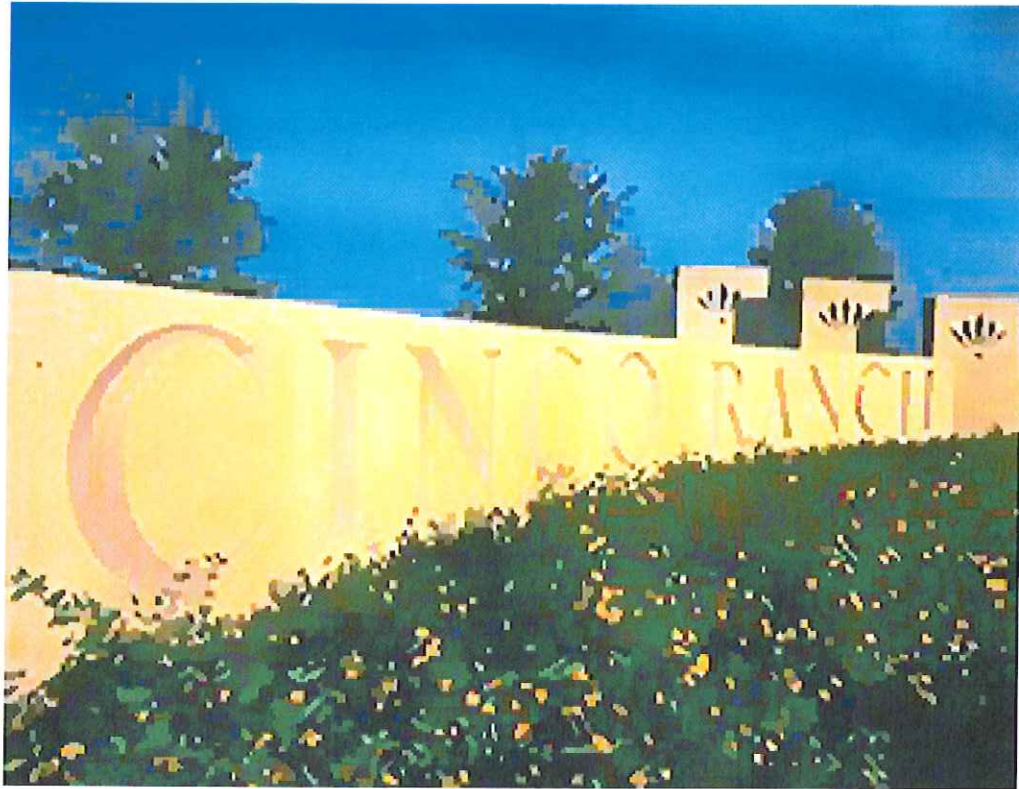


CINCO RANCH

COMMERCIAL DESIGN GUIDELINES



RECORDERS MEMORANDUM

This page is not satisfactory for photographic recordation due to carbon or photocopy, discolored paper, etc. All block-outs, additions and changes were presented at time instrument was filed and recorded.



CINCO RANCH

COMMERCIAL DESIGN GUIDELINES

Revised January 12, 2011

NOTICE

As outlined in the Declaration of Covenants, Conditions, and Restrictions ("CCR's"), any and all improvements to property shall be submitted to the Cinco Commercial Architecture Committee (the "Committee") for review and approval prior to initiation of any construction activities. Further, it is the applicant's responsibility to ensure compliance with the latest revisions to these guidelines. Guidelines are available upon request from the Committee. The Committee has discretionary authority as set forth in Article I.G ("Discretionary Authority") of the Guidelines.

THESE GUIDELINES ARE SUBJECT TO CHANGE WITHOUT NOTICE



CONTENTS

I. INTRODUCTION

A.	Project Description.....	1
B.	Intent of Guidelines.....	2
C.	Other Pertinent Information.....	2
D.	Submission and Approval of Plans	
	1. Concept Plan Review	3
	2. Preliminary Plan Submittal and Fees.....	3
	3. Final Plan Submittal and Fees.....	5
	4. Composition of Cinco Commercial Architecture Committee.....	6
	5. Committee Meetings and Timing of Review.....	6
	6. Form of Approval.....	7
	7. Pre-Construction Meeting.....	7
	8. Pre-Slab Survey.....	7
	9. Statement of Compliance	7
E.	Periodic Construction Reviews.....	8
F.	Project Completion.....	8
G.	Failure to Comply.....	9
H.	Discretionary Authority.....	9
I.	Variances	9
J.	Definitions.....	9

II. PUBLIC STREETS and WALKS

A.	Objectives.....	11
B.	Major Thoroughfares	
	1. New Esplanade Openings and Curb Cuts.....	11
	2. Lighting	12
	3. Sidewalks.....	12
	4. Landscaping	13
C.	Minor Streets	
	1. Esplanade Openings to Minor Streets.....	13
	2. Lighting	13
	3. Sidewalks.....	13

4.	Landscaping of Esplanades	14
----	---------------------------------	----

III. BUILDINGS

A.	Objectives.....	15
B.	Permanent Buildings	
1.	Character.....	15
2.	Materials.....	15
C.	Temporary Buildings.....	16
D.	Miscellaneous Building Elements.....	17

IV. SITE ELEMENTS

A.	Objectives.....	18
B.	Setbacks and Buffers	
	Building Setbacks	
1.	Adjacent to Single Family or Vacant Parcels.....	18
2.	Commercial Adjacent to Commercial.....	18
3.	Major Thoroughfares	19
4.	Minor Streets/Private Access Drives	19
	Landscape Setbacks - Major Thoroughfares	
1.	General Requirements	19
2.	Major Thoroughfare Profile.....	20
3.	Major Thoroughfare Fencing	20
4.	Major Entrances to Multi-Building Complexes.....	20
	Landscape Setbacks - Minor Streets.....	20
	Landscape Setbacks - Private Access Drives.....	21
	Landscape Buffers	
1.	Adjacent to Existing or Proposed Residential.....	21
2.	Adjacent to Existing or Proposed Commercial.....	21
3.	Internal to Multi-Use Commercial Parcels	22
C.	Accessories.....	22
D.	Parking	
1.	Materials	22
2.	Number of Spaces.....	23
3.	Lighting	23
4.	Planting Islands	25

	5.	Screening.....	25
	6.	Covered Parking.....	25
	7.	Drainage	26
E.		Driveways, Private Streets and Reciprocal Access Drive	
	1.	Paving.....	26
	2.	Curb Cuts.....	26
	3.	Intersections.....	27
	4.	Grading and Drainage	27
F.		Site Lighting	27
G.		Utilities and Service Areas	
	1.	Utilities	28
	2.	Service Areas	28
	3.	Screening Devices.....	29
H.		Grading and Drainage	29
I.		Landscaping	
	1.	General.....	30
	2.	Plant Quality	30
	3.	Minimum Sizes at Planting	31
	4.	Machine Planted Trees.....	31
	5.	Tree Stakes	31
	6.	Turfgrass	32
	7.	Plant Locations	32
	8.	Master Plant List.....	32
J.		Irrigation	
	1.	General	32
	2.	Design Pressure	33
	3.	Spray Patterns and Heads.....	33
	4.	Pipe.....	33
	5.	Location of Equipment	34
	6.	Equipment	34
K.		Maintenance.....	35
L.		Undeveloped Tracts	35

V. SIGNAGE

A.	Objectives.....	36
B.	Permanent Signs	
1.	Monument Signs - Single Tenant	36
2.	Monument Signs - Multiple Tenants	37
3.	Monument Signs - Service Stations	37
4.	Building Mounted Signs	38
5.	Window Signs\Graphics	39
C.	Traffic Regulatory Signs	39
D.	Temporary and Construction Signs.....	39
E.	Temporary Leasing Signs.....	40
F.	Temporary Leasing Signs - Window Display.....	41
G.	Prohibited Signs	41

VI. CONSTRUCTION

A.	Ingress/Egress Parking.....	43
B.	Clean Job Site Requirements	43
C.	Protection of Existing Trees and Development.....	43
D.	Miscellaneous Site Elements.....	44

VII. APPENDIX

A.	Exhibits	
B.	Lighting Standards	
C.	Review Submittal Requirements	

VIII. SUPPLEMENTAL DEVELOPMENT GUIDELINES

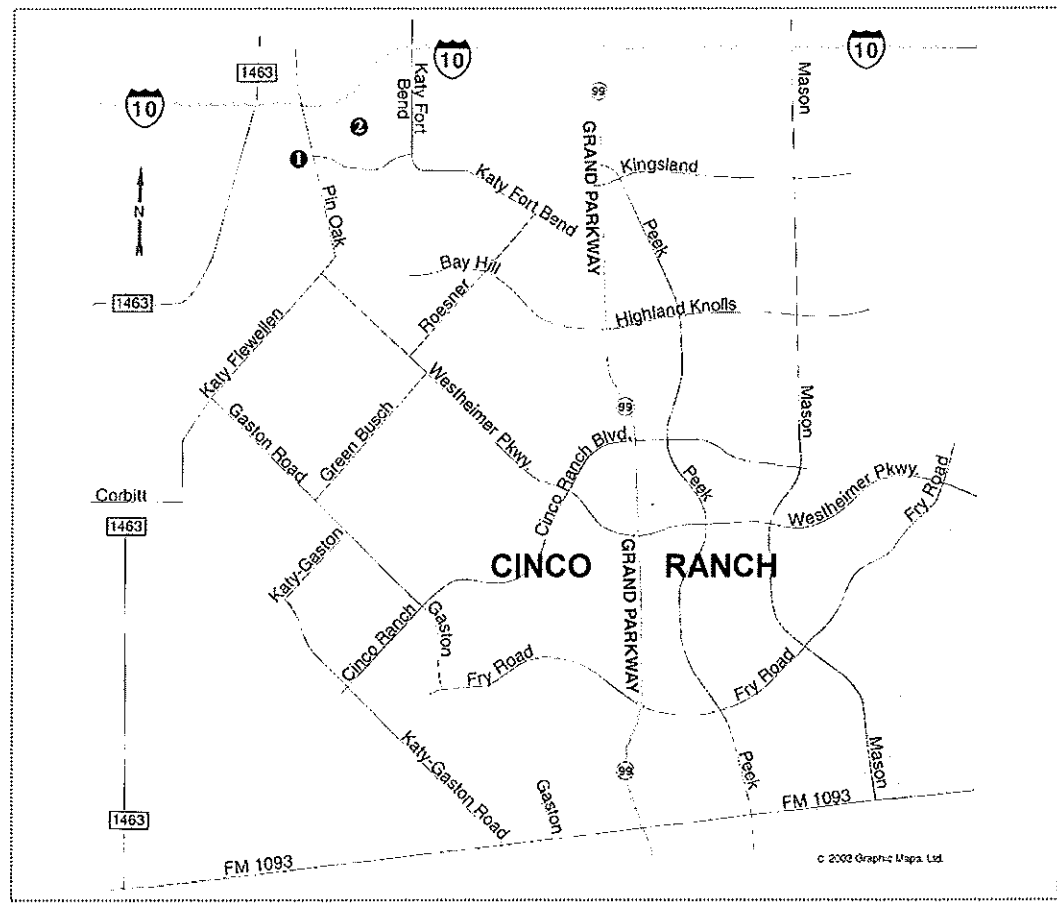
A.	Village Center at Cinco Ranch	
----	-------------------------------	--

150-29-520
RP 075-67-0341

I. INTRODUCTION

A. Project Description

Cinco Ranch is a 7,000+ acre land development planned to include a full range of compatible land uses (with the exception of heavy industry) in a coordinated suburban setting located near I-10 and Grand Parkway in West Houston. Commercial and educational facilities are planned to keep pace with residential growth. The overall character sought for Cinco Ranch is that of a quality suburban living, shopping and working environment. A residential character is required in all commercial building and landscape development.



