

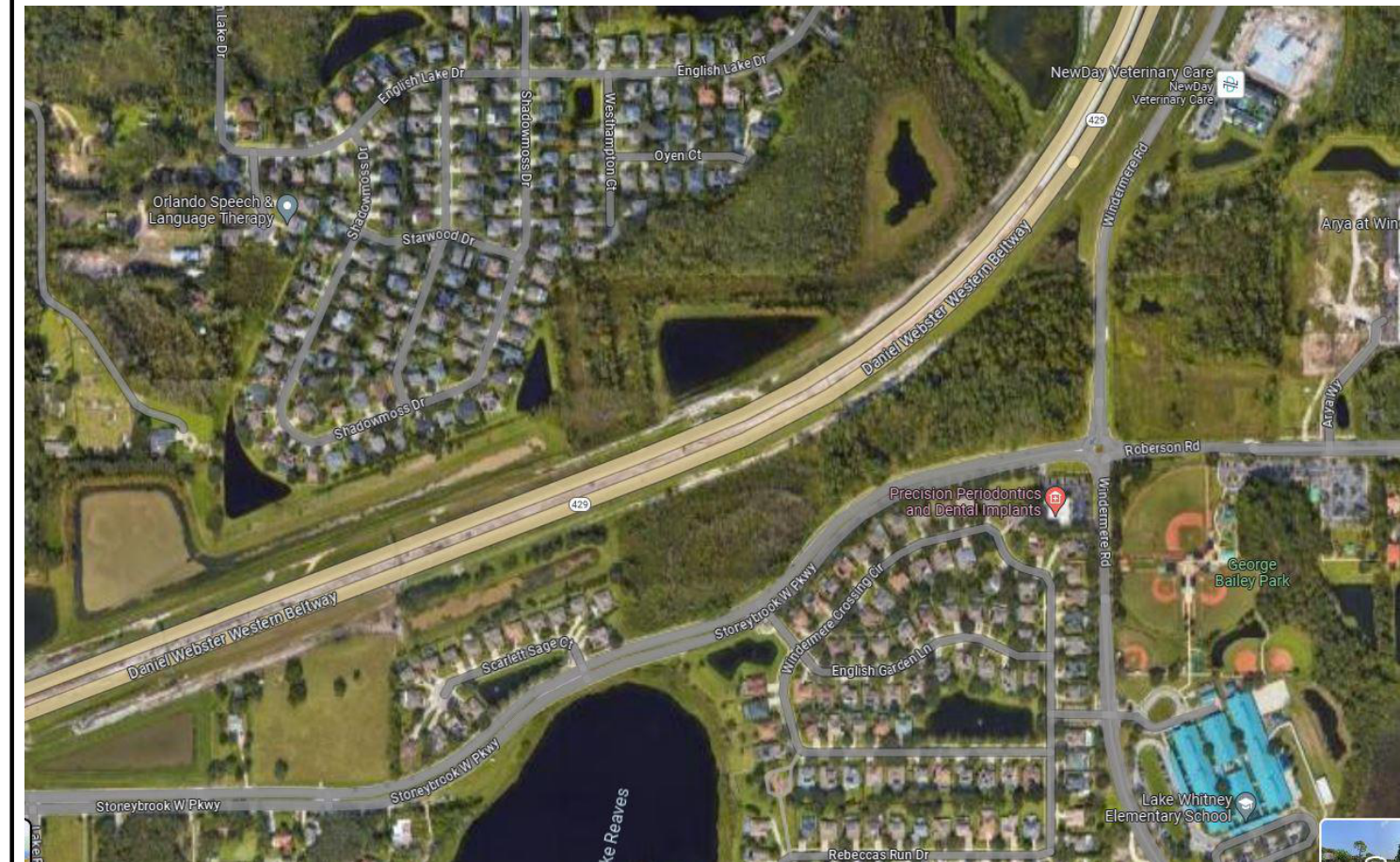
# STONEBROOK EXCHANGE

## SHELL BUILDING 12 WINTER GARDEN, FL



CONCEPTUAL BUILDING & SITE PERSPECTIVE RENDER BUILDING 12

### LOCATION MAP



### SITE ADDRESS:

TBD,  
WINTER GARDEN, FL 34787

PARCEL ID: 27-22-36-0000-00-085

ALTKEY: XXXXXX

### LEGAL DESCRIPTION:

WINTER GARDEN, LOST LAKE SUB 32-22-26 TRACT 7D--LESS BEG AT INTERSECTION OF E'LY R/W LINE OF US HWY 27 WITH N R/W LINE OF JOHN'S LAKE RD, RUN N 25-09-24 W 7.86 FT, N 16-24-07 W 505.89 FT, N 25-09-25 W 510.74 FT, N 64-49-42 E 863.24 FT TO POINT ON A NON-TANGENT CURVE CONCAVE TO THE N, HAVING A RADIUS OF 450 FT & A CHORD BEARING OF S 78-53-07 E, THENCE RUN SE'LY ALONG THE ARC OF SAID CURVE THRU A CENTRAL ANGLE OF 09-05-22 A DIST OF 71.39 FT TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE SW, HAVING A RADIUS OF 400 FT, THENCE RUN SE'LY ALONG THE ARC OF SAID CURVE THRU A CENTRAL ANGLE OF 43-13-43 A DIST OF 301.79 FT TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE NE, HAVING A RADIUS OF 500 FT, THENCE RUN SE'LY ALONG THE ARC OF SAID CURVE THRU A CENTRAL ANGLE OF 28-08-44 A DIST OF 245.62 FT, THENCE RUN S 68-20-48 E A DIST OF 222.87 FT, S 23-20-57 E 71.15 FT TO W'LY R/W LINE FO PROPOSED CITRUS TOWER BLVD, S 21-40-04 W 420.33 FT, N 68-19-56 W 15 FT, S 21-40-04 W 260.35 FT TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SE, HAVING A RADIUS OF 1565 FT, THENCE RUN SW'LY ALONG THE ARC OF SAID CURVE THRU A CENTRAL ANGLE OF 03-35-20 A DIST OF 98.03 FT TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE NW, HAVING A RADIUS OF 1320 FT, THENCE RUN SW'LY ALONG THE ARC OF SAID CURVE THRU A CENTRAL ANGLE OF 81-20-57 A DIST OF 35.50 FT TO N R/W LINE OF JOHN'S LAKE RD & A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE TO THE S, HAVING A RADIUS OF 1320 FT, THENCE RUN SW'LY ALONG SAID N R/W LINE ALONG THE ARC OF SAID CURVE THRU A CENTRAL ANGLE OF 34-35-06 A DIST OF 796.78 FT TO THE POINT OF TANGENCY, RUN S 64-50-35 W 84.55 FT TO POB--PB 50 PG 64-69

### GENERAL NOTE - DEFERRED SUBMITTALS:

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED PER FBC 107.3.4.1.

THE FOLLOWING STRUCTURAL COMPONENTS SHALL BE TREATED AS DEFERRED SUBMITTALS:

1. PRE-ENGINEERED WOOD TRUSSES

### DRAWINGS LIST

ARCHITECTURAL			
Sheet #	Sheet Name	Current Revision	Current Revision Date
A1.0	COVER SHEET		
A1.1	PROJECT DATA/SYMBOL LEGEND/NOTES		
A2.0	SITE PLAN		
A3.1	LIFE SAFETY PLAN		
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A7.1	ROOF PLAN		
A8.1	DOOR SCHEDULES, STOREFRONT ELEVATIONS & DETAILS		
STRUCTURAL			
Sheet #	Sheet Name	Current Revision	Current Revision Date
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S2.01	FOUNDATION PLAN		
S3.01	ROOF FRAMING PLAN		
S5.01	SECTIONS AND DETAILS		
S5.02	SECTIONS AND DETAILS		
MECHANICAL			
Sheet #	Sheet Name	Current Revision	Current Revision Date
M0.1	SYMBOLS & LEGENDS MECHANICAL		
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M3.1	ENERGY COMPLIANCE MECHANICAL		
M4.1	SPECIFICATIONS MECHANICAL		
ELECTRICAL			
Sheet #	Sheet Name	Current Revision	Current Revision Date
E0.1	SYMBOLS & LEGENDS - ELECTRICAL		
E2.1	FLOOR PLAN POWER & SYSTEMS		
E2.2	ROOF PLAN ELECTRICAL		
E3.1	FLOOR PLAN LIGHTING		
E4.1	POWER RISER DIAGRAM ELECTRICAL		
E5.1	SCHEDULES ELECTRICAL		
E6.1	DETAILS ELECTRICAL		
PLUMBING			
Sheet #	Sheet Name	Current Revision	Current Revision Date
P0.1	SYMBOLS & LEGENDS PLUMBING		
P2.1	FLOOR PLAN PLUMBING		
P2.2	ROOF PLAN PLUMBING		
P3.1	RISER DIAGRAM PLUMBING		
P4.1	SCHEDULES & DETAILS PLUMBING		



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OWNER LOGO:  
**24-0437 SHELL 12 R1**



OWNER / PROJECT:

**STONEBROOK EXCHANGE**  
SHELL BUILDING 12  
WINTER GARDEN, FL

PROFESSIONAL SEAL:

Robert Jeffrey Powell, AIA  
Florida Licensed Architect #AR#4675  
This item has been electronically signed and sealed by Robert Jeffrey Powell, AR#4675 using a Digital Signature. True copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

MARK DATE DESCRIPTION  
ISSUE DATE: JANUARY 19, 2024

COVER SHEET

PROJECT NO. PSA 2023-39.05  
DRAWN BY AG  
CHECKED BY JP

**A1.0**

Scale As indicated

OWNER	ARCHITECT	CIVIL ENGINEER	STRUCTURAL	M / E / P	LANDSCAPE
<b>SBE 13, LLC.</b> 15690 W. COLONIAL DRIVE WINTER GARDEN, FL 34787 PH: (352) 243-3720 CONTACT: JOHN SCHMID EMAIL: john@w2development.com	<b>POWELL STUDIO ARCHITECTURE, LLC</b> 713 WEST MONTROSE STREET CLERMONT, FL 34711 PH: (352) 874-2340 FAX: (877) 680-7183 CONTACT: JEFF POWELL, AIA, ARCHITECT EMAIL: jeff@powellstudioarch.com AA# 26002236	<b>KNIGHT ENGINEERING SERVICES, INC.</b> 770 ALMOND STREET, STE B CLERMONT, FL 34711 PH: (352) 394-8514	<b>ASE ENGINEERING SERVICE, INC.</b> 10244 E. COLONIAL DR, STE 202 ORLANDO, FL 32817 PH: (407) 677-5565 CONTACT: MASON XIE, P.E. EMAIL: mason@aseincorp.com	<b>JOSEPH, LAWRENCE &amp; CO.</b> 1180 HARWOOD AVE, SUITE 3000 ALTAMONTE SPRINGS, FL 32714 PH: (321) 972-4466 CONTACT: ADAM JOSEPH BARNEY, P.E. EMAIL: adam.barney@jlceng.com	

GENERAL NOTES

- CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL CODES & STANDARDS.
- CONTRACTOR SHALL VISIT THE SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FURTHER CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE SPECIFICATIONS FOR THE PROJECT.
- DIMENSIONS LESS THAN 2'-0" MAY BE SHOWN IN INCHES, I.E. 22" = 1'-10".
- ALL ANGLED CONDITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- THE WORD "PROVIDE" MEANS TO FURNISH AND INSTALL COMPLETE, INCLUDING CONNECTIONS, UNLESS OTHERWISE SPECIFIED.
- ALL ITEMS OUTSIDE THE PROJECT BOUNDARIES SHALL BE PROTECTED SO AS TO INSURE THAT THEY WILL REMAIN INTACT DURING CONSTRUCTION. ALL ITEMS OUTSIDE THE PROJECT BOUNDARIES WHICH ARE DISTURBED, DAMAGED, OR SOILED DUE TO THE ACTS OF THE CONTRACTOR OR SUBCONTRACTORS, SHALL BE CLEANED, REPAIRED OR REPLACED TO THEIR PREVIOUS CONDITION AS DETERMINED BY THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN FIRE ACCESS AND EGRESS AT ALL TIMES.
- ALL FIRE SPRINKLER HEADS, SMOKE DETECTORS, OR OTHER CEILING MOUNTED EQUIPMENT SHALL BE MOUNTED IN THE CENTER OF ACOUSTICAL CEILING TILES.
- IT IS THE INTENT OF THESE DRAWINGS AND DOCUMENTS TO PROVIDE ALL ITEMS REQUIRED FOR COMPLETE SYSTEMS WHETHER SHOWN OR NOT. CONTRACTOR SHALL PROVIDE ALL ESCUTCHEON PLATES, FINISH PLATES, TRIM PIECES, ETC. AS REQUIRED TO PROVIDE A COMPLETE AND FINISHED WORK AS DETERMINED BY THE ARCHITECT.
- ALL WOOD USED IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. FASTENERS FOR TREATED WOOD (NAILS, BOLTS, HARDWARE, ETC.) SHALL BE GALVANIZED.
- ALL INTERIOR PARTITIONS ARE 5/8" GYPSUM BOARD, TAPED AND PAINT TEXTURED WITH ORANGE PEEL FINISH UNLESS OTHERWISE NOTED.
- PARTITIONS SHALL BE LOCATED TO ALIGN WITH FURRING ON ALL MASONRY WALL CONDITIONS.
- THE TERM "WORK" MEANS THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING ALL LABOR NECESSARY TO PRODUCE SUCH CONSTRUCTION, AND ALL MATERIALS AND EQUIPMENT INCORPORATED OR TO BE INCORPORATED THEREIN.
- ALL WORK MENTIONED OR INDICATED IN THE CONTRACT DOCUMENTS SHALL BE PERFORMED BY THE CONTRACTOR AS PART OF THIS CONTRACT UNLESS IT IS SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS THAT SUCH WORK IS TO BE DONE BY OTHERS. SHOULD THE DRAWINGS OR THE SPECIFICATIONS DISAGREE IN THEMSELVES OR WITH EACH OTHER, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK UNLESS OTHERWISE DIRECTED BY WRITTEN ADDENDUM TO THE CONTRACT.
- IN THE EVENT OF ANY CONFLICT AMONG THE CONTRACT DOCUMENTS, THE DOCUMENTS SHALL BE CONSTRUED ACCORDING TO THE FOLLOWING PRIORITIES:
 

HIGHEST PRIORITY:	MODIFICATIONS
SECOND PRIORITY:	AGREEMENT
THIRD PRIORITY:	ADDENDA - LATER DATE TO TAKE PRECEDENCE
FOURTH PRIORITY:	SUPPLEMENTARY GENERAL CONDITIONS
FIFTH PRIORITY:	GENERAL CONDITIONS
SIXTH PRIORITY:	SPECIFICATIONS
SEVENTH PRIORITY:	DRAWINGS
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL REFER TO ALL OF THE DRAWINGS, INCLUDING THOSE SHOWING PRIMARILY THE WORK OF THE MECHANICAL, ELECTRICAL, AND OTHER SPECIALIZED TRADES, AND TO ALL OF THE SECTIONS OF THE SPECIFICATIONS, AND SHALL PERFORM ALL WORK REASONABLY INFERRABLE THEREFROM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.
- THE MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS ARE DIAGRAMMATIC ONLY, AND ARE NOT INTENDED TO SHOW THE ALIGNMENT, PHYSICAL LOCATIONS OR CONFIGURATIONS OF SUCH WORK, UNLESS NOTED OTHERWISE. WORK SHALL BE INSTALLED WITHOUT ADDITIONAL COST TO THE OWNER TO CLEAR ALL OBSTRUCTIONS, PERMIT PROPER CLEARANCES FOR THE WORK OF OTHER TRADES, AND PRESENT AN ORDERLY APPEARANCE WHERE EXPOSED.
- WHERE THE WORK IS TO FIT WITH EXISTING CONDITIONS OR WORK TO BE PERFORMED BY OTHERS, THE CONTRACTOR SHALL FULLY AND COMPLETELY JOIN THE WORK WITH SUCH CONDITIONS OR WORK, UNLESS OTHERWISE SPECIFIED.
- IN ALL CASES IN WHICH A MANUFACTURER'S NAME, TRADE NAME OR OTHER PROPRIETARY DESIGNATION IS USED IN CONNECTION WITH MATERIALS OR ARTICLES TO BE FURNISHED UNDER THIS CONTRACT, WHETHER OR NOT THE PHRASE "OR EQUAL" IS USED AFTER SUCH NAME, THE CONTRACTOR SHALL FURNISH THE PRODUCT OF THE NAMED MANUFACTURER(S) WITHOUT SUBSTITUTION, UNLESS WRITTEN REQUEST FOR SUCH SUBSTITUTION HAS BEEN SUBMITTED BY THE CONTRACTOR AND APPROVED IN WRITING BY THE ARCHITECT.
- WHERE NO EXPLICIT QUALITY OR STANDARDS FOR MATERIALS OR WORKMANSHIP ARE ESTABLISHED FOR WORK, SUCH WORK IS TO BE OF GOOD QUALITY FOR THE INTENDED USE AND CONSISTENT WITH THE QUALITY OF THE SURROUNDING WORK AND THE CONSTRUCTION OF THE PROJECT GENERALLY.
- THE ARCHITECT AND/OR ENGINEER OF THIS CONTRACT SET OF DOCUMENTS WILL NOT ACCEPT RESPONSIBILITY AS TO ANY UNAUTHORIZED CHANGES OR DEVIATIONS TO THIS PROJECT THAT DIFFER FROM THE PLANS AND SPECIFICATIONS WITHOUT FINAL WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER, AS TO SUCH ACTION.

