

# LAND FOR SALE

*Ready to Build!*

**±12,293 SF, 2-Story Medical Office Building**

420 Pennsfield Pl., Thousand Oaks CA 91360



FEDER & ASSOCIATES  
COMMERCIAL REAL ESTATE

OFFERING MEMORANDUM

**PEAK**  
COMMERCIAL

# 420 Pennsfield Pl.

*Exclusively Marketed by:*

**Ron Feder**

Senior Managing Director  
(818) 222-0404  
rfeder@rjfeder.com  
DRE#00983855

**PEAK**  
COMMERCIAL



**FEDER & ASSOCIATES**  
COMMERCIAL REAL ESTATE

5900 Canoga Ave Suite 110, Woodland Hills, CA 91367

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## OFFERING SUMMARY

ADDRESS	420 Pennsfield Pl. Thousand Oaks CA 91360
COUNTY	Ventura
MARKET	Los Angeles
SUBMARKET	Thousand Oaks/SE County
LAND ACRES	0.68
LAND SF	29,705 SF
YEAR BUILT	Proposed
APN	669-0-021-080
OWNERSHIP TYPE	Fee Simple

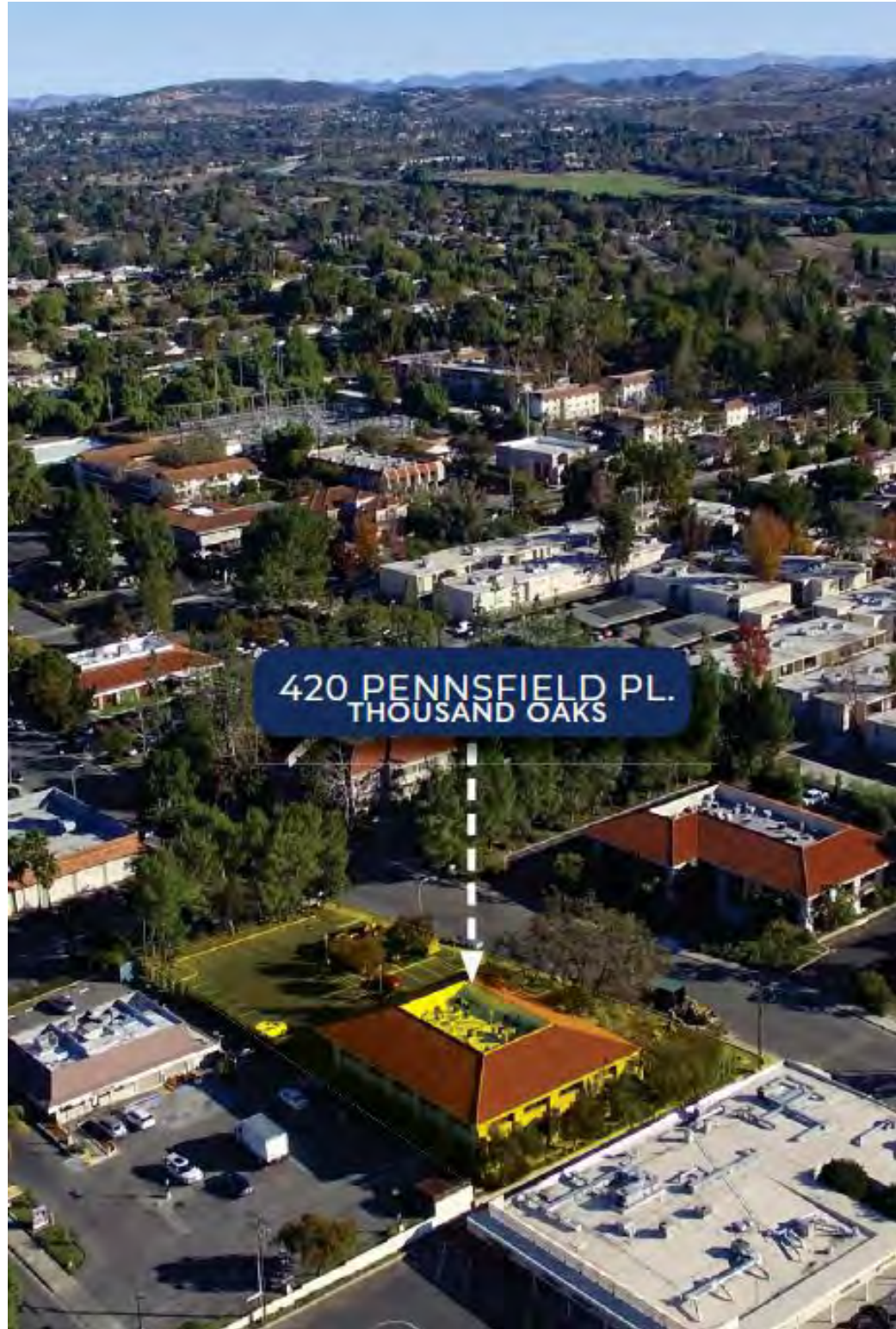
## FINANCIAL SUMMARY

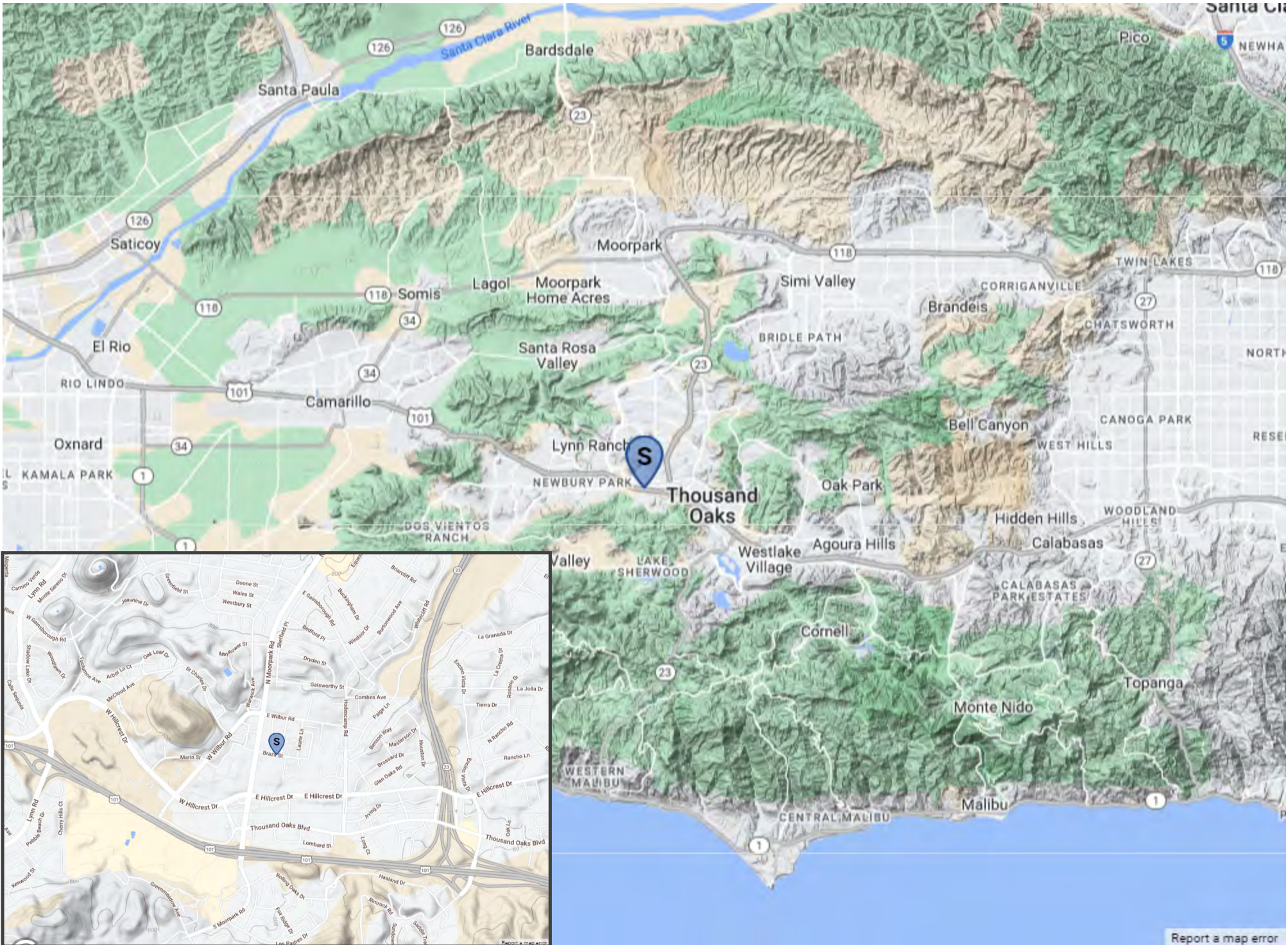
PRICE	\$3,500,000
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DEMOGRAPHICS	1 MILE	3 MILE	5 MILE
2023 Population	11,887	78,654	134,913
2023 Median HH Income	\$85,708	\$109,043	\$123,412
2023 Average HH Income	\$117,090	\$153,842	\$177,042

## Highlights

- **Land For Sale w/ Plans, Permits & Entitlements for a Medical Office Building!**
- The Property is Located Within Direct Proximity to Both 101 & 23 Freeways
- Numerous Nearby Amenities Like Janss Marketplace, The Oaks Mall, Best Buy, Whole Foods & Many Other Retail Shopping Centers
- Property Is Situated On A Soft Corner





[Report a map error](#)



ARTISTIC RENDERING



PROJECT NARATIVE

**PROJECT DESCRIPTION:**  
CONSTRUCT A NEW TWO (2) STORY MULTI-TENANT MEDICAL OFFICE BUILDING

WORK UNDER SEPARATE PERMITS

- FIRE SPRINKLER SYSTEM
- FIRE ALARM SYSTEM
- HVAC MECHANICAL
- PLUMBING
- ELECTRICAL
- ELEVATOR

PROPERTY DATA

**SITE ADDRESS**  
EXISTING ADDRESS: 105 BRAZIL STREET THOUSAND OAKS, CA 91360  
REQUESTED NEW ADDRESS: 420 PENNSFIELD PLACE THOUSAND OAKS, CA 91360

**ASSESSOR PARCEL NO. (APN)**  
669-0-021-080

EXISTING CONDITIONS

1. VACANT SINGLE STORY RESTAURANT
2. PARKING LOT
3. LANDSCAPING
4. HARDSCAPE

LOT AREA SPECIFICATIONS:

PER CITY OF THOUSAND OAKS ONLINE MAPPING: 29,899 SF\*  
PER COUNTY OF VENTURA: 29,705 SF  
BASED ON AUTOCAD SURVEY BY STEVE OPDAHL: 30,051 SF

\*THE ZONING ANALYSIS IS BASED ON THE SQUARE FOOTAGE REFERENCED BY THE CITY OF THOUSAND OAKS ONLINE MAPPING.