Location Map

B. Intent of Design Guidelines

The Design Guidelines ("the guidelines") in this book are for Cinco Ranch tracts classified as "*commercial parcels*." They are intended specifically to promote attractive and well-coordinated development, to facilitate efficient plan development, submittal, and review by developers and builders, design professionals, and the Cinco Commercial Architecture Committee ("the Committee"), to ensure that neighboring projects reinforce each other's character and quality, and to ensure that the resulting community functions harmoniously as a whole. The guidelines are aimed at promoting site planning and architecture compatible with existing commercial structures and surrounding residential homes within the Cinco Ranch. The guidelines contain design standards for key elements of the development including *public streets and walks, buildings, site elements, signage, and construction*.

C. Other Pertinent Information

It is recommended that the property deed, the Declaration of Covenants, Conditions and Restrictions, and the recorded plat be carefully reviewed before commencing design. There are also various city, county, state, and utility district regulations, policies, and ordinances which apply to development in the Cinco Ranch and which should be reviewed prior to commencing design. The property is located outside the corporate limits of the City of Houston, but is within its Extraterritorial Jurisdiction (E.T.J.) control. It is, therefore, subject to Houston Development Ordinances and to any other ordinances that Houston may, by law, extend into the E.T.J. The property is primarily within Fort Bend County though a portion of the northern area extends into Harris County. All site development shall comply with Texas Department of Licensing and Regulation (TDLR) requirements.

D. Submission and Approval of Plans

In order to ensure the integrity of the development concepts defined in these guidelines, all new construction, subsequent construction, exterior remodeling, expansion and demolition of structures will be subject to review by the Committee in accordance with the procedures outlined below. All plans and specifications must be signed and sealed by a licensed Professional Engineer, Architect, or Landscape Architect, as applicable, registered to practice in the State of Texas. Projects will be named before they are submitted for review. It is not the role or function of the Committee to judge the adequacy of structural design or engineering feasibility of any submittal. The members of the Committee, Westbrook Cinco East and West, L.P., Cinco Commercial Property Association, Inc. (the "Association"), or its

agents will not be liable to any person under any circumstances whatsoever in connection with its approval or disapproval of plans, drawings, or specifications, including without limitation, any liability based on soundness of construction, adequacy of plans, drawings or specifications, or otherwise.

Prior approvals of existing commercial sites do not set precedence by which the Committee will be bound.

1. Concept Plan Review

A Concept Plan Review is required of Applicants. This is an abbreviated plan review that is intended to identify and highlight specific site development issues and requirements and to assist the Applicant in understanding planning and design concepts. No official approval of submittals will be rendered.

Submittal Requirements:

- ☐ Site plan
- ☐ Color elevations
- ☐ Three dimensional color view
- ☐ Eight (8) copies are to be submitted in an 11 x 17 format and a compact 'pdf.' file. Tracts that are to be subdivided shall include a Master Development Plan (same requirements as the Preliminary Submittal)

No review fee is required.

Comments will be forwarded to the site developer or architect approximately ten business days from the date submitted.

2. Preliminary Plan Submittal and Fees

A Preliminary Plan review submittal is required for all proposed commercial development within Cinco Ranch. A non-refundable review fee will be charged to Applicants submitting plans for review. This fee will offset costs for architectural review services rendered by outside consultants. The Preliminary Plan review fee is for one (1) review only. Additional reviews will be assessed a non-refundable \$250 per review.

Submittal Requirements:

- ☐ Review Submittal Requirements
- ☐ Five (5) sets of the building site plans and elevations on 24" x 36" paper, drawn to scale, printed legibly, illustrating building setbacks, summary of parking requirements, proposed architectural materials, and proposed color palette (color elevation renderings are acceptable). Site plans shall identify building footprint, building setbacks, landscape setbacks, landscape buffers, landscape islands/areas, dumpster enclosures, property sidewalks, sidewalks in the LMA, light poles, flag poles, monument signs, shrub hedges, radii of curbs at entrances and utility easements. Site dimensions for parking spaces, aisles, entry drives, sidewalks, setbacks, buffers, easements, etc. shall be provided. The handicap access route from the building to the public sidewalk shall be identified. Elevations shall include elevations of all sides of the building and dumpster enclosure and materials list. Dumpster enclosures shall have a personnel door. Tracts that are to be sub-divided shall include a Master Development Plan.
- ☐ Non-refundable review fee of \$1,000.00.
- ☐ Colored elevation rendering(s)
- ☐ Summary of square footage to satisfy the parking standards
- ☐ Gas Station submissions shall include plans for gas canopy and signage.
- ☐ Additional Preliminary Plan submittals will be assessed a non-refundable \$250 per review if the Applicant makes significant changes to the plan or the initial plan submittal does not incorporate design elements required by the guidelines, or if the Committee must schedule an additional review.

Checks for Preliminary Plan review fees are to be made payable to:

Cinco Commercial Property Association, Inc.

Submittals should be delivered to:

Cinco Commercial Architecture Committee

3022 Windemere Park Lane

Katy, Texas 77494

(281) 599-0408

One (1) set of plans will be returned with correspondence addressing the Committee's comments and one (1) set will be retained by the Committee.

Two (2) set of plans incorporating all changes per the Associations comments shall then be resubmitted for **Final Approval of Preliminary Submittal**. One (1) set of plans will be returned marked as 'Approved'.

3. Final Plan Submittal and Fees

A Final Plan review submittal is required for all proposed commercial development within Cinco Ranch. A non-refundable review fee will be charged to Applicants submitting plans for review. This fee will offset the costs for architectural review services rendered by outside consultants. The Final Plan review fee is for two (2) reviews only. Additional reviews will be assessed a non-refundable \$250.00 per review.

Submittal Requirements:

- ☐ Review Submittal Requirements
- ☐ Three (3) full sets of plans on 24" x 36" paper must be submitted, including such items as approved preliminary elevations, site plot plans, floor plans, cross-sections of buildings; drainage and grading plans (showing existing and proposed grades throughout the site), landscape plans, irrigation, sign criteria (building mounted and monument), photometrics for parking lot and building lighting, mechanical plans, electrical plans, plumbing plans, and any other plans necessary to illustrate how requirements will be fulfilled. Design/Build plans must be comparable in content and detail to construction bid documents
- ☐ Non-refundable review fee of \$1,500.00.
- ☐ Samples of exterior building materials mounted on boards (material boards)
- ☐ Color board (with a 4" x 6" labeled sample of each color used)
- ☐ Summary of square footage to satisfy the parking standards
- ☐ Legal closing documents showing acreage, buyer/seller, and closing date must be provided

Checks for review fees are to be made payable to:

Cinco Commercial Property Association, Inc.

Submittals should be delivered to:

Cinco Commercial Architecture Committee
3022 Windemere Park Lane
Katy, Texas 77494
(281) 599-0408

One (1) set of plans will be returned with a letter addressing the Committee's comments and one (1) set will be retained by the Committee.

Two (2) set of plans incorporating all changes per the Associations comments shall then be resubmitted for **Final Approval of Issue for Construction**. One (1) set of plans will be returned marked as 'Approved'.

4. **Composition of Cinco Commercial Architecture Committee**

The Cinco Commercial Architecture Committee, hereinafter referred to as the Committee, will consist of three (3) to five (5) persons who will be appointed by and will serve at the discretion of the Declarant. The Committee may designate one or more representatives to provide assistance. These representatives may include design professionals such as planners, architects, graphics designers, and building inspectors.

5. **Committee Meetings and Timing of Reviews**

The Committee meets the first and third Thursday of every month. Plans must be received no later than two (2) weeks prior to the meeting. Plans submitted to the Committee after the deadline will be reviewed at the next scheduled meeting. *Special exceptions for meeting dates will not be considered.*

To facilitate plan approval, the Applicant should be certain that the submittal package is complete. *Submittals lacking required information (refer to Items 1, 2, and 3 above) necessary for the Committee to render an approval/disapproval decision will be returned with written comments indicating what additional information is required.*

2460-29-520 IN
RP 075-27-0947

6. Form of Approval

One (1) set of plans will be returned along with written correspondence signed by one or more of the designated members of the Committee. No verbal communication shall be construed as a substitute or replacement for a written Committee response. Plan approval is valid for six months from date of Final approval. If construction has not been started within that period, plans must be re-submitted for approval and said plans are subject to all future revisions to the guidelines incorporated prior to the next approval. The non-refundable review fees will be required again. Absolutely no site work may begin until the Association grants Final Approval of the Final Construction drawings, conducted the pre-construction meeting and issued a 'Notice to Proceed'.

7. Pre-Construction Meeting

Prior to beginning construction, the Site Developer must schedule an on-site meeting with a representative of the Committee, the Landscape Maintenance Association, the Association, the management company for both associations, and any other agency deemed necessary. The management company for the Association should be contacted at least ten (10) days prior to commencing construction in order to schedule a meeting. After the pre-construction meeting, the Association will issue a 'Notice to Proceed'.

8. Pre-Slab Survey

The Site Developer shall employ a Registered Land Surveyor ("the Surveyor") to field verify and certify concrete forms prior to placement of building slab concrete. This certification shall be signed and sealed by the Surveyor. The certification shall be submitted to the Association to confirm location of slab according to approved plan. Survey to be submitted at time of slab construction.

9. Statement of Compliance

The Site Developer shall submit to the Committee a signed statement indicating that the project has been constructed according to approved plans and specifications.

00000-10-510-10

E. Periodic Construction Reviews

The management company shall be contacted forty-eight (48) hours prior to pouring any concrete. The Association will perform periodic inspections of the property. Costs incurred by outside consultants to check items that appear to be non-compliant will be charged to the Site Developer.

The Association will also review the project site for any unapproved signage, damaged silt fence, cleanliness (maintenance) of project and adjacent street(s), compliance to construction drawings, compliance to the Guidelines and the CC&Rs.

F. Project Completion

When the project has reached substantial completion, all building construction, landscaping and irrigation shall be completed within thirty (30) days of substantial completion. Substantial completion is obtained when the building is occupied by the owner/tenant, or thirty (30) days after the building is completed, whichever occurs first.

Additionally, the Association will conduct an inspection of the building and property for compliance to the Guidelines. The inspection will be coordinated with the property owner/site developer. Any items requiring attention shall be cured within the thirty (30) days of substantial completion.

The temporary construction/leasing sign, if any, shall be removed within thirty (30) days of substantial completion. Refer to Section V. Signage, Part D for further information.