ABBREVIATIONS

- |          |                          |
|----------|--------------------------|
| A.B.     | ANCHOR BOLT              |
| ABV.     | ABOVE                    |
| A/C      | AIR-CONDITIONER          |
| ADJ.     | ADJUSTABLE               |
| A.F.F.   | ABOVE FINISHED FLOOR     |
| A.H.U.   | AIR HANDLER UNIT         |
| BM.      | BEAM                     |
| BOT.     | BOTTOM                   |
| CLG.     | CEILING                  |
| CJ.      | CONTROL JOINT            |
| COL.     | COLUMN                   |
| COMP.    | A/C COMPRESSOR           |
| CT.      | CERAMIC TILE             |
| DIA.     | DIAMETER                 |
| DISP.    | DISPOSAL                 |
| E.W.     | EACH WAY                 |
| ELEC.    | ELECTRICAL               |
| ELEV.    | ELEVATION                |
| EXT.     | EXTERIOR                 |
| FBC.     | FLORIDA BUILDING CODE    |
| FIN.FLR. | FINISHED FLOOR           |
| F.G.     | FIXED GLASS              |
| FLR.     | FLOOR                    |
| FT.      | FOOT / FEET              |
| FX.      | FIXED                    |
| GALV.    | GALVANIZED               |
| G.C.     | GENERAL CONTRACTOR       |
| GFI.     | GROUND FAULT INTERRUPTER |
| HGT.     | HEIGHT                   |
| MFR.     | MANUFACTURER             |
| MIN.     | MINIMUM                  |
| MIR.     | MIRROR                   |
| N.T.S.   | NOT TO SCALE             |
| OPNG.    | OPENING                  |
| PED.     | PEDESTAL                 |
| PSF.     | POUNDS PER SQUARE FOOT   |
| RAD.     | RADIUS                   |
| REQ'D.   | REQUIRED                 |
| RND.     | ROUND                    |
| S.F.     | SQUARE FOOT (FEET)       |
| SHT.     | SHEET                    |
| SQ.      | SQUARE                   |
| TEMP. A. | TEMPERED                 |
| TYP.     | TYPICAL                  |
| U.N.O.   | UNLESS NOTED OTHERWISE   |
| VERT.    | VERTICAL                 |
| VTR.     | VENT THROUGH ROOF        |
| W/       | WITH                     |
| W/C      | WATER CLOSET             |
| WP.      | WATER PROOF              |

SYMBOLS

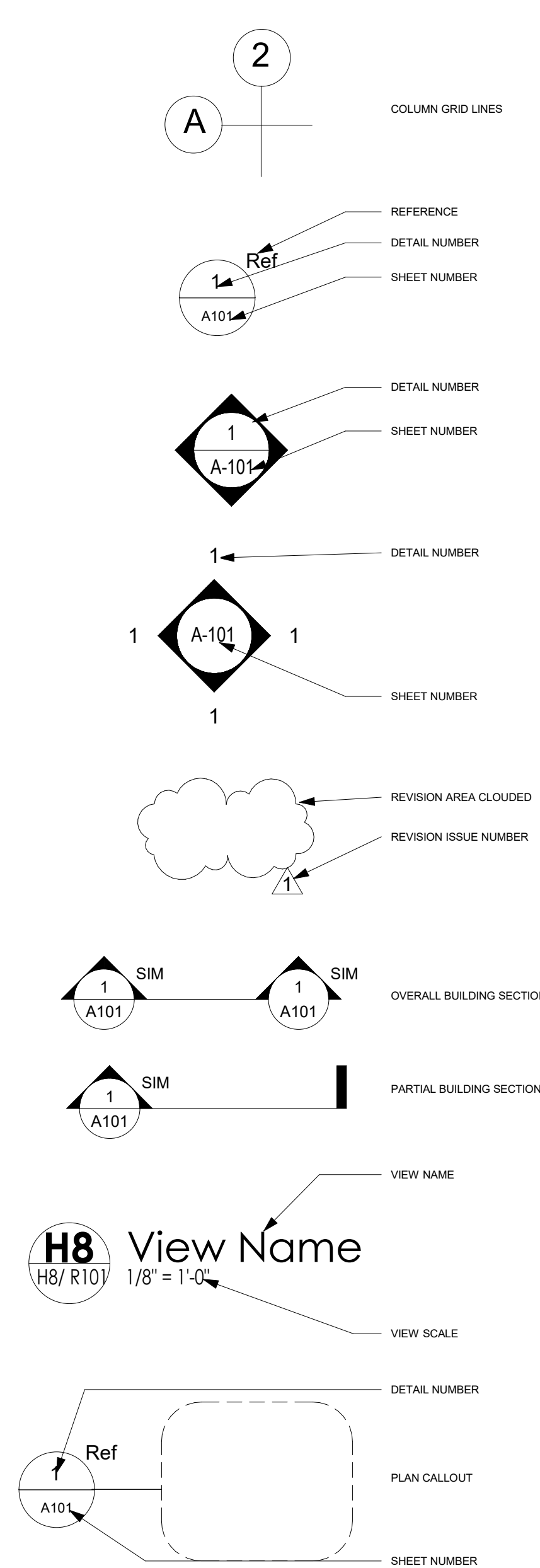
- |                         |                  |
|-------------------------|------------------|
|                         | DOOR TAG         |
|                         | NEW KEYNOTE TAG  |
|                         | DEMO KEYNOTE TAG |
|                         | WALL TAG         |
|                         | SPECIALTY TAG    |
|                         | WINDOW TAG       |
|                         | FFE TAG          |
| <b>Room name</b><br>101 | ROOM TAG         |
|                         | OCCUPANCY TAG    |
|                         | SLOPE TAG        |
|                         | SLOPE ARROW      |
|                         | LEVEL CHANGE     |
|                         | BREAK LINE       |
|                         | ADA CLEARANCE    |
|                         | CENTER LINE      |
|                         | ELEV. MARK       |
|                         | CEILING MOUNTED  |
|                         | WALL MOUNTED     |
|                         | AT               |
|                         | NUMBER OR POUND  |

HATCH LEGEND

- |  |                  |
|--|------------------|
|  | Aluminum         |
|  | Rigid Insulation |
|  | Sand             |
|  | Plywood          |
|  | Gypsum Board     |
|  | Rockwork         |
|  | Steel            |
|  | Earth            |
|  | Concrete         |
|  | Batt Insulation  |
|  | Sand_Dense       |
|  | Wood             |
|  | Glass            |
|  | CMU              |
|  | Cement Plaster   |
|  | Brick            |

LEGEND OF SYMBOLS

VIEWS



CODE INFORMATION

APPLICABLE CODES AND STANDARDS

- |                  |   |
|------------------|---|
| FBC 2023 8TH ED. | FLORIDA BUILDING CODE                     |
| FPC 2023 8TH ED. | FLORIDA PLUMBING CODE                     |
| FMC 2023 8TH ED. | FLORIDA MECHANICAL CODE                   |
| FBC 2023 8TH ED. | FLORIDA ENERGY CONSERVATION CODE          |
| FAC 2023 8TH ED. | FLORIDA ACCESSIBILITY CODE                |
| FFPC 8TH ED.     | FLORIDA FIRE PREVENTION CODE, 8TH EDITION |
| NFPA-70-2020     | NATIONAL ELECTRICAL CODE                  |
| NFPA-101-2021    | LIFE SAFETY CODE, 2021 EDITION            |

PROJECT SUMMARY

BUILDING 12 WILL BE A 4,340 SQUARE FOOT SINGLE-STORY SHELL BUILDING AT STONEYBROOK EXCHANGE, A MIXED USED COMMERCIAL DEVELOPMENT.

SCOPE OF WORK:  
THE SCOPE OF WORK FOR THIS PROJECT IS THE NEW CONSTRUCTION OF A WARM, DARK SHELL BUILDING.

OCCUPANCY PER 2020 FBC SECTION 1004

OCCUPANCY / GROUP CLASSIFICATION:            B - BUSINESS             
           M - MERCANTILE           

AREA:	SF:	OCCUPANT FACTOR:	TOTAL OCCUPANTS
BUILDING 12	4,340 SF	1 OCC. / 60 GSF	72 OCC.

CONSTRUCTION: 2020 FBC PLUMBING TABLE 601

TYPE OF CONSTRUCTION:	<u>          </u> TYPE V-B <u>          </u>
AUTOMATIC FIRE SPRINKLER SYSTEM:	<u>          </u> NO <u>          </u>
AUTOMATIC FIRE ALARM SYSTEM:	<u>          </u> NO <u>          </u>
MAX. BUILDING HEIGHT:	<u>          </u> 40'-0" <u>          </u> MAX. NO. OF STORIES: <u>          </u> 2 STORIES <u>          </u> (FBC 504.3) (FBC 504.4)
ALLOWABLE FLOOR AREA:	<u>          </u> 9,000 SF <u>          </u> ACTUAL BLDG. AREA: <u>          </u> 4,340 SF <u>          </u> (FBC 506.2)

FIRE PROTECTION

FIRE RESISTANCE RATING REQUIREMENTS: (FBC TABLE 601)

PRIMARY STRUCTURAL FRAME:	<u>          </u> 0 <u>          </u>
BEARING WALLS - INTERIOR	<u>          </u> 0 <u>          </u>
BEARING WALLS - EXTERIOR	<u>          </u> 0 <u>          </u>
NONBEARING WALLS & PARTITIONS (INT.):	<u>          </u> 0 <u>          </u>
NONBEARING WALLS & PARTITIONS (EXT.):	<u>          </u> 0 <u>          </u>
FLOOR CONSTRUCTION:	<u>          </u> 0 <u>          </u>
ROOF CONSTRUCTION:	<u>          </u> 0 <u>          </u>

(FBC 716.5)	MINIMUM FIRE RESISTANCE WALLS AND PARTITIONS	MINIMUM FIRE RESISTANCE OPENING PROTECTIVES
-------------	--	---

VERTICAL SHAFTS:	2 HOURS	
FIRE DIVISION WALLS:	3 HOURS	1-1/2 (B)
EXIT ENCLOSURES:	2 HOURS (X)	3 (A)
HORIZONTAL EXITS:	2 HOURS	1-1/2 (B) (X)
CORRIDORS:	1 HOURS	1-1/2 (B)
REFUSE CHUTE ACCESS ROOM:	1 HOURS	20 MIN
		3/4 (C)

(FBC 803.1.1) FLAME SPREAD INDEX  
A (0-25) / B (26-75) / C (76-200)

FINISH REQUIREMENTS BY OCCUPANCY: (FBC 803.11)

VERTICAL EXITS:            OTHER EXIT:            ROOMS OR SPACES:           

EXITS

MAXIMUM TRAVEL DISTANCE:	<u>          </u> 200'-0" <u>          </u> (FBC 1017.2)
MAXIMUM DEAD END HALL:	<u>          </u> 20'-0" <u>          </u> (FBC 1020.4)
MINIMUM CORRIDOR WIDTH:	<u>          </u> 36" <u>          </u> (FBC 1020.2)
MINIMUM STAIR WIDTH:	<u>          </u> 36" <u>          </u> (FBC 1011.2)
NUMBER OF EXITS REQUIRED:	<u>          </u> 2 <u>          </u>
NUMBER OF EXITS PROVIDED:	<u>          </u> 4 <u>          </u>

IS A SEPARATE OR EMERGENCY SOURCE OF LIGHT REQUIRED:            NO             
IS SPECIAL EGRESS PANIC HARDWARE REQUIRED:            NO           

DIMENSIONS

ALL DIMENSIONS SHOWN IN PLANS ARE TO FACE OF METAL STUD, WOOD STUD OR CMU. PLAN DIMENSIONS HAVE A GRAPHIC TOLERANCE OF 1/8". REFER TO LIFE SAFETY PLAN FOR EGRESS AND ADA HOLD-TO DIMENSIONS.



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OWNER LOGO:  
**24-0437 SHELL 12 R1**



OWNER / PROJECT:

**STONEYBROOK EXCHANGE**  
SHELL BUILDING 12  
WINTER GARDEN, FL

PROFESSIONAL SEAL:

Robert Jeffrey Powell, AIA  
Florida Licensed Architect #AR94675

MARK	DATE	DESCRIPTION
	JANUARY 19, 2024	ISSUE DATE:

PROJECT DATA/SYMBOL LEGEND/NOTES

PROJECT NO.	PSA 2023-39.05
DRAWN BY	AP
CHECKED BY	JP

**A1.1**

Scale As indicated

**PROJECT CHARACTERISTICS:**  
 PARCEL ID: 27-22-36-0000-00-085  
 MUNICIPALITY: CITY OF WINTER GARDEN  
 EXISTING USE: 5400 - AG TIMBERLAND  
 ZONING: C-2 ARTERIAL COMMERCIAL DISTRICT  
 FUTURE LAND USE: COMMERCIAL  
 MAXIMUM LOT COVERAGE: NONE  
 MINIMUM LOT SIZE REQUIREMENTS: NONE  
 MAXIMUM BUILDING HEIGHT: 35 FT FOR GASOLINE STATIONS

**AREAS:**  
 PROPERTY: 494,103.49 SF 11.34 AC  
 UPLAND: 463,873.72 SF 10.65 AC  
 JURISDICTIONAL WETLAND: 14,554.14 SF 0.33 AC  
 OTHER WATER BODIES: 10,415.91 SF 0.24 AC  
 IMPERVIOUS SURFACES:  
 BUILDING AREA: 85,447.75 SF 1.96 AC  
 ASPHALT/PAVING (ON-SITE): 161,145.11 SF 3.70 AC  
 SIDEWALKS (ON-SITE): 16,567.16 SF 0.38 AC  
 MISC. HARDSCAPE (ON-SITE): 12,608.73 SF 0.29 AC  
 WET DETENTION AREA: 42,044.49 SF 0.97 AC  
 TOTAL: 317,813.24 SF 7.30 AC

**FLOOR AREA (GFA):**  
 90,034.00 SF  
 I.S.R.: 0.64 = IMPERVIOUS SURFACES / PROPERTY AREA  
 F.A.R.: 0.18 = GFA / PROPERTY AREA

**BUILDING SETBACKS:**  
 FRONT (STONEBROOK W PKWY & WINDERMERE RD): 15 FEET  
 FRONT (ROUND-ABOUT): 10 FEET  
 SIDE CORNER (WINDERMERE RD): 35 FEET  
 SIDE INTERIOR: 20 FEET WHEN ABUTTING A RESIDENTIAL ZONING REAR (SR 429): 5 FEET

**LANDSCAPE BUFFERS:**  
 FRONT: 15 FEET  
 FRONT (AT ROUND-ABOUT): 10 FEET  
 SIDE CORNER: 15 FEET  
 SIDE INTERIOR: 25 FEET (WETLAND BUFFER)  
 REAR: 5 FEET  
 VEGETATIVE BUFFER: 15 FT (MIN) - 76 FT (MAX), 29 FT (AVG)  
 (NOTE: ALL BUFFERS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS PER CITY OF WINTER GARDEN ARTICLE X)

**PARKING REQUIREMENTS:**  
 PARKING REQUIRED PER WINTER GARDEN CODE OF ORDINANCES SECTION 118-1386(3) - OFF-STREET PARKING  
 90,034 SF (GFA) @ 3 SPACES PER 1,000 SF = 270 SPACES  
 ADA ACCESSIBLE REQ'D PER F.S. 553.5041: 9

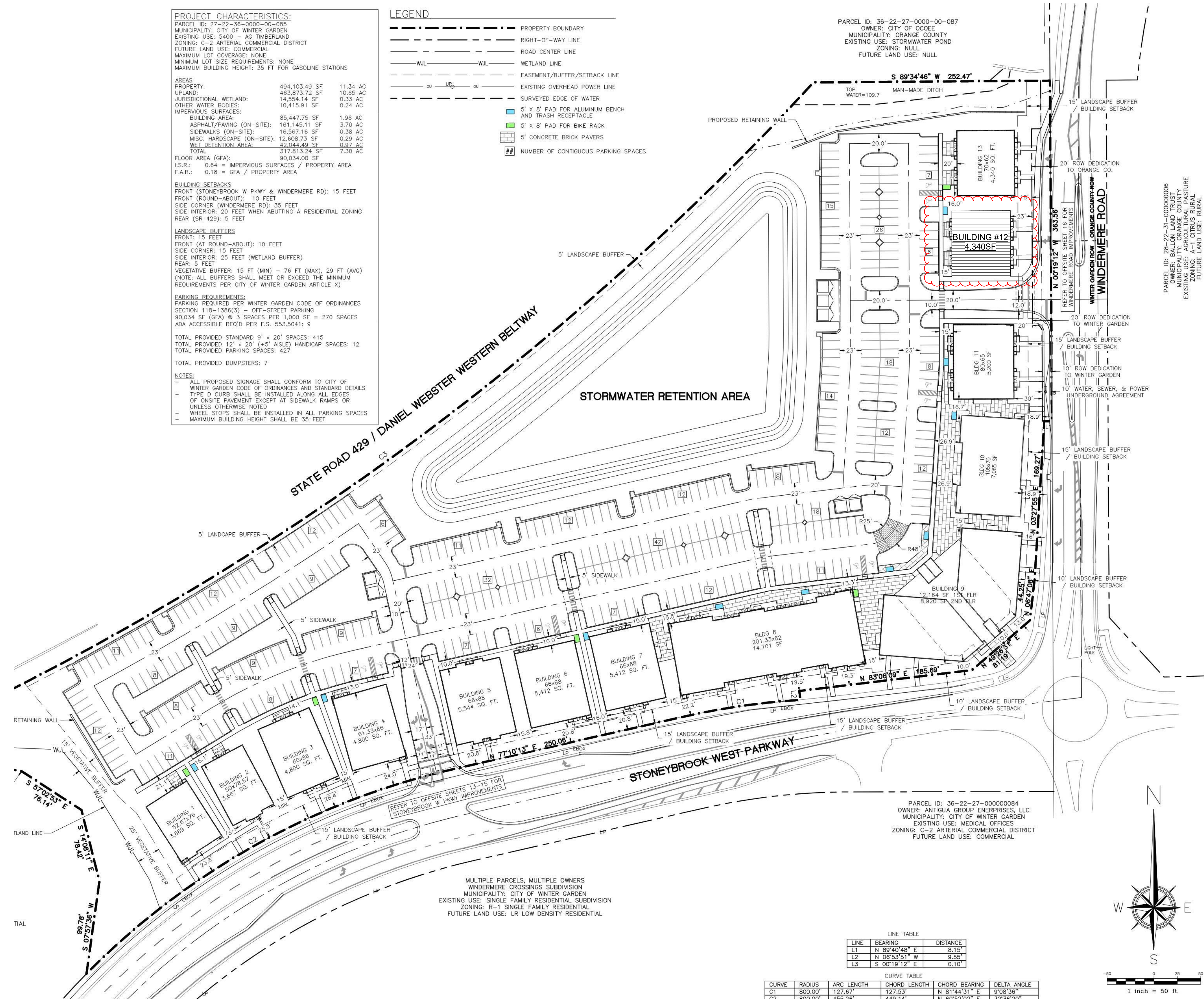
TOTAL PROVIDED STANDARD 9' x 20' SPACES: 415  
 TOTAL PROVIDED 12' x 20' (+5' AISLE) HANDICAP SPACES: 12  
 TOTAL PROVIDED PARKING SPACES: 427  
 TOTAL PROVIDED DUMPSTERS: 7

**NOTES:**  
 - ALL PROPOSED SIGNAGE SHALL CONFORM TO CITY OF WINTER GARDEN CODE OF ORDINANCES AND STANDARD DETAILS  
 - TYPE D CURBS SHALL BE INSTALLED ALONG ALL EDGES OF ON-SITE PAVEMENT EXCEPT AT SIDEWALK RAMPS OR UNLESS OTHERWISE NOTED  
 - WHEEL STOPS SHALL BE INSTALLED IN ALL PARKING SPACES  
 - MAXIMUM BUILDING HEIGHT SHALL BE 35 FEET

**LEGEND**

- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- ROAD CENTER LINE
- W.L. --- WETLAND LINE
- EASEMENT/BUFFER/SETBACK LINE
- EXISTING OVERHEAD POWER LINE
- SURVEYED EDGE OF WATER
- 5' x 8' PAD FOR ALUMINUM BENCH AND TRASH RECEPTACLE
- 5' x 8' PAD FOR BIKE RACK
- 5' CONCRETE BRICK PAVERS
- ## NUMBER OF CONTIGUOUS PARKING SPACES

PARCEL ID: 36-22-27-0000-00-087  
 OWNER: CITY OF COCOA  
 MUNICIPALITY: ORANGE COUNTY  
 EXISTING USE: STORMWATER POND  
 ZONING: NULL  
 FUTURE LAND USE: NULL



**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 89°40'48" E	8.15'
L2	N 06°53'51" W	9.55'
L3	S 00°19'12" E	0.10'

**CURVE TABLE**

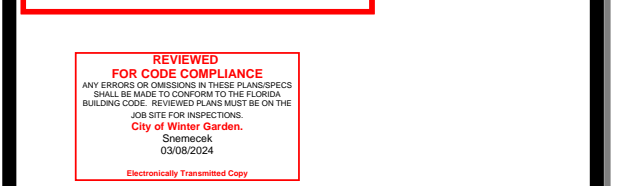
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	800.00'	127.67'	127.53'	N 81°44'31" E	9°08'36"

MULTIPLE PARCELS, MULTIPLE OWNERS  
 WINDERMERE CROSSINGS SUBDIVISION  
 MUNICIPALITY: CITY OF WINTER GARDEN  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION  
 ZONING: R-1 SINGLE FAMILY RESIDENTIAL  
 FUTURE LAND USE: LR LOW DENSITY RESIDENTIAL



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OWNER LOGO:  
**24-0437 SHELL 12 R1**



OWNER / PROJECT:

# STONEBROOK EXCHANGE

SHELL BUILDING 12  
 WINTER GARDEN, FL

PROFESSIONAL SEAL:

Robert Jeffrey Powell, AIA  
 Florida Licensed Architect #AR94675  
This item has been electronically signed and sealed by Robert Jeffrey Powell, AR94675 using a Digital Signature. The content of this document has not been digitally signed and sealed, and the signature must be verified on any electronic copy.

