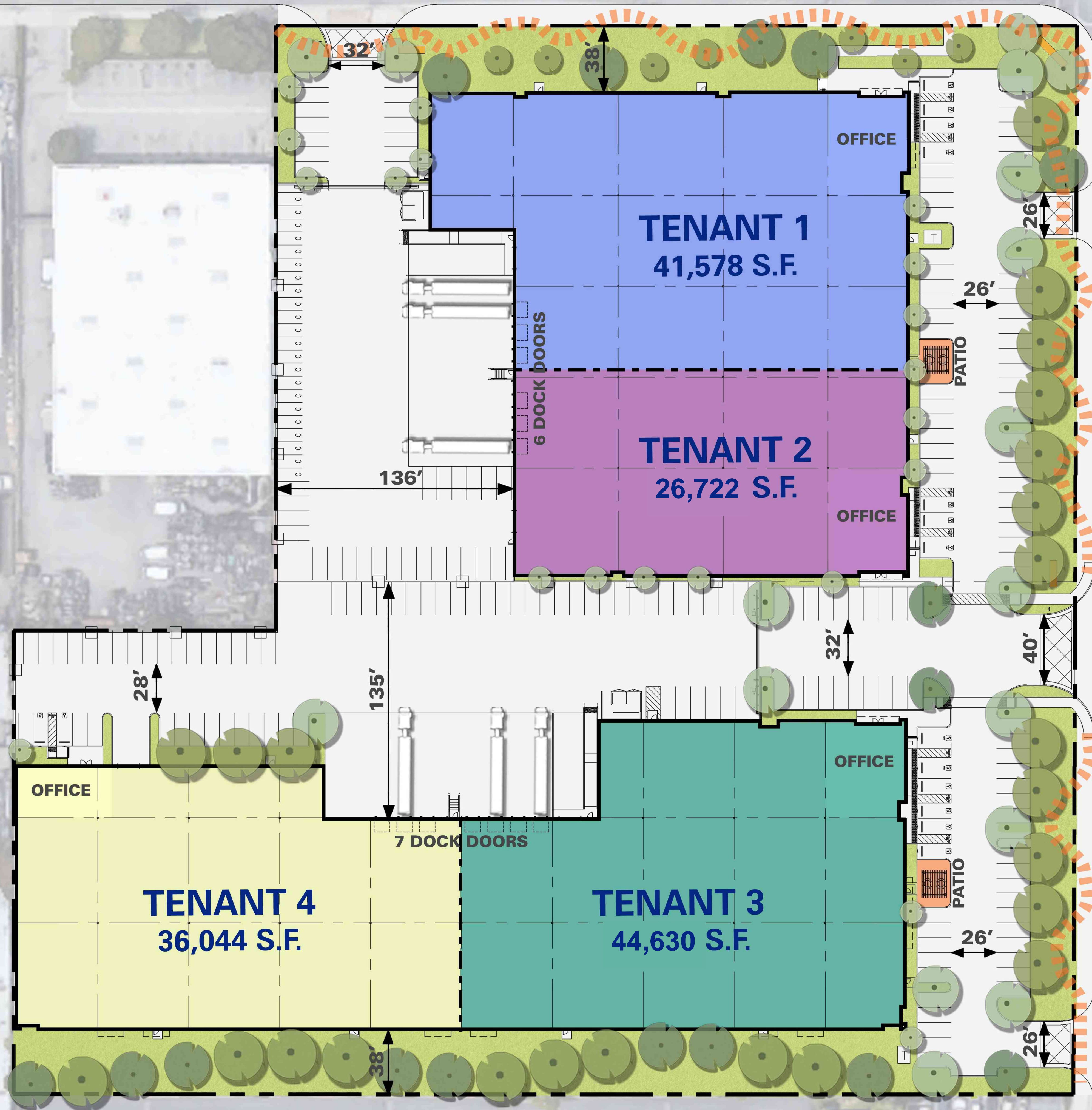


FLORENCE AVE

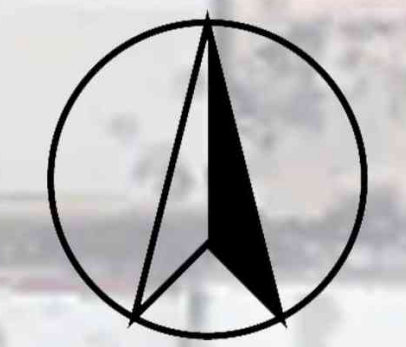
NORWALK BLVD



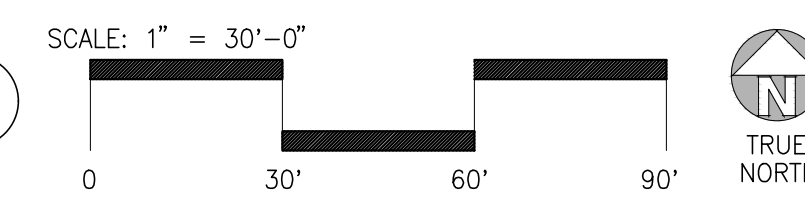
ADJOINING RESIDENTIAL ALONG SOUTH OF THE PROPERTY

AREA TABULATION

	TENANT 1	TENANT 2	TENANT 3	TENANT 4	TOTAL
AREAS					
In S.F.	142,881	173,167	173,167	316,168	605,383
In Acres	3.20	3.96	3.96	7.23	14.35
BUILDING AREA					
Office - 1st floor	1,000	1,000	2,000	2,000	6,000
Office - 2nd floor	1,000	1,000	2,000	2,000	6,000
Warehouse	100,000	100,000	100,000	100,000	400,000
TOTAL	41,578	26,722	44,630	36,044	148,974
F.A.R.					
Maximum Allow. vol.	1.5	1.5	1.5	1.5	0.47
In S.F.	0.28	0.21	0.21	0.21	0.91
MAXIMUM ALLOWABLE					
Maximum Allow. vol.	50.0%	50.0%	50.0%	50.0%	50.0%
Actual	45.4%	45.4%	45.4%	45.4%	45.4%
AUTO PARKING REQUIRED					
Office: 1000 S.F.	n/a	n/a	n/a	n/a	n/a
Warehouse: 100,000 S.F. @ 100 S.F./car	40	40	40	40	160
Warehouse: 100,000 S.F. @ 100 S.F./car	40	40	40	40	160
Warehouse: 100,000 S.F. @ 100 S.F./car	40	40	40	40	160
Warehouse: 100,000 S.F. @ 100 S.F./car	40	40	40	40	160
TOTAL	160	160	160	160	640
AUTO PARKING PROVIDED					
Standard (8' x 18')	84	87	87	87	345
Compact (8' x 12')	21	20	20	20	81
TOTAL	105	107	107	107	409
TRAILER PARKING REQUIRED					
Trailer: only required when building is more than 100,000 S.F.	n/a	n/a	n/a	n/a	n/a
FORMS/COVERAGE					
Zone: M-C Business Park					
MAXIMUM BUILDING HEIGHT ALLOWED					
Height	No limit				50' - Adj. residential zone within 100'
SETBACKS					
Building	Landscaped				
Front: 10' - 30' (in any lot containing a building with a height greater than the maximum front yard setback & 50% of the lot, the front yard setback shall be one foot for each foot of building height or portion thereof.)	20'				
Side: 10' - 30' (in any lot containing a building with a height greater than the maximum front yard setback & 50% of the lot, the front yard setback shall be one foot for each foot of building height or portion thereof.)	20'				
Back: 10' - 30' (in any lot containing a building with a height greater than the maximum front yard setback & 50% of the lot, the front yard setback shall be one foot for each foot of building height or portion thereof.)	20'				
LANDSCAPE REQUIREMENT					
Minimum: 10' - 30' (in any lot containing a building with a height greater than the maximum front yard setback & 50% of the lot, the front yard setback shall be one foot for each foot of building height or portion thereof.)					
Maximum: 10' - 30' (in any lot containing a building with a height greater than the maximum front yard setback & 50% of the lot, the front yard setback shall be one foot for each foot of building height or portion thereof.)					
LANDSCAPE PROVIDED					
In S.F.	20,000				20,000



MASTER SITE PLAN
SCALE: 1" = 30'-0"



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:
ORBIS REAL ESTATE PARTNERS

Project:
FLORENCE BUSINESS PARK
SWC FLORENCE AVE & NORWALK BLVD
SANTA FE SPRINGS, CA

Consultants:
KIER + WRIGHT
CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE HUNTER LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: **MASTER SITE PLAN**
Project Number: 22206
Drawn by: SLM
Date: 07/22/2022
Revision:

Sheet:
DAB-A1.0

Owner:

Project:
FLORENCE BUSINESS
PARK

SWC FLORENCE AVE &
NORWALK BLVD
SANTA FE SPRINGS, CA

Consultants:
CIVIL KIER + WRIGHT
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE HUNTER LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