SHEET INDEX

ENTITLEMENT DRAWINGS

- CS00 COVER SHEET
- CS01 GENERAL NOTES
- CS02 ACCESSIBILITY REQUIREMENTS
- CS03 ACCESSIBILITY REQUIREMENTS
- CS04 ACCESSIBILITY REQUIREMENTS
- CS05 ACCESSIBILITY REQUIREMENTS
- CS06 SITE PLAN AND ACCESSIBLE PATH OF TRAVEL
- CS07 ACCESSIBLE RESTROOM PLAN AND ELEVATIONS
- CS08 OCCUPANCY ANALYSIS
- CS09 EGRESS AND EXITING PLAN
- CS10 PLUMBING FIXTURE COUNT ANALYSIS
- CS11 CAL GREEN MANDATORY MEASURES
- CS12 CAL GREEN MANDATORY MEASURES
- CS13 CAL GREEN MANDATORY MEASURES
- CS14 APPROVED CONDITIONS
- CS15 APPROVED CONDITIONS
- CS16 APPROVED CONDITIONS
- CS17 APPROVED CONDITIONS
- CS18 APPROVED CONDITIONS
- CS19 APPROVED CONDITIONS
- CS20 APPROVED CONDITIONS
- CS21 APPROVED CONDITIONS

- CD0.1 TOPOGRAPHIC SURVEY
- CD0.2 DEMOLITION SITE PLAN
- CD0.3 SITE PLAN
- CD0.4 TRASH ENCLOSURE PLAN AND ELEVATIONS PER CITY OF TO
- CD0.5 BICYCLE STORAGE
- CD2.1 1ST FLOOR PLAN
- CD2.2 2ND FLOOR PLAN
- CD3.1 1ST FLOOR REFLECTED CEILING PLAN
- CD3.2 2ND FLOOR REFLECTED CEILING PLAN
- CD4.1 ROOF PLAN
- CD5.1 PROPOSED EXTERIOR ELEVATIONS
- CD6.1 SECTIONS
- CD6.2 SECTIONS
- CD6.3 WALL SECTIONS
- CD7.1 WALL DETAILS
- CD7.2 CEILING DETAILS
- CD7.3 ROOF DETAILS
- CD7.4 ROOF DETAILS
- CD8.1 STAIR DETAILS
- CD9.1 DOOR AND WINDOW SCHEDULE

CIVIL

- SHEET 1 OF 4 COVER SHEET
- SHEET 2 OF 4 GRADING NOTES
- SHEET 3 OF 4 GRADING DRAINAGE PLAN
- SHEET 4 OF 4 CROSS SECTIONS

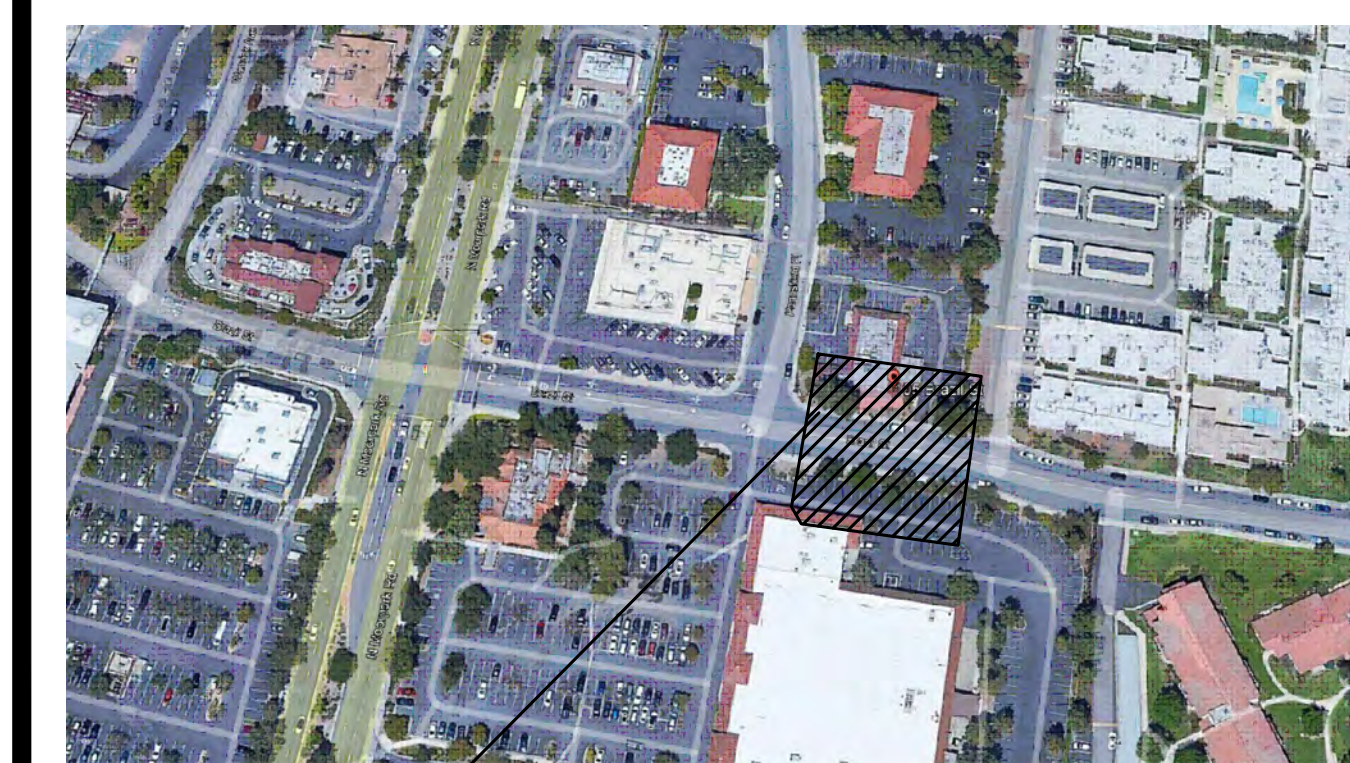
STRUCTURAL

- S1.1 GENERAL NOTES & DETAILS
- S2.1 FOUNDATION PLAN
- S2.2 ROOF/SECOND FLOOR FRAMING PLAN
- S2.3 ROOF FRAMING PLAN
- S2.4 UPPER ROOF FRAMING PLAN
- S2.5 TRASH ENCLOSURE PLANS & DETAILS
- SD1 FOUNDATION DETAILS
- SD2 SHEAR WALL CONSTRUCTION DETAILS
- SD3 STRUCTURAL DETAILS
- SD4 FLOOR FRAMING DETAILS
- SD5 ROOF FRAMING DETAILS
- SD6 STRUCTURAL DETAILS
- SD7 STRUCTURAL DETAILS
- SD8 HARDY FRAME STANDARD PLANS
- SD9 HARDY FRAME STANDARD PLANS

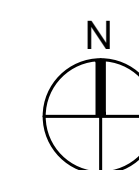
LANDSCAPE

- L1 LANDSCAPE PLAN
- L2 IRRIGATION PLAN
- L3 DETAILS

VICINITY MAP



PROJECT SITE  
420 PENNSFIELD  
THOUSAND OAKS, CALIFORNIA 91360



REVISIONS:

NO	DESCRIPTION	DATE

**MEDICAL OFFICE BUILDING**  
**420 PENNSFIELD PLACE**  
**THOUSAND OAKS, CALIFORNIA**  
 APN: 669-0-021-080

BUILDING CODE ANALYSIS

APPLICABLE CODES

1. THIS PROJECT SHALL COMPLY WITH CODES, ORDINANCES, AND LAWS HAVING JURISDICTION OF THE PROJECT. SUCH CODES, ORDINANCES AND LAWS INCLUDE BUT ARE NOT LIMITED TO:
  - 1.1. 2022 CALIFORNIA BUILDING CODE (HEREINAFTER REFERRED TO AS CBC)
  - 1.2. 2022 CALIFORNIA FIRE CODE (HEREINAFTER REFERRED TO AS CFC)
  - 1.3. 2022 CALIFORNIA ADMINISTRATIVE CODE "TITLE 24" (HEREINAFTER REFERRED TO AS CAC)
  - 1.4. 2022 CALIFORNIA PLUMBING CODE (HEREINAFTER REFERRED TO AS CPC)
  - 1.5. 2022 CALIFORNIA MECHANICAL CODE (HEREINAFTER REFERRED TO AS CMC)
  - 1.6. 2021 CALIFORNIA ELECTRICAL CODE (HEREINAFTER REFERRED TO AS CEC) INCLUDING 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS EFFECTIVE JANUARY 2023.
2. ALL AREAS OF NEWLY DESIGN AND NEWLY CONSTRUCTED BUILDINGS AND FACILITIES AND ALTERED PORTIONS OF EXISTING BUILDINGS AND FACILITIES SHALL COMPLY SEC. 11B-201.1
3. ALL EXTERIOR DOORS, WINDOWS AND ROOF OPENINGS SHALL COMPLY WITH THE UNIFORM BUILDING SECURITY CODE.