MARK	DATE	DESCRIPTION
	JANUARY 19, 2024	

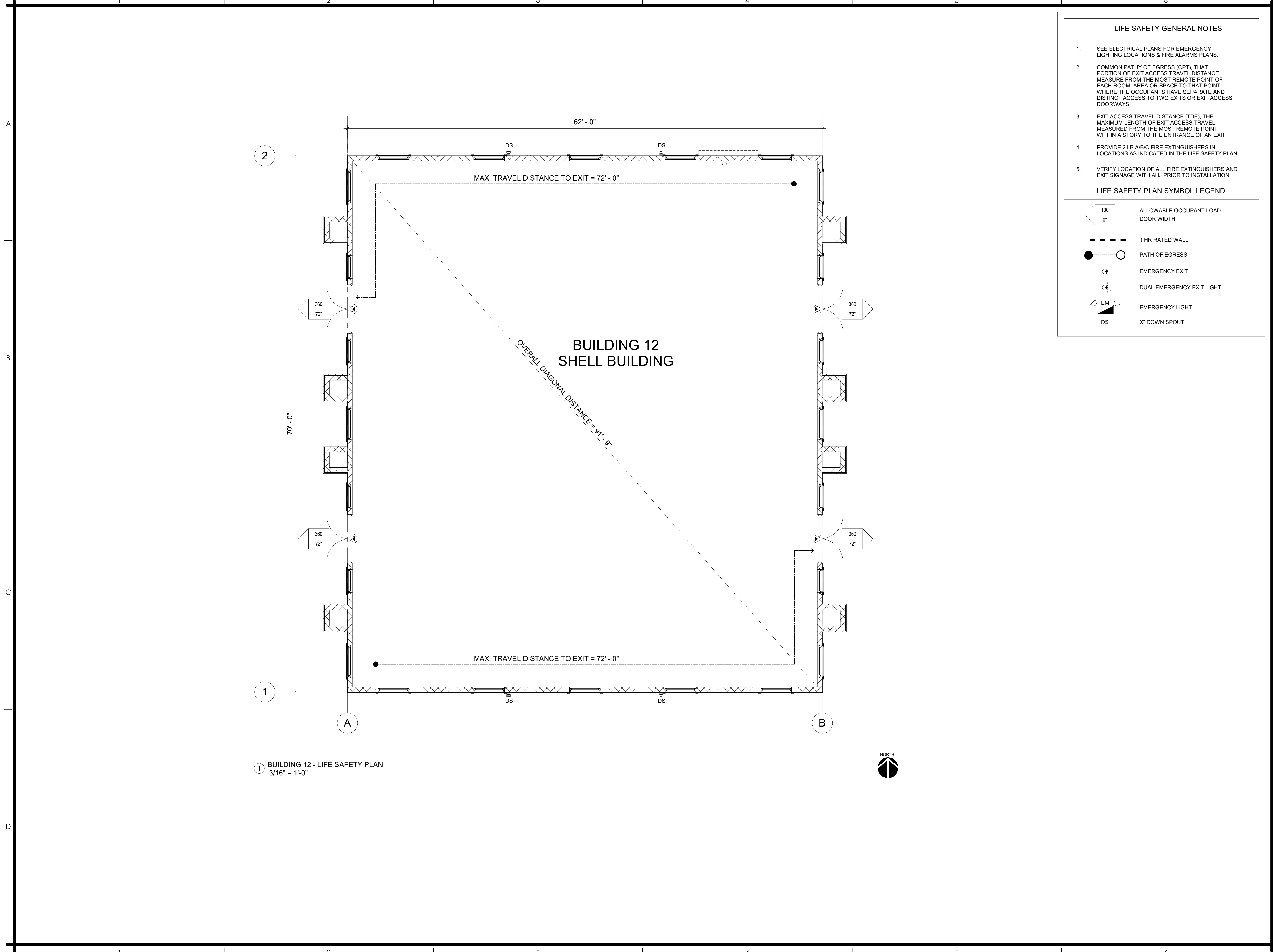
SITE PLAN

PROJECT NO. PSA 2023-39.05  
 DRAWN BY AP  
 CHECKED BY JP

**A2.0**

Scale 1" = 50'-0"

1 ARCHITECTURAL SITE PLAN  
 1" = 50'-0"



1 BUILDING 12 - LIFE SAFETY PLAN  
3/16" = 1'-0"

**LIFE SAFETY GENERAL NOTES**

- SEE ELECTRICAL PLANS FOR EMERGENCY LIGHTING LOCATIONS & FIRE ALARMS PLANS.
- COMMON PATH OF EGRESS (CPT), THAT PORTION OF EXIT ACCESS TRAVEL DISTANCE MEASURED FROM THE MOST REMOTE POINT OF EACH ROOM, AREA OR SPACE TO THAT POINT WHERE THE OCCUPANTS HAVE SEPARATE AND DISTINCT ACCESS TO TWO EXITS OR EXIT ACCESS DOORWAYS.
- EXIT ACCESS TRAVEL DISTANCE (TDE), THE MAXIMUM LENGTH OF EXIT ACCESS TRAVEL MEASURED FROM THE MOST REMOTE POINT WITHIN A STORY TO THE ENTRANCE OF AN EXIT.
- PROVIDE 2 LB AB/C FIRE EXTINGUISHERS IN LOCATIONS AS INDICATED IN THE LIFE SAFETY PLAN.
- VERIFY LOCATION OF ALL FIRE EXTINGUISHERS AND EXIT SIGNAGE WITH AHJ PRIOR TO INSTALLATION.

**LIFE SAFETY PLAN SYMBOL LEGEND**

	ALLOWABLE OCCUPANT LOAD DOOR WIDTH
	1 HR RATED WALL
	PATH OF EGRESS
	EMERGENCY EXIT
	DUAL EMERGENCY EXIT LIGHT
	EMERGENCY LIGHT
	X' DOWN SPOUT

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www.powellstudioarch.com  
AIA# 2902226

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OWNER LOGO:  
**24-0437 SHELL 12 R1**

**FOR CODE COMPLIANCE**  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC) AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THIS DRAWING.

OWNER / PROJECT:

**STONEBROOK EXCHANGE**  
SHELL BUILDING 12  
WINTER GARDEN, FL

PROFESSIONAL SEAL:

Robert Jeffrey Powell, AIA  
Florida Licensed Architect #AR94675  
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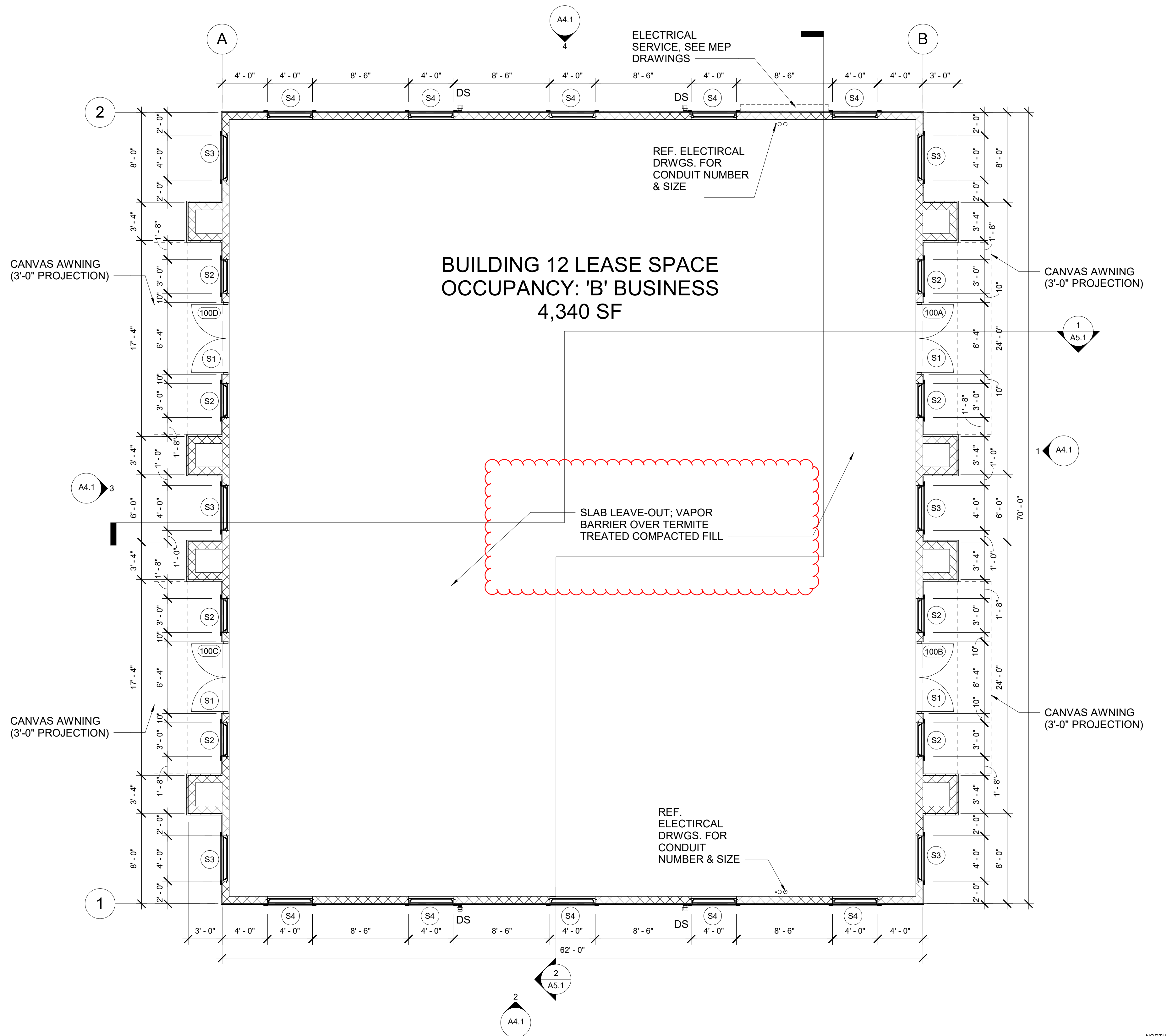
MARK	DATE	DESCRIPTION
	ISSUE DATE: JANUARY 19, 2024	

LIFE SAFETY PLAN

PROJECT NO. PSA 2023-39.05  
DRAWN BY YB  
CHECKED BY AG

**A3.1**  
Scale As indicated

A  
B  
C  
D



1 BUILDING 12 - FLOOR PLAN  
3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. CONTRACTOR TO PROVIDE AND INSTALL NEW 10LB ABC FIRE EXTINGUISHERS AND COORDINATE PLACEMENTS WITH FIRE MARSHALL. INSTALL QUANTITY AS REQUIRED SO AS NOT TO EXCEED 75'-0" OF TRAVEL TO AN EXTINGUISHER.
  2. CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL CODES AND STANDARDS.
- ALL "WORK" STARTED OR COMPLETED WITHOUT THE PROPER PERMITS OR INSPECTIONS IS SUBJECT TO REMOVAL. ALL "WORK" IS TO BE EXPOSED AND AVAILABLE FOR VISUAL INSPECTION.
3. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE CONSTRUCTION COMMENCES.
  4. THERE ARE NO EXTERIOR SIGNS AS PART OF THIS SCOPE OF WORK. EXTERIOR SIGNAGE WILL BE PERMITTED SEPARATELY BY FUTURE TENANT.
  5. REFER TO SHEET A1.1 FOR WALL HATCH, DOORS AND WINDOWS SYMBOLS, SHEETS A8.1 FOR DOOR SCHEDULE AND SHEET A8.2 FOR STOREFRONT INFORMATION.
  6. REFER TO STRUCTURAL DOCUMENTS FOR LOCATIONS AND INSTALLATION OF MASONRY CONTROL JOINTS.

FLOOR PLAN LEGEND

- 6" METAL STUD WALL WITH 5/8" GYPSUM BOARD AT BOTH SIDES.
- XXXX 8" CMU WALL.
- DS X" DOWNSPOUT



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OWNER / PROJECT:

**STONEBROOK EXCHANGE**  
SHELL BUILDING 12  
WINTER GARDEN, FL

PROFESSIONAL SEAL:

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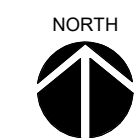
MARK	DATE	DESCRIPTION
	ISSUE DATE:	JANUARY 19, 2024

FLOOR PLAN

PROJECT NO. PSA 2023-39.05  
DRAWN BY AP  
CHECKED BY JP

**A3.2**

Scale As indicated



ELEVATION KEYNOTES	
KEYNOTE	NOTE
1	GAF TIMBERLINE HDZ LIFETIME, COLOR CHARCOAL, OVER SELF-ADHERED ROOF UNDERLAYMENT
2	WHITE ALUMN. ROOF FACIA AND SOFFIT, TYP.
3	WHITE ALUMN. GUTTER AND DOWNSPOUT (S), TYP.
4	FIXED VINYL WINDOWS (PLYGEM SERIES 1500 WINDOWS, OR EQUAL. (BLACK INTERIOR AND EXTERIOR)
5	STOREFRONT SYSTEM (YKK YES45-FI) WITH SERIES 35D DOOR, OR EQUAL. (BLACK INTERIOR AND EXTERIOR)
6	FIBER CEMENT BOARD AND BATTEN SIDING OVER ZIP SYSTEM WALL SHEATHING WITH INTEGRAL FLUID APPLIED VAPOR BARRIER OVER WOOD FRAMING.
7	DIRECT APPLIED J&N STONE ONYX BLACK SERIES 100 BRICK VENEER ON 8" CMU BLOCK WALL
8	5/4"X8" FIBER CEMENT BOARD TRIM, TYP.
9	1X4 FIBER CEMENT BOARD TRIM, TYP.
10	DIRECT APPLIED EXTERIOR FINISH SYSTEM (DEFS) WITH INTEGRAL COLOR OVER 8" CMU
11	FUTURE TENANT SIGNAGE
12	PRE-ENGINEERED ALUMINUM CANOPY.
13	MEDIUM WALL MOUNT BARN LIGHT (FORGE 12070BK), TYP.
14	1X4 STUCCO BAND, TYP.
15	ELECTRICAL EQUIPMENT COORDINATE WITH ELECTRICAL DRAWINGS



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**24-0437 SHELL 12 R1**

REVISIONS FOR CODE COMPLIANCE  
DATE: 01/19/2024  
BY: RJP  
DESCRIPTION: Update window and door symbols to meet current code requirements.  
REVISIONS TO BE MADE: Update window and door symbols to meet current code requirements.

OWNER / PROJECT:

**STONEBROOK EXCHANGE**  
SHELL BUILDING 12  
WINTER GARDEN, FL

PROFESSIONAL SEAL:

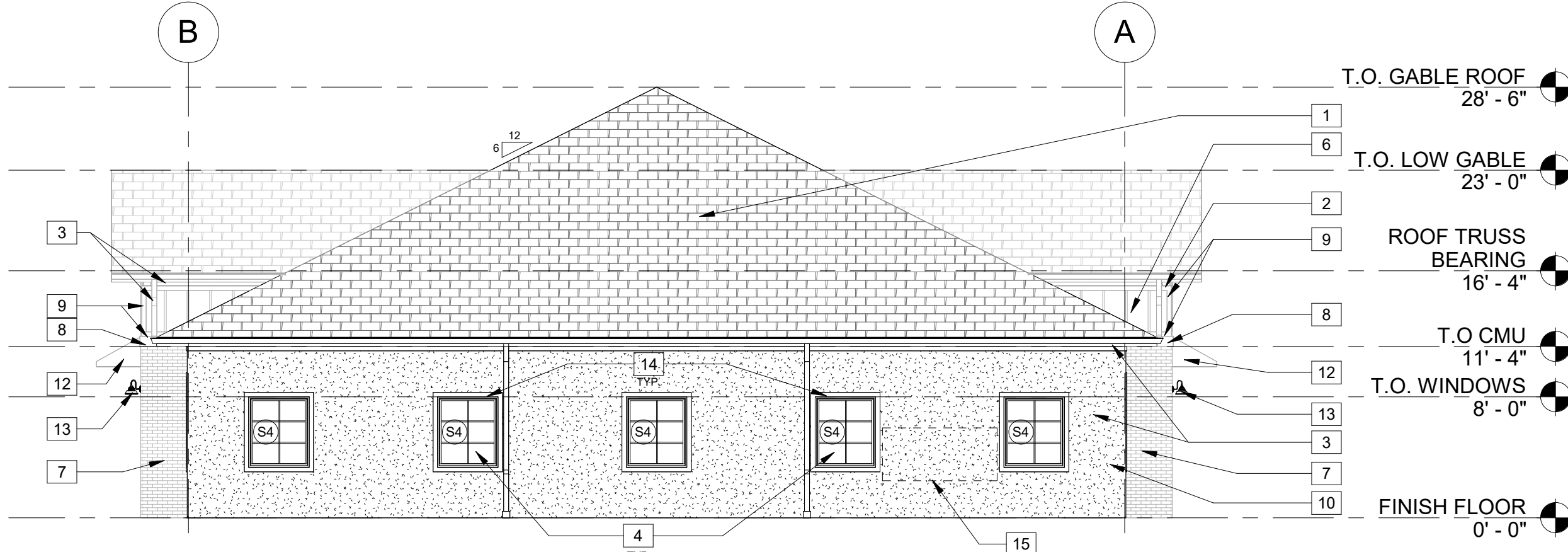
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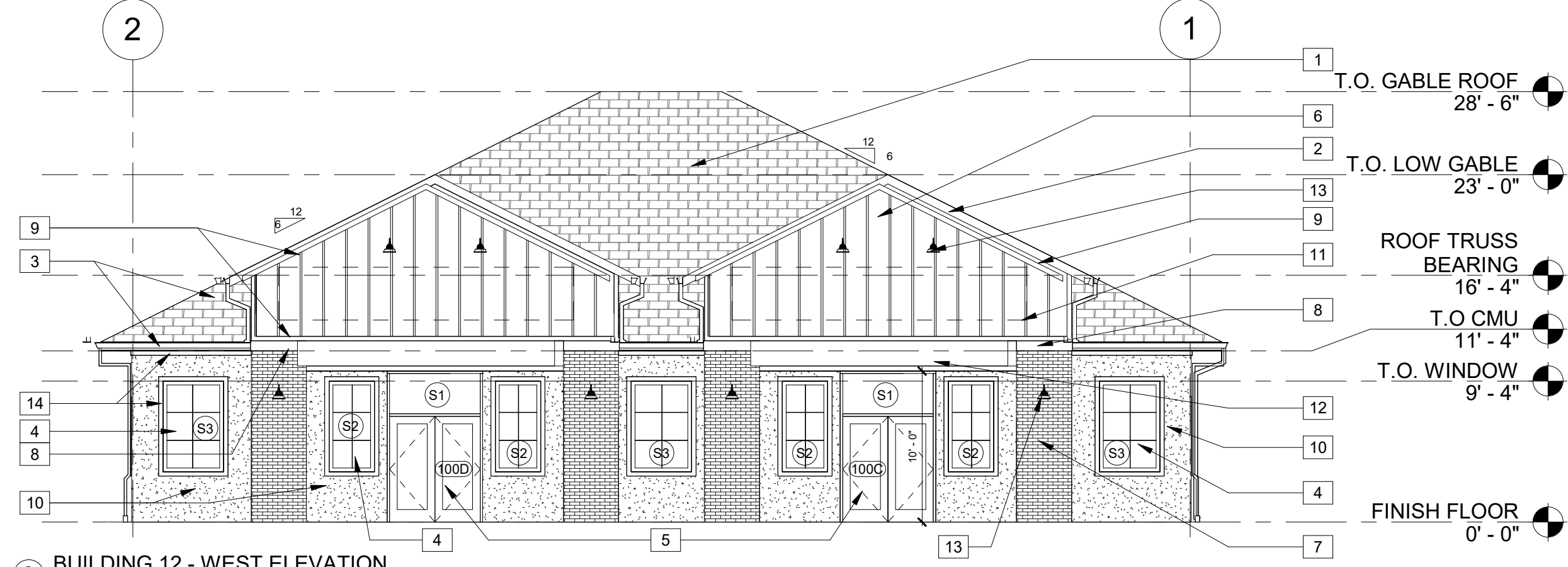
ELEVATIONS	
PROJECT NO.	PSA 2023-39.05
DRAWN BY	AP
CHECKED BY	JP