G. Failure to Comply

It is the Property Owners/Site Developer's responsibility to ensure that the guidelines are followed to the fullest. If a project is found to be in violation of the guidelines, the Property Owner/Site Developer will be notified of the violation(s) in writing. Failure to correct the violation(s) or notify the Association within five (5) days will result in the Association entering the property to remove the infraction or forwarding the information to the Association's attorney for legal action.

The Association will have a "Zero Tolerance" for unapproved signs or damaged silt fence. Failure to correct the violation(s) or notify the Association may result in the Association entering the property to remove the infraction or forwarding the information directly to the Association's attorney for legal action.

0160-29-520

H. Discretionary Authority

While these guidelines cover many standards, specifications, and requirements, they do not (nor are they intended to) cover all standards, specifications, and requirements for every project or every portion of a project. Accordingly, there may be issues which arise from time to time which are not specifically set forth in these guidelines. Standards, specifications, requirements, and other issues and aspects associated with the development of commercial property in Cinco Ranch, which are not covered in these guidelines, shall be left to the Committee's sole discretionary judgment. The Committee's decision regarding such items shall be final.

I. Variances

Article VIII, Section 7, of the Declaration of Covenants, Conditions, and Restrictions for Cinco Commercial Reserves outlines the procedures by which the Committee may, at its sole discretion, authorize a variance to the guidelines. In limited situations, and where unique circumstances exist, the Committee may grant variances to documented building setback and landscape buffer requirements when such a variance will not compromise the original intent of the guidelines. The granting of a variance shall in no way constitute a change in or affect the terms or conditions set forth in the guidelines or prevent the Committee from denying a variance in other circumstances.

NO VARIANCES WILL BE GRANTED TO ANY BUILDING SETBACKS OR LANDSCAPE BUFFERS ON PROPERTY ADJACENT TO AN EXISTING OR PROPOSED SINGLE-FAMILY PARCEL.

J. Definitions

Applicant: Any Individual or corporate entity submitting application for site plan and/or architectural review and approval.

Architect: Professional Architect licensed to practice in the State of Texas.

Association: Cinco Commercial Property Association, Inc.

Bandit Sign: Signs intended only for temporary usage.

Committee: Cinco Commercial Architecture Committee. Also referred to as C.C.A.C.

Construction Sign: Any sign erected for the purposes of temporarily identifying a construction project or site, its current stage of development, and/or its project team.

CCR's: Declaration of Covenants, Conditions, and Restrictions for Cinco Commercial Reserves.

Declarant: Westbrook Cinco East and West, LP.

DBH: Diameter at Breast Height. Standard height at which the diameter of existing trees is measured. Approximately 48" above existing grade.

Directional Sign: A sign providing specific directional guidance through Cinco Ranch.

Drip Line: Outer edge of the vegetative canopy of an existing tree or a distance equal to 1' radius per 1" DBH, whichever is greater.

Informational Sign: A sign providing information regarding local attractions, points-of-interest, services, or destinations.

Landscape Architect: Professional Landscape Architect licensed to practice in the State of Texas.

Landscape Maintenance Association: Master association responsible for maintenance of major thoroughfares throughout Cinco Ranch.

Management Company: Professional manager that manages the Cinco Ranch Property, Commercial and Landscape Maintenance Associations.

Professional Engineer: Professional Engineer licensed to practice in the State of Texas.

Professional Civil Engineer: Professional Civil Engineer licensed to practice in the State of Texas.

Registered Land Surveyor: Land Surveyor licensed to practice in the State of Texas.

Site Developer: Any Individual or corporate entity authorized by the Committee to initiate construction of an approved project in the Cinco Ranch.

Temporary Sign: Any sign erected for the purposes of temporarily identifying a construction project or site, its current stage of development, or its project team.

Tenant: Any occupant of leased space in the Cinco Ranch.

II. PUBLIC STREETS and WALKS

A. Objectives

To ensure that public streets and walks within Cinco Ranch incorporate a consistent vocabulary of construction details and street furnishings, and enhance the overall image of Cinco Ranch.

B. Major Thoroughfares

The following streets are currently major thoroughfares within Cinco Ranch: F.M. 1093, Mason Rd., Peek Rd., Fry Rd., Cinco Ranch Blvd., Westheimer Parkway, Highland Knolls Blvd., and Commercial Center Blvd. F.M. 1093 is a State-constructed and maintained facility. Grand Parkway is a TX-DOT constructed and maintained facility. The others are developer-constructed to the standards of Harris or Fort Bend County, as appropriate. They have been paved with dual 24' concrete curb and gutter sections and 30' esplanades.

1. New Esplanade Openings and Curb Cuts

New esplanade openings providing access to major thoroughfares must be approved first by the Committee and then by the County Engineer's Office (Harris County or Fort Bend County, as appropriate). They will be constructed at the cost of the Site Developer requesting the curb cut. The existing pavement to be cut shall be replaced with concrete matching the existing pavement color and texture as closely as possible. Plans must be submitted showing the reconstruction of the esplanade and setback landscaping and all improvements will be reconstructed/modified by the site developer as illustrated in **Exhibit A-1**. A schedule shall also be submitted for approval by the Committee and shall indicate a time frame from curb cut to completion of curb/pavement replacement, irrigation modifications and landscape repair and/or replacements. The work shall be considered a priority with no breaks in scheduling.

Any modification, removal, or alteration of existing landscaping improvements in these areas must be approved by the Committee. A satisfactory proposal (at the Committee's sole discretion) to perform the modifications and a check for the total amount of the contract must be submitted in escrow, to the Association. The escrowed funds will be released upon completion of the modification to the

satisfaction of the Committee.

The irrigation system will be re-designed, re-routed, or repaired as necessary to return it to a fully operational condition. Watering existing plant materials during any period that the irrigation system is shut off and the replacement of any dead or damaged plant materials resulting from construction activity shall be the responsibility of the Site Developer. Trees or plants which are relocated for any reason shall have a one-year warranty for survival. The warranty shall be the sole responsibility of the Site Developer.

If any damage occurs to the existing irrigation within the landscape setbacks while constructing improvements on the parcel or during the initial installation of the Landscape Maintenance Association's ("LMA's") irrigation system, the site developer or property owner must repair and reestablish the LMA's systems and any dead or damaged landscaping within forty-eight (48) hours.

2. Lighting

Lighting shall be installed along all major thoroughfares by the Site Developer. The Site Developer shall contact the local energy provider to coordinate lighting requirements for Major Thoroughfares along a respective tract. Refer to **Appendix B** for specific lighting standards.

3. Sidewalks

Sidewalks are required along all major thoroughfares shown on **Exhibit A-2**. Sidewalks shall be installed by the Site Developer in a curvilinear pattern within landscape setbacks per **Exhibit A-5**. All sidewalks shall be completed prior to building occupancy. All sidewalks shall be 5' (five feet) wide and made of natural color off-white concrete and be constructed per **Exhibit A-3**. Sidewalk edges are smooth troweled "picture-frame" type with a medium broom finish and the Cinco Ranch logo (artwork to be provided by the Association office) shall be provided at the first panel adjacent to the grooved handicap ramps. The Cinco Ranch logo imprint into the concrete sidewalk shall not exceed 1/8" depth. The grooved handicap ramp shall be stained Kemi-Co Cola.

Barrier-free access must be provided on all public sidewalks. Any grade change, such as at sidewalk intersections with streets and driveways, must include a curb

ramp per **Exhibit A-4**. The maximum slope of a curb ramp shall comply with Texas Accessibility Standards, county, or local standards - whichever is most stringent. Per state law, all site plans shall be submitted to the Texas Department of Licensing and Regulation (TDLR) for review.

4. Landscaping

The requirements for improvements in the landscape setback areas and esplanades must be consistent with existing planted major thoroughfares and as detailed in **Exhibit A-5**.

C. Minor Streets and Private Access Drives

All streets, other than those classified as Major Thoroughfares, will be regarded as Minor Streets, including private access drives. All streets shall have curb and gutter sections. They must be constructed entirely of off-white concrete, unless other decorative embellishments have been approved by the Committee.

1. Esplanade Openings to Minor Streets

If a minor street has an esplanade, the tip will be paved per **Exhibit A-1**. The paving must match that used on the tips of the esplanades in the major thoroughfares.

2. Lighting

Lighting shall be installed along all public streets by the Site Developer. The Site Developer shall contact the local energy provider to coordinate lighting requirements for Minor Streets along a respective tract. Refer to **Appendix B** for specific lighting standards.

3. Sidewalks

Sidewalks are required along both sides of all Minor Streets. Sidewalks shall be installed by the Site Developer within landscape setbacks. All sidewalks must be completed prior to building occupancy. Sidewalks shall be 5' -0" width and made of natural color off-white concrete and be constructed per **Exhibit A-6**. Sidewalk edges are smooth-troweled "picture-frame" type with a medium broom finish and the Cinco Ranch logo (artwork to be provided by the Committee) shall be provided at the first panel adjacent to the grooved handicap at ramps. The Cinco Ranch logo imprint into

the concrete sidewalk shall not exceed 1/8" depth. The grooved handicap ramp shall be stained Kemi-Co Cola.

Barrier-free access must be provided on all public sidewalks. Any grade change, such as at sidewalk intersections with streets and driveways, must include a curb ramp per **Exhibit A-4**. The maximum slope of a curb ramp shall comply with Texas Accessibility Standards, county, or local standards - whichever is most stringent. Per state law, all site plans shall be submitted to the Texas Department of Licensing and Regulation (TDLR) for review.

4. Landscaping of Esplanades

The landscaping of a minor street esplanade is the responsibility of the Site Developer. Landscaping will be installed per **Exhibit A-1**. Trees or plants which are relocated for any reason shall have a one-year warranty for survival. The warranty shall be the sole responsibility of the Site Developer.

III. BUILDINGS

A. Objectives

To ensure that buildings within Cinco Ranch reflect the residential character of Cinco Ranch and respond to adjacent architectural styles, have sufficient complexity to ensure visual and functional interest, and promote a clean and harmonious architectural design character throughout Cinco Ranch.

B. Permanent Buildings

1. Character

Buildings should reflect the residential character of the Cinco Ranch project. Boxy institutional buildings with limited or no horizontal relief will not be approved. The use of pitched or varied rooflines, dormers, porches, divided light windows, and other residential design elements is strongly encouraged. Refer to **Exhibit A-7** and **Exhibit A-8** for examples of recommended design styles.

2. Materials

The number of materials on a single building should be limited in order to achieve a clean and harmonious design character. Buildings are to be constructed of minimum 70% brick or stone with accent materials consisting of stone, split face or honed block, stucco, or cementitious siding (subject to the discretion of the Committee). Colors and textures must be approved by the Committee.

a. Roofing

- Composition or asphalt shingles: minimum 30-year or dimensional shingle in black or gray color range
- Clay tile
- Concrete tile
- Slate
- Aluminum
- Copper - Pre-aged
- Metal: Approved colors are Signature 300 - Medium Bronze, Midnight Bronze, Brownstone, Hunter Green, and Charcoal Gray.