OCCUPANCY CLASSIFICATION (Per 2019 CBC Chapter 303.4)

PROPOSED: B

CONSTRUCTION TYPE

PROPOSED: VB

ALLOWABLE HEIGHT/STORIES (Per 2019 CBC Table 504.3)

ALLOWABLE STORIES: 3 STORIES  
ALLOWABLE HEIGHT: 35'-0"  
PROPOSED: SEE "BUILDING HEIGHT" UNDER ZONING ANALYSIS (THIS SHEET)

FIRE SPRINKLERS

REQUIRED BY BUILDING CODE: NO  
REQUIRED BY VENTURA COUNTY FIRE DEPARTMENT SECTION 903.2: YES  
PROPOSED: YES

FIRE ALARM (Per 2019 CBC 907.2.9)

REQUIRED: YES  
PROPOSED: YES

PARKING | ACCESSIBLE SPACE ALLOCATION

REQUIRED (26 TO 50 PARKING SPACE): 2 ACCESSIBLE PARKING SPACES  
(1 STANDARD ACCESSIBLE PLUS 1 VAN ACCESSIBLE)

PROPOSED: 2 ACCESSIBLE PARKING SPACES  
(1 STANDARD ACCESSIBLE PLUS 1 VAN ACCESSIBLE)

ZONING ANALYSIS

COMMERCIAL ZONE:

EXISTING: C2 HIGHWAY AND ARTERIAL BUSINESS ZONE

USE:

PERMITTED UNDER A DEVELOPMENT PERMIT REVIEW: MEDICAL OFFICE  
PROPOSED: MEDICAL OFFICE  
COMPLIANT: YES

GROSS BUILDING AREA

FIRST FLOOR: 6,349 SF  
SECOND FLOOR: 5,944 SF  
TOTAL: 12,293 SF

TENANT AREA CALCULATIONS

FIRST FLOOR: SUITE  
NORTH TENANT SPACE: 2,894 SF  
SOUTH TENANT SPACE: 2,304 SF  
  
SECOND FLOOR  
NORTH TENANT SPACE: 2,685 SF  
SOUTH TENANT SPACE: 2,163 SF

TOTAL TENANT SPACE BUILDING\*: 10,046 SF

YARDS

PER TOMC 9-4.2509 THE FOLLOWING ARCHITECTURAL FEATURES MAY PROJECT INTO A YARD: "Eaves, cornices, canopies, belt courses, sills, buttresses, or other similar architectural features may project into required yards provided such extensions shall not be nearer than two (2) feet to any rear or side line of the lot or parcel. Where more than one building is located on the same lot or parcel, such features shall not be nearer than two (2) feet to a line midway between the main walls of such buildings."

FRONT YARD (BRAZIL STREET)

REQUIRED FRONT YARD SETBACK: 20'-0"  
PROPOSED FRONT YARD SETBACK: 10'-0"  
COMPLIANT: NO\*

\*SEE "REQUEST FOR VARIANCE" UNDER PROJECT NARRATIVE (THIS SHEET)

SIDE YARD (PENNSFIELD STREET)

REQUIRED SITE YARD SETBACK: 10'-0"  
PROPOSED SIDE YARD STREET SETBACK: 20'-0"  
COMPLIANT: YES

LOT COVERAGE

ALLOWABLE BUILDING COVERAGE: 25% OF 29,899 SF=7,474.75 SF  
PROPOSED BUILDING COVERAGE: 6,349 SF (BASED ON GROSS FIRST FLOOR)  
COMPLIANT: YES

REQUIRED LANDSCAPE COVERAGE: 10% OF OPEN PARKING AND DRIVEWAYS PER TOMC 9-4.2404 SUB SECTION (e)(1). OPEN PARKING AREA +/-14800 SF  
PROPOSED LANDSCAPE COVERAGE WITHIN OPEN PARKING AND DRIVEWAYS: +/-4,032 SF  
PROPOSED LANDSCAPE COVERAGE ON SITE: 7,428 S  
COMPLIANT: NO

BUILDING HEIGHT

ALLOWABLE BUILDING HEIGHT: 35'-0"  
PROPOSED BUILDING HEIGHT: 35'-0" AT HIGHEST POINT  
COMPLIANT: YES

PARKING:

PARKING SPACE LOAD FACTOR FOR MEDICAL OFFICE USE: 1 SPACE FOR EVERY 200 SF

PARKING SPACES REQUIRED: 50

PARKING SPACES PROVIDED: 46 (REQUESTING 8% REDUCTION IN PARKING\*\*)

ALLOWABLE BUILDING AREA (EXCLUDING COMMON AREAS\*): UP-TO-10,099 SF

PROPOSED BUILDING AREA (EXCLUDING COMMON AREAS\*): 10,046 SF SEE "TENANT AREA CALCULATIONS" UNDER "ZONING ANALYSIS" SHEET CS

COMPLIANT: NO\* \*\*

\*EXCLUDING COMMON AREAS IN ACCORDANCE WITH TOMC SECT. 9-4.2403

\*\* REQUESTING REDUCTION IN REQUIRED UP-TO-10% IN ORDER TO MEET THE 2022 CALIFORNIA GREEN BUILDING CODE SECTION 5.106.12 REQUIREMENT FOR 50% SHADE COVERAGE ON PARKING LOTS.

PARKING | CODE REFERENCE | TOMC SEC. 9-4.2403:

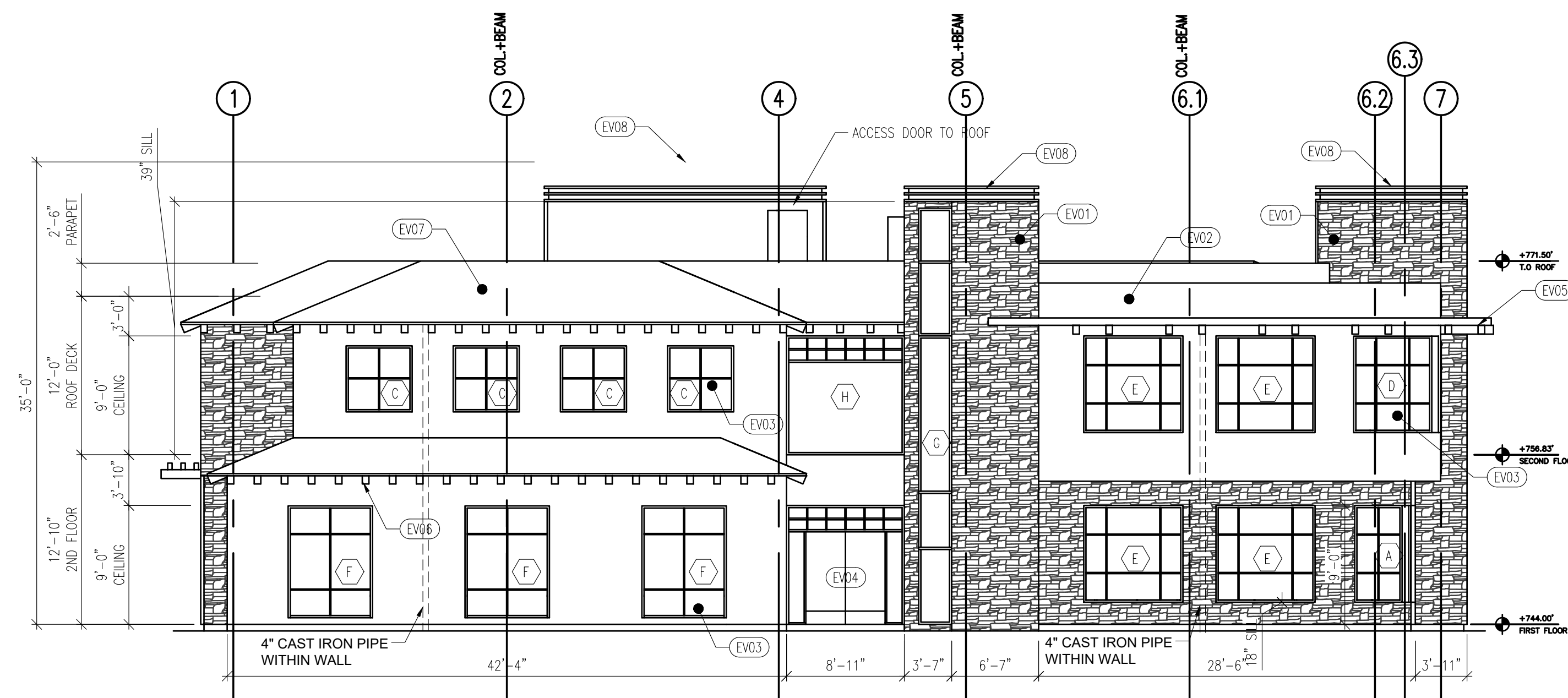
TOMC SEC. 9-4.2403 COMPUTATION OF OFF-STREET PARKING SPACES SUBSECTION (d)(1) "New multi-tenant buildings. For the purpose of calculating parking space requirements for multi-tenant nonretail business, professional offices and other similar uses, approved under this Title after August 22, 1997, the square footage described in subsections (26) and (28) of Section 9-4.2402(c) shall mean only the building's gross leasable floor area. For the purpose of this calculation, "gross leasable floor area" shall mean the area within the total dimensions on each floor as measured from the outside walls, but excluding the interior common areas used for corridors, lobbies, stairways, common restrooms, elevator or mechanical shafts, and for any unmanned electrical or mechanical rooms. In order to qualify as a "corridor" under this section, the area shall be a shared interior circulation hallway or common walkway feature more than five (5) feet in width with permanent walls on both sides that are constructed from floor to ceiling."