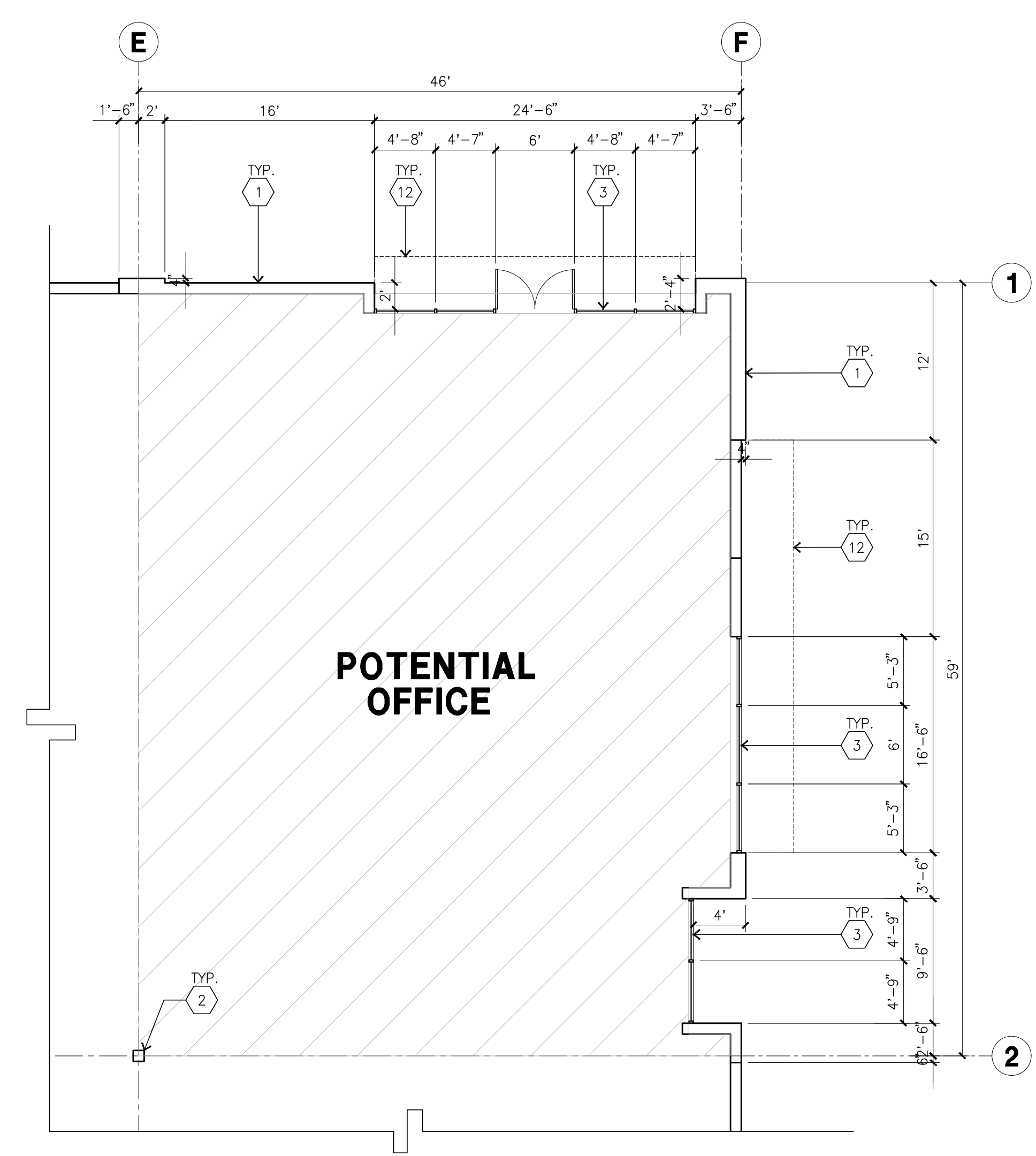
Title: OVERALL FLOOR PLAN

Project Number: 22206
Drawn by: SLM
Date: 07/22/2022

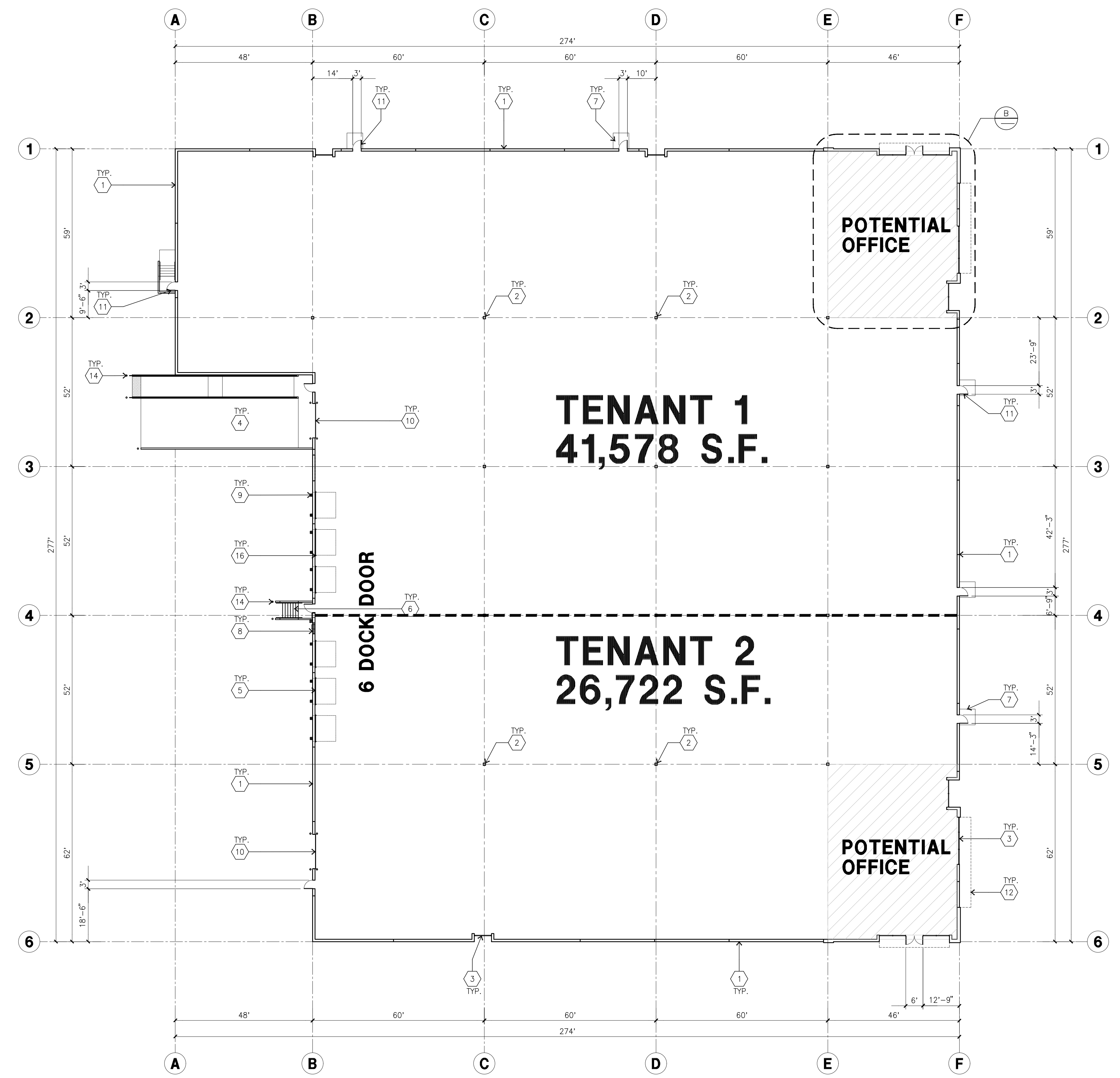
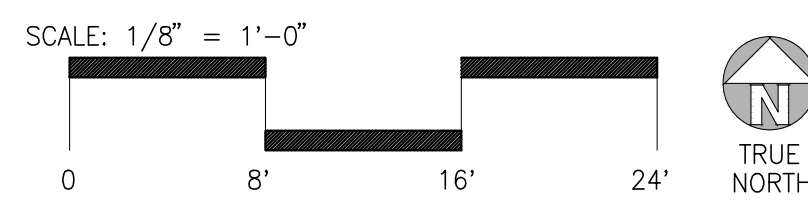
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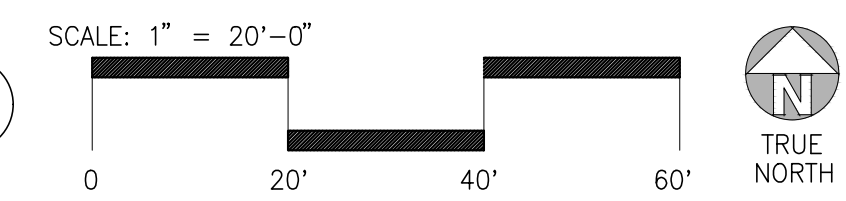
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ENLARGED FLOOR PLAN B
scale: 1/8" = 1'-0"



OVERALL FLOOR PLAN A
scale: 1" = 20'-0"



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL AND WALL ON BOTH SIDE OF RAMP.
- 5 NOT USED
- 6 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 7 EXTERIOR CONCRETE STAIR
- 8 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/2" PER 1'-0" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 9 LOUVERED OPENING FOR VENTILATION.
- 10 DOCK DOOR BUMPER
- 11 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 12 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 13 CANOPY PROJECTION LINE ABOVE
- 14 ROOF HATCH ACCESS LADDER
- 15 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 42"H
- 16 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- 17 Z GUARD FOR ALL OVERHEAD DOORS
- 18 BIKE RACK.