2020-2021-2022-2023-2024-2025-2026-2027-2028-2029-2030-2031-2032-2033-2034-2035-2036-2037-2038-2039-2040-2041-2042-2043-2044-2045-2046-2047-2048-2049-2050-2051-2052-2053-2054-2055-2056-2057-2058-2059-2060-2061-2062-2063-2064-2065-2066-2067-2068-2069-2070-2071-2072-2073-2074-2075-2076-2077-2078-2079-2080-2081-2082-2083-2084-2085-2086-2087-2088-2089-2090-2091-2092-2093-2094-2095-2096-2097-2098-2099-2100-2101-2102-2103-2104-2105-2106-2107-2108-2109-2110-2111-2112-2113-2114-2115-2116-2117-2118-2119-2120-2121-2122-2123-2124-2125-2126-2127-2128-2129-2130-2131-2132-2133-2134-2135-2136-2137-2138-2139-2140-2141-2142-2143-2144-2145-2146-2147-2148-2149-2150-2151-2152-2153-2154-2155-2156-2157-2158-2159-2160-2161-2162-2163-2164-2165-2166-2167-2168-2169-2170-2171-2172-2173-2174-2175-2176-2177-2178-2179-2180-2181-2182-2183-2184-2185-2186-2187-2188-2189-2190-2191-2192-2193-2194-2195-2196-2197-2198-2199-2200-2201-2202-2203-2204-2205-2206-2207-2208-2209-2210-2211-2212-2213-2214-2215-2216-2217-2218-2219-2220-2221-2222-2223-2224-2225-2226-2227-2228-2229-2230-2231-2232-2233-2234-2235-2236-2237-2238-2239-2240-2241-2242-2243-2244-2245-2246-2247-2248-2249-2250-2251-2252-2253-2254-2255-2256-2257-2258-2259-2260-2261-2262-2263-2264-2265-2266-2267-2268-2269-2270-2271-2272-2273-2274-2275-2276-2277-2278-2279-2280-2281-2282-2283-2284-2285-2286-2287-2288-2289-2290-2291-2292-2293-2294-2295-2296-2297-2298-2299-2300-2301-2302-2303-2304-2305-2306-2307-2308-2309-2310-2311-2312-2313-2314-2315-2316-2317-2318-2319-2320-2321-2322-2323-2324-2325-2326-2327-2328-2329-2330-2331-2332-2333-2334-2335-2336-2337-2338-2339-2340-2341-2342-2343-2344-2345-2346-2347-2348-2349-2350-2351-2352-2353-2354-2355-2356-2357-2358-2359-2360-2361-2362-2363-2364-2365-2366-2367-2368-2369-2370-2371-2372-2373-2374-2375-2376-2377-2378-2379-2380-2381-2382-2383-2384-2385-2386-2387-2388-2389-2390-2391-2392-2393-2394-2395-2396-2397-2398-2399-2400-2401-2402-2403-2404-2405-2406-2407-2408-2409-2410-2411-2412-2413-2414-2415-2416-2417-2418-2419-2420-2421-2422-2423-2424-2425-2426-2427-2428-2429-2430-2431-2432-2433-2434-2435-2436-2437-2438-2439-2440-2441-2442-2443-2444-2445-2446-2447-2448-2449-2450-2451-2452-2453-2454-2455-2456-2457-2458-2459-2460-2461-2462-2463-2464-2465-2466-2467-2468-2469-2470-2471-2472-2473-2474-2475-2476-2477-2478-2479-2480-2481-2482-2483-2484-2485-2486-2487-2488-2489-2490-2491-2492-2493-2494-2495-2496-2497-2498-2499-2500-2501-2502-2503-2504-2505-2506-2507-2508-2509-2510-2511-2512-2513-2514-2515-2516-2517-2518-2519-2520-2521-2522-2523-2524-2525-2526-2527-2528-2529-2530-2531-2532-2533-2534-2535-2536-2537-2538-2539-2540-2541-2542-2543-2544-2545-2546-2547-2548-2549-2550-2551-2552-2553-2554-2555-2556-2557-2558-2559-2560-2561-2562-2563-2564-2565-2566-2567-2568-2569-2570-2571-2572-2573-2574-2575-2576-2577-2578-2579-2580-2581-2582-2583-2584-2585-2586-2587-2588-2589-2590-2591-2592-2593-2594-2595-2596-2597-2598-2599-2600-2601-2602-2603-2604-2605-2606-2607-2608-2609-2610-2611-2612-2613-2614-2615-2616-2617-2618-2619-2620-2621-2622-2623-2624-2625-2626-2627-2628-2629-2630-2631-2632-2633-2634-2635-2636-2637-2638-2639-2640-2641-2642-2643-2644-2645-2646-2647-2648-2649-2650-2651-2652-2653-2654-2655-2656-2657-2658-2659-2660-2661-2662-2663-2664-2665-2666-2667-2668-2669-2670-2671-2672-2673-2674-2675-2676-2677-2678-2679-2680-2681-2682-2683-2684-2685-2686-2687-2688-2689-2690-2691-2692-2693-2694-2695-2696-2697-2698-2699-2700-2701-2702-2703-2704-2705-2706-2707-2708-2709-2710-2711-2712-2713-2714-2715-2716-2717-2718-2719-2720-2721-2722-2723-2724-2725-2726-2727-2728-2729-2730-2731-2732-2733-2734-2735-2736-2737-2738-2739-2740-2741-2742-2743-2744-2745-2746-2747-2748-2749-2750-2751-2752-2753-2754-2755-2756-2757-2758-2759-2760-2761-2762-2763-2764-2765-2766-2767-2768-2769-2770-2771-2772-2773-2774-2775-2776-2777-2778-2779-2780-2781-2782-2783-2784-2785-2786-2787-2788-2789-2790-2791-2792-2793-2794-2795-2796-2797-2798-2799-2800-2801-2802-2803-2804-2805-2806-2807-2808-2809-2810-2811-2812-2813-2814-2815-2816-2817-2818-2819-2820-2821-2822-2823-2824-2825-2826-2827-2828-2829-2830-2831-2832-2833-2834-2835-2836-2837-2838-2839-2840-2841-2842-2843-2844-2845-2846-2847-2848-2849-2850-2851-2852-2853-2854-2855-2856-2857-2858-2859-2860-2861-2862-2863-2864-2865-2866-2867-2868-2869-2870-2871-2872-2873-2874-2875-2876-2877-2878-2879-2880-2881-2882-2883-2884-2885-2886-2887-2888-2889-2890-2891-2892-2893-2894-2895-2896-2897-2898-2899-2900-2901-2902-2903-2904-2905-2906-2907-2908-2909-2910-2911-2912-2913-2914-2915-2916-2917-2918-2919-2920-2921-2922-2923-2924-2925-2926-2927-2928-2929-2930-2931-2932-2933-2934-2935-2936-2937-2938-2939-2940-2941-2942-2943-2944-2945-2946-2947-2948-2949-2950-2951-2952-2953-2954-2955-2956-2957-2958-2959-2960-2961-2962-2963-2964-2965-2966-2967-2968-2969-2970-2971-2972-2973-2974-2975-2976-2977-2978-2979-2980-2981-2982-2983-2984-2985-2986-2987-2988-2989-2990-2991-2992-2993-2994-2995-2996-2997-2998-2999-3000-3001-3002-3003-3004-3005-3006-3007-3008-3009-3010-3011-3012-3013-3014-3015-3016-3017-3018-3019-3020-3021-3022-3023-3024-3025-3026-3027-3028-3029-3030-3031-3032-3033-3034-3035-3036-3037-3038-3039-3040-3041-3042-3043-3044-3045-3046-3047-3048-3049-3050-3051-3052-3053-3054-3055-3056-3057-3058-3059-3060-3061-3062-3063-3064-3065-3066-3067-3068-3069-3070-3071-3072-3073-3074-3075-3076-3077-3078-3079-3080-3081-3082-3083-3084-3085-3086-3087-3088-3089-3090-3091-3092-3093-3094-3095-3096-3097-3098-3099-3100-3101-3102-3103-3104-3105-3106-3107-3108-3109-3110-3111-3112-3113-3114-3115-3116-3117-3118-3119-3120-3121-3122-3123-3124-3125-3126-3127-3128-3129-3130-3131-3132-3133-3134-3135-3136-3137-3138-3139-3140-3141-3142-3143-3144-3145-3146-3147-3148-3149-3150-3151-3152-3153-3154-3155-3156-3157-3158-3159-3160-3161-3162-3163-3164-3165-3166-3167-3168-3169-3170-3171-3172-3173-3174-3175-3176-3177-3178-3179-3180-3181-3182-3183-3184-3185-3186-3187-3188-3189-3190-3191-3192-3193-3194-3195-3196-3197-3198-3199-3200-3201-3202-3203-3204-3205-3206-3207-3208-3209-3210-3211-3212-3213-3214-3215-3216-3217-3218-3219-3220-3221-3222-3223-3224-3225-3226-3227-3228-3229-3230-3231-3232-3233-3234-3235-3236-3237-3238-3239-3240-3241-3242-3243-3244-3245-3246-3247-3248-3249-3250-3251-3252-3253-3254-3255-3256-3257-3258-3259-3260-3261-3262-3263-3264-3265-3266-3267-3268-3269-3270-3271-3272-3273-3274-3275-3276-3277-3278-3279-3280-3281-3282-3283-3284-3285-3286-3287-3288-3289-3290-3291-3292-3293-3294-3295-3296-3297-3298-3299-3300-3301-3302-3303-3304-3305-3306-3307-3308-3309-3310-3311-3312-3313-3314-3315-3316-3317-3318-3319-3320-3321-3322-3323-3324-3325-3326-3327-3328-3329-3330-3331-3332-3333-3334-3335-3336-3337-3338-3339-3340-3341-3342-3343-3344-3345-3346-3347-3348-3349-3350-3351-3352-3353-3354-3355-3356-3357-3358-3359-3360-3361-3362-3363-3364-3365-3366-3367-3368-3369-3370-3371-3372-3373-3374-3375-3376-3377-3378-3379-3380-3381-3382-3383-3384-3385-3386-3387-3388-3389-3390-3391-3392-3393-3394-3395-3396-3397-3398-3399-3400-3401-3402-3403-3404-3405-3406-3407-3408-3409-3410-3411-3412-3413-3414-3415-3416-3417-3418-3419-3420-3421-3422-3423-3424-3425-3426-3427-3428-3429-3430-3431-3432-3433-3434-3435-3436-3437-3438-3439-3440-3441-3442-3443-3444-3445-3446-3447-3448-3449-3450-3451-3452-3453-3454-3455-3456-3457-3458-3459-3460-3461-3462-3463-3464-3465-3466-3467-3468-3469-3470-3471-3472-3473-3474-3475-3476-3477-3478-3479-3480-3481-3482-3483-3484-3485-3486-3487-3488-3489-3490-3491-3492-3493-3494-3495-3496-3497-3498-3499-3500-3501-3502-3503-3504-3505-3506-3507-3508-3509-3510-3511-3512-3513-3514-3515-3516-3517-3518-3519-3520-3521-3522-3523-3524-3525-3526-3527-3528-3529-3530-3531-3532-3533-3534-3535-3536-3537-3538-3539-3540-3541-3542-3543-3544-3545-3546-3547-3548-3549-3550-3551-3552-3553-3554-3555-3556-3557-3558-3559-3560-3561-3562-3563-3564-3565-3566-3567-3568-3569-3570-3571-3572-3573-3574-3575-3576-3577-3578-3579-3580-3581-3582-3583-3584-3585-3586-3587-3588-3589-3590-3591-3592-3593-3594-3595-3596-3597-3598-3599-3600-3601-3602-3603-3604-3605-3606-3607-3608-3609-3610-3611-3612-3613-3614-3615-3616-3617-3618-3619-3620-3621-3622-3623-3624-3625-3626-3627-3628-3629-3630-3631-3632-3633-3634-3635-3636-3637-3638-3639-3640-3641-3642-3643-3644-3645-3646-3647-3648-3649-3650-3651-3652-3653-3654-3655-3656-3657-3658-3659-3660-3661-3662-3663-3664-3665-3666-3667-3668-3669-3670-3671-3672-3673-3674-3675-3676-3677-3678-3679-3680-3681-3682-3683-3684-3685-3686-3687-3688-3689-3690-3691-3692-3693-3694-3695-3696-3697-3698-3699-3700-3701-3702-3703-3704-3705-3706-3707-3708-3709-3710-3711-3712-3713-3714-3715-3716-3717-3718-3719-3720-3721-3722-3723-3724-3725-3726-3727-3728-3729-3730-3731-3732-3733-3734-3735-3736-3737-3738-3739-3740-3741-3742-3743-3744-3745-3746-3747-3748-3749-3750-3751-3752-3753-3754-3755-3756-3757-3758-3759-3760-3761-3762-3763-3764-3765-3766-3767-3768-3769-3770-3771-3772-3773-3774-3775-3776-3777-3778-3779-3780-3781-3782-3783-3784-3785-3786-3787-3788-3789-3790-3791-3792-3793-3794-3795-3796-3797-3798-3799-3800-3801-3802-3803-3804-3805-3806-3807-3808-3809-3810-3811-3812-3813-3814-3815-3816-3817-3818-3819-3820-3821-3822-3823-3824-3825-3826-3827-3828-3829-3830-3831-3832-3833-3834-3835-3836-3837-3838-3839-3840-3841-3842-3843-3844-3845-3846-3847-3848-3849-3850-3851-3852-3853-3854-3855-3856-3857-3858-3859-3860-3861-3862-3863-3864-3865-3866-3867-3868-3869-3870-3871-3872-3873-3874-3875-3876-3877-3878-3879-3880-3881-3882-3883-3884-3885-3886-3887-3888-3889-3890-3891-3892-3893-3894-3895-3896-3897-3898-3899-3900-3901-3902-3903-3904-3905-3906-3907-3908-3909-3910-3911-3912-3913-3914-3915-3916-3917-3918-3919-3920-3921-3922-3923-3924-3925-3926-3927-3928-3929-3930-3931-3932-3933-3934-3935-3936-3937-3938-3939-3940-3941-3942-3943-3944-3945-3946-3947-3948-3949-3950-3951-3952-3953-3954-3955-3956-3957-3958-3959-3960-3961-3962-3963-3964-3965-3966-3967-3968-3969-3970-3971-3972-3973-3974-3975-3976-3977-3978-3979-3980-3981-3982-3983-3984-3985-3986-3987-3988-3989-3990-3991-3992-3993-3994-3995-3996-3997-3998-3999-4000-4001-4002-4003-4004-4005-4006-4007-4008-4009-4010-4011-4012-4013-4014-4015-4016-4017-4018-4019-4020-4021-4022-4023-4024-4025-4026-4027-4028-4029-4030-4031-4032-4033-4034-4035-4036-4037-4038-4039-4040-4041-4042-4043-4044-4045-4046-4047-4048-4049-4050-4051-4052-4053-4054-4055-4056-4057-4058-4059-4060-4061-4062-4063-4064-4065-4066-4067-4068-4069-4070-4071-4072-4073-4074-4075-4076-4077-4078-4079-4080-4081-4082-4083-4084-4085-4086-4087-4088-4089-4090-4091-4092-4093-4094-4095-4096-4097-4098-4099-4100-4101-4102-4103-4104-4105-4106-4107-4108-4109-4110-4111-4112-4113-4114-4115-4116-4117-4118-4119-4120-4121-4122-4123-4124-4125-4126-4127-4128-4129-4130-4131-4132-4133-4134-4135-4136-4137-4138-4139-4140-4141-4142-4143-4144-4145-4146-4147-4148-4149-4150-4151-4152-4153-4154-4155-4156-4157-4158-4159-4160-4161-4162-4163-4164-4165-4166-4167-4168-4169-4170-4171-4172-4173-4174-4175-4176-4177-4178-4179-4180-4181-4182-4183-4184-4185-4186-4187-4188-4189-4190-4191-4192-4193-4194-4195-4196-4197-4198-4199-4200-4201-4202-4203-4204-4205-4206-4207-4208-4209-4210-4211-4212-4213-4214-4215-4216-4217-4218-4219-4220-4221-4222-4223-4224-4225-4226-4227-4228-4229-4230-4231-4232-4233-4234-4235-4236-4237-4238-4239-4240-4241-4242-4243-4244-4245-4246-4247-4248-4249-4250-4251-4252-4253-4254-4255-4256-4257-4258-4259-4260-4261-4262-4263-4264-4265-4266-4267-4268-4269-4270-4271-4272-4273-4274-4275-4276-4277-4278-4279-4280-4281-4282-4283-4284-4285-4286-4287-4288-4289-4290-4291-4292-4293-4294-4295-4296-4297-4298-4299-4300-4301-4302-4303-4304-4305-4306-4307-4308-4309-4310-4311-4312-4313-4314-4315-4316-4317-4318-4319-4320-4321-4322-4323-4324-432