PARKING STALL TYPES

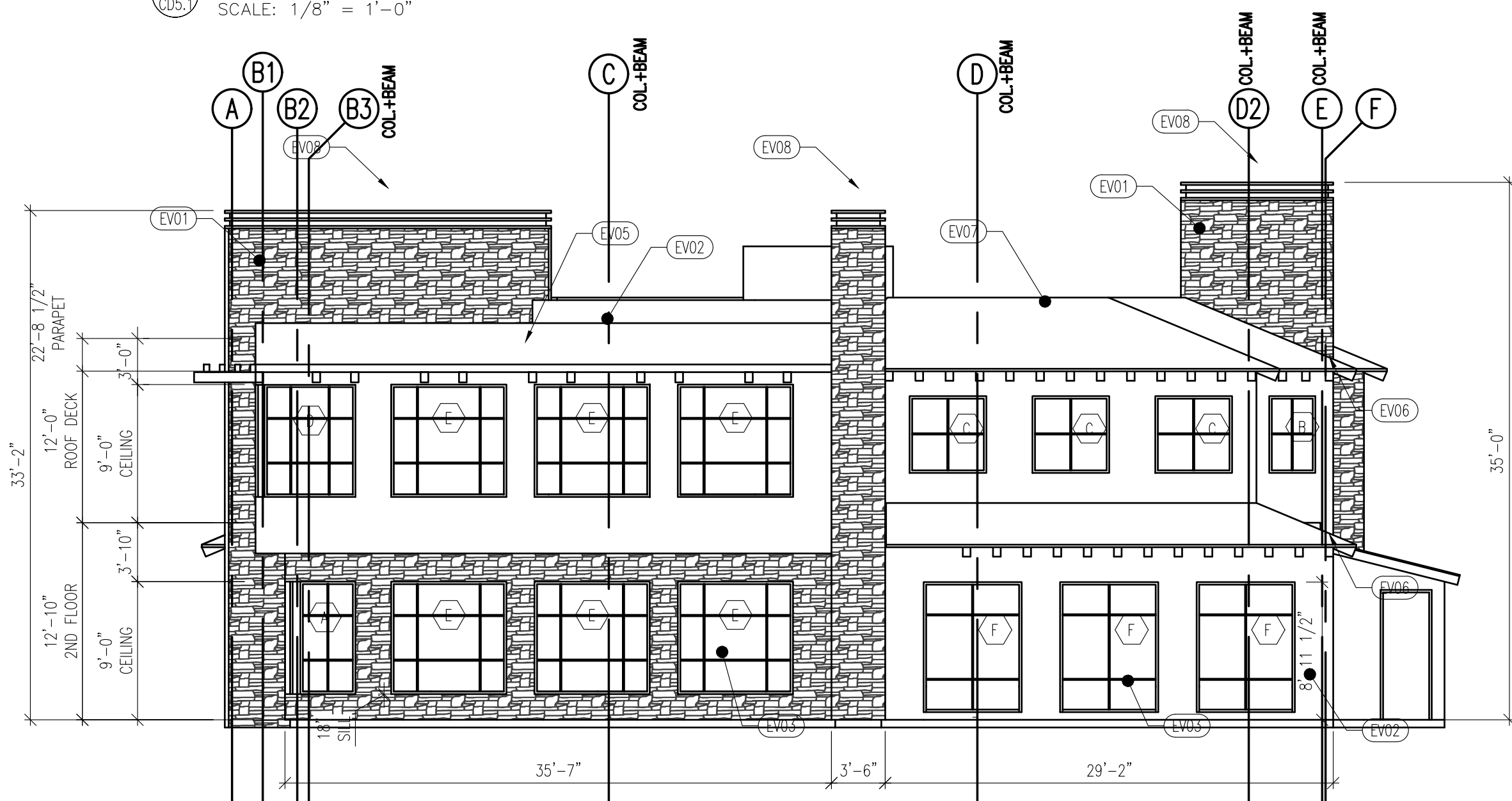
PERMITTED AS COMPACT: 25% OF 50 PARKING SPACES PROVIDED: 12  
PROPOSED COMPACT: 10  
COMPLIANT: YES, THE PROPOSED DEVELOPMENT IS UNDER THE MAXIMUM OF 12 ALLOWED.

LANDSCAPE COVERAGE

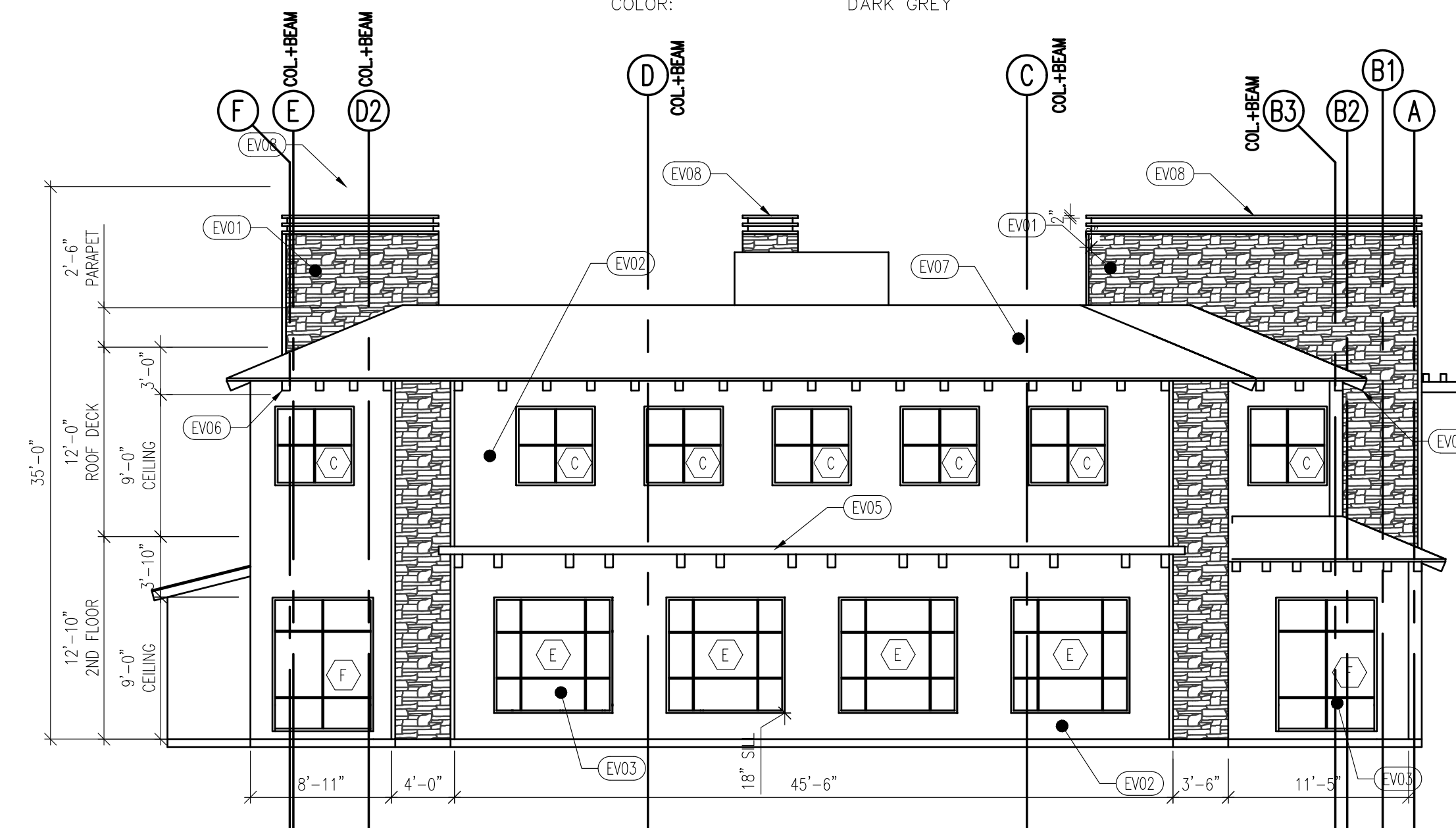
SEE LANDSCAPE PLANS



**PROPOSED ELEVATION - WEST**  
SCALE: 1/8" = 1'-0"



**PROPOSED ELEVATION - SOUTH**  
SCALE: 1/8" = 1'-0"



**PROPOSED ELEVATION - NORTH**  
SCALE: 1/8" = 1'-0"



**PROPOSED ELEVATION - EAST**  
SCALE: 1/8" = 1'-0"

**ELEVATION KEYNOTES**

- EV01 STONE VENEER: CORONADO COUNTRY RUBBLE  
MANUFACTURER: TEXAS CREAM  
STACK: TEXAS CREAM  
COLOR: TEXAS CREAM
- EV02 STUCCO: LA HABRA OR EQUAL  
MANUFACTURER: SMOOTH SANTA BARBARA FINISH  
TEXTURE: INTEGRAL OMEGA COLOR TEK, OMEGA WHITE NO. 10  
COLOR:
- EV03 WINDOW: ARCADIA OR EQUAL  
FRAME MANUFACTURER: BLACK  
FRAME COLOR: VITRO GLASS OR EQUAL  
GLASS MANUFACTURER: DUAL PANE  
GLASS THICKNESS: CLEAR  
GLASS COLOR:
- EV04 DOOR: ARCADIA OR EQUAL  
FRAME MANUFACTURER: BLACK  
FRAME COLOR: VITRO GLASS OR EQUAL  
GLASS MANUFACTURER: DUAL PANE  
GLASS THICKNESS: CLEAR  
GLASS COLOR:
- EV05 CANTILEVERED AWNING: KNOTWOOD OR EQUAL  
MANUFACTURER: METAL  
MATERIAL: TEAK BROWN WOODGRAIN  
COLOR:
- EV06 RAFTER TAIL: WOOD  
MATERIAL: MATCH KNOTWOOD TEAK BROWN  
STAIN COLOR: CANTILEVERED AWNING.
- EV07 ROOFING: BERRIDGE OR EQUAL  
MANUFACTURER: CITYSCAPE  
COLOR: SS-14 TEE-PANEL  
FORM:
- EV08 DECORATIVE METAL CAP: COVERED  
MANUFACTURER: METAL  
MATERIAL: DARK GREY  
COLOR:

REVISIONS:

NO.	DESCRIPTION	DATE

**MEDICAL OFFICE BUILDING**  
**420 PENNSFIELD PLACE**  
**THOUSAND OAKS, CALIFORNIA**  
APN: 669-0-021-080

PROJECT NUMBER:

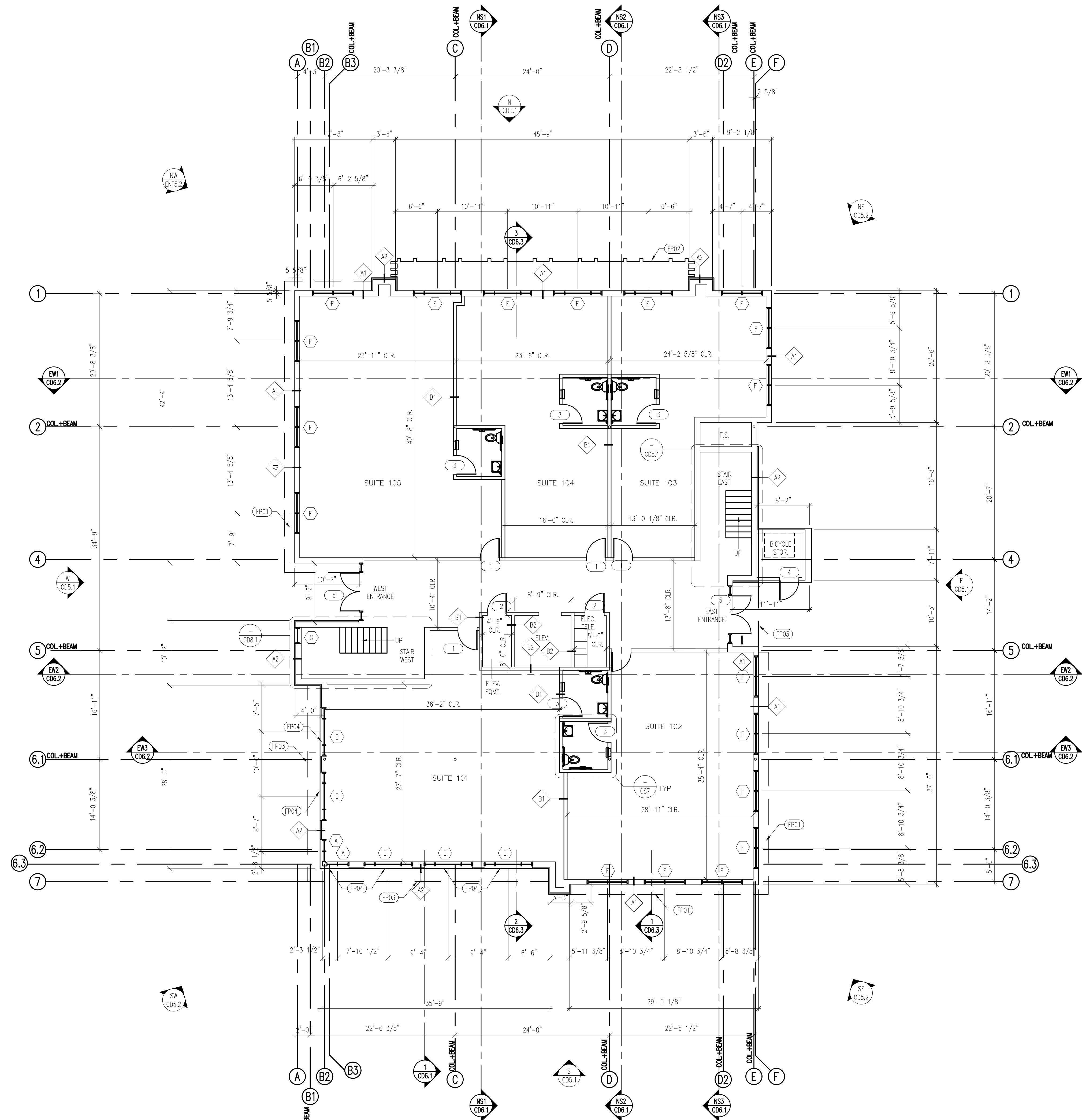
2021.10

SHEET NAME:

EXTERIOR ELEVATIONS

SHEET NUMBER:

CD5.1



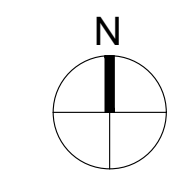
**LEGEND**

- TENANT SPACE
- WINDOW
- WINDOW TAG, REFER TO WINDOW SCHEDULE
- STANDING SEAM ROOF BELOW 5:12 SLOPE DOWN
- DOOR
- DOOR TAG, REFER TO DOOR SCHEDULE
- STOREFRONT ENTRANCE DOOR ASSEMBLY

SYMBOL	WALL TYPE	DETAIL
	EXTERIOR WALL	1/CD7.1 2/CD7.1
	EXTERIOR WALL W/ STONE VENEER	3/CD7.1
	INTERIOR WALL	4/CD7.1
	FIRE RATED INTERIOR WALL	5/CD7.1

- FIRST FLOOR PLAN KEYNOTES**
- ROOF OVERHANG ABOVE
  - TRELLIS OVERHANG ABOVE
  - 2ND FLOOR OVERHANG ABOVE
  - STONE VENEER EXTERIOR SILL

**1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**REVISIONS:**

NO.	DESCRIPTION	DATE

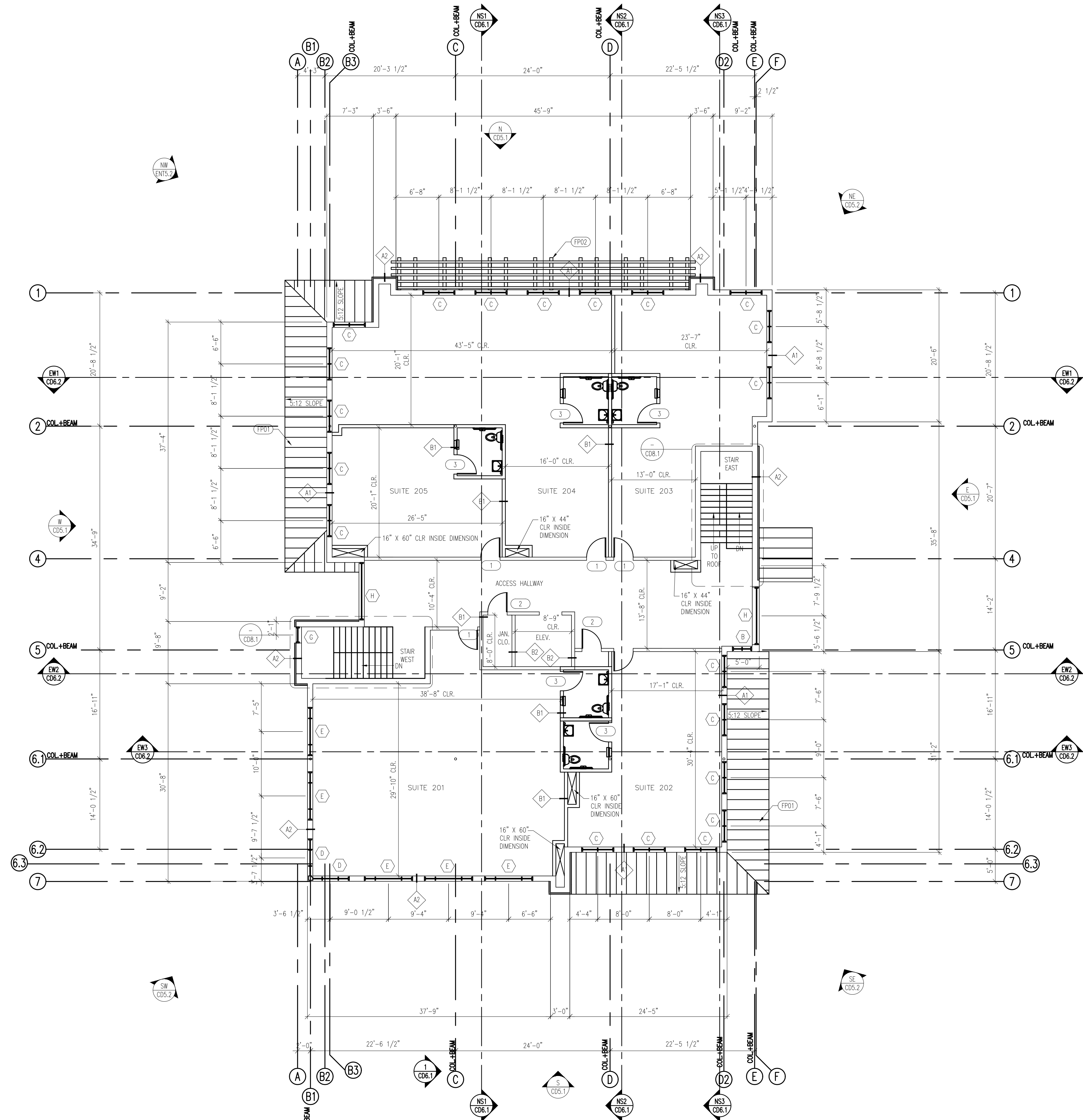
**MEDICAL OFFICE BUILDING**  
420 PENNSFIELD PLACE  
THOUSAND OAKS, CALIFORNIA  
APN: 669-0-021-080

PROJECT NUMBER:  
**2021.10**

SHEET NAME:  
**PROPOSED 1ST FLOOR PLAN**

SHEET NUMBER:  
**CD2.1**





**LEGEND**

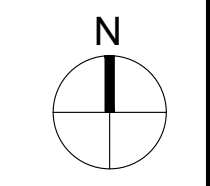
- TENANT SPACE
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- WINDOW TAG, REFER TO WINDOW SCHEDULE
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- DOOR
- DOOR TAG, REFER TO DOOR SCHEDULE
- STOREFRONT ENTRANCE DOOR ASSEMBLY

SYMBOL	WALL TYPE	DETAIL
<span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black; border-radius: 50%;"></span>	EXTERIOR WALL	1/CD7.1 2/CD7.1
<span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black; border-radius: 50%;"></span>	EXTERIOR WALL W/ STONE VENEER	3/CD7.1
<span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black; border-radius: 50%;"></span>	INTERIOR WALL	4/CD7.1
<span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black; border-radius: 50%;"></span>	FIRE RATED INTERIOR WALL	5/CD7.1