GENERAL NOTES-FLOOR PLAN

- A THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D NOT USED
- E WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLLUMS ARE TO RECEIVE PRIMER ONLY. ALL OVP. BD. WALLS IN WAREHOUSE TO RECEIVE COAT OF WHITE TO COVER.
- F SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDGOOR EXITS.
- G ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD 4. NOTE! ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAPPERED INCLUDING CARS AND TRUCKS.
- K ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.
- L HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
- O ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/A4.1 OFFICE SECTION.

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT.
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB SLOPED
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. NOT USED
 6. CONCRETE SLAB TO HAVE STEEL FLOOR HARD TROWEL BURNISHED FINISH.
 7. FOR SLAB CURING, COORDINATE WITH THE OWNER.
 8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAPPERED.
 9. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 10. SLAB TO BE FFSO FL35 MEASURED WITHIN 24 HOURS.
 11. NO FLY ASH IN THE CONCRETE
 12. WHERE [HATCH SYMBOL] INDICATED, PROVIDE VAPOR BARRIER, CONCRETE SLAB OVER 2" SAND, OVER COMPACT SOIL. ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 - CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 - CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 13. SEAL CONCRETE SLAB W/ "LAPDOLITH" SEALER

Owner:

Project:
FLORENCE BUSINESS PARK

SWC FLORENCE AVE &
NORWALK BLVD
SANTA FE SPRINGS, CA

Consultants:

CIVIL - KIER + WRIGHT
STRUCTURAL -
MECHANICAL -
PLUMBING -
ELECTRICAL -
LANDSCAPE - HUNTER LANDSCAPE
FIRE PROTECTION -
SOILS ENGINEER -

Title: **ELEVATIONS**

Project Number: 22206
Drawn by: SLM
Date: 07/22/2022
Revision:

Sheet:

1-DAB-A3.1

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE MARKS - SEE "G" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DRAINAGE TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 12"x14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 5 9"x10" OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 6 CONCRETE STAR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON-SKID FINISH TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 METAL LOUVER. PAINT COLOR TO MATCH FIELD COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 ROOF LINE BEYOND.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS, SIDELITES ADJACENT TO DOORS AND GLAZING.
- 12 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 13 EXTERIOR CANOPY.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.

GENERAL NOTES - ELEVATIONS

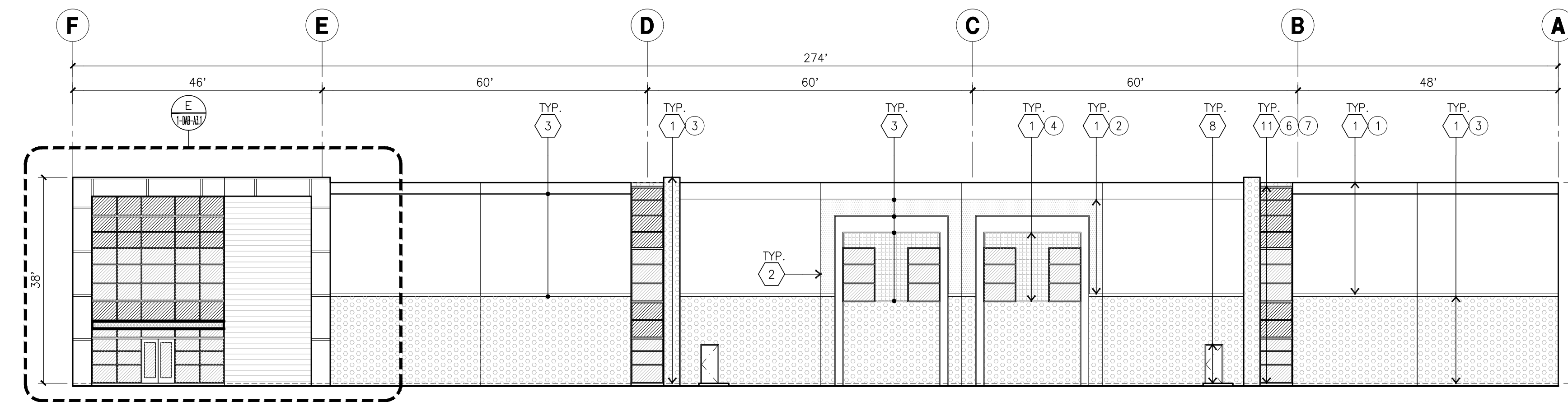
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- P. EXTERIOR WALL SHALL BE PROVIDED WITH A GRAFFITI-RESISTANT COATING OR PAINT TO A HEIGHT OF 12' FOR BUILDING OR STRUCTURE SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPLIT-FACE BLOCK, DECORATIVE TILE, ETC.).

COLOR SCHED. - ELEVATIONS

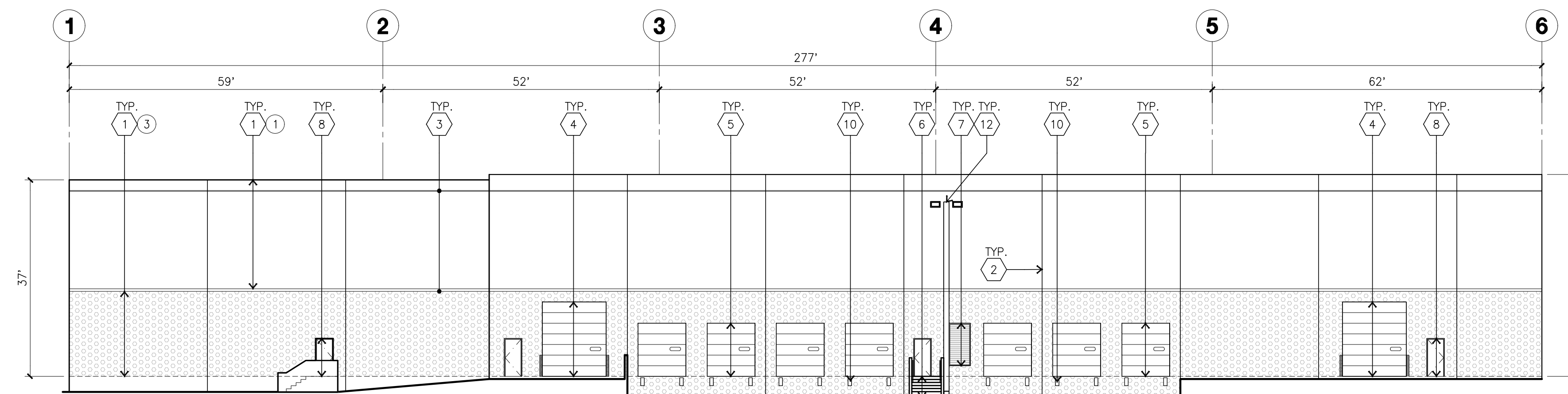
- 1 CONCRETE TILT-UP PANEL BRAND_SHERWIN-WILLIAMS_SW7005_PURE_WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS_SW2022_ONLINE
- 3 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS_SW2074_SOFTWARE
- 4 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS_SW6108_LATTE
- 5 CONCRETE TILT-UP PANEL PAINT BRAND_NICHHA_VINTAGE_WOOD_FIBER_CEMENT-CEDAR
- 6 MULLIONS COLOR_CLEAR_ANODIZED
- 7 GLAZING COLOR_BLUE_REFLECTIVE_GLAZING
- 8 METAL CANOPY SHERWIN-WILLIAMS ACRYLIC LATEX SYSTEM HIGH BRAND_GLOSS/HIGH_PERFORMANCE_SW_7005_PURE_WHITE