All roofing materials are subject to review by the Committee. Colors must be approved by the Committee. Final approval will also be based on consideration of the palette of the other material selections submitted and the compatibility with existing adjacent structures. For large contiguous roof area, vertical relief must be incorporated into the building design in order to create a more pleasing visual effect. Refer to **Exhibit A-7** and **Exhibit A-8**. **Wood shingles are not permitted.**

b. Window Frames

Window frames shall not be clear anodized. They must be bronze or darker in color.

c. Window Treatment (Blinds and Shades)

Any interior items or materials that are visible from the exterior will require approval by the Association. Failure to secure approval from the Association may be cause for rejection and will require the removal of said items.

- Window treatment must be dark bronze or black. The window treatment on all windows of the building shall match.
- Window treatment shall extend from the top of the glass to the bottom of the glass of doors and windows.
- The manufacturer of the window treatment shall be a nationally recognized manufacturer.
- The window treatment used by the first tenant of a strip center shall set precedent for the remaining tenants of the strip center.
- The window treatment must be maintained in good condition.
- If window tint is desired, it shall be installed on all storefront glass.

C. Temporary Buildings

Temporary buildings are permitted for use only during the construction of permanent buildings, streets, utilities, and driveways, and are to be kept to the minimum necessary to complete the work. All temporary buildings must be located outside the landscape setbacks and be a minimum of twenty-five (25) feet from adjacent single-family neighborhoods. The temporary buildings may be used only for construction offices, security offices, leasing or

information offices, storage of tools and equipment, and toilets. Temporary toilets must be hidden as much as possible and out of the LMA setback. The location, design, and general appearance of all temporary buildings must be approved by the Committee. They should be skirted with materials that are similar in color and profile as the temporary building and be maintained in good condition at all times. Window coverings are required on all windows adjacent to existing single-family areas.

Temporary buildings must have access from hard paved or temporary gravel surfaced driveways. All temporary driveways must be removed once permanent concrete parking/driveway areas are installed. Since on-street parking is not permitted along major thoroughfares or along minor streets in commercial tracts, in most cases, off-street parking for construction crews is required. It is therefore recommended that site developers pave their own parking areas before starting building construction. The site developer is also required to provide a gravel "wash-off" area and hose bib for construction equipment and vehicles so as to avoid distribution of concrete, soils and other debris onto the public right-of-way.

D. Miscellaneous Building Elements

- Trailers, wagons, flatbeds, boats, recreational vehicles and stored vehicles are prohibited, unless the applicable item is properly screened from public view in a manner approved in writing by the Committee. Parked vehicles used for the purpose of displaying advertising graphics are prohibited.
- Temporary or permanent chain link fence is not permitted.
- Roof-mounted equipment is not to exceed the height of the parapet from any direction.
- Ground-mounted equipment shall be screened from view by either landscaping or masonry screen wall to match the building.
- Exterior wall-mounted electrical panels, gutters, conduit, etc. shall be painted (subject to code) to match the building.
- Dumpster enclosures shall be of the same materials and colors and shall match the building. Dumpster enclosures shall have a personnel door and service gates constructed of tube framing with facing of 20 gauge 'D' profile steel panel construction painted to match the building.

IV. SITE ELEMENTS

The guidelines outlined in this section address the various aspects of site development such as setbacks, parking, drainage, lighting, and landscaping. These guidelines are specific in the requirements for the landscape buffers adjacent to single-family or commercial parcels and the area within landscape easements along major thoroughfares, an area considered the visual "front door" of the Cinco Ranch community.

A. Objectives

To ensure the selection and utilization of a cohesive family of site elements that is supportive of the property's overall image and establishes a harmonious site character throughout the Cinco Ranch.

B. Setbacks and Buffers

Building Setbacks

1. Building Setbacks: Adjacent to Single-Family or Vacant Parcels

All buildings must be located a minimum of thirty (30) feet from adjacent property lines and conform to platted building setback lines along public streets, if any, as well as those established along major thoroughfares within Cinco Ranch (**see Landscape Setback Areas below**). Building setbacks shall be increased by one (1) foot for every one (1) foot of building height above thirty (30) feet.

2. Building Setbacks: Commercial Adjacent to Commercial

All buildings must be located a minimum of twenty one feet, six inches (21'-6") from adjacent property lines and conform to platted building setback lines along public streets, if any, as well as those established along major thoroughfares within Cinco Ranch. Side/rear building setbacks are minimum twenty one feet, six inches (21'-6") off of property line commercial-to-commercial.

3. Building Setbacks: Major Thoroughfares and Minor Streets (public or private)

All buildings must be located a minimum of ten (10) feet from landscape setback areas.

4. Building Setbacks: Private Access Drives

All buildings located adjacent to private access drives must have a minimum fifteen (15) foot building setback from back of curb.

Landscape Setback Areas– Major Thoroughfares

1. General Requirements

The Landscape Setback Area is the area from the curb to the rear of the landscape easement along the major thoroughfares. Trees need to be spaced and planted consistently with existing landscaped thoroughfares and per **Exhibit A-5**. Utility easements and landscape setback areas are not the same. A Landscape setback area is in addition to a utility easement (see "Landscape Buffer Areas" below).