**A4.1**

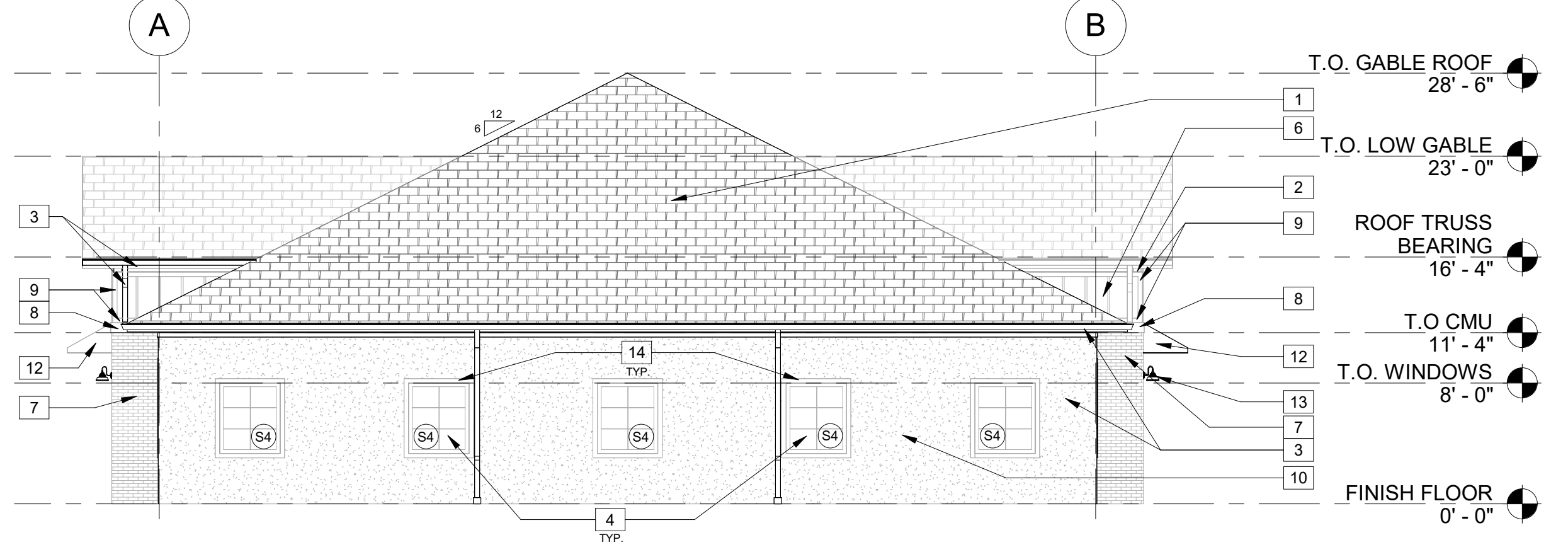
Scale 1/8" = 1'-0"



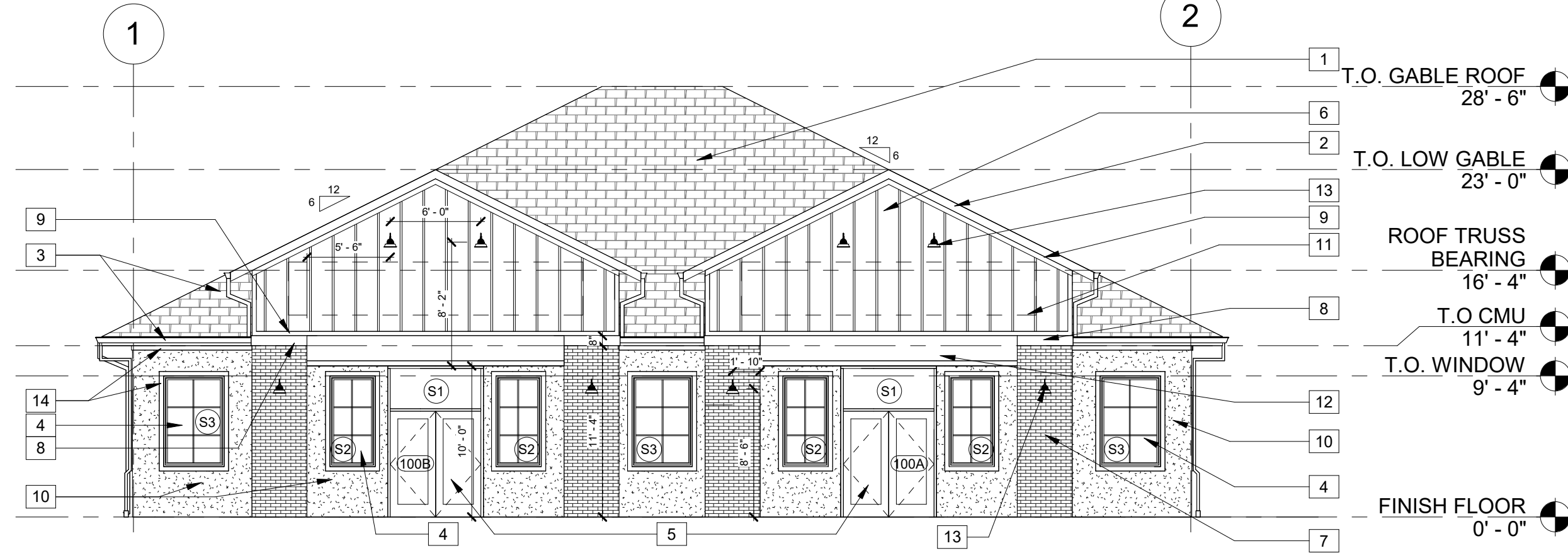
4 BUILDING 12 - SOUTH ELEVATION  
1/8" = 1'-0"



3 BUILDING 12 - WEST ELEVATION  
1/8" = 1'-0"



2 BUILDING 12 - NORTH ELEVATION  
1/8" = 1'-0"



1 BUILDING 12 - EAST ELEVATION  
1/8" = 1'-0"



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WINTER GARDEN, FL

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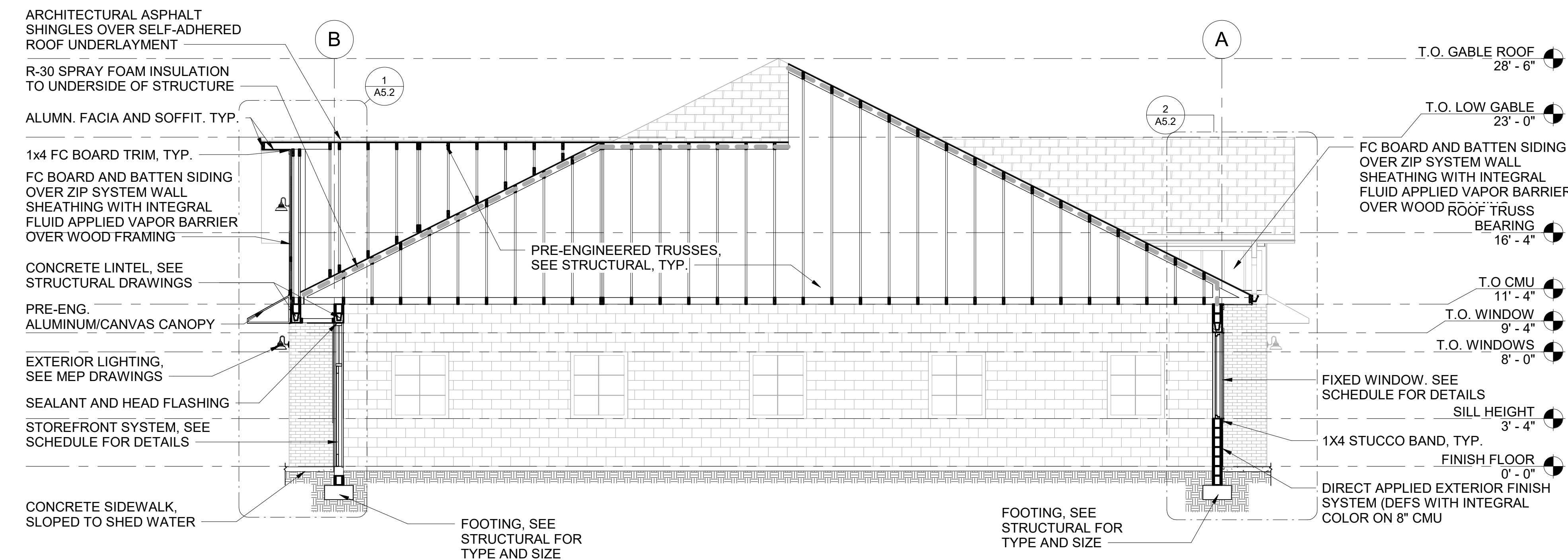
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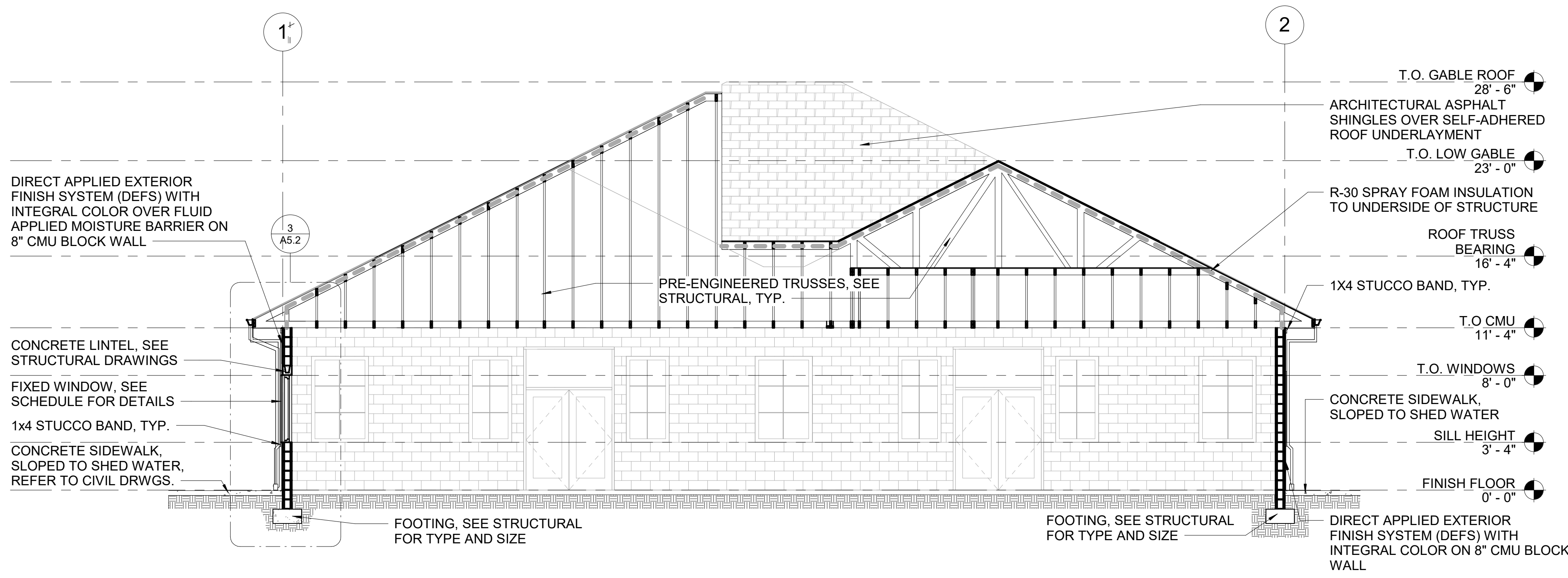
SECTIONS	
PROJECT NO.	PSA 2023-39.05
DRAWN BY	AP
CHECKED BY	JP

**A5.1**

Scale 3/16" = 1'-0"



1 BUILDING 12 SECTION 1  
3/16" = 1'-0"



2 BUILDING SECTION 4  
3/16" = 1'-0"

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OWNER LOGO: 

**24-0437 SHELL 12 R1**

REVIEWED FOR CODE COMPLIANCE  
BY: [Signature]  
DATE: [Date]  
BY: [Signature]  
DATE: [Date]

OWNER / PROJECT:

**STONEBROOK EXCHANGE**  
SHELL BUILDING 12  
WINTER GARDEN, FL

PROFESSIONAL SEAL:

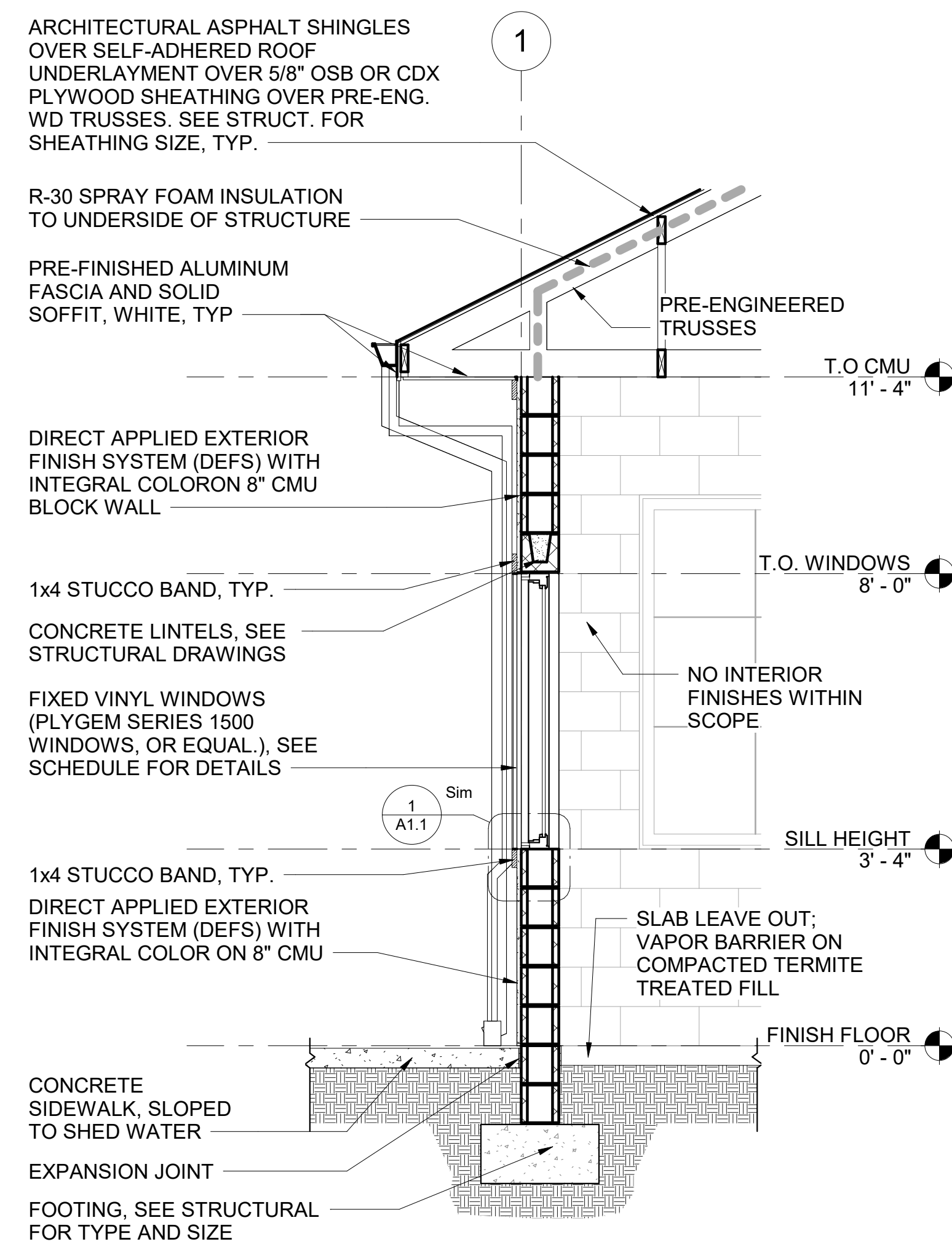
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Florida Licensed Architect #AR4675  
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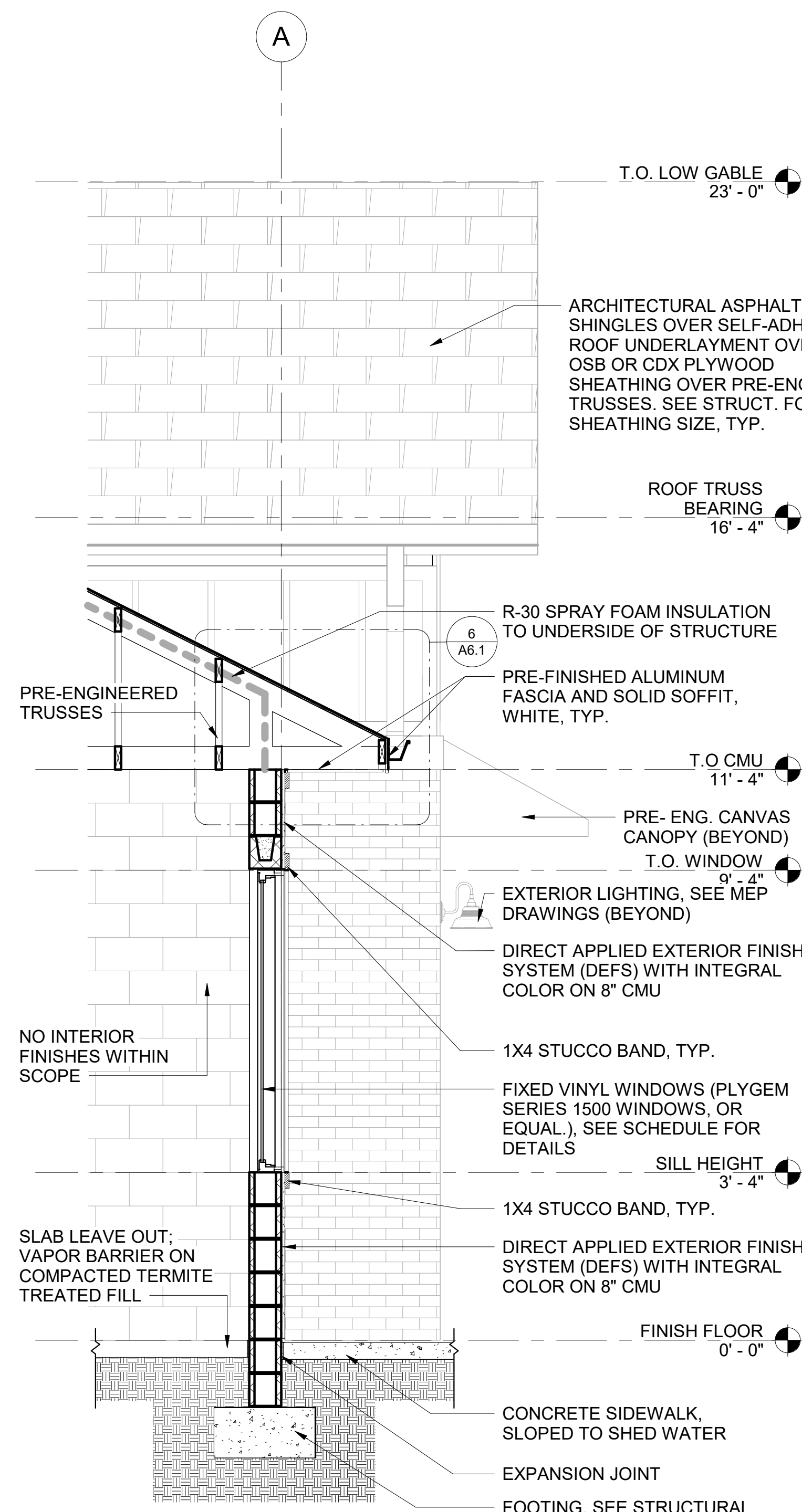
WALL SECTIONS	
PROJECT NO.	PSA 2023-39.05
DRAWN BY	AP
CHECKED BY	JP