GLAZING LEGEND

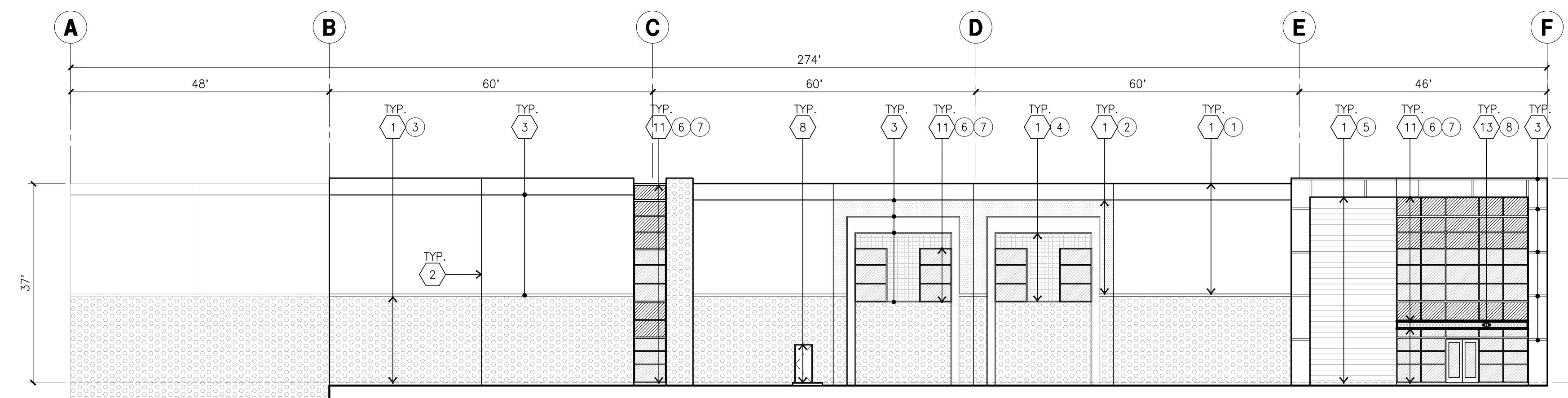
- I TEMPERED SPANDREL GLASS
- II TEMPERED VISION INSULATED GLASS PPG: VISTACOL (2) PACIFICA + SOLARBAN SOLARBAN 60 (3) CLEAR U VALUE: 0.27, SHGC: 0.21 AND VLT: 26% 1" INSULATED GLASS WITH 1/2" AIRSPACE AND (2) 1/4" LITES.



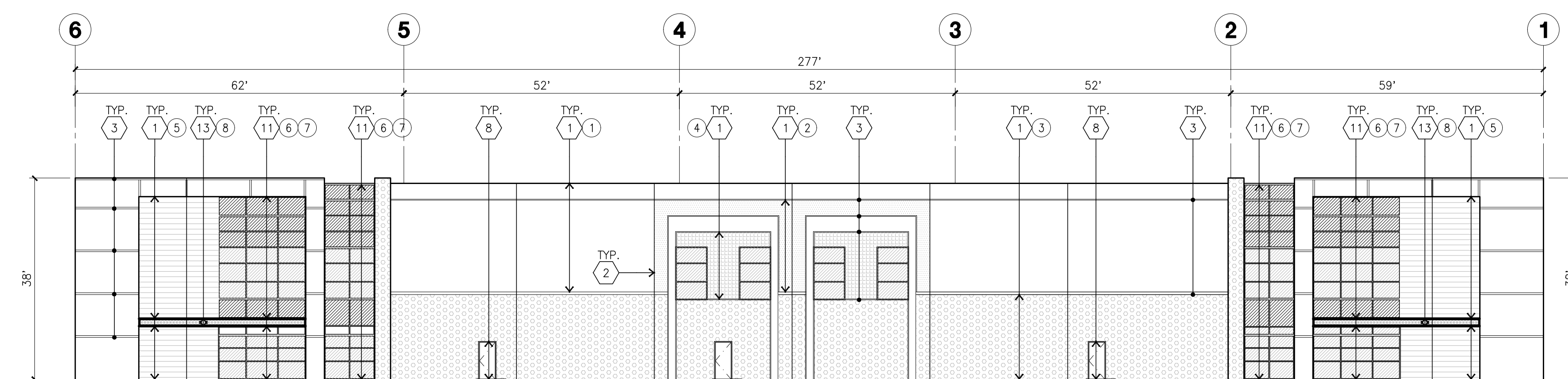
NORTH ELEVATION A
scale: 1/16" = 1'-0"



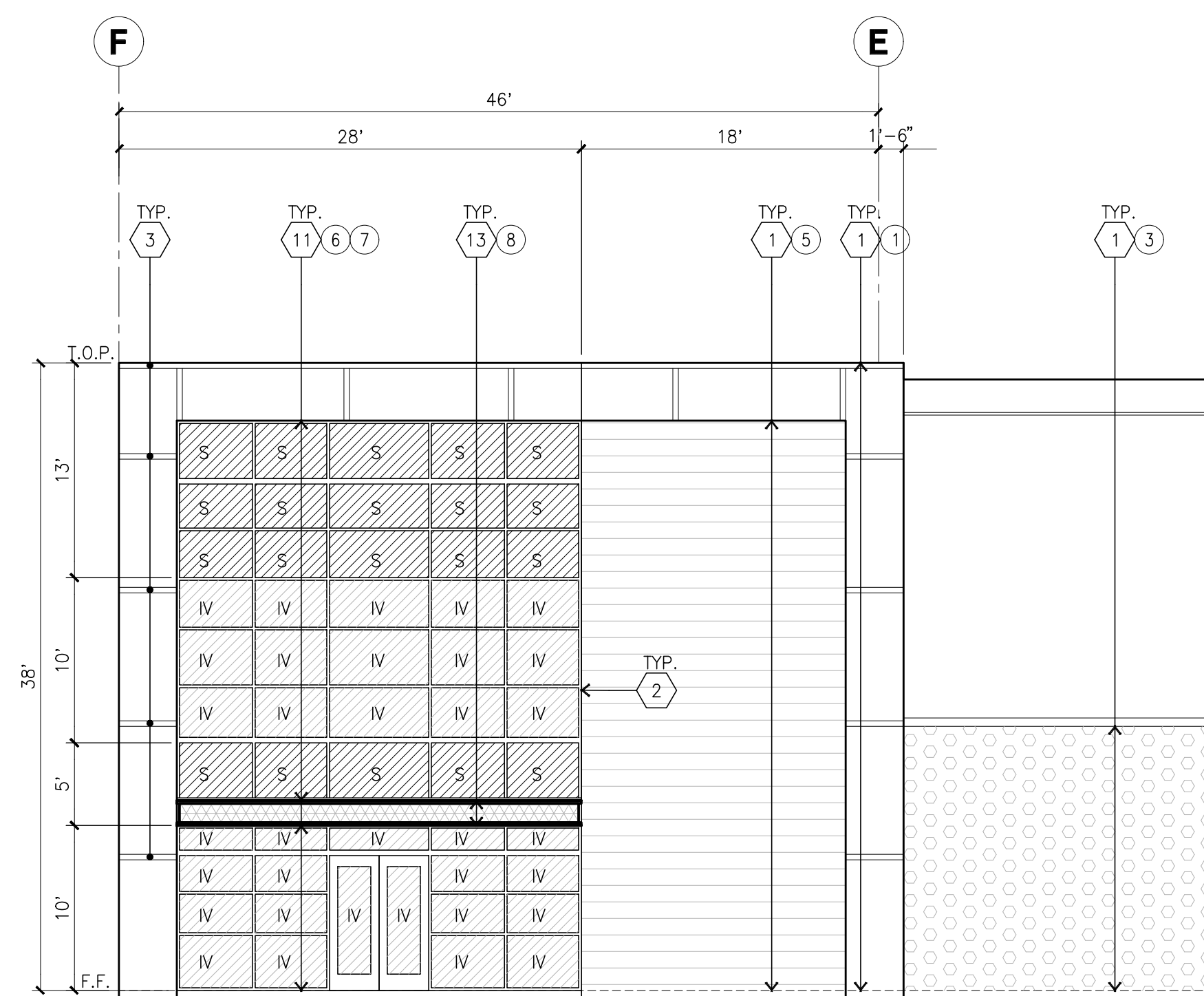
WEST ELEVATION B
scale: 1/16" = 1'-0"



SOUTH ELEVATION C
scale: 1/16" = 1'-0"



EAST ELEVATION D
scale: 1/16" = 1'-0"



ENLARGED NORTH ELEVATION E
scale: 1/8" = 1'-0"

Owner:

Project:

FLORENCE BUSINESS PARK

SWC FLORENCE AVE &
NORWALK BLVD
SANTA FE SPRINGS, CA

Consultants:

CIVIL KIER + WRIGHT
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE HUNTER LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: OVERALL SITE PLAN