**SECOND FLOOR PLAN KEYNOTES**

- FP01 ROOF BELOW
- FP02 TRELLIS BELOW

**PROPOSED 2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**REVISIONS:**

NO.	DESCRIPTION	DATE

**MEDICAL OFFICE BUILDING**  
**420 PENNSFIELD PLACE**  
**THOUSAND OAKS, CALIFORNIA**  
APN: 669-0-021-080

PROJECT NUMBER:  
**2021.10**

SHEET NAME:  
**PROPOSED 2ND FLOOR PLAN**

SHEET NUMBER:

**CD2.2**

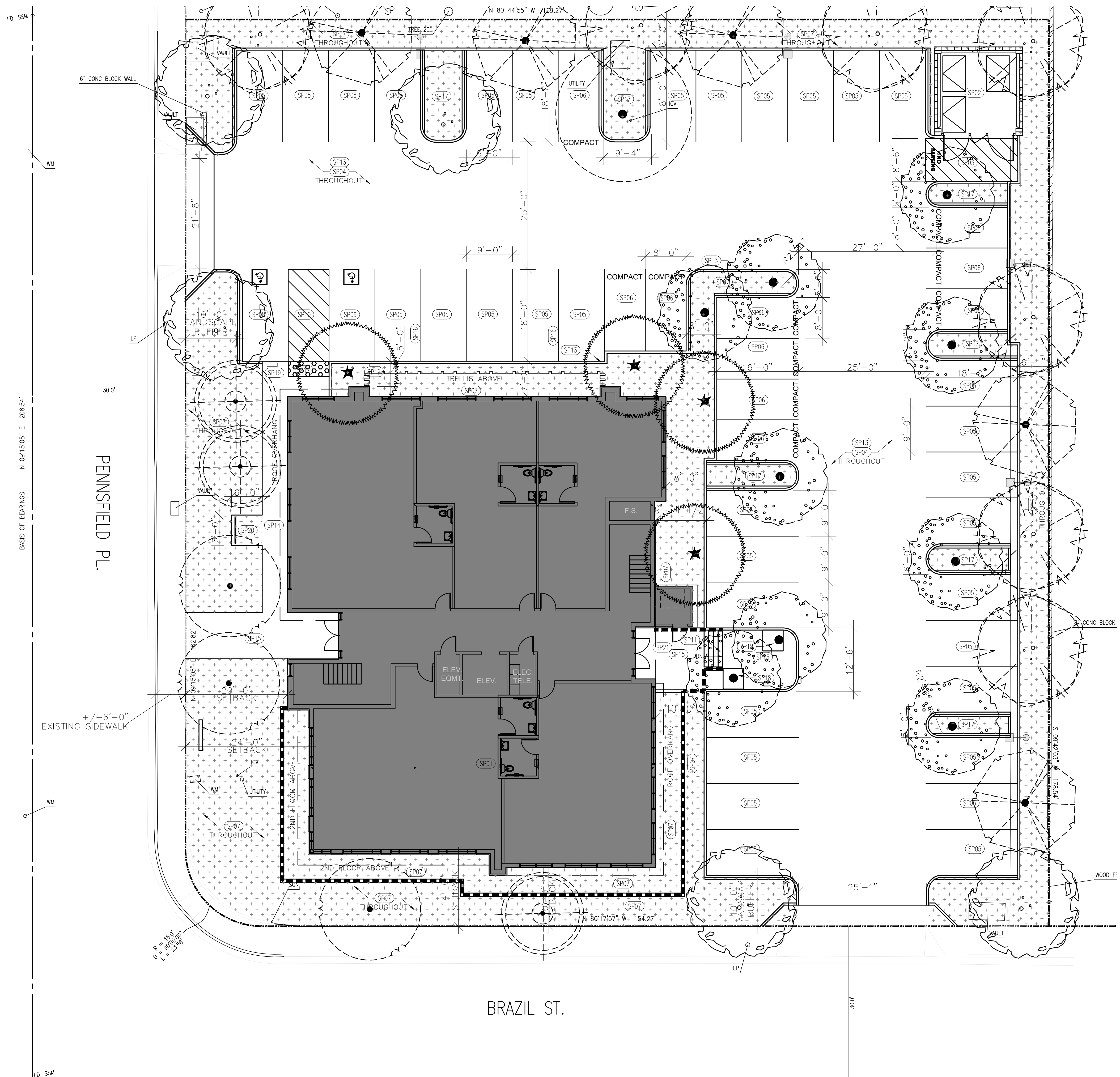
REVISIONS:		
NO.	DESCRIPTION	DATE

# MEDICAL OFFICE BUILDING

## 420 PENNSFIELD PLACE

### THOUSAND OAKS, CALIFORNIA

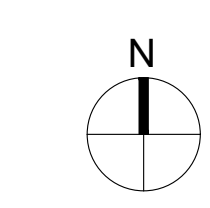
APN: 669-0-021-080



- SITE PLAN KEYNOTES**
- SP01 NEW TWO-STORY PROFESSIONAL OFFICE BUILDING.
  - SP02 NEW 3-BIN TRASH ENCLOSURE PER CITY OF THOUSAND OAKS TRASH ENCLOSURE GUIDELINES. SEE ENT1.2 FOR SPECIFICATIONS ON TRASH ENCLOSURE.
  - SP03 NEW CONC. APRON FOR TRASH ENCLOSURE. SEE ENT1.2 FOR SPECIFICATIONS ON TRASH ENCLOSURE.
  - SP04 NEW ASPHALT PAVING
  - SP05 NEW PARKING SPACE 90 DEGREE 9'-0" WIDE BY 18'-0" DEEP
  - SP06 NEW PARKING SPACE 90 DEGREE 8'-0" WIDE BY 16'-0" DEEP. PROVIDE WORDING "COMPACT" ON THESE SPACES. 16'-0" DEEP UNLESS OTHERWISE NOTED ON PLAN.
  - SP07 NEW LANDSCAPING THROUGHOUT INCLUDING BUT NOT LIMITED TO GROUND COVER, BOULDERS, SHRUBS, GRASSES AND TREES.
  - SP08 NEW ACCESSIBLE PARKING SPACE
  - SP09 NEW VAN ACCESSIBLE PARKING SPACE
  - SP10 NEW VAN ACCESSIBLE LOADING ZONE
  - SP11 NEW CONC. STEPS WITH HANDRAILS BOTH SIDES TO BUILDING ENTRANCE
  - SP12 NEW TRUNCATED DOMES AT TRANSITION BETWEEN SIDEWALK TO VAN ACCESSIBLE LOADING SPACE.
  - SP13 NEW CONC. CURB AS SHOWN THROUGHOUT. RADIUS ON CURB 3'-0" UNLESS OTHERWISE NOTED.
  - SP14 NEW CONC. WALKWAY AROUND BUILDING
  - SP15 NEW CONC. WALKWAY TO BUILDING ENTRANCES
  - SP16 PROPOSED WIDTH OF BUFFER. REQUIRED BUFFER 10'-0"
  - SP17 NEW LANDSCAPE PLANTER FINGER. MINIMUM WIDTH 5'-0"
  - SP18 NEW TREE GRATES
  - SP19 ELECTRIC VEHICLE CHARGING
  - SP20 SHORT-TERM BICYCLE PARKING
  - SP21 LONG-TERM BICYCLE PARKING

- LEGEND**
- NEW BUILDING STRUCTURE
  - PROPERTY LINE
  - RETAINING WALL
  - NEW TREES. SEE LANDSCAPE PLAN
  - NEW PARKING LOT LIGHT
  - PROPOSED ON-SITE LANDSCAPING. SEE LANDSCAPE PLAN.

**PROPOSED SITE PLAN**  
SCALE: 1" = 10'-0"



FD. SSM  
BASIS OF BEARINGS N 09°15'05" E 208.54'  
P = 153.07  
L = 23.50

PENNSFIELD PL.

BRAZIL ST.

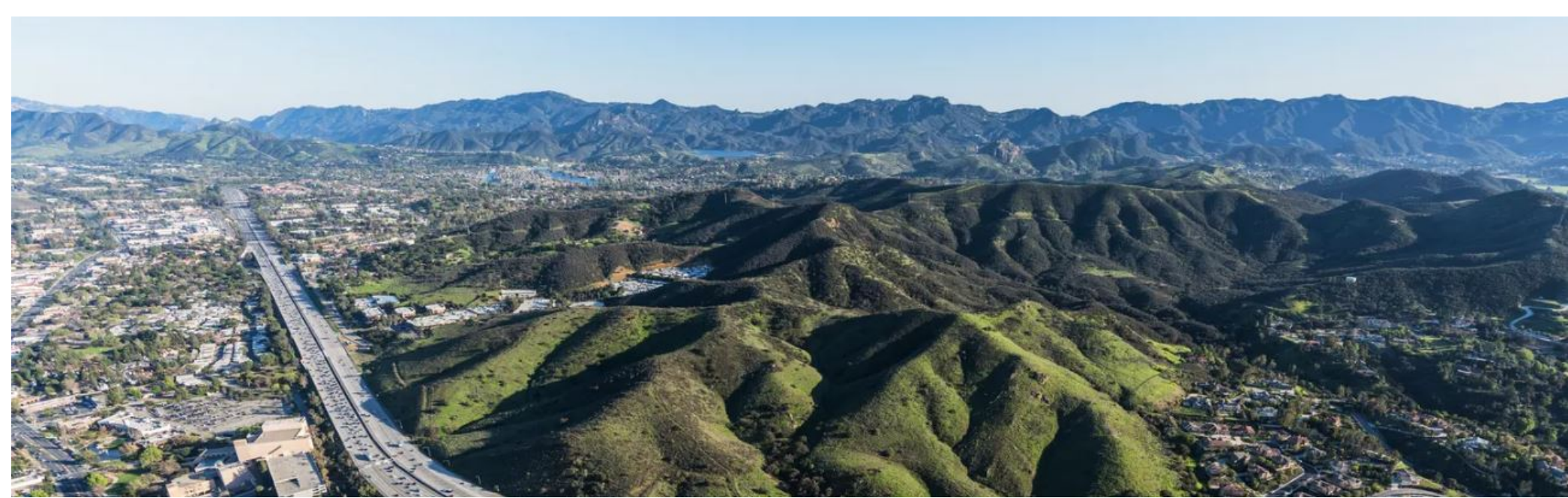
**CD1.1**



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## THOUSAND OAKS, CA

The City of Thousand Oaks is a premiere community recognized for being one of the most desirable places in all of California to live, work, recreate, and raise a family. Located in between Los Angeles and Santa Barbara in Ventura County, Thousand Oaks is nestled against the Santa Monica Mountains and with over 15,000 acres of natural publicly owned open space located within the City's boundaries.