**A5.2**

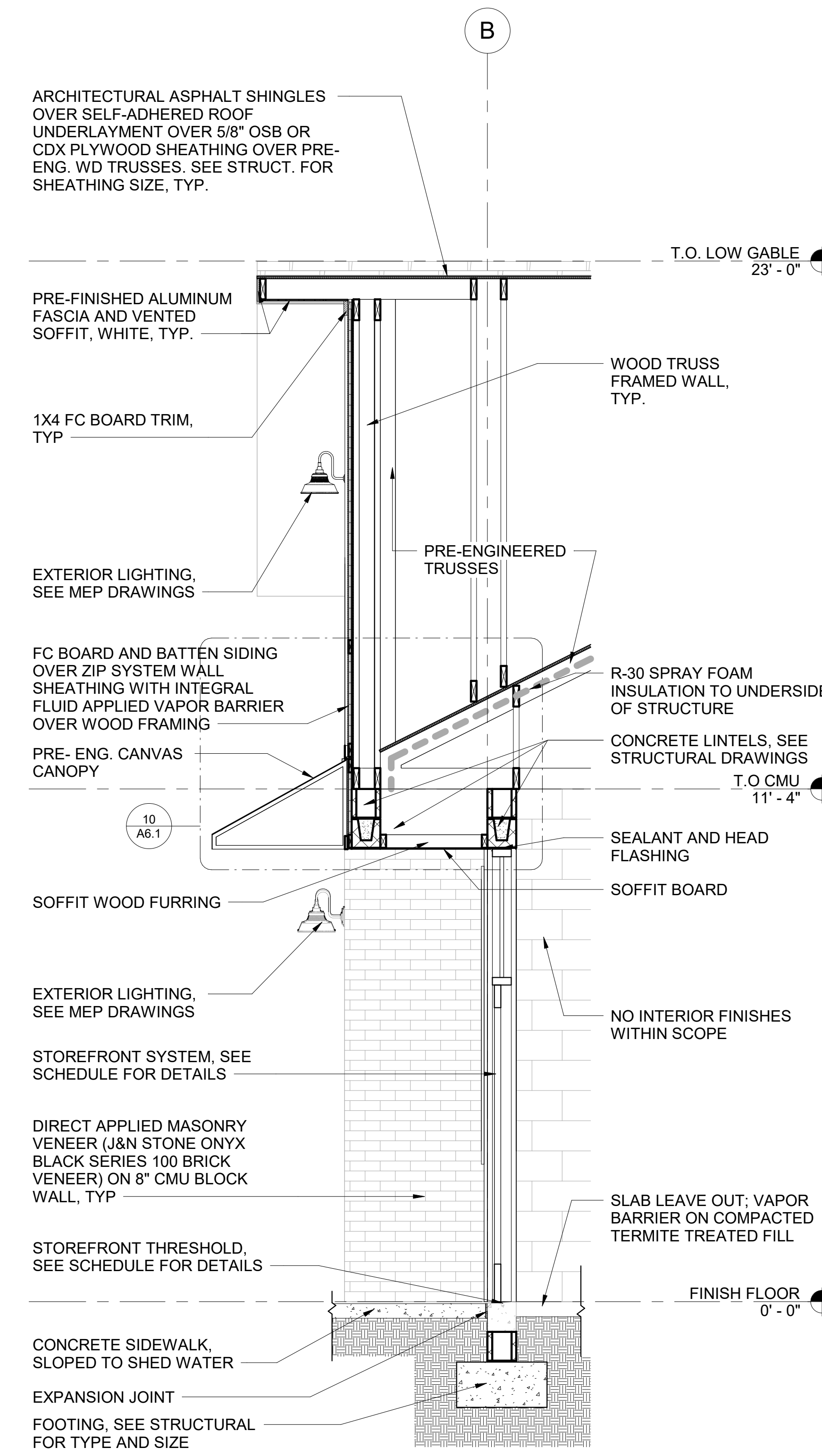
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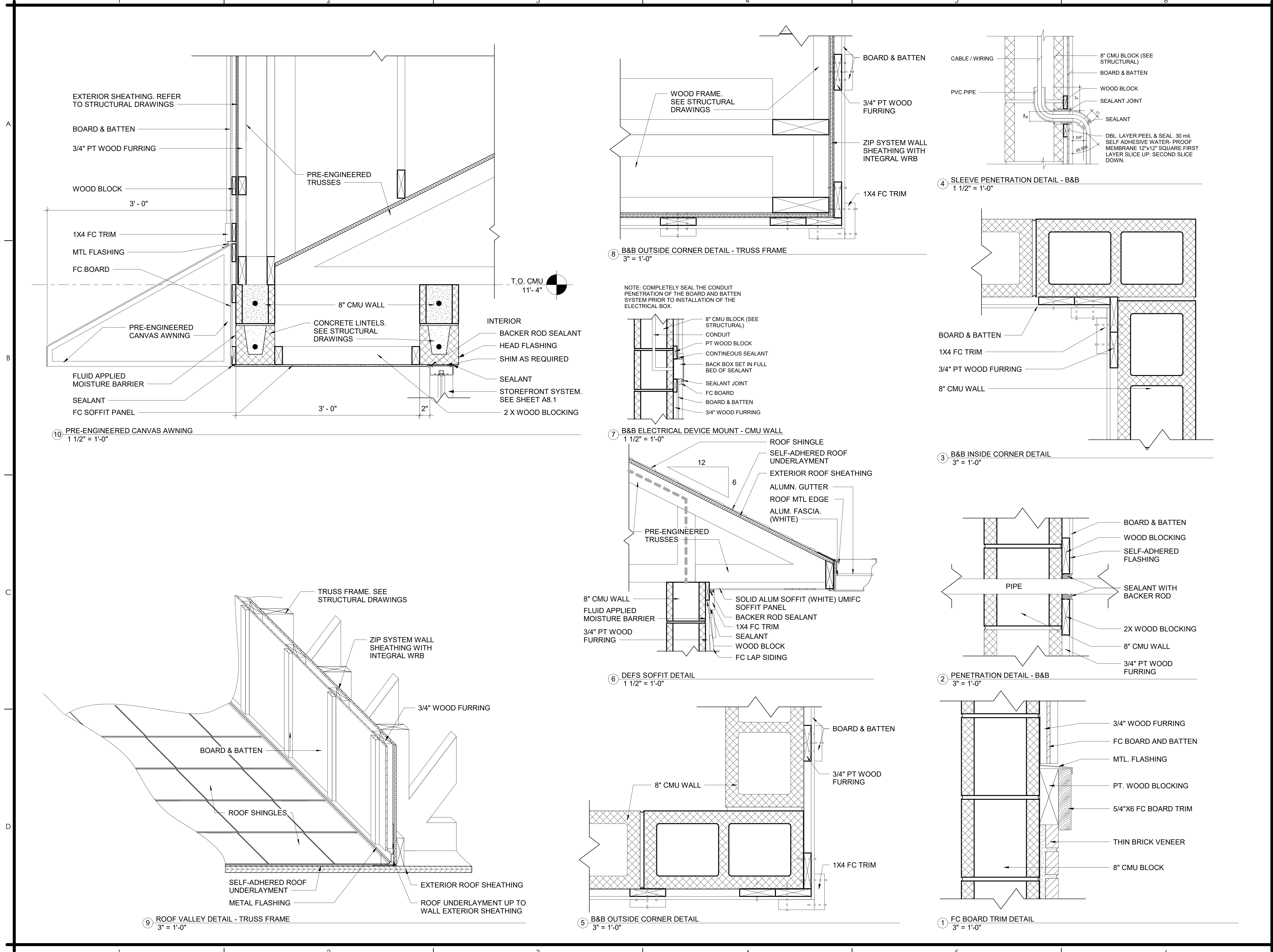
③ BUILDING 12 WALL SECTION 3  
1/2" = 1'-0"



② BUILDING 12 WALL SECTION 2  
1/2" = 1'-0"

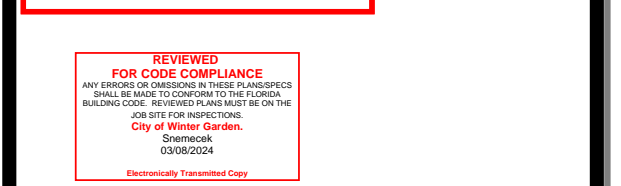


① BUILDING 12 WALL SECTION 1  
1/2" = 1'-0"



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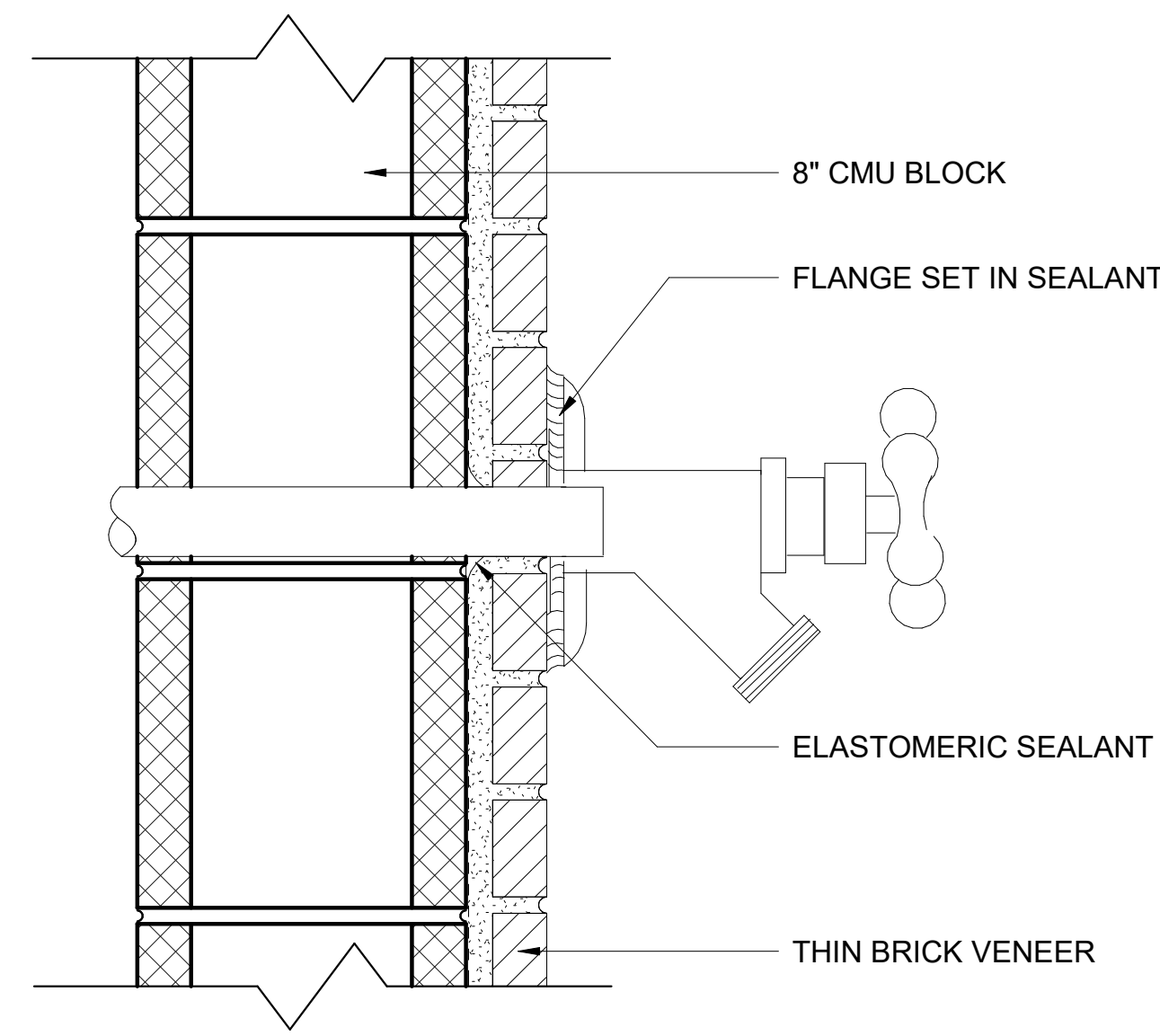
MARK	DATE	DESCRIPTION
ISSUE DATE: JANUARY 19, 2024		

DETAILS

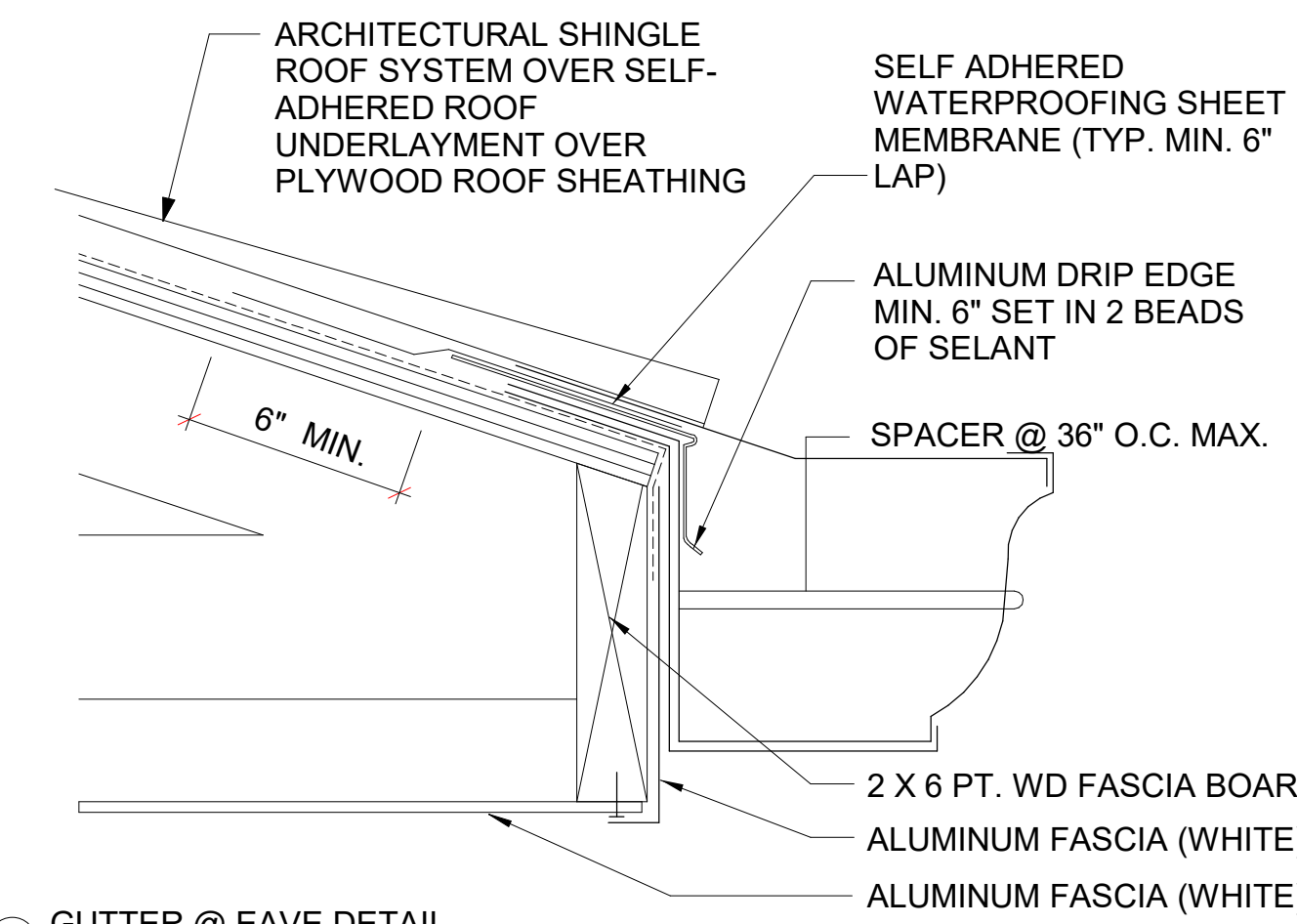
PROJECT NO.	PSA 2023-39.05
DRAWN BY	AP
CHECKED BY	JP