Project Number: 22206

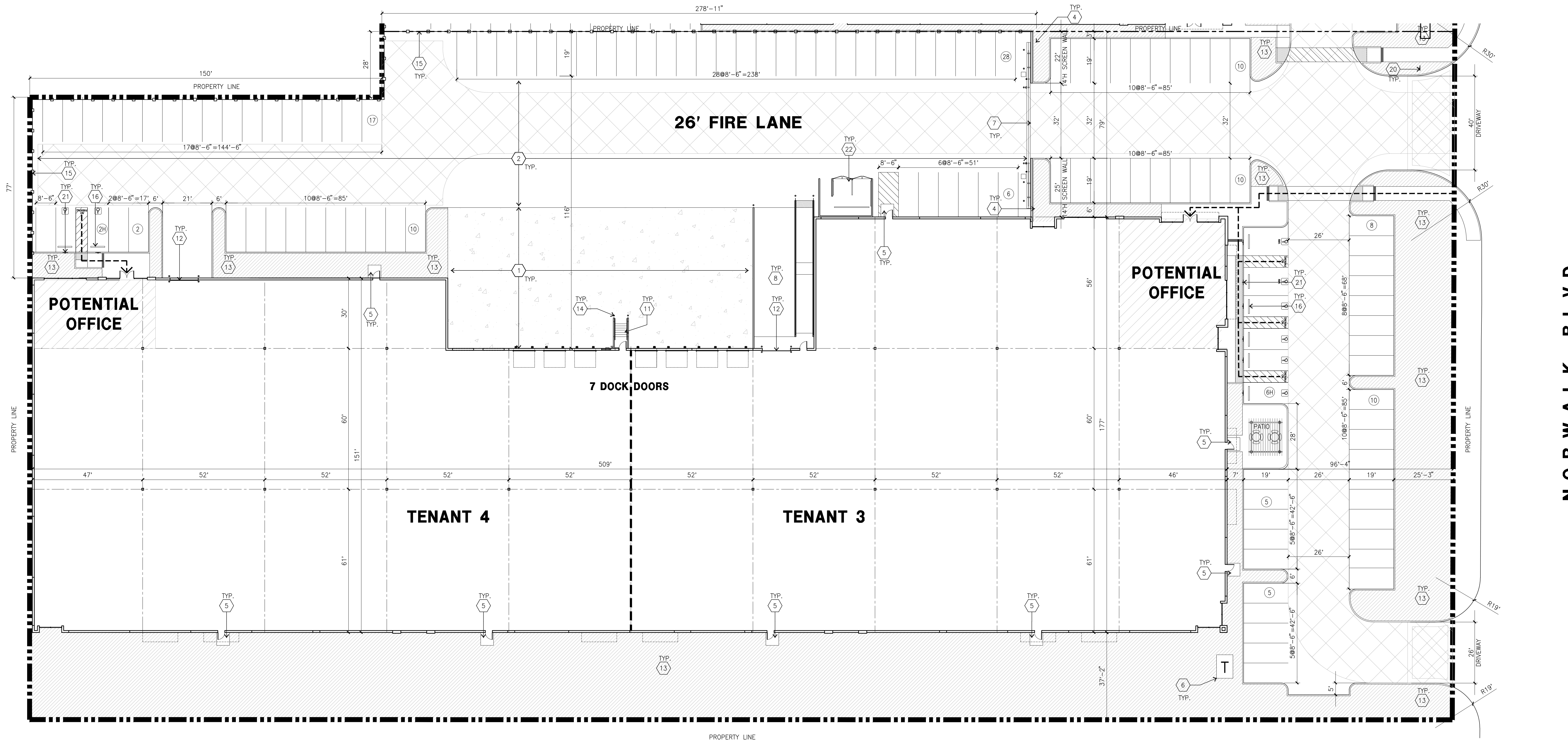
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Date: 07/22/2022

Revision:

Sheet:

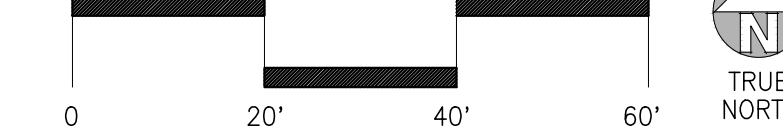
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OVERALL SITE PLAN

scale: 1" = 20'-0"

SCALE: 1" = 20'-0"



TRUE NORTH

SITE PLAN KEYNOTES

- | | |
|---|--|
| 1 HEAVY BROOM FINISH CONCRETE PAVEMENT | 10 FIRE HYDRANT W/ CONC. FILLED STEEL GUARD POST |
| 2 PAVING PER CIVIL | 11 EXTERIOR CONCRETE STAIR. |
| 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH | 12 12'W X 14'H OVERHEAD DOOR @ DRIVE THRU. |
| 4 14"H CONCRETE SCREEN WALL | 13 ALL LANDSCAPE AREAS INDICATED BY SHADING |
| 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR. | 14 CONC. FILLED GUARD POST 6 DIA. U.N.O. 42" H. |
| 6 TRANSFORMERS PER ELECTRICAL DRAWINGS AND SERVICE PROVIDER. | 15 8'H WROUGHT IRON FENCE |
| 7 8'-0" HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. CONTRACTOR TO DESIGN & DETAIL GATES, DRAWINGS AND CALCULATIONS PRIOR TO FABRICATION. PROVIDE CONDUIT FOR FUTURE. | 16 PRE-CAST CONC. WHEEL STOP. |
| 8 CONCRETE RAMP. | 17 TRUNCATED DOME. |
| 9 BIKE RACK. | 18 SMOKE POLE |
| | 19 MONUMENT SIGN |
| | 20 ACCESSIBLE ENTRY SIGN. |
| | 21 ACCESSIBLE PARKING STALL SIGN |
| | 22 TRASH ENCLOSURE PER CITY STANDARD |

SITE PLAN GENERAL NOTES

- ALL LIGHTING SHALL CONFORM WITH MUNICIPAL STANDARDS.
- SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- REFER TO CIVIL PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AD.1 ARE MINIMUM STANDARDS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- REFER TO CIVIL DWGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. REFER TO CIVIL DRAWINGS.
- CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- ALL SIGNAGE SHALL CONFORM WITH THE MUNICIPAL STANDARD.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENT.
- REFER TO CIVIL DWGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. REFER TO CIVIL DRAWINGS.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- WALLS SHALL BE TREATED WITH A GRAFFITI-PROOF COATING ON SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPLIT-FACE BLOCK WALL, DECORATIVE TILE, COLORED PANELING MATERIAL, ETC.).
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- THE WASTE STORAGE AREA SHALL BE GRADED SO THAT STORAGE CONTAINERS REMAIN AT REST WITHOUT AUXILIARY RESTRAINING DEVICES
- INDICATE ON THE PLANS THE AREA DESIGNATED FOR RECYCLABLE MATERIALS (MIN. 50% OF THE WASTE STORAGE AREA)

SITE PLAN LEGEND

- | | |
|--|---|
| CONCRETE PAVING SEE "C" DWGS. FOR THICKNESS | LIGHTING FIXTURE |
| STANDARD PARKING STALL 8.5'X19' | 26' WIDE FIRE LANE. PROVIDE RED CURBS AND SIGNAGE PER FIRE DEPT REQUIREMENT |
| ACCESSIBLE PARKING STALL 9'X19'+5'W ACCESSIBLE AISLE | LANDSCAPE |
| VAN ACCESSIBLE 12'X19'+5'W ACCESSIBLE AISLE | PROPERTY LINE |
| CLEAN AIR VANPOOL/EV | ACCESSIBILITY PATH OF TRAVEL |

Owner:

Project:
FLORENCE BUSINESS
PARK

SWC FLORENCE AVE &
NORWALK BLVD
SANTA FE SPRINGS, CA

Consultants:

- CIVIL KIER + WRIGHT
- STRUCTURAL
- MECHANICAL
- PLUMBING
- ELECTRICAL
- LANDSCAPE HUNTER LANDSCAPE
- FIRE PROTECTION
- SOILS ENGINEER