We have been designated one of the safest cities in the US and one of 10 great cities to raise your kids. Thousand Oaks is home to some of the nation's top schools, outstanding parks, and a myriad of shopping opportunities, including one of the largest auto malls in the nation.

Thousand Oaks values collaboration with residents and businesses. This commitment to public-private partnerships is most evident in the adoption of the City's blueprint for a revitalized downtown, the Thousand Oaks Boulevard Specific Plan. Some of the City's most impressive accomplishments have come in the realm of infrastructure improvements. Public infrastructure enhances quality of life, and ensures the mobility of residents and businesses, now and in the future.

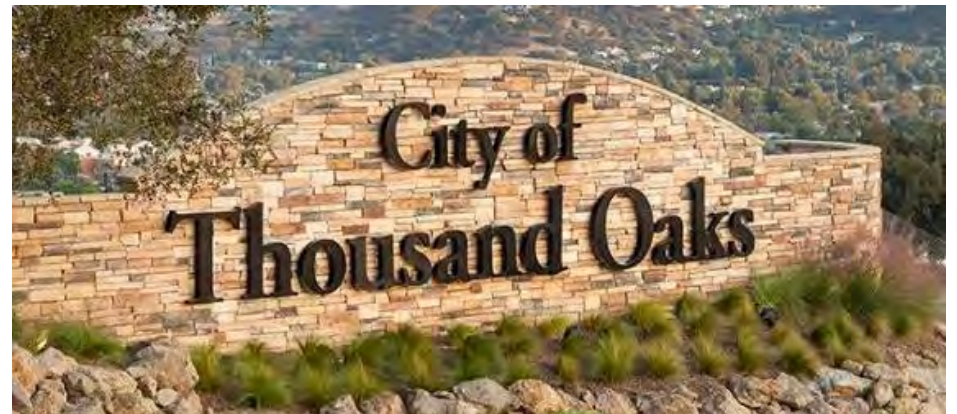
The City prides itself on its designated open space with 150 miles of trails for hiking, biking, or just leisurely walking. Our efforts at local electricity generation have also been very successful, especially at our wastewater treatment plant. Thousand Oaks is a Tree City, USA, and has been named one of the county's greenest cities.

Source: <https://toaks.org/about-us/about-thousand-oaks>

POPULATION	1 MILE	3 MILE	5 MILE
2000 Population	11,712	75,955	131,679
2010 Population	11,478	78,071	136,174
2023 Population	11,887	78,654	134,913
2028 Population	12,302	79,003	134,183
2023 African American	229	1,310	1,942
2023 American Indian	171	758	1,015
2023 Asian	1,048	7,399	13,047
2023 Hispanic	4,207	21,147	28,745
2023 Other Race	1,988	9,024	11,260
2023 White	6,466	48,389	88,955
2023 Multiracial	1,964	11,647	18,502
2023-2028: Population: Growth Rate	3.45 %	0.45 %	-0.55 %

2023 HOUSEHOLD INCOME	1 MILE	3 MILE	5 MILE
less than \$15,000	509	1,928	2,679
\$15,000-\$24,999	232	1,141	1,607
\$25,000-\$34,999	250	1,352	2,141
\$35,000-\$49,999	361	1,798	2,646
\$50,000-\$74,999	659	3,335	5,311
\$75,000-\$99,999	584	3,352	5,005
\$100,000-\$149,999	902	5,748	9,895
\$150,000-\$199,999	522	3,954	7,305
\$200,000 or greater	582	6,112	13,415
Median HH Income	\$85,708	\$109,043	\$123,412
Average HH Income	\$117,090	\$153,842	\$177,042

HOUSEHOLDS	1 MILE	3 MILE	5 MILE
2000 Total Housing	4,622	27,657	48,265
2010 Total Households	4,449	28,182	49,580
2023 Total Households	4,601	28,720	50,004
2028 Total Households	4,761	28,983	50,028
2023 Average Household Size	2.55	2.67	2.65
2000 Owner Occupied Housing	2,323	18,749	35,861
2000 Renter Occupied Housing	2,174	8,244	11,110
2023 Owner Occupied Housing	1,970	18,124	35,457
2023 Renter Occupied Housing	2,631	10,596	14,547
2023 Vacant Housing	295	1,087	1,963
2023 Total Housing	4,896	29,807	51,967
2028 Owner Occupied Housing	2,020	18,199	35,467
2028 Renter Occupied Housing	2,742	10,784	14,561
2028 Vacant Housing	231	1,197	2,289
2028 Total Housing	4,992	30,180	52,317
2023-2028: Households: Growth Rate	3.45 %	0.90 %	0.05 %



Source: esri

2023 POPULATION BY AGE	1 MILE	3 MILE	5 MILE
2023 Population Age 30-34	932	4,968	7,480
2023 Population Age 35-39	890	5,135	7,832
2023 Population Age 40-44	731	4,788	7,901
2023 Population Age 45-49	696	4,813	8,389
2023 Population Age 50-54	728	5,468	9,827
2023 Population Age 55-59	755	5,616	10,370
2023 Population Age 60-64	745	5,502	10,390
2023 Population Age 65-69	609	4,613	8,972
2023 Population Age 70-74	531	3,976	7,572
2023 Population Age 75-79	422	2,820	5,263
2023 Population Age 80-84	322	1,831	3,312
2023 Population Age 85+	450	1,937	3,424
2023 Population Age 18+	9,633	63,300	108,797
2023 Median Age	40	42	45

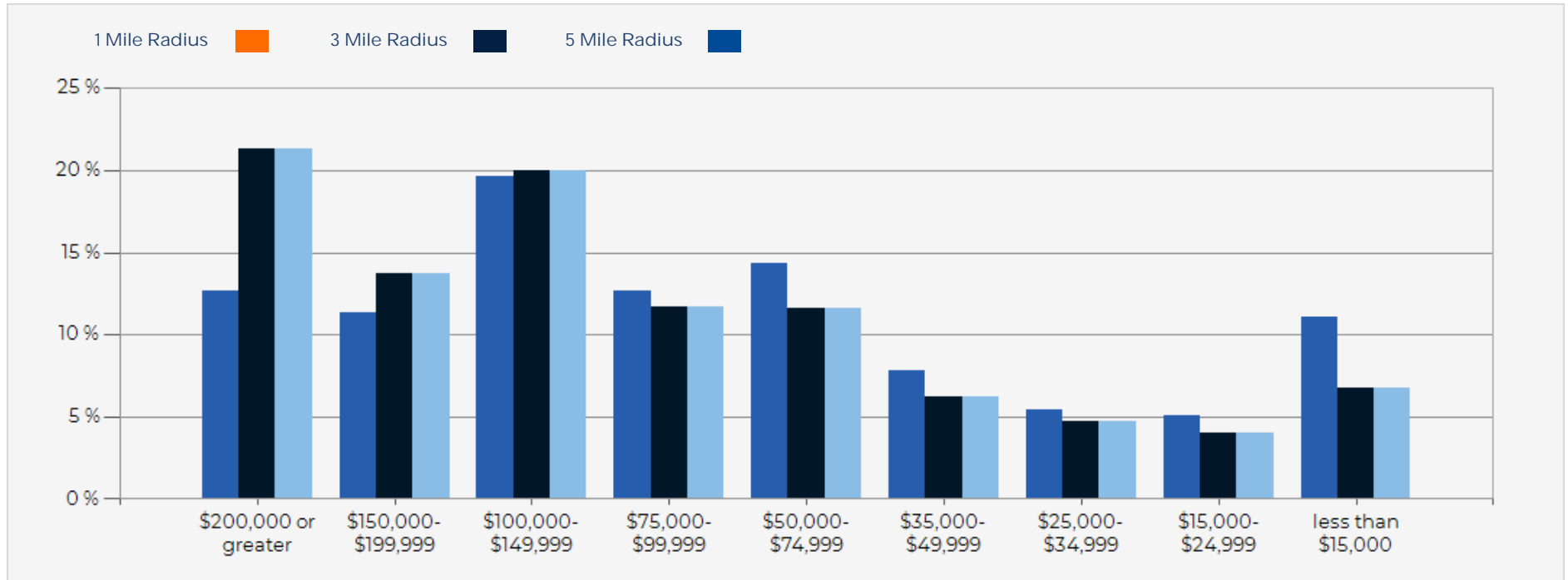
2023 INCOME BY AGE	1 MILE	3 MILE	5 MILE
Median Household Income 25-34	\$94,406	\$103,669	\$112,294
Average Household Income 25-34	\$118,489	\$132,031	\$149,746
Median Household Income 35-44	\$109,432	\$126,536	\$145,825
Average Household Income 35-44	\$143,392	\$170,551	\$192,828
Median Household Income 45-54	\$114,068	\$150,891	\$168,360
Average Household Income 45-54	\$149,996	\$195,279	\$225,418
Median Household Income 55-64	\$103,789	\$139,381	\$162,106
Average Household Income 55-64	\$130,946	\$186,504	\$218,985
Median Household Income 65-74	\$74,316	\$92,514	\$103,042
Average Household Income 65-74	\$103,990	\$130,926	\$148,490
Average Household Income 75+	\$65,371	\$85,808	\$97,852