Complete installation of the landscape improvements in setback areas and esplanades must be done at the time of building construction. Landscape installation must be complete before buildings on adjacent tracts are occupied. All site improvements in place, including trees, shrubs, grass and irrigation systems, must be protected during construction. Orange mesh fencing shall be placed around the drip line of existing trees and must be indicated on submitted site plans. Storage of construction materials, vehicles, and equipment of any kind is strictly prohibited from parking in setbacks or tree protection areas. Once construction is completed, previously improved setbacks must be returned to their original appearance. Should driveways or other improvements necessitate the removal of any protected existing trees, the trees must be relocated to another site within the landscape setback area or a tree of similar size (or equal caliper inches DBH) and species to the removed tree must be planted within the setback area.

09-01-2015-10:20 AM

2. Major Thoroughfare Profile

<i>Major Thoroughfare Easement</i>	<i>R.O.W. Width</i>	<i>Landscape Easement Width From R.O.W.</i>
Mason Road	120'	30'
*F.M. 1093	100'	25'
Westheimer Pkwy.	100'	30'
Fry Road	100'	25'
Peek Road	100'	25'
Cinco Blvd.	100'	25'
Highland Knolls	100'	25'
Comm. Center Blvd.	100'	25'
Grand Parkway	300'	40'

** The total width of the landscape setback area along F.M. 1093 will diminish as the paving section changes. At a minimum, it will always be at least the outermost ten (10) feet of the right-of-way plus the twenty-five (25) feet in the landscape easement.*

3. Major Thoroughfare Fencing

Tracts which are to be fenced along the landscape setback area line must use a single wythe brick wall per **Exhibit A-9**. Multi-family developments are exempted from this requirement and may use a wrought iron fencing with brick columns (similar to columns detailed in **Exhibit A-9**) as an alternate.

4. Major Entrances to Multi-Building Complexes

Wherever a minor street serves as the major entry for a unit of development within the overall Cinco Ranch, a request may be made for special landscape and signage treatment in the landscape setback area.

Landscape Setback Areas: Minor Streets

Landscape setback areas along minor streets shall be the greater of ten (10) feet from right-of-way or twenty (20) feet from the back of the curb. The setbacks shall be landscaped with a combination of four (4) inch caliper loblolly pine and oak spaced twenty (20) feet on center.

Landscape Setback Areas: Private Access Drives

Landscape setback areas along private access drives shall be a minimum of ten (10) feet from back of curb.

Landscape Buffer Areas: Side and Rear

1. Adjacent to Existing or Proposed Residential

A landscape buffer of no less than fifteen (15') feet in width must be provided adjacent to all property lines adjoining single-family residential areas. The fifteen (15') foot buffer is exclusive of any utility easements that may exist or be required along the common property line between adjacent uses. No structures, at or above ground level, including buildings, driveways, sidewalks or parking garages/areas may encroach into the buffer area. No active use may occur within the landscape buffer. The buffer shall be planted with an evergreen tree mix of 60% pines and 40% live oak trees. The trees shall be spaced twenty (20) feet on center and yaupon, tree-form photinia or ligustrum should be interspersed between trees at ten (10) feet on center to create an opaque landscape screen. Minimum size for single trunk trees shall be four (4) inch caliper per **Exhibit A-10**. Service areas, trash and utility enclosures, and unsightly site features shall be densely screened with landscaping as necessary to provide an opaque landscape screen.

The Committee will measure trees and reject those not in compliance.

2. Adjacent to Existing or Proposed Commercial

A landscape buffer of no less than ten (10) feet in width must be provided adjacent to all property lines adjoining existing or proposed commercial. This ten (10) foot buffer is exclusive of any utility easements which may exist or be required along the common property line between the uses. No structures, at or above ground level, including buildings, driveways, sidewalks, or parking garages/areas, may encroach into the buffer area. No active use may occur within the landscape buffer. The buffer shall be planted with an evergreen tree mix of 60% pines and 40% live oak trees. The trees shall be spaced twenty (20) feet on center and yaupon, tree-form

photinia or ligustrum should be interspersed between trees at ten (10) feet on center to create an opaque landscape screen. Minimum size for single trunk trees shall be four (4) inch caliper, per **Exhibit A-11**.

3. Internal to Multi-Use Commercial Parcels

A landscape buffer of no less than five (5) feet in width must be provided adjacent to all property lines adjoining existing or proposed commercial tracts where multiple uses are presented as part of a coordinated development. This buffer shall be applicable only to separate **parking areas** from **parking areas** of multi-use tracts developed as a single project. This buffer shall provide greenspace and break up the parking area and is to be planted with a blend of evergreen shrubs and small trees, per **Exhibit A-12**.

Note: Buffers for undeveloped tracts developed at a later date within the multi-use tract shall follow the parameters of **Exhibit A-11**.

C. Accessories

Accessories such as public telephones, flagpoles, package pickup boxes, drinking fountains, bicycle racks, etc. must be on private property behind the setback area. Flagpoles at retail and office establishments shall not exceed twenty-five (25) feet in height. Exterior flags are restricted to the United States and Texas flags. No company advertising flags are permitted. Flagpole uplighting is permitted only with direct-burial upright fixtures with metal halide light sources and glare shields installed at the base of the flagpole. Technical data and color selections shall be submitted to the Committee for approval. Wood fencing that is visible to the public will not be permitted. Fencing shall be brick or wrought iron.

D. Parking

1. Materials

All permanent-parking areas shall be paved with a concrete surface or approved alternative paving surface materials, based on soils report recommendations. Parking and lane striping shall be white. Pavement and curb painting for emergency applications, such as fire lanes, shall be as required by local authorities. Wheel stops of any type are not permitted, except where required for compliance with Texas Accessibility Standards.

2. Number of Spaces

All required on-site parking shall be provided in paved parking lots or parking decks. Streetside parking shall not be permitted along public streets due to failure to adequately plan parking needs. A maximum of 20% of required spaces may be designed and reserved for compact cars. Compact car spaces shall be a minimum of 8' x 17'. Variations in dimensions for angled spaces shall correspond to City of Houston standards (9' x 19') (refer to **Exhibit A-13**). Minimum aisle width is 24'.

These parking standards have been developed as minimum guidelines for Site Developers. Each Site Developer should evaluate his project to be certain that the parking planned will be adequate to meet the project's needs. If, after occupancy, the parking of a specific project proves to be inadequate, the Committee may require that additional parking spaces be constructed. Standards for other permitted uses not shown on the table shall be established, based on industry standards, by the Committee upon request.

All handicap spaces and access to sidewalks must meet TDLR standards. The color of the ramps shall be stained "Kemi-Co Cola".

3. Lighting

General Standards

Parking area lighting shall be designed to achieve lighting levels as indicated in **Appendix B** ("Lighting Standards"). Floodlights are not permitted in areas within view of pedestrian traffic. Position lighting to prevent light overspill onto adjacent properties or parcels. No fixtures may be placed in the right-of-way or landscape easements. Parking area lighting shall be on a house meter. A photometric diagram depicting parking area lighting layout and associated foot-candle levels in parking areas shall be submitted to the Association for review and approval.

Light Standards

- Lamp: All light sources shall be metal halide. High-pressure sodium or mercury vapor are not permitted.
- Equipment: Selections to be submitted for review and approval by the Committee
- Sharp cut-off devices or shields are required. Drop lenses are not permitted.

Poles

- Pole: round, tapered steel poles. Selection to be submitted for review and approval by the Committee
- Color: Dark bronze
- Height: 30' max. height in parking areas, 20' min. height on entry drives, 16' max. height for walkways.
- Base: Base material to match building, height of 2'-4 1/2" (refer to **Exhibit A-18**). No base required if concealed by landscaping. If concealed by landscaping, the exposed concrete base may not extend beyond 1" above grade.

Lighting plans submitted and equipment specified shall eliminate light trespass and glare visible from any adjacent property. All light fixtures shall incorporate sharp cutoff devices and shall not emit direct light above a horizontal plane through the lowest part of the fixture. Architectural building-mounted/wallpack lighting fixtures may be used only in service areas and shall be mounted no higher than 10' above finished grade and shall incorporate sharp cut-off devices, integral housings, and/or shields as required to eliminate glare on adjacent properties. Maximum height of building mounted floodlights shall be equal to the top of parapet at building facade. Temporary emergency lighting as required by local fire, police, or emergency services is exempt from these requirements. A photometric diagram illustrating the exterior building lighting layout and associated foot-candle levels shall be submitted to the Association for review and approval. Refer to **Appendix B** for specific lighting standards.

- Wallpack lighting fixtures may be used only in service areas and shall be mounted no higher than 10' above finished grade. Wallpacks shall incorporate sharp cut-off devices, integral housings, and/or shields as required to eliminate glare on adjacent properties.
- No fixtures may be placed in the right-of-way or landscape easements.
- A photometric diagram depicting parking area lighting layout and associated lighting levels in parking areas shall be submitted to the Association for review and approval.
- Drop-lens light fixtures are not permitted.

Service Stations

- Service station lighting shall be designed to achieve lighting levels as indicated in **Appendix B** ("Lighting Standards").

Temporary emergency lighting, as required by local fire, police, or emergency services, is exempt from these requirements.

4. Planting Islands

Parking lot planting islands and tree wells are required for all lots with internal parking spaces. The distance between landscape islands or tree wells shall be four (4) parking stalls and no parking space shall be located further than forty (40) feet from a tree. This includes trees in the landscape setback (refer to **Exhibit A-14**). Larger planting islands, with total square footage equaling the above requirement, may be permitted with Committee approval when visibility to storefronts may be concealed by plantings. Treewells of circular, square, or diamond layout between parking spaces are permitted (minimum dimension of 5'-0" in any direction). Seventy-five percent (75%) of the total number of planting islands and treewells should be planted with Oaks and Pines. Ligustrum (tree-form) and American Holly are acceptable for the twenty-five percent (25%) of the planting areas. Annuals are acceptable in island plantings for accent purposes only and must be accompanied by permanent shrub and groundcover plant materials. Perennials are not acceptable.

5. Screening Adjacent to Major Thoroughfares and Minor Streets

Whenever a parking lot is adjacent to the landscape easement, cars must be screened from view with earthen berms located on private property (minimum 30" height, maximum slope 4:1), a three (3) foot landscape shrub planting, or a combination as required to achieve minimum thirty (30) inch height. Shrubs shall be ligustrum, wax myrtle, photinia, or burford holly of minimum thirty (30) inch height at installation and spaced three (3) feet on center maximum. Shrub screening for parking areas located in the landscape easement shall be maintained and irrigated by the Owner.

6. Covered Parking

Designs for structural covers over surface parking areas shall be submitted to the Committee for review and approval prior to construction. Parking covers shall be designed with structural vertical supports that are appropriately scaled to the horizontal roofing elements of the cover that they support. All structures shall be constructed of materials that are complimentary to other structures on the site, per **Exhibit B** (Color and Materials Palette), and maintains an aesthetically pleasing scale relationship to the structures that the parking serves.

7. Drainage

Parking areas should be divided into drainage sections with a drain inlet provided in each section. All drain inlets shall be connected to a subsurface collection system and tied into the public storm sewer. The paved parking areas should be sloped toward the drain inlets; the minimum slope should be 0.5%. The shape of a parking area should usually be toward the aisle. Cross gradient (across the width of a parking space) shall not exceed 2% unless otherwise determined to be required by a Professional Engineer.