Title: OVERALL FLOOR PLAN

Project Number: 22206

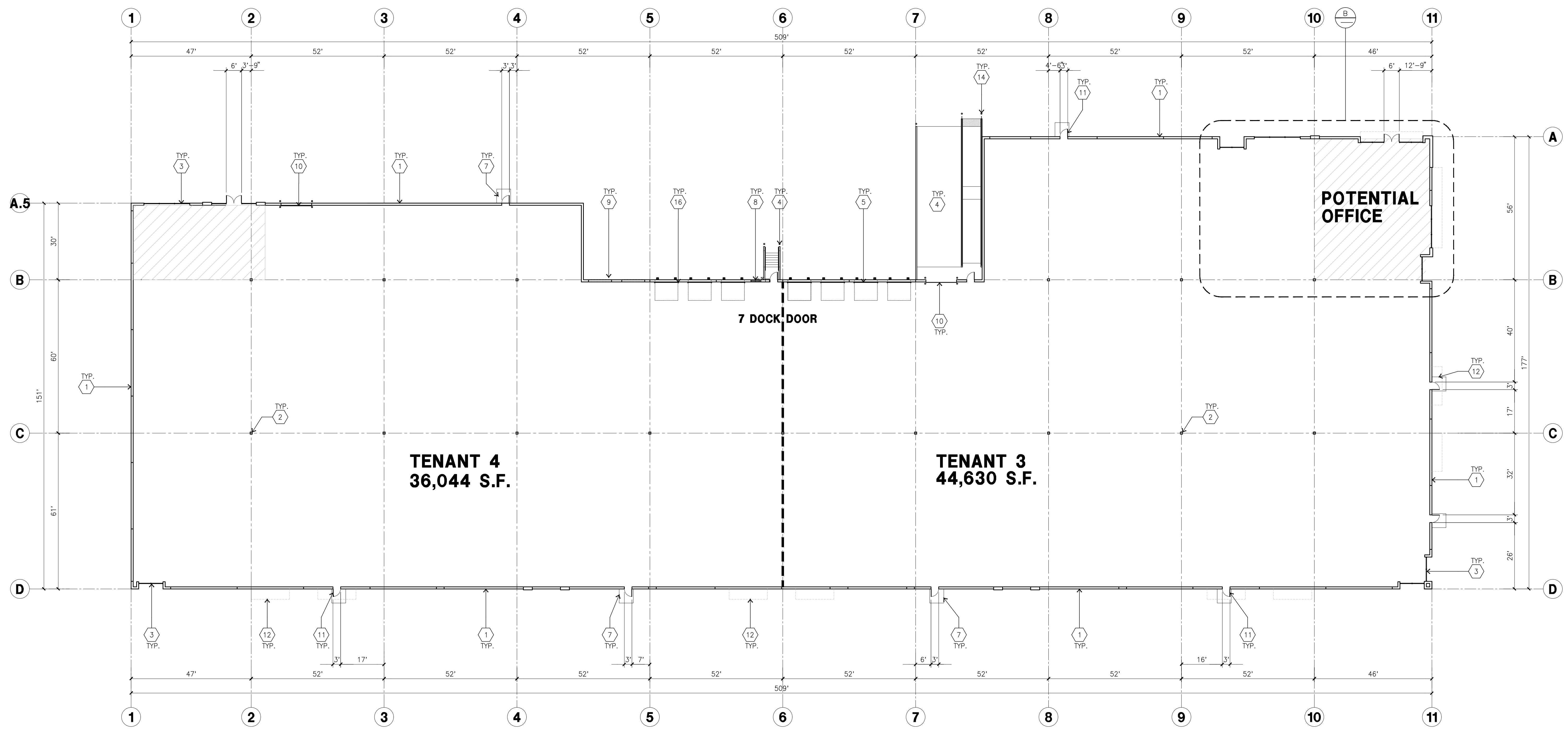
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Date: 07/22/2022

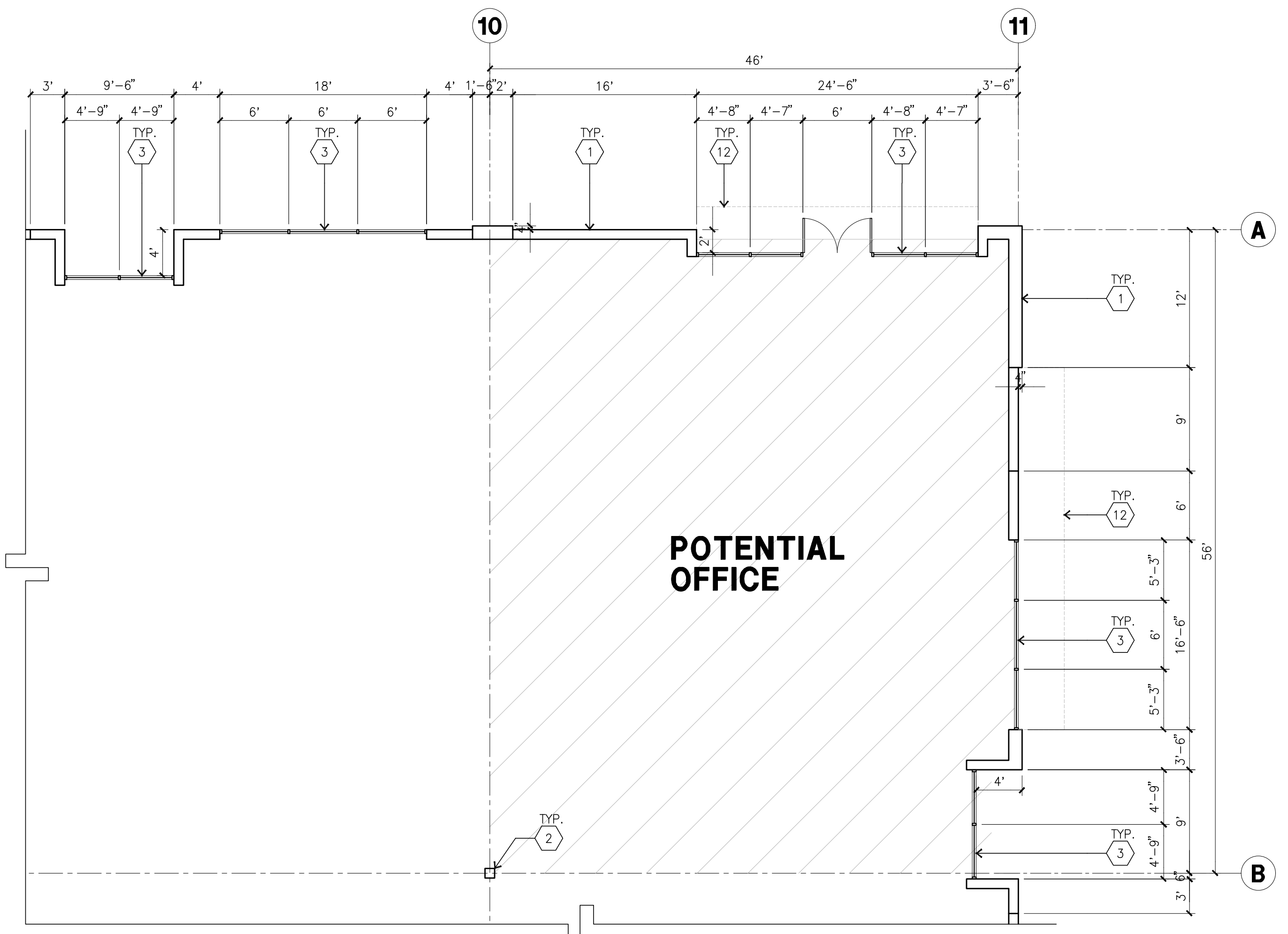
Revision:

Sheet:

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OVERALL FLOOR PLAN
scale: 1" = 20'-0"
SCALE: 1" = 20'-0"
TRUE NORTH



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"
SCALE: 1/8" = 1'-0"
TRUE NORTH

KEYNOTES - FLOOR PLAN

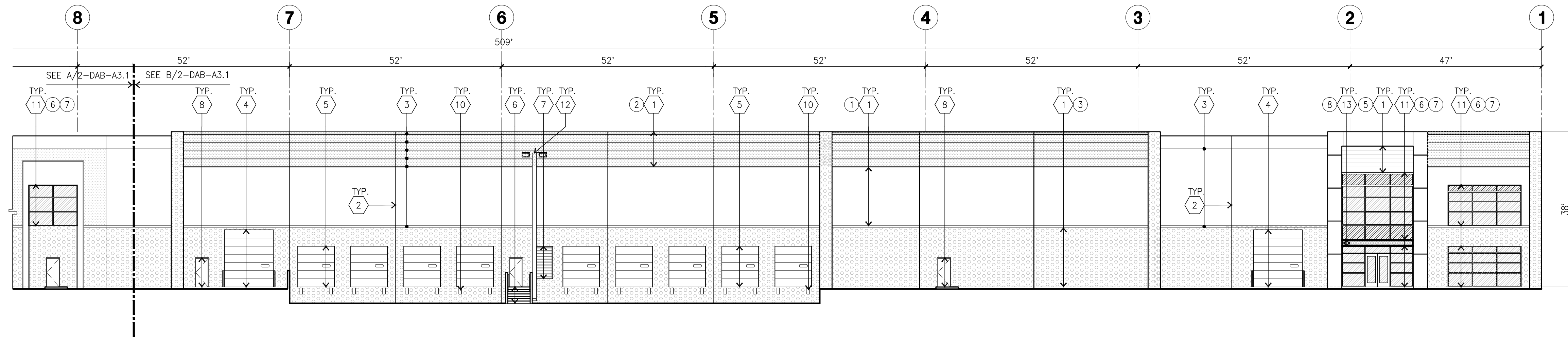
- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL AND WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAIR
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 CANOPY PROJECTION LINE ABOVE
- 13 ROOF HATCH ACCESS LADDER
- 14 CONC. FILLED GUARD POST, 6" DIA. U.N.O., 42"H EXIT SIGN WITH THE WORDS "EXIT".
- 15 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- 16 Z GUARD FOR ALL OVERHEAD DOORS
- 17 BIKE RACK.