**A6.1**

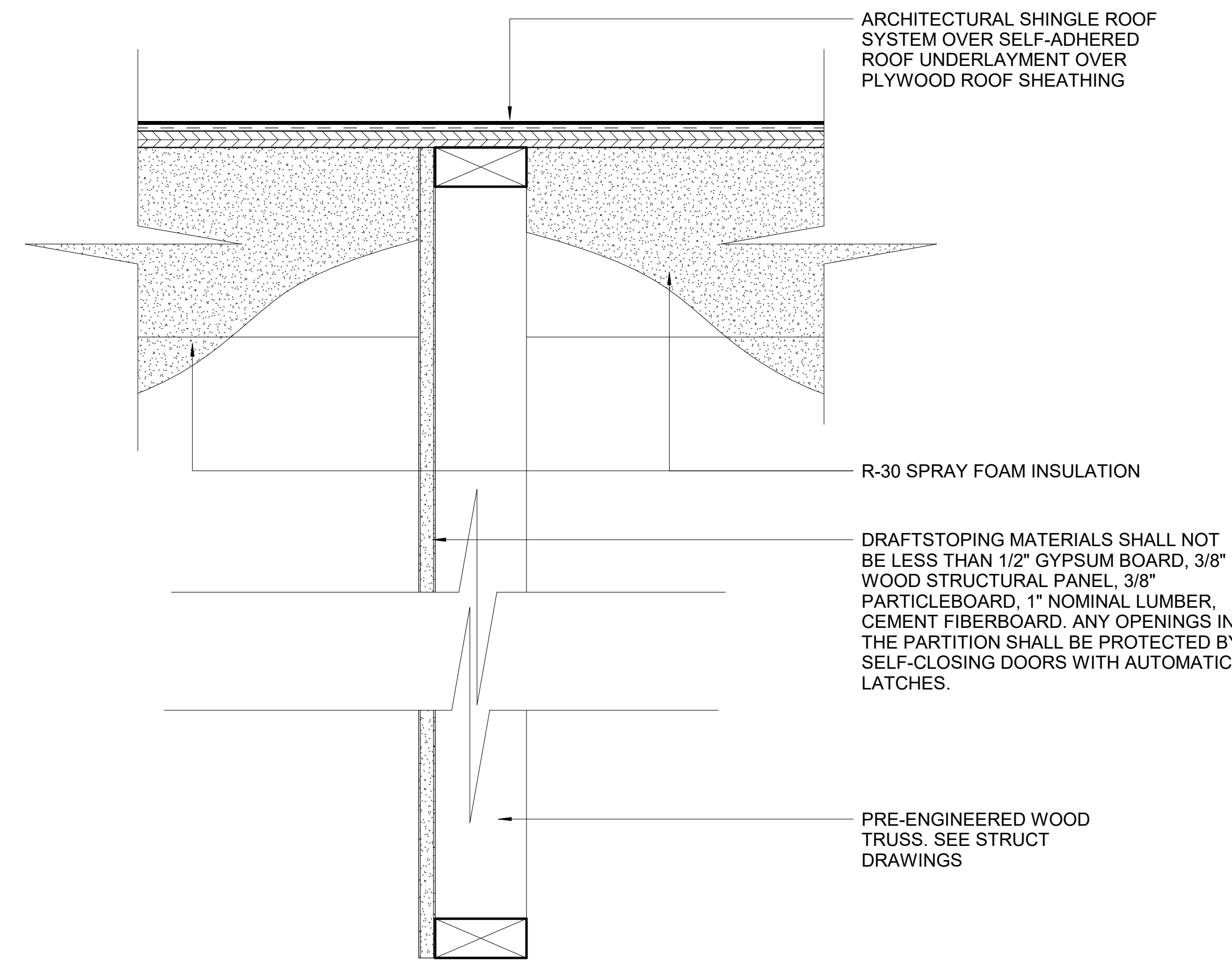
Scale As indicated



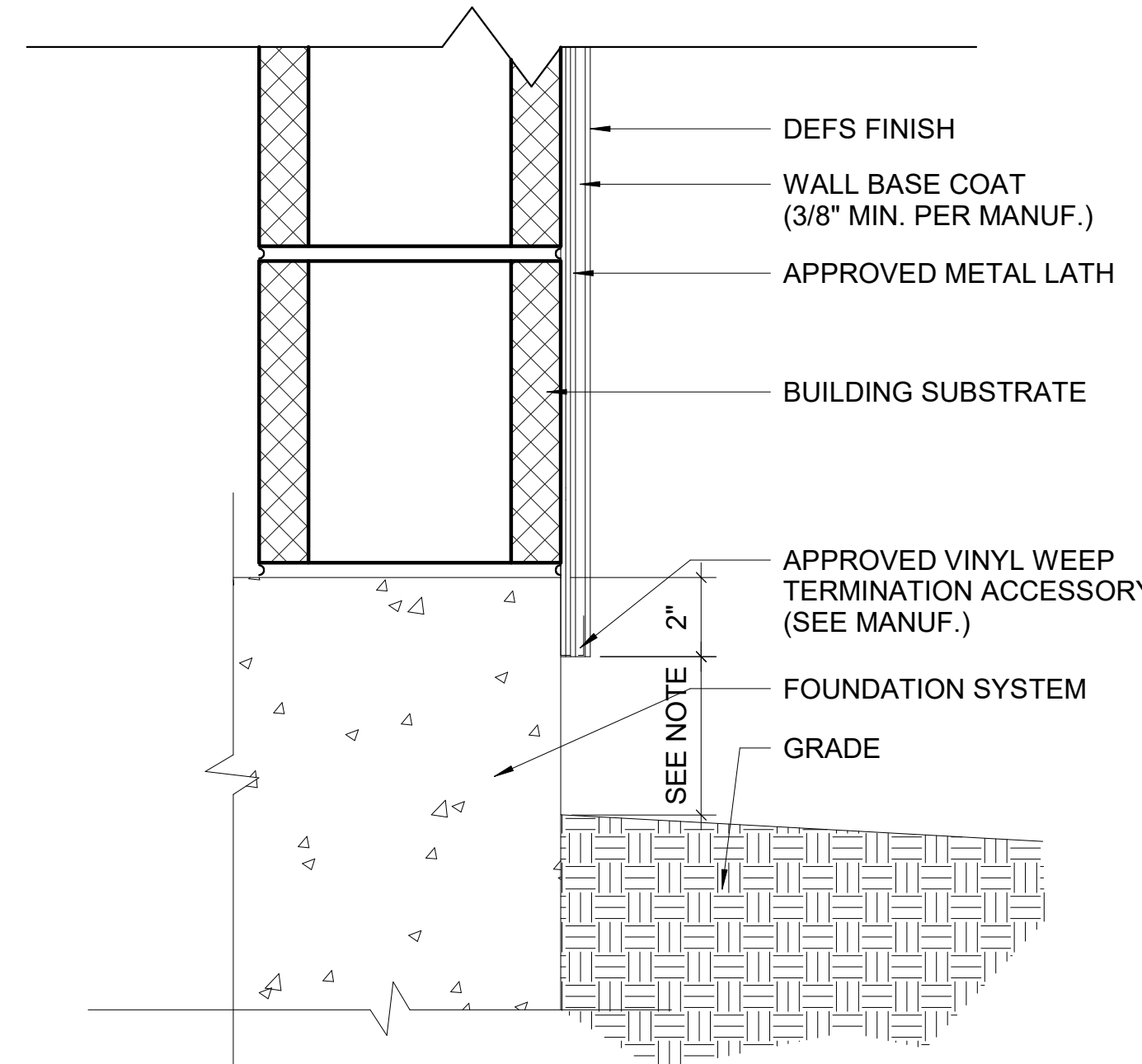
11 BRICK VENEER HOSEBIB DETAIL  
3" = 1'-0"



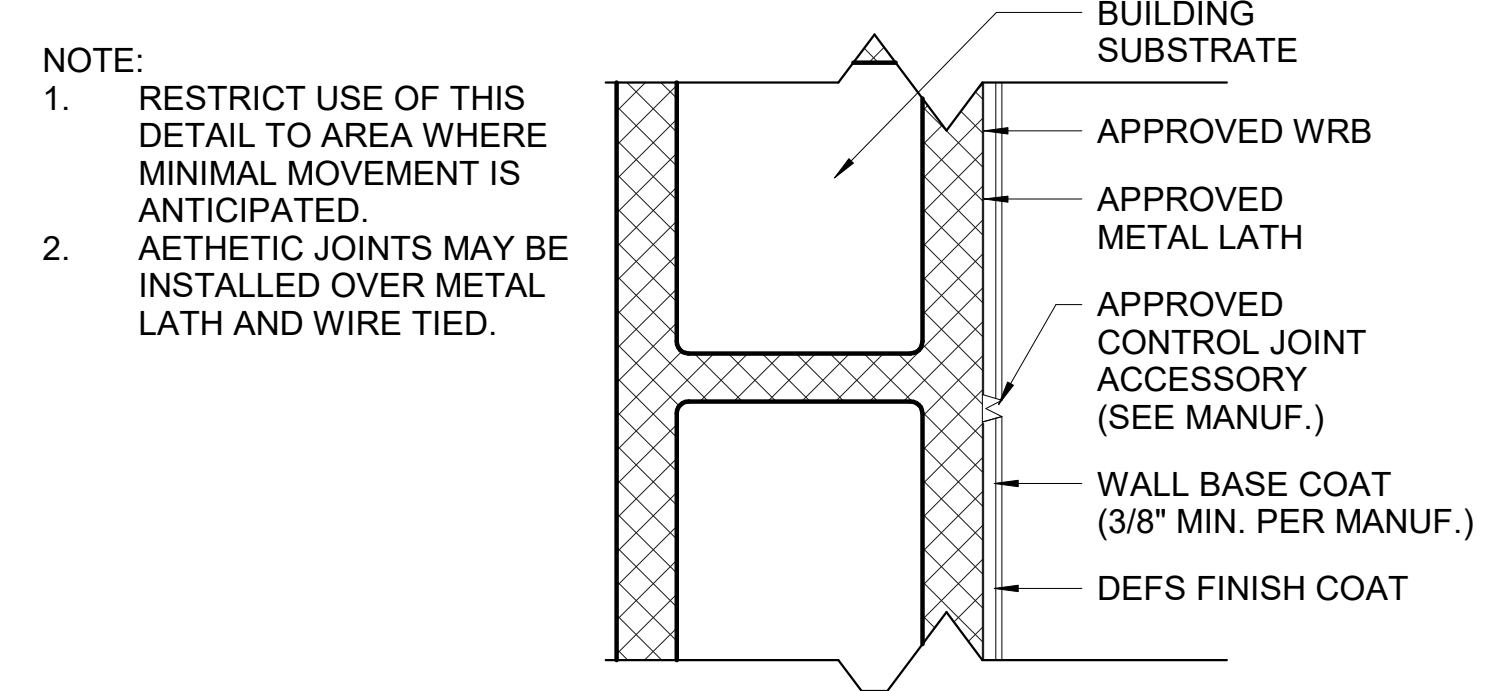
10 GUTTER @ EAVE DETAIL  
3" = 1'-0"



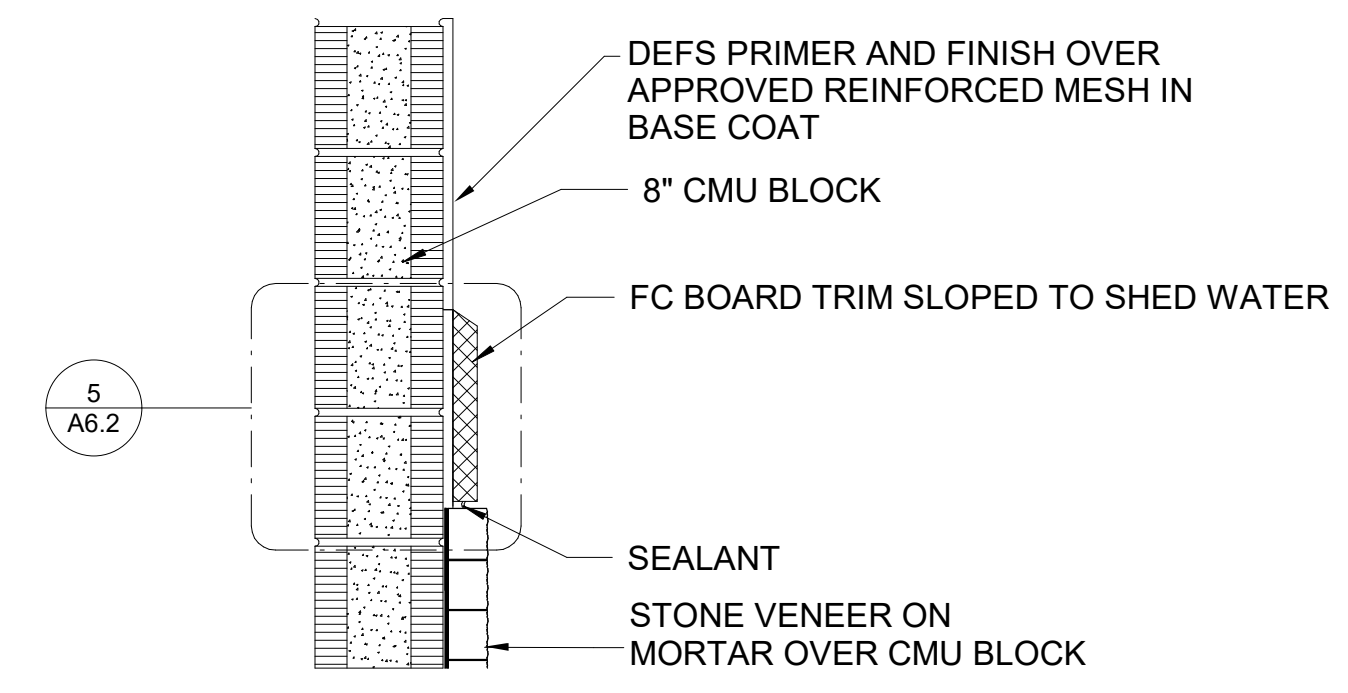
9 DRAFTSTOPPING DETAIL  
3" = 1'-0"



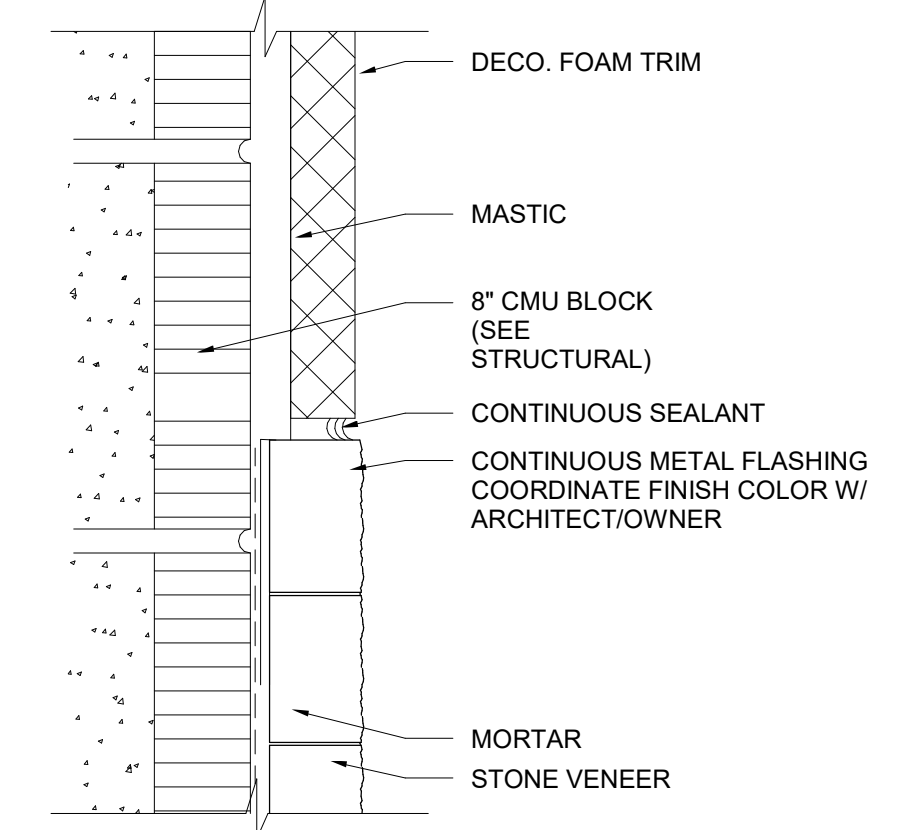
NOTE: 4" MIN. ABOVE GRADE, 2" MIN. ABOVE PAVED SURFACES / HARDSCAPE, OR AS SPEC'D BY LOCAL CODE.  
8 DEFS TERMINATION DETAIL  
3" = 1'-0"



NOTE: 1. RESTRICT USE OF THIS DETAIL TO AREA WHERE MINIMAL MOVEMENT IS ANTICIPATED. 2. AESTHETIC JOINTS MAY BE INSTALLED OVER METAL LATH AND WIRE TIED.  
7 DEFS CONTROL / EXPANSION JOINT DETAIL  
3" = 1'-0"

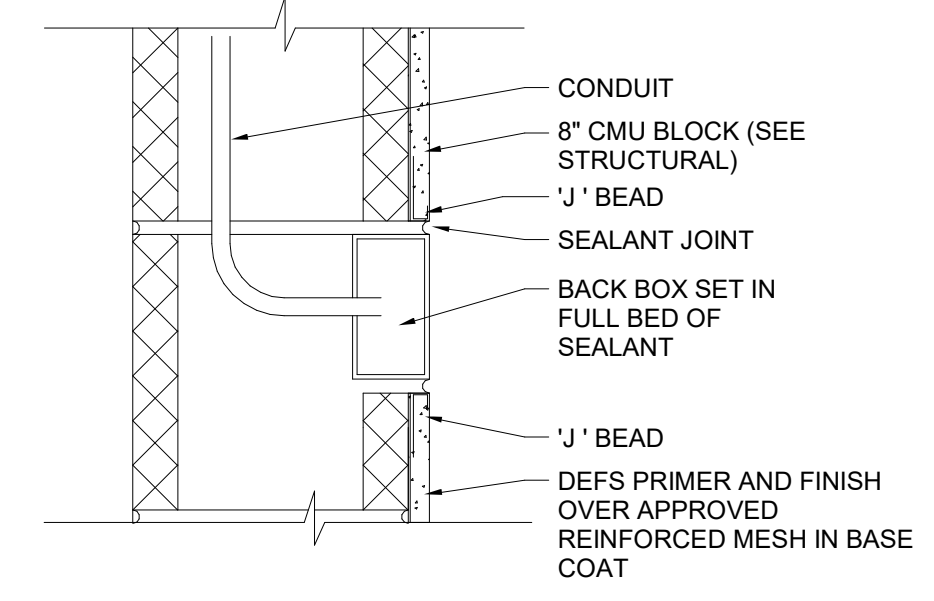


5 A6.2  
6 BAND TRANSITION DETAIL  
1" = 1'-0"



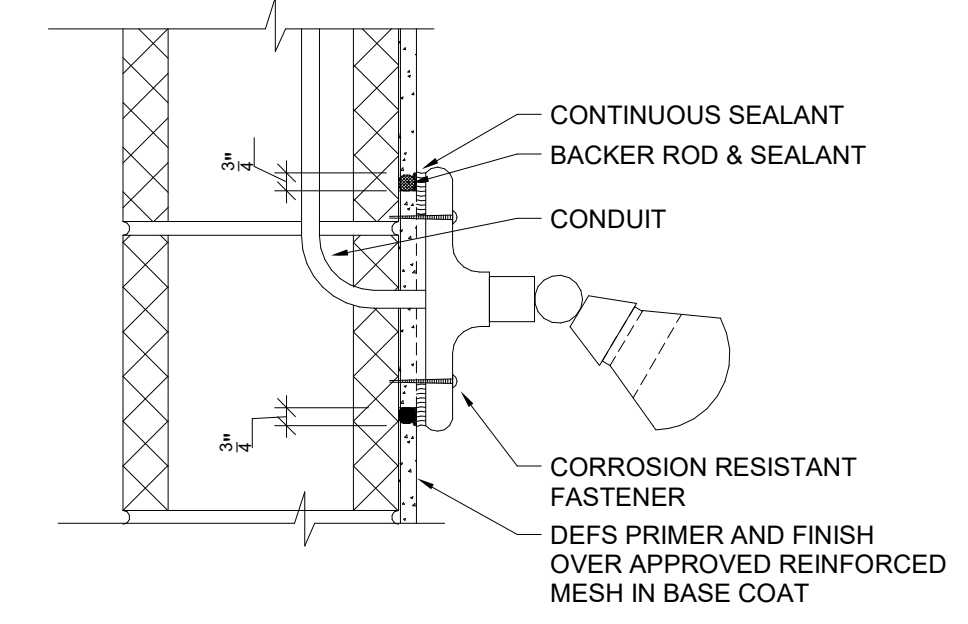
5 BAND TO STONE TRANSITION  
3" = 1'-0"

NOTE: COMPLETELY SEAL THE CONDUIT PENETRATION OF THE STUCCO WALL SYSTEM PRIOR TO INSTALLATION OF THE ELECTRICAL BOX.