E. Driveways, Minor Streets or Private Access Drives

1. Paving

All driveways, minor streets and private access drives will be paved with a concrete surface or interlocking precast concrete pavers (refer to **Exhibit B**) installed on a concrete sub-slab. The pattern, type and color of proposed special paving to be submitted by Site Developer for review and approval by the Committee. Asphalt paving is not permitted. Logos or emblems of any kind are not permitted in paving.

2. Curb Cuts

The location of curb cuts is typically limited to a minimum spacing of two-hundred (200) feet on center along minor streets and thoroughfares within Cinco Ranch. Interconnecting Reciprocal Access Easements are required for adjacent tracts that can share private minor streets or access drives. Curb cuts for private access drives and driveways shall be a minimum of forty-eight (48) feet from the right-of-way of the nearest major thoroughfare or minor street. Median cuts to be approved by the County.

Curb and paving replacement, and irrigation and landscaping replacement shall be per a continuous schedule subject to the approval of the Committee.

3. Intersections

- a. The minimum distance between edges of right-of-way of two intersections shall be one hundred (100) feet. Such intersections include any combination of major thoroughfares or minor streets (public or private). These distances have been established to facilitate efficient traffic flow on public streets and to ensure adequate space for landscaping at key intersections.
- b. Driveway tie-ins must be a minimum of thirty (30) feet in width. A minimum connection radius of twenty-five (25) feet is required in order to accommodate vehicle turning movements without running over curbs.
- c. At the intersection of all internal private streets and driveways, the paving radius should be a minimum of twenty-five (25) feet. This radius is not required on driving aisles within the parking areas.

4. Grading and Drainage

The slope used on private streets or driveways shall conform to a range of .25 to .50% longitudinally and 1%-3% across with width of the paving. A subsurface storm water collection system must be used for site drainage. No tract shall be graded so that water sheet flows onto an adjacent tract owned by others.

F. Site Lighting

Lighting for site areas not specified in "Public Streets and Walks", "Buildings", or "Signage" is subject to approval of the Committee. Site lighting submittals shall be accompanied by a photometric diagram depicting lighting layout and associated foot-candle levels (refer to **Appendix C** for specific lighting standards). Lighting shall be selected and utilized as follows:

1. **General:** Site lighting must be hooded, shielded, and/or aimed downward to eliminate glare on adjacent roadways and properties.
Ground-mounted lighting shall be screened from view by landscaping.

8960-29-520 TH

2. **Accent Lighting:** Lighting intended to accent site features such as auxiliary structures and flagpoles. All light sources shall be metal halide. Fixtures shall be concealed from view or provided with glare shields as necessary to eliminate glare on to adjacent properties or roadways. Fixture selection and color to be submitted for review and approval by the Committee. Color: dark bronze or dark green
3. **Bollards:** All light sources shall be metal halide and fitted with glare shields to eliminate glare on adjacent properties or roadways. Fixture selection to be submitted for review and approval by the Committee. Color: dark bronze.
4. **Tree/Landscape Lighting:** Uplight sources shall be metal halide not to exceed 150 watts. Installation may be direct burial uplights or above-grade fixtures fitted with glare shields to eliminate glare on to adjacent properties or roadways. Downlighting from tree canopies shall be metal halide or mercury vapor. Fixture selection to be submitted for review and approval by the Committee. Color: dark bronze or dark green.
5. **Seasonal Lighting:** Decorative seasonal lighting is permitted for the two month season extending from November 15 through January 15
6. **Prohibited Lighting:** Laser source light, searchlights, and flashing lights. High-pressure sodium light sources are not permitted.

G. Utilities and Service Areas

1. Utilities

All recorded easements and right-of-ways must be observed. Utilities shall be installed underground from the property line to the building envelope and to any site lighting or signage. Secondary power shall be underground unless otherwise approved by the Committee. The location of offsite overhead power lines necessary to service a property must be approved by the Committee prior to installation. The Committee will not approve offsite overhead power lines located on major thoroughfare right-of-ways. Review and approval of water and sewer connections provided by ST Environmental.

2. Service Areas

Service areas and access drives should be located so that they do not interfere with the normal activities of building occupants or visitors on driveways, walkways, parking, or at entries. They shall be sited so that they are well screened and not visible to adjacent tracts or major thoroughfares. In particular, service areas, including trash containers, must be located so that trucks do not block public streets

while loading or unloading. Drives to service areas must be designed so that it is not necessary to back into or out of them onto major streets. Service doors must open onto paved service drives, parking, or pedestrian walkways. They may not open onto paved spaces that are not conveniently accessible by vehicle and regularly used. Service areas shall meet all TDLR requirements.

3. Screening Devices

Mechanical and electronic devices, trash receptacles (dumpster enclosures), wells, water and sewage treatment facilities, loading docks, rooftop mechanical equipment, ground-mounted mechanical or electrical equipment and other similar unsightly objects visible must be completely screened from view by walls constructed of the same material used on the building. Trash receptacles shall be sited to ensure that access gates do not face the streets. The doors/gates must be constructed of 20 gauge 'D' profile steel panels painted to match building/dumpster enclosure. A personnel door is required in all dumpster enclosures. Wood doors/gates will not be permitted.

Additionally, a three foot (3') buffer of shrub hedge is required to screen parking. The shrub hedge shall consist of 7 gal. minimum wax leaf ligustrums, or similar, and be planted at 36" on center. The shrubs shall be 30" in height at time of planting. Buffer to be located outside of the landscape setback area and must be maintained by the property owner. Irrigation of the shrub hedge should be connected to the internal site irrigation, not the LMA setback irrigation.

Any item or equipment requiring screening shall be screened with planting of same height as the item or equipment to be screened.

H. Grading and Drainage

Maximum slope for lawn areas shall be 4:1 (25%). Adjacent to buildings, a greater slope of up to 3:1 (33.3%) may be permitted but must be covered with erosion control netting and planted with evergreen shrubs and/or ground covers (other than turf). Slopes greater than 3:1 (33%) shall be accomplished with retaining walls. Retaining walls must be designed in a manner and with materials that will harmonize with the design and materials of adjacent or nearby buildings.

Minimum slopes (to facilitate positive drainage) throughout the Cinco Ranch shall be no less than 1% (recommended 1.5-2%). Berms and sloped areas shall be graded so that

transitions between slopes are smooth and without abrupt changes. All landscaped areas shall be graded to prevent puddling of water and ensure that excess surface and subsurface water can drain away rapidly. Areas within landscape setbacks may be allowed to drain into the stormwater inlets in the street. Areas behind landscape setbacks must utilize an on-site subsurface stormwater collection system. French drains or other drainage structures in landscape beds must be connected to the subsurface stormwater drainage system.

For any site disturbances greater than one (1) acre and less than five (5) acres or are part of a common plan of development or sale that disturbs that amount of land, Texas Commission on Environmental Quality (TCEQ) Phase II stormwater regulations require the Site Developer to implement a Storm Water Pollution Prevention Plan, post a site notice, and notify the local MS4 (city or county) prior to beginning construction. Visit www.tnrc.state.tx/permitting/waterperm/construct.html for details.

I. Landscaping

All pervious areas of any site not occupied by buildings or parking shall be planted with a combination of trees, shrubs, and sod. All plant material selections and placement must be approved by the Committee.

1. General

Plant material species should be carefully coordinated within its specific project site and the number of different species utilized kept to a minimum to avoid a chaotic effect. While lines of shrubbery placed along and parallel to building foundations may be appropriate in particular instances, landscape beds that provide interesting variations in line, color, balance, and texture are encouraged. Trees should be used generously throughout the project site. Metal or plastic edging at planting beds is not permitted.

2. Plant Quality

Plant stock used shall be premium quality, healthy, and disease-free material. Plant specifications shall meet or exceed minimum standards established by the "American Standard for Nursery Stock" (American Association of Nurserymen; current edition).

3. Minimum Sizes at Planting

The following minimum plant sizes pertain to all landscape planting on individual tracts. Minimum tree and shrub are as follows and may be selected from the approved Plant List (refer to **Exhibit A-16**).

- a. **Trees:** 4" caliper min.
- b. **Flowering Trees:** 10'-12' height min. (multi-trunk, minimum 3 trunks), 2" to 2-1/2" caliper min. (single trunk), B & B – (bagged and burlapped) or 30 gallon minimum. Color scheme shall meet Master Plan.
- c. **Shrubs:** 7-gallon min.
- d. **Herbaceous Perennials:** 1-gallon min. (planted maximum 12" on centers)
- e. **Ground Covers:** 1-gallon min. (planted maximum 12" on centers)
- f. **Seasonal Color** (annuals): 4" pot min. (planted maximum 9" on centers)
- g. **Vines:** 1 gallon min. (planted maximum 12" on centers)
- h. **Grass:** solid sod

All plant materials shall meet or exceed the measurements specified in these guidelines. Plant materials will be measured before pruning with branches in normal position. Height and spread dimensions will be measured to the limits of the main body of the plant rather than the extreme tips of growth.

4. Machine Planted Trees

Individual tract owners are responsible for any damage caused by landscape installation to structures, utilities, irrigation systems, curbs, sidewalks, plantings, earth berms, and any other elements within rights-of-way and landscape easement areas.

5. Tree Stakes

If required for installation, temporary stakes for stabilizing newly planted trees shall be 8'-0" Lodge Pole stakes or 7'-6" metal "T" posts, painted green. Use no less than two (2) posts per tree. Guying material shall be a minimum of 9 gauge wire. Use black rubber hose on guy wire for tree protection.

2280-25-520 PR

6. Turfgrass

All turfgrass areas must be planted as solid sod only. Tracts of land for future development or expansion may be planted temporarily with Common Bermuda Grass or a Bermuda Grass/Rye Grass mixture (depending on the time of year when planted). Landscape setback and right-of-way areas shall be planted with Bermuda Grass only. St. Augustine grass may be used for individual tracts behind the landscape setback but must be separated from the Bermuda Grass by paving, landscape beds, or structures.

7. Plant Locations

- a. No trees planted within street rights-of-way shall be closer than four (4) feet to a curb.
- b. The minimum spacing between individual trees, except in landscape beds, shall be fifteen (15) feet.
- c. Shrubs or trees planted near vehicular intersections (streets with streets, driveways with driveways, driveways with streets) shall be located so as to maintain clear vehicular sightlines to pedestrians and other vehicles.

8. Master Plant List

All plant materials selections shall be from the Master Plant List (refer to **Exhibit A-16**). Variations from the Master Plant List requested due to hardship or unusual circumstances will be reviewed by the Committee. Plant materials included on this list are generally suitable for conditions in the West Houston area. Careful consideration should be given to their suitability for the particular conditions of a given site. Soil, water, or other tests necessary to determine existing conditions on a particular site are the responsibility of the Site Developer.

