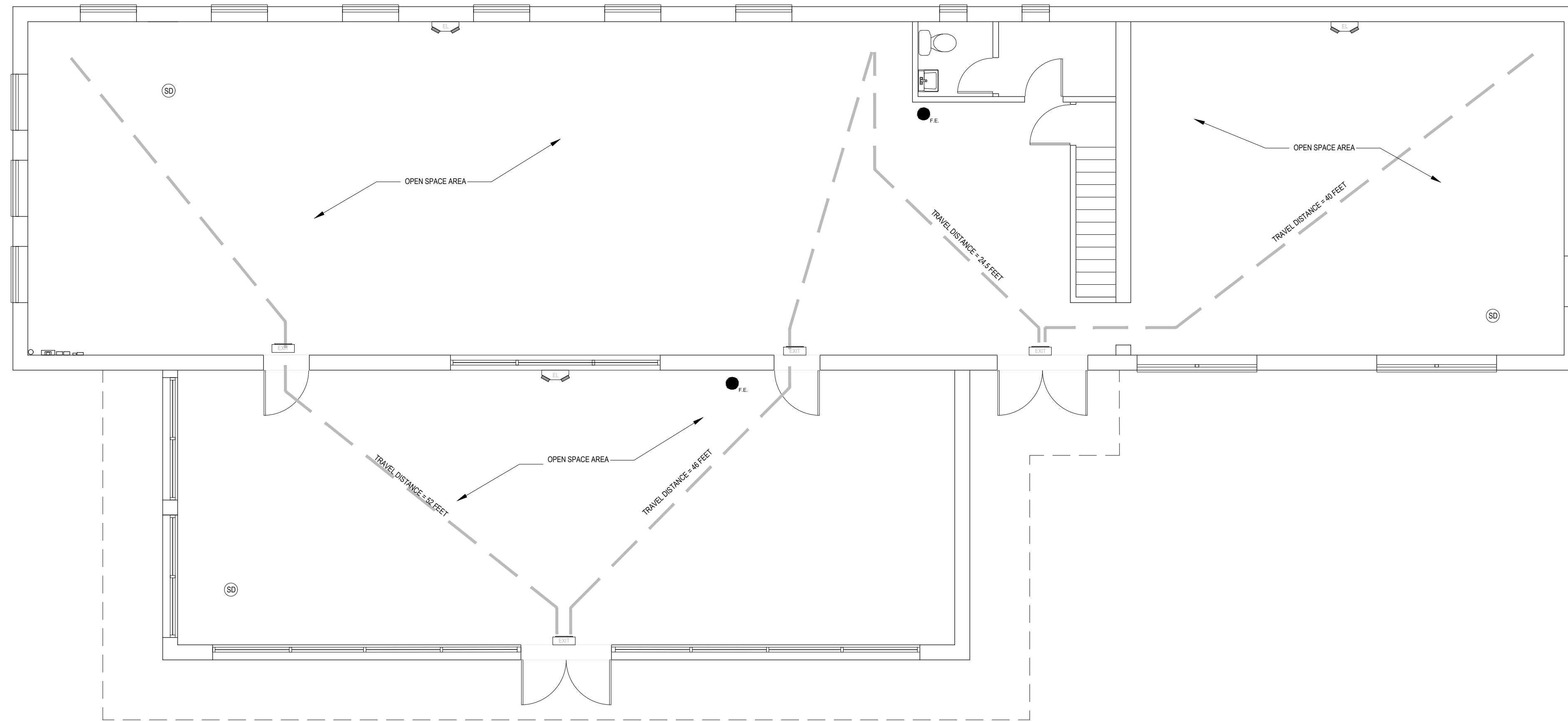
Sheet Name: EXISTING BUILDING ELEVATIONS

Sheet Number:

A - 6

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Project Number:	AE-033124
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Project Architect:	Jose F. Jimenez. RA
Scale:	AS NOTED

Sheet Name:	LIFE SAFETY PLANS
Sheet Number:	A - 7
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