GENERAL NOTES-FLOOR PLAN

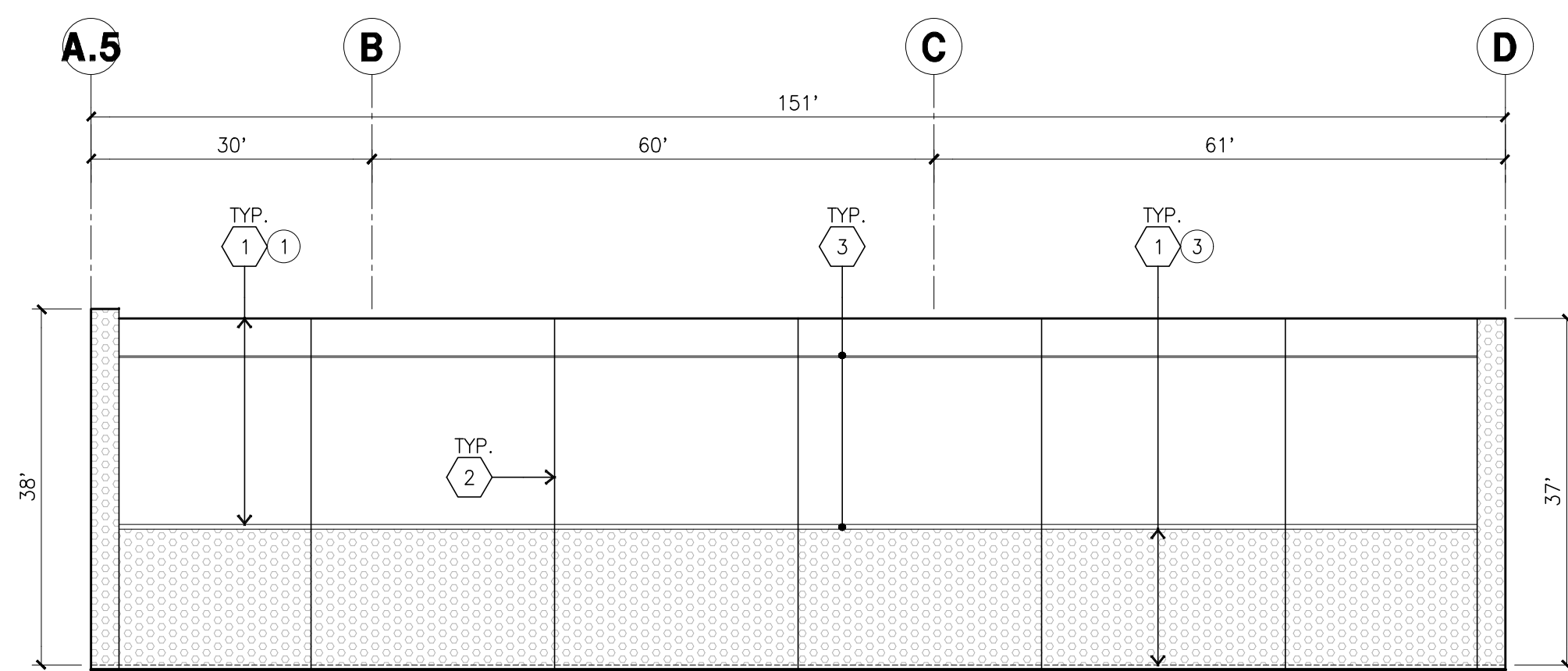
- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OVP. BD. WALLS IN WAREHOUSE TO RECEIVE COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD-4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR: PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1.
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/A4.1 OFFICE SECTION.

FLOOR SLAB AND POUR STRIPS REQ.

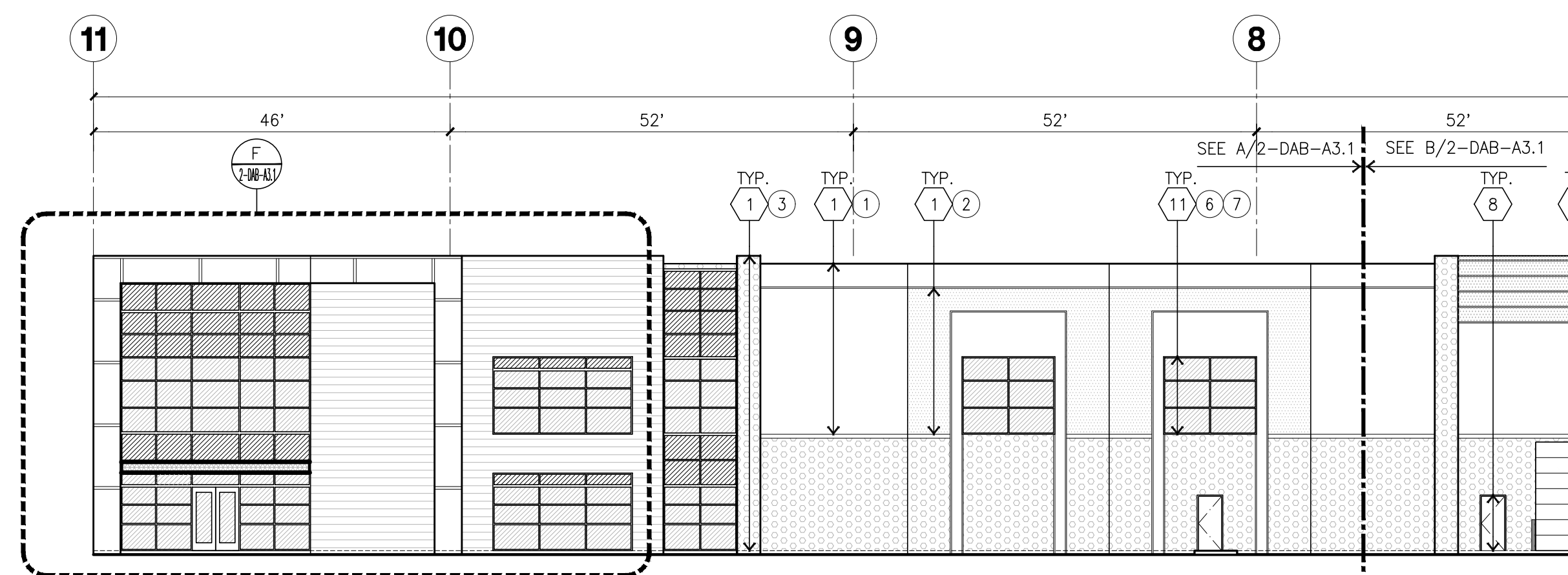
- THESE NOTES ARE VERY MIN. REQUIREMENT.
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB SLOPED
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. NOT USED
 6. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 7. FOR SLAB CURING, COORDINATE WITH THE OWNER.
 8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 9. NO GRANS, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 10. SLAB TO BE FFSO FL3S MEASURED WITHIN 24 HOURS.
 11. NO FLY ASH IN THE CONCRETE
 12. WHERE [Hatched Area] INDICATED, PROVIDE VAPOR BARRIER, CONCRETE SLAB OVER 2" SAND OVER 10MIL VISQUEEN, OVER 2" SAND, OVER COMPACT SOIL. ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 - CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 13. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER



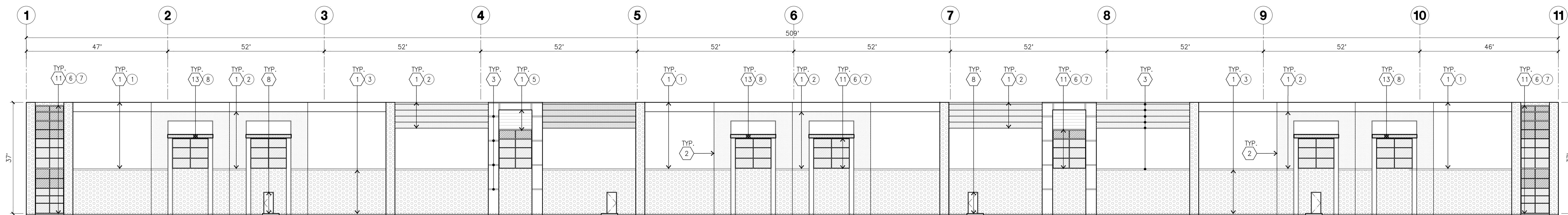
NORTH ELEVATION A
scale: 1/16" = 1'-0"