2028 POPULATION BY AGE	1 MILE	3 MILE	5 MILE
2028 Population Age 30-34	954	5,192	8,012
2028 Population Age 35-39	936	5,406	8,534
2028 Population Age 40-44	889	5,395	8,704
2028 Population Age 45-49	747	4,948	8,374
2028 Population Age 50-54	699	4,809	8,510
2028 Population Age 55-59	702	5,207	9,487
2028 Population Age 60-64	706	5,203	9,577
2028 Population Age 65-69	701	5,069	9,609
2028 Population Age 70-74	584	4,058	7,717
2028 Population Age 75-79	477	3,357	6,380
2028 Population Age 80-84	377	2,256	4,082
2028 Population Age 85+	492	2,266	4,056
2028 Population Age 18+	10,051	64,320	109,559
2028 Median Age	41	43	45

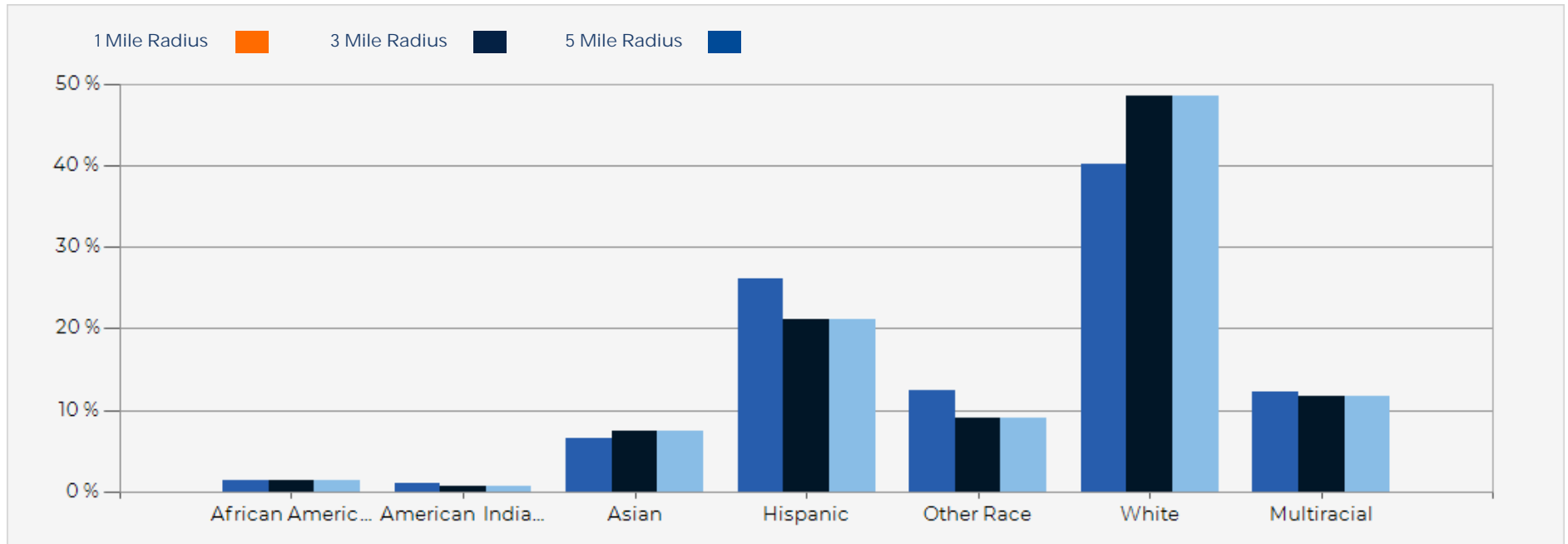
2028 INCOME BY AGE	1 MILE	3 MILE	5 MILE
Median Household Income 25-34	\$103,882	\$111,529	\$121,863
Average Household Income 25-34	\$135,300	\$149,245	\$169,049
Median Household Income 35-44	\$126,730	\$150,131	\$162,382
Average Household Income 35-44	\$166,681	\$195,751	\$220,040
Median Household Income 45-54	\$128,155	\$160,450	\$178,963
Average Household Income 45-54	\$172,827	\$216,951	\$249,107
Median Household Income 55-64	\$115,274	\$156,599	\$176,321
Average Household Income 55-64	\$152,643	\$210,250	\$244,922
Median Household Income 65-74	\$88,242	\$107,400	\$118,131
Average Household Income 65-74	\$126,745	\$156,384	\$178,071
Average Household Income 75+	\$82,374	\$109,329	\$123,942



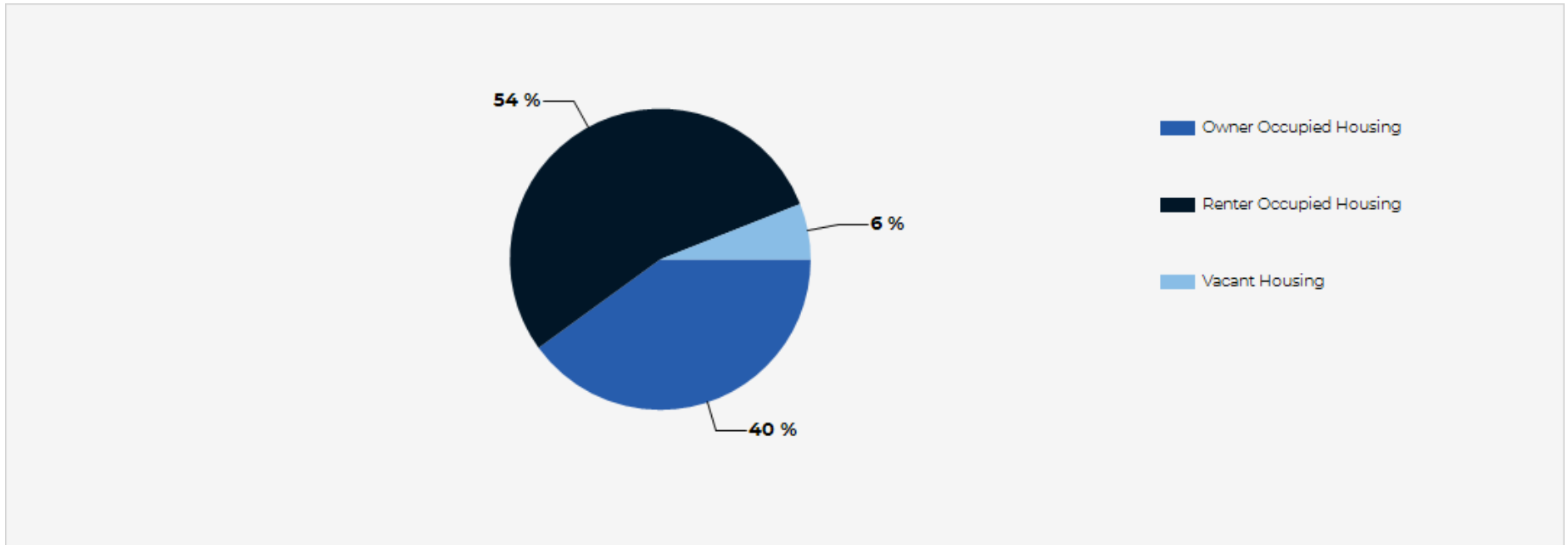
## 2023 Household Income



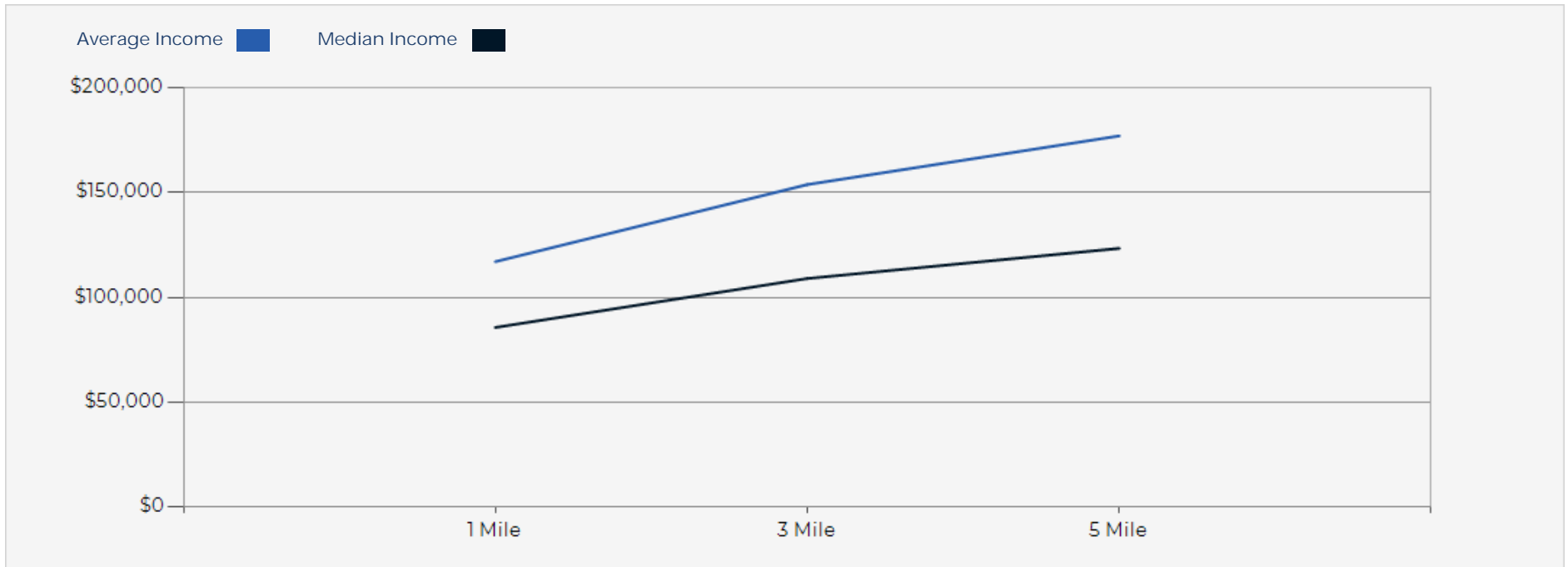
## 2023 Population by Race



## 2023 Household Occupancy - 1 Mile Radius



## 2023 Household Income Average and Median



420 Pennsfield Pl.

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