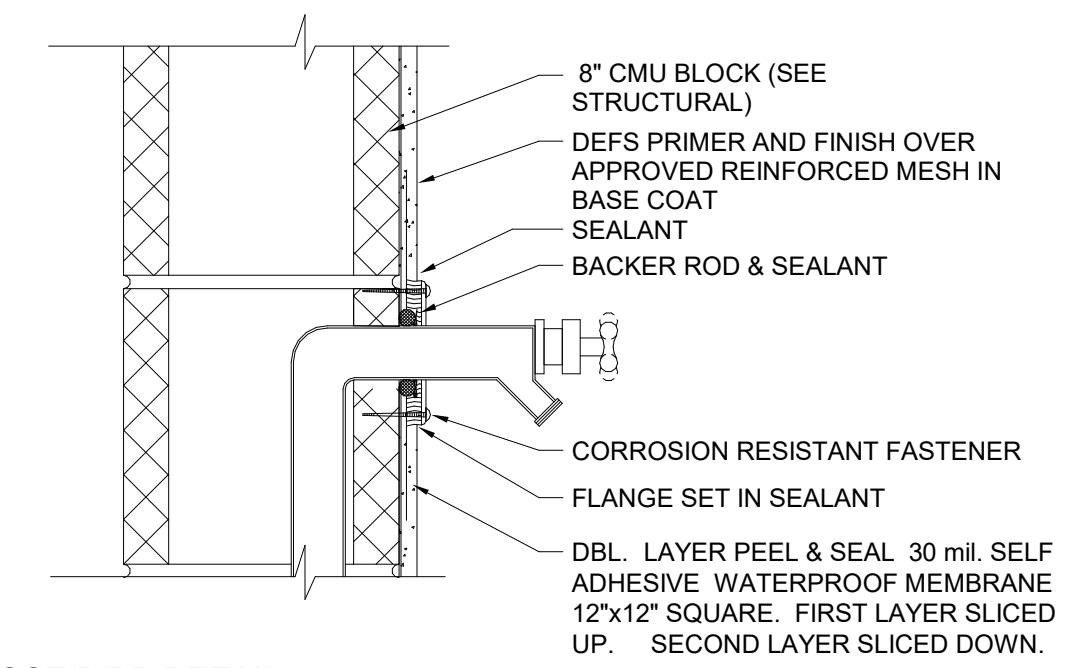
4 ELECTRICAL DEVICE MOUNT  
1 1/2" = 1'-0"

NOTE: COMPLETELY SEAL THE CONDUIT PENETRATION OF THE STUCCO WALL SYSTEM PRIOR TO INSTALLATION OF THE ELECTRICAL BOX.

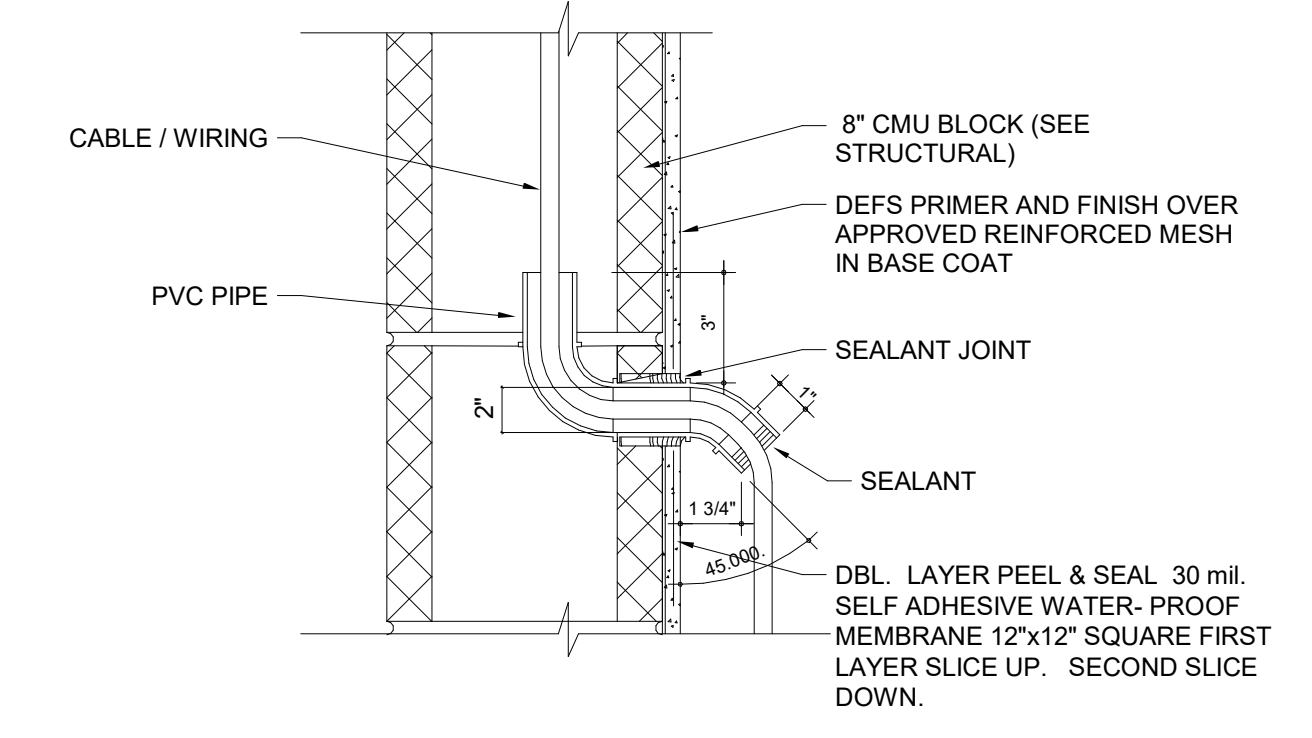


3 LIGHT FIXTURE MOUNT  
1 1/2" = 1'-0"

NOTE: PRE-DRILL ATTACHMENT HOLES AND FILL WITH SEALANT PRIOR TO INSERTING FASTENER. INSERT FASTENER BEFORE SEALANT HARDENS



2 HOSE BIBB DETAIL  
1 1/2" = 1'-0"



1 SLEEVE PENETRATION DETAIL  
1 1/2" = 1'-0"

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OWNER LOGO:  
24-0437 SHELL 12 R1

FOR CODE COMPLIANCE  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES:  
Florida Building Code  
Florida Electrical Code  
Florida Mechanical Code  
Florida Plumbing Code  
Florida Fire and Life Safety Code  
Florida Energy Code  
Florida Wind-Borne Debris Code

OWNER / PROJECT:

**STONEBROOK**  
**EXCHANGE**  
SHELL BUILDING 12  
WINTER GARDEN, FL

PROFESSIONAL SEAL:

Robert Jeffrey Powell, AIA  
Florida Licensed Architect #AR#4675  
This item has been electronically signed and sealed by Robert Jeffrey Powell, AIA #4675  
Using a Digital Signature. True copies of this document are not considered signed and sealed  
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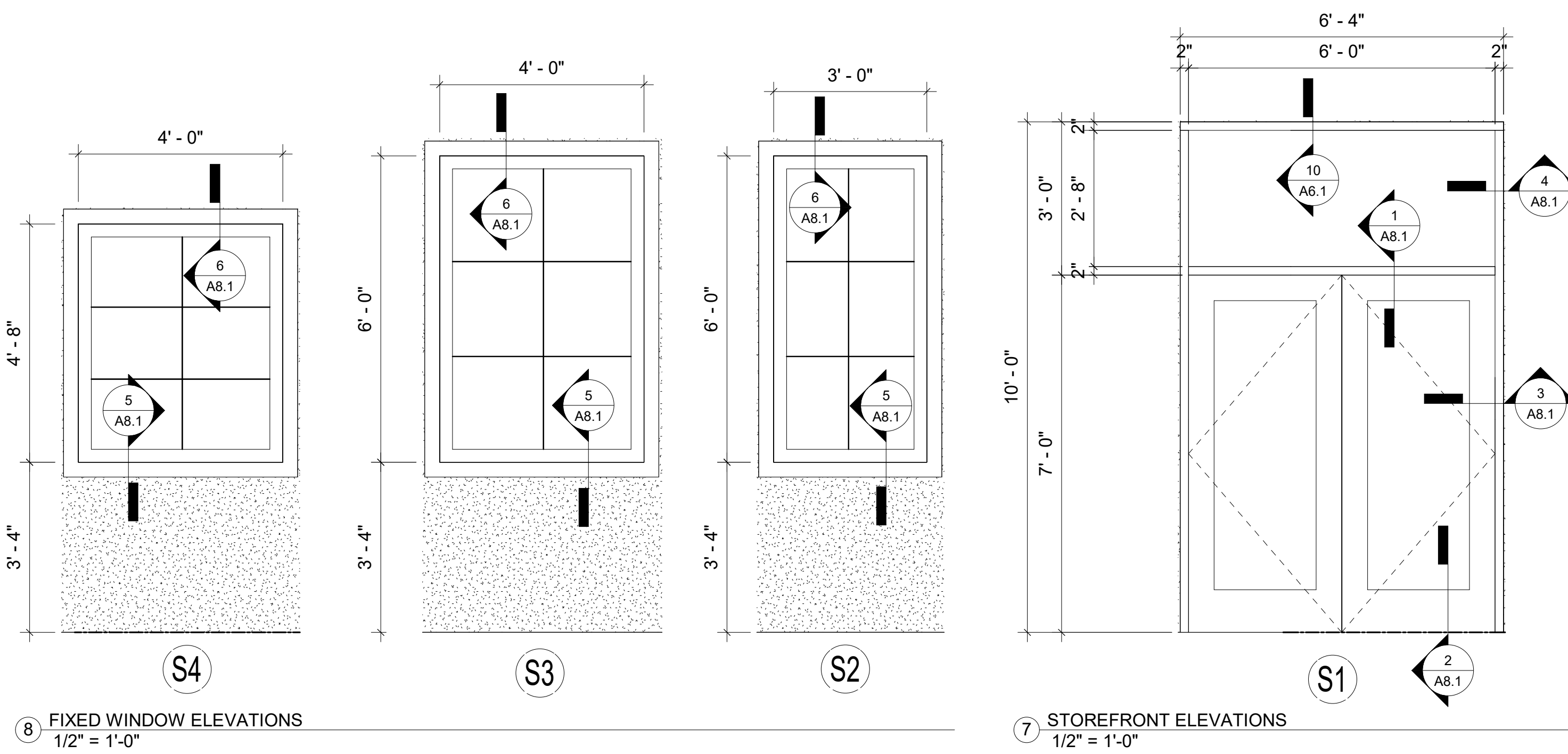
MARK	DATE	DESCRIPTION
ISSUE DATE: JANUARY 19, 2024		

DETAILS	
PROJECT NO.	PSA 2023-39.05
DRAWN BY	AP
CHECKED BY	JP

A6.2

Scale As indicated





8 FIXED WINDOW ELEVATIONS  
1/2" = 1'-0"

7 STOREFRONT ELEVATIONS  
1/2" = 1'-0"

DOOR SCHEDULE									
DOOR MARK	WIDTH	HEIGHT	THICKNESS	MATERIAL - FINISH	TYPE	FRAME MATERIAL - FINISH	DOOR RATING	HARDWARE SET	COMMENTS
100A	6'-0"	7'-0"	2"	ALUM / GLASS	M1	BLACK ANODIZED	NA	A	
100B	6'-0"	7'-0"	2"	ALUM / GLASS	M1	BLACK ANODIZED	NA	A	
100C	6'-0"	7'-0"	2"	ALUM / GLASS	M1	BLACK ANODIZED	NA	A	
100D	6'-0"	7'-0"	2"	ALUM / GLASS	M1	BLACK ANODIZED	NA	A	

DOOR & FRAME LEGEND					
DOOR MATERIAL		FINISHES		FRAME MATERIAL & TYPES	
MTL	METAL	PT	PAINT	MTL	METAL
WD	WOOD	FP	FACTORY PRIMED	WD	WOOD
		ST	STAIN	AN. ALUM	ANODIZED ALUMINUM

**GENERAL NOTES:**

- CONTRACTOR TO VERIFY ROUGH OPENINGS REQUIRED FOR DOORS WITH DOOR FRAME PRODUCT MANUFACTURER.
- FIELD VERIFY ALL DOOR MOLDING, TRIM, PANELING AND OVERALL DIMENSIONS.
- CONTRACTOR TO REVIEW AND CONFIRM HARDWARE SETS WITH OWNER AND ARCHITECT PRIOR TO ORDERING.
- ALL HARDWARE TO BE SATIN CHROME FINISH UNLESS OTHERWISE NOTED.
- ALL GLAZING TO BE 1" INSULATED LOW 'E' TEMPERED CLEAR GLASS, UNLESS OTHERWISE NOTED.
- ALL LEVER HANDLE LATCH SETS SHALL BE COMPLIANT WITH THE FABC 309 & 404.2.7.

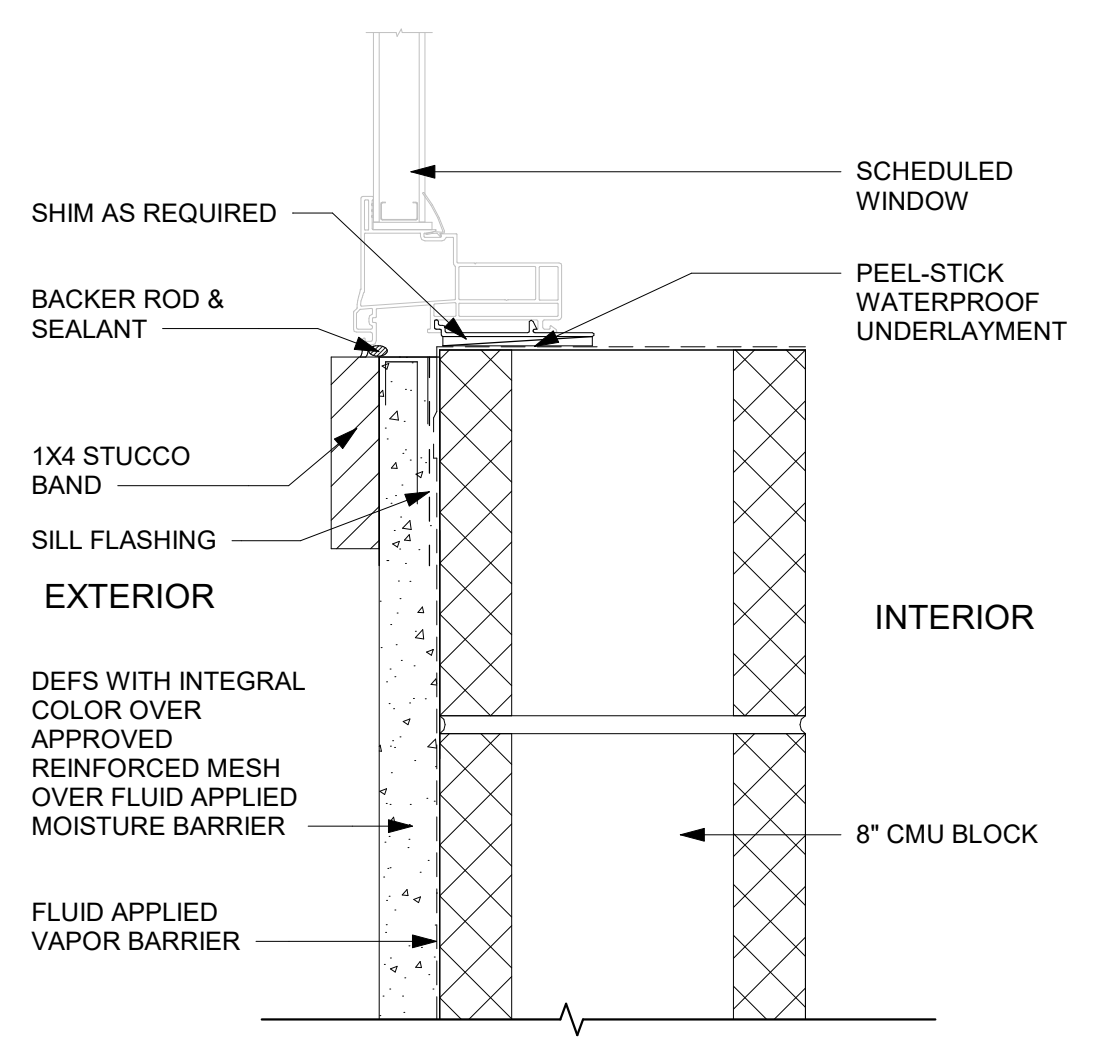
DOOR HARDWARE SCHEDULE		
SET	ITEM	MANUFACTURER & MODEL NUMBER
HARDWARE SET 'A'	<b>INACTIVE LEAF:</b> (1-1/2) PAIR 4-1/2 X 4-1/2 BUTT HINGES (1 EA) PUSH / PULL (1) CLOSER	STANDARD YKK 4-1/2" X 4-1/2" BALL BEARING HINGES YKK CP-11 PUSH BAR / CO-9 PULL HANDLE LCN 1260 SERIES SURFACE MTD. CLOSER WITH BACKCHECK AND HOLD OPEN
	<b>ACTIVE LEAF:</b> (1-1/2) PAIR 4-1/2 X 4-1/2 BUTT HINGES (1 EA) PUSH / PULL (1) CLOSER  (1) LOCKING CYLINDER	STANDARD YKK 4-1/2" X 4-1/2" BALL BEARING HINGES YKK CP-11 PUSH BAR / CO-9 PULL HANDLE LCN 1260 SERIES SURFACE MTD. CLOSER WITH BACKCHECK AND HOLD OPEN ADAMS RITE MS-1850 DEADLOCK WITH CYLINDER KEYED TO MASTER KEY SYSTEM
	<b>GENERAL:</b> (1) WEATHER STRIPPING (1) TRESHOLD	BOTTOM DOOR SWEEP/THRESHOLD 1/2" HIGH OFFSET PIVOT / BUTT HUNG