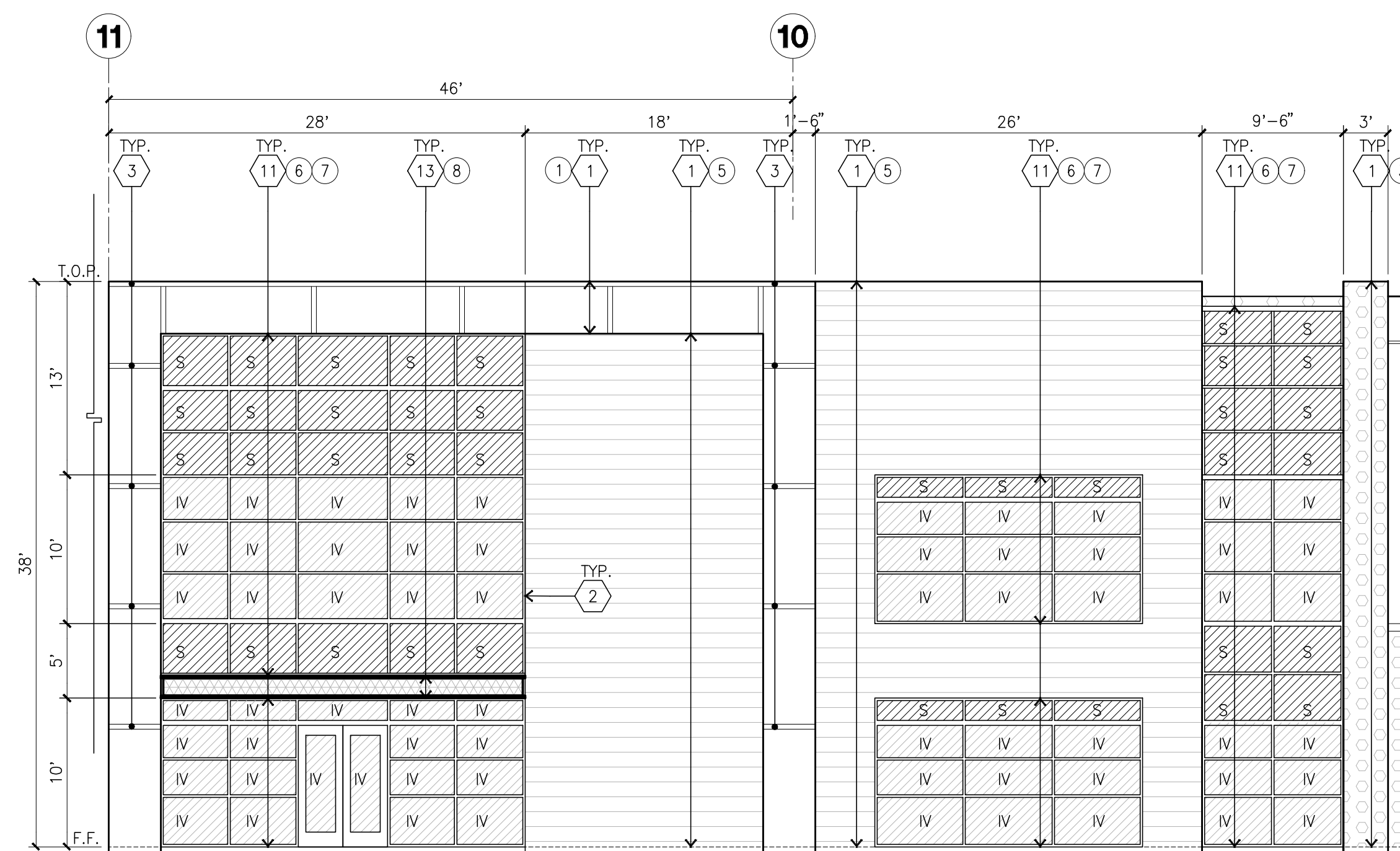
WEST ELEVATION C
scale: 1/16" = 1'-0"



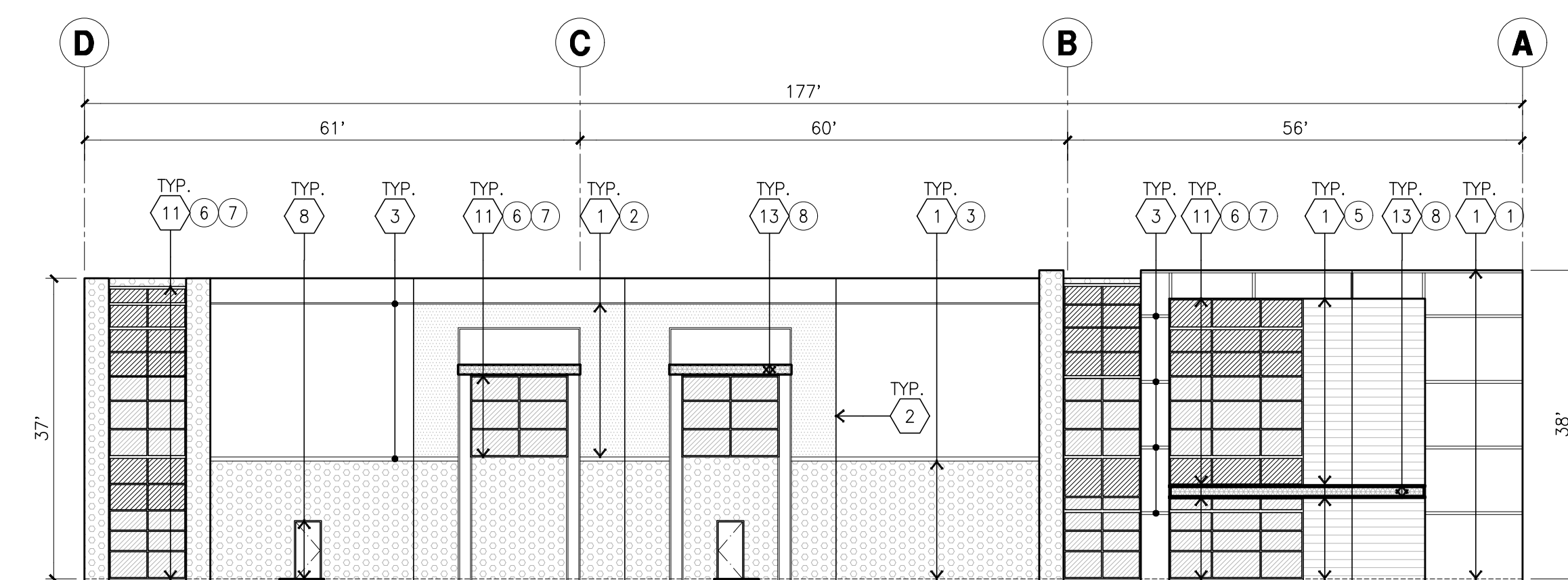
NORTH ELEVATION (CONT) B
scale: 1/16" = 1'-0"



SOUTH ELEVATION D
scale: 1/16" = 1'-0"



ENLARGED NORTH ELEVATION F
scale: 1/8" = 1'-0"



EAST ELEVATION E
scale: 1/16" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DRAINAGE TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.G.
- 4 12"x14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 5 9'x10' OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 METAL LOUVER. PAINT COLOR TO MATCH FIELD COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 ROOF LINE BEYOND.
- 10 DOCK BUMPER
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS, SIDELITES ADJACENT TO DOORS AND GLAZING
- 12 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS
- 13 EXTERIOR CANOPY
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- J. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- K. EXTERIOR WALL SHALL BE PROVIDED WITH A GRAFFITI-RESISTANT COATING OR PAINT, TO A HEIGHT OF 12' FOR BUILDING OR STRUCTURE SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPLIT-FACE BLOCK, DECORATIVE TILE, ETC.).

COLOR SCHED. - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW2072 ONLINE
- 3 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7074 SOFTWARE
- 4 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW6108 LATTE
- 5 CONCRETE TILT-UP PANEL PAINT BRAND_WOOD FINISH WOOD FIBER CEMENT-CEDAR TO BE SPRAYED-ON
- 6 MULLIONS COLOR CLEAR ANODIZED
- 7 GLAZING COLOR BLUE REFLECTIVE GLAZING
- 8 METAL CANOPY SHERWIN-WILLIAMS ACRYLIC LATEX SYSTEM HIGH PERFORMANCE SW 7005 PURE WHITE

GLAZING LEGEND

- S TEMPERED SPANDREL GLASS
- IV TEMPERED VISION INSULATED GLASS PPG VISTROGLASS (3) PACIFICA + SOLARBAN SOLARBAN 60 (3) CLEAR U VALUE: 0.27, SHGC: 0.21 AND VLT: 26% 1" INSULATED GLASS WITH 1/2" AIRSPACE AND (2) 1/4" LITES.

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Consultants:

CIVIL STRUCTURAL MECHANICAL PLUMBING ELECTRICAL LANDSCAPE FIRE PROTECTION SOILS ENGINEER

KIER + WRIGHT
HUNTER LANDSCAPE

Title: ELEVATIONS

Project Number: 22206
Drawn by: SLM
Date: 07/22/2022
Revision:

Sheet:

2-DAB-A3.1