**PRE-ENGINEERED ALUMINUM AWNING NOTES:**

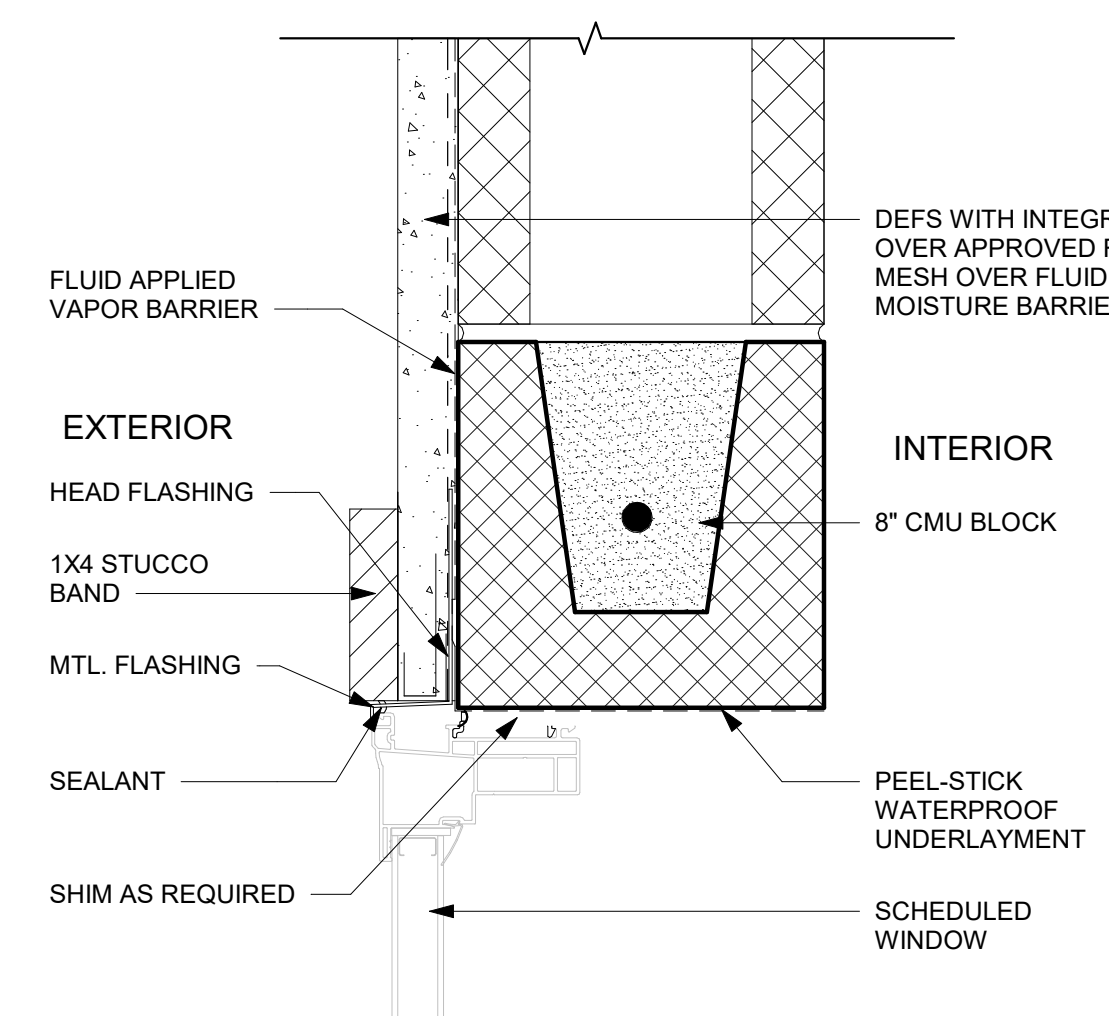
- AWNING AND ALL ASSOCIATED FRAMEWORK MEMBERS TO BE DESIGNED AND CERTIFIED BY A REGISTERED ENGINEER IN THE STATE OF FLORIDA AND SHALL MEET OR EXCEED ALL APPLICABLE CODES AND REGULATIONS.
- GC TO COORDINATE WITH AWNING FABRICATORS SO AS TO PROVIDE ALL NECESSARY FRT BLOCKING AND / OR ALL GROUTED SOLID MASONRY CELLS IN ORDER TO PROVIDE PROPER FASTENING.
- SUBMIT SHOP DRAWINGS OF AWNING DESIGN DETAILS FOR ARCHITECT / OWNER APPROVAL.
- PRE-ENGINEERED ALUMINUM AWNING BASIS OF DESIGN: MAPES SUPER LUMIDECK FLAT SOFFIT, OR EQUAL; COORD. COLOR WITH EXTERIOR BUILDING DESIGN.

**ALUMINUM STOREFRONT NOTES:**

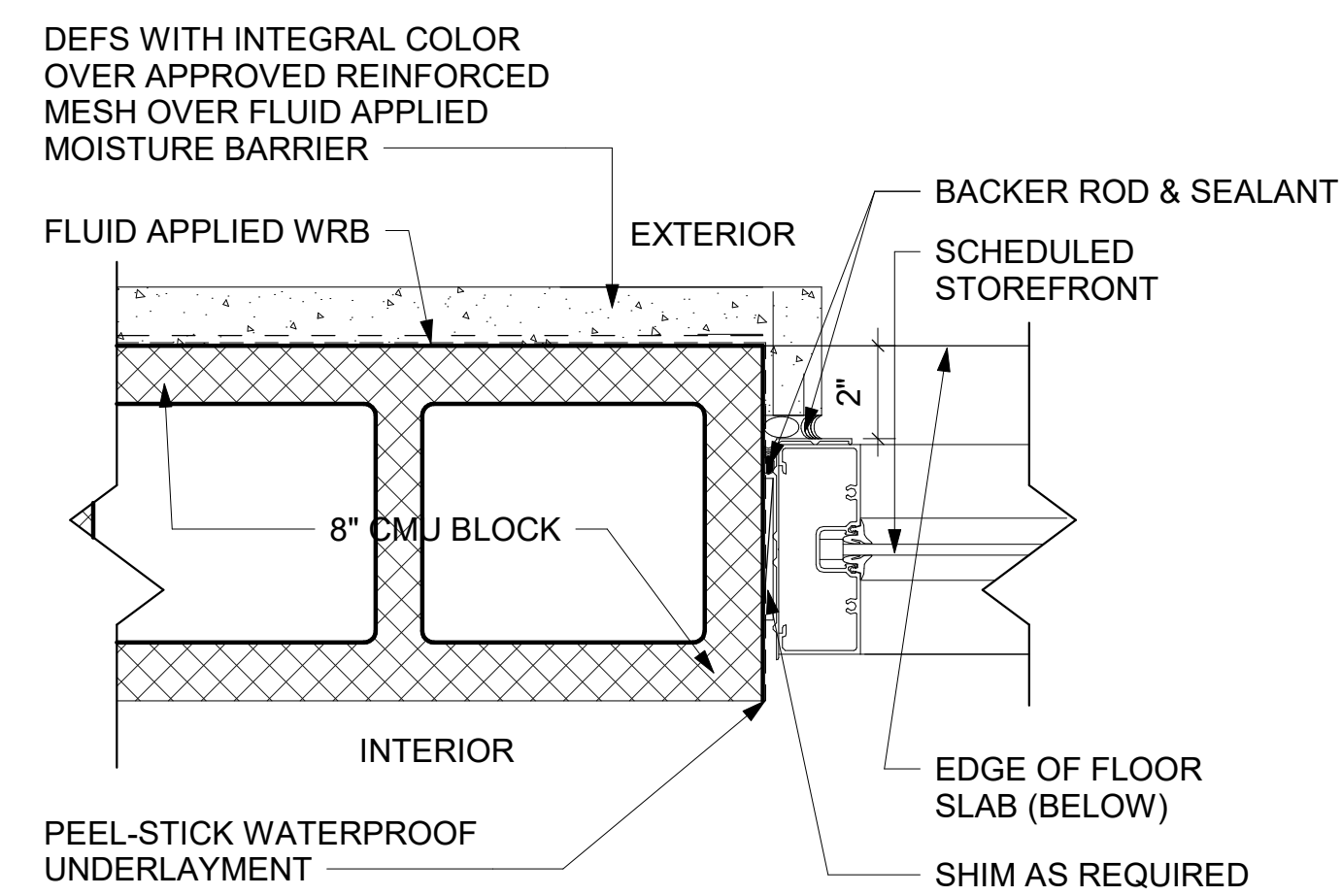
- EXTERIOR FIXED WINDOW SYSTEM BASIS OF DESIGN: YKK AP YES 45 TU FIXED ALUMINUM STOREFRONT SYSTEM, THERMALLY BROKED, INSULATED CENTER SET, FLUSH GLAZED STOREFRONT SYSTEM FOR 1" INSULATING GLASS, WITH MANUF. STANDARD EPDM GLAZING GASKET, FABRICATED AS SHOWN AND WHERE LOCATED ON THE DRAWINGS.
- ENTRANCE FRAMING SYSTEM (STOREFRONT DOORS) BASIS OF DESIGN: YKK AP SERIES 35D SWING ENTRANCES; DOUBLE GLAZED WITH MANUF. STANDARD VINYL GLAZING BEAD.
- FRAME FINISH: BLACK ANODIZE
- T = TEMPERED GLASS
- GENERAL CONTRACTOR TO VERIFY ALL OPENINGS AND HARDWARE PRIOR TO FABRICATION OF ALUMINUM STOREFRONT AND WINDOWS.



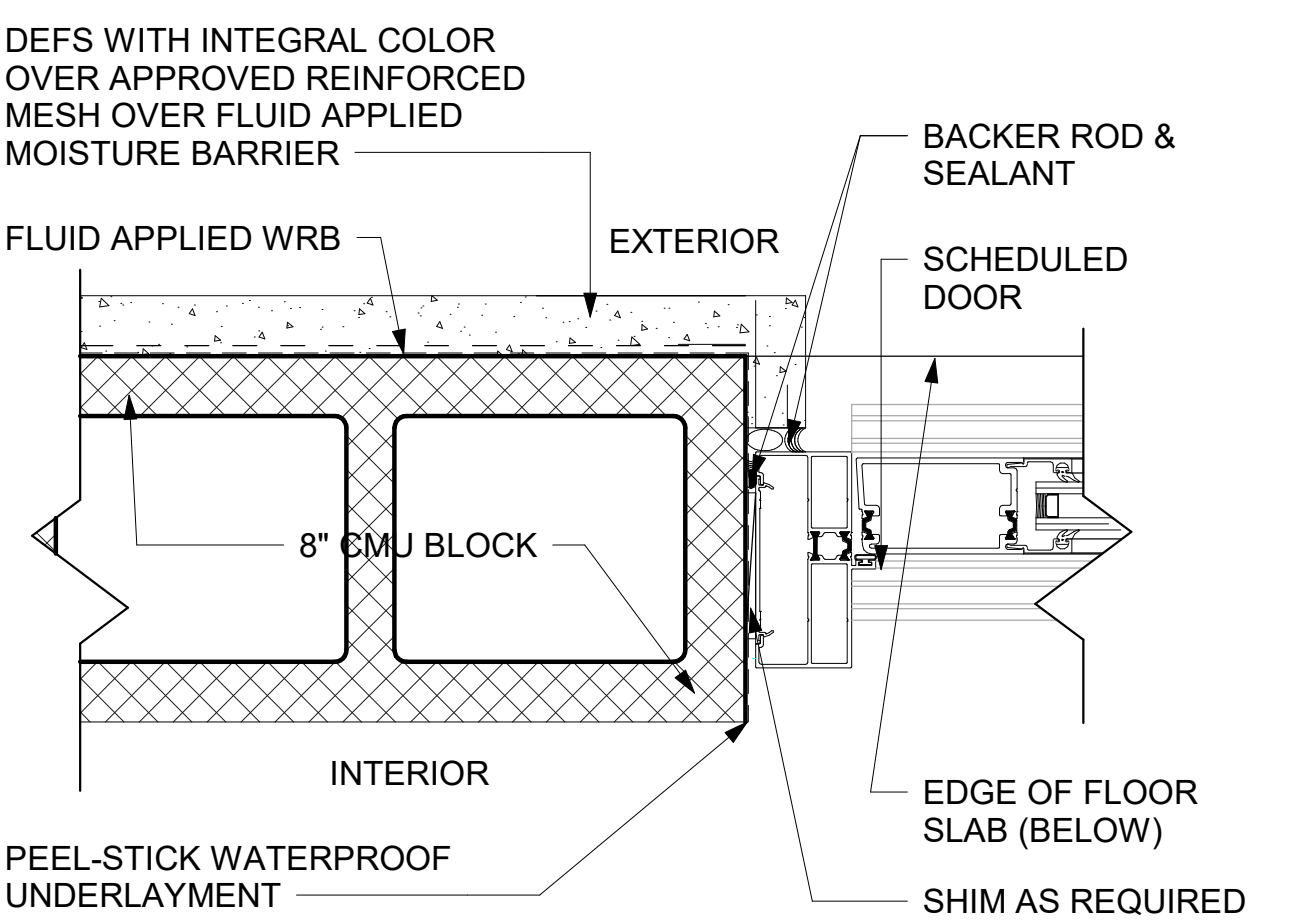
5 WINDOW SILL DETAIL - DEFS  
3" = 1'-0"



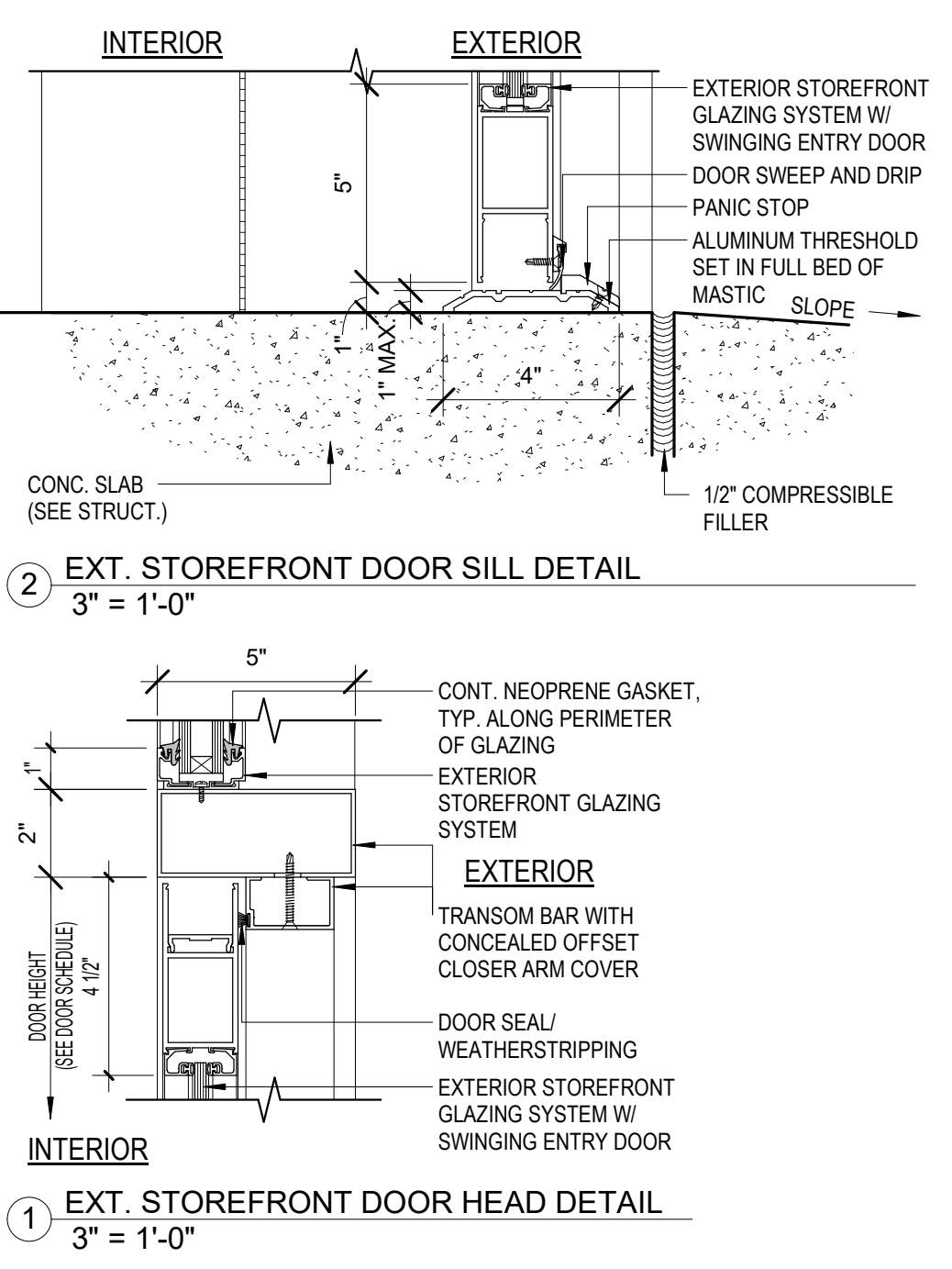
6 WINDOW HEAD DETAIL-DEFS  
3" = 1'-0"



4 JAMB DETAIL - DEFS  
3" = 1'-0"



3 DOOR JAMB DETAIL-LEFT SIDE - DEFS  
3" = 1'-0"



2 EXT. STOREFRONT DOOR SILL DETAIL  
3" = 1'-0"

1 EXT. STOREFRONT DOOR HEAD DETAIL  
3" = 1'-0"



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OWNER LOGO:  
24-0437 SHELL 12 R1



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MARK	DATE	DESCRIPTION
	JANUARY 19, 2024	DOOR SCHEDULES, STOREFRONT ELEVATIONS & DETAILS

PROJECT NO. PSA 2023-39.05  
DRAWN BY AP  
CHECKED BY JP

A8.1

Scale As indicated