J. Irrigation

1. All landscaped areas, including those in the landscaped setback (no landscaping is allowed in the LMA other than those exhibited), shall have an automatic underground irrigation system to ensure proper plant growth and longevity. Irrigation components located in the major thoroughfare setback must have a separate meter and controller from the irrigation system serving the internal tract. All work done on the existing landscape setback irrigation system must be approved by the Association. Once irrigation and landscape plans are approved, the Association will require a security

025-62-0823

deposit of \$5,000.00, which will be held in escrow and will be reimbursed to the Owner upon completion of the installation and approval by the Association. The Association should be contacted after installation to arrange transfer of the water meter and irrigation system to the Association for permanent maintenance. Irrigation systems for all areas must be installed in accordance with all applicable federal, state, and/or local regulations.

If any damage occurs to the existing irrigation within the landscape setbacks while constructing improvements on the parcel or during the initial installation of the Landscape Maintenance Association's ("LMA's") irrigation system, the site developer or owner must repair and reestablish the LMA's systems and any dead or damaged landscaping within forty-eight (48) hours.

2. Design Pressure

Circuits must be designed for under 75% maximum pressure.

3. Spray Patterns and Heads

There shall be 100% coverage of all landscaped areas. Provide for zone separation of turf areas from landscaped areas. The spray pattern of individual heads shall provide head to head coverage per manufacturer's recommendations to ensure that adequate water is being delivered. Adjust spray patterns so that water is not thrown onto streets, walks, parking, or adjacent tracts of land under different ownership. All spray heads must be of the pop-up type. All below ground risers shall be flexible polyvinyl chloride hose equal in size to the inlet diameter of the head. Adjacent to walks, curbs, and drives, only pop-up heads may be used. A drip system may be used to supplement spray heads.

4. Pipe

All pipe shall conform to ASTM-D2241-73, ASTM-DD1785 standards. All lateral lines shall be installed a minimum depth of 12", utilizing no less than Class 200 pipe and mainlines a depth of 18", utilizing no less than Schedule 40 pipe. Backfill for trenching shall be compacted to dry density equal to adjacent undisturbed soil. Trenching for pipe installation is not allowed within the dripline of existing trees. 6" Schedule 40 PVC sleeves are required for all piping placed below paved surfaces in the LMA.

5. Location of Equipment

All valves will be below grade in valve boxes designated for this purpose. Controllers, vacuum breakers/backflow preventers, and water meter boxes must be located out of public view or screened. Quick coupling valves shall be provided 100' on center to allow for hand watering. Backflow preventers are required for all irrigation systems and may be located in shrub or ground cover beds or screened with landscaping. Backflow preventers shall be located outside the LMA setback area and shall be screened from view with approved landscaping. All backflow prevention devices must be insulated with black foam. Foam may be secured with black adhesive tape. Silver electrical tape is not permitted. Pre-fabricated covers/boxes (hotboxes) are not permitted.

6. Equipment

Newly installed irrigation equipment shall be compatible with existing products in use at Cinco Ranch (i.e. - Rainbird, Toro, Weathermatic, Febco or Hunter. Heads located in the landscape setback area along major thoroughfares shall be Rainbird R-50s or T-Birds and Rainbird Controllers).

- a. Controllers: Programmable commercial-duty digital automatic irrigation controller. Features to include 365-day real time calendar, multiple independent programs, battery backup, surge protection, and programmable rain delay. Lockable security enclosure is required.
- b. Valves: Globe-type diaphragm valves of normally closed design, with bronze bodies and covers.
- c. Backflow preventors: Code-approved
- d. Sprinkler heads: Heavy-duty plastic sprinkler case, plastic sprinkler body, corrosion-resistant internal parts, and plastic spray nozzles with adjustable flow and direction features.
- e. Quick Couplers: Brass body quick coupler valves located at 100' centers to facilitate system maintenance and site maintenance activities.
- f. Valve boxes: Thermoplastic valve access boxes of size required to permit access to valves with thermoplastic locking covers. Backfill material for valve boxes shall be 3/8" pea-gravel.
- g. Control wire: Type UF, UL approved, for direct burial, gauge 14 or larger for the control wire and gauge 12 or larger for common wire.

K. Maintenance

Each Owner shall maintain its Unit and all structures, parking areas, and other improvements comprising the Unit in a manner consistent with the Community-Wide Standard and all applicable covenants, unless such maintenance responsibility is otherwise assumed by the Association pursuant to a contract with such Owner or by a Parcel Association pursuant to any additional declaration of covenants applicable to such Unit. Each Owner shall also maintain any Common Areas that are adjacent to their property. If more than one Owner is adjacent to a Common Area, the costs shall be shared equally. If any Owner fails to properly perform such maintenance responsibility hereunder, the Association may, but shall have no obligation to, perform it and assess all costs incurred by the Association against the Unit and the Owner thereof in accordance with this Declaration; provided, however, except when entry is required due to an emergency situation, the Association shall afford the Owner reasonable notice and an opportunity to cure the problem prior to entry.

Maintenance shall include the obligation to implement and maintain erosion-sedimentation control measures and the obligation to repaint the exteriors of all painted buildings once every ten (10) years or at such earlier intervals as required to maintain the appearance thereof. All maintenance shall be performed in a manner consistent with the Community-Wide Standard and all applicable covenants. All Owners shall pay all utility charges, water and sewer rates, garbage rates, and other charges, assessments, and applicable fees of every description attributable to their respective properties before such charges are overdue.

Refer to Declaration of Covenants, Conditions and Restrictions for additional information regarding maintenance.

L. Undeveloped Tracts

Weeds and grasses on undeveloped parcels adjacent to any existing improved properties (residential and commercial), rights-of-ways, fences, etc. must be mowed regularly to maintain a two-hundred (200) foot buffer strip at a maximum height of six (6) inches. The remaining portion of the undeveloped land must have grasses and weeds maintained at a maximum height not to exceed twenty-four (24) inches.

V. SIGNAGE

The control of signs is particularly important to the visual harmony of Cinco Ranch. All signs in the Cinco Ranch are subject to approval by the Committee (except signage required by government agencies). Detailed plans, elevations, and specifications of all proposed signs must be submitted for review and approval prior to fabrication and installation, in accordance with the procedures described in **Section I.C** ("Other Pertinent Information"). All signs must be constructed and installed at the Site Developer's expense and in compliance with the applicable city, county, and/or state codes and ordinances. Signage that has been constructed without Committee approval and/or is not in accordance with specified procedures is subject to immediate removal at the Site Developer's expense.

Adoquin tile shall be installed without joints or with minimum joint spacing.

A. Objectives

To ensure a well-coordinated signage that visually unifies the Cinco Ranch.

B. Permanent Signs

1. Monument Signs - Single Tenant

Except where noted otherwise for a specific use, all signs shall conform to **Exhibit A-17**. No advertising will be allowed on Monument signs. It shall be a freestanding monument-type sign made up of two components:

- *Bottom:* bottom portion to be a brick base matching the same brick used on the building and lighting standard bases.
Upper: upper portion made up of Adoquin stone (color range to match sample available from the Committee). Flags, pennants, and banners are not allowed.

Maximum length of the sign is eight (8) feet and the height must not exceed four feet seven and one-half inches (4'-7 ½") feet from finished grade (including base). Finished grade should be no more than twelve (12) inches above the surrounding curb.

Sign faces shall be made of adoquin stone. Sign copy colors may be selected individually for each project or use, subject to approval by the Committee. All type on

all signs shall be arranged to read horizontally. Type shall be "Cinco Ranch" font and color as indicated on **Exhibit A-17**. Vertically arranged type is not permitted. The wording of all signs shall be in English; exceptions are permitted only for the proper names of establishments. The face of the sign shall include either the company name or the logo, but not both, unless the logo is an actual part of the company name.

The finished grade around all ground-mounted signs should be no more than one (1) foot above the surrounding curb elevation and the slope of the surrounding area may not exceed 1:8 (12%). The area around the base of any ground-mounted sign must be landscaped with turfgrass or other suitable ground cover. Exposed concrete sign footings or foundations are not permitted. Monument signs may be located inside the landscape easement along the major thoroughfares; the leading edge of the sign shall be 5'-0" from the property line and the sign face shall be perpendicular to the right-of-way. Only one monument sign is permitted per property. Two signs will be considered if the property occupies a corner site. Ground-mounted signs may be externally illuminated at the Site Developer's option and shall be concealed below grade or screened from view. All lighting shall be properly shielded to eliminate overspill of light or glare onto streets and adjacent properties. Type on sign shall not exceed two lines of text. Overall type composition shall not exceed the allowable text area (refer to **Exhibit A-17**). Signs shall maintain a minimum 6" offset from architectural bands and edges of colonnade openings. Tenants with 70,000 square feet or more may have a ground-mounted sign on the Grand Parkway. Electrical service to all signs shall be on the Tenant's meter and not on meters used by the Landscape Maintenance Association. Sign contractors shall repair any damage to the grounds, structures, site furnishings, or landscaping caused by signage installation.

2. Monument Signs - Multiple Tenants

Sign location, associated landscaping, and lighting are the same as for Single Tenant signs. Font must be identical for all tenants listed (refer to **Exhibits A-17a** and **A-17b**).

3. Monument Signs - Service Stations

This sign identifies service stations to motorists and provides current pricing information.

Sign location, associated landscaping, and lighting are the same as for Single

Tenant signs. Font must be identical for all tenants listed (refer to **Exhibits A-17a** and **A-17b**).

Maximum length of the sign is eight (8) feet and the height must not exceed four feet seven and one-half inches (4'-7 ½") feet from finished grade (including base). Finished grade should be no more than six (6) inches above the surrounding curb (refer to **Exhibit A-17c**).

4. Building Mounted Signs

Tenants shall have signs designed as an integral element of the storefront design, with letterform size and location appropriately scaled and proportioned to the overall storefront design (refer to **Exhibit A-17d**). All Tenant sign designs submitted to the Committee will be subject to the approval of the Landlord. One building identifier will be permitted for each Tenant having an exterior public entrance. The maximum span of the Tenant's sign shall not exceed 75% of the store frontage width. Overall letterform composition shall not exceed the maximum allowable area (refer to **Exhibit A-17d**). Tenants with 10,000 square feet or less may have building letters not to exceed a maximum of 20" in height. Tenants with 10,000 square feet to 25,000 square feet may have building letters not to exceed 24" in height. Tenants with more than 25,000 square feet may have building letters not to exceed 30" in height. Major tenants with 25,000 square feet or more may have a wall-mounted sign on one side wall of a building. The information on the sign will consist of the name of the Tenant in a typeface of their choice. The use of pictorial logos or symbols may be considered for nationally recognized tenants. The message will typically appear as one horizontal line of copy. Two lines are allowed if the tenant name will not fit on one line. Each message will be centered on a common horizontal line throughout the center of the Tenant space.

Raceways and wireways must be painted to match the fascia and have 2" x 8" wireway (a maximum dimension of 8" x 8" for raceways will be considered by the Committee). All conductors, transformers, and other necessary structural and electrical equipment will be concealed in the raceway behind the letterforms. Mounting hardware shall be non-corrosive and neatly concealed from public view. No exposed lamps or tubing will be permitted. Manufacturer's labels or identification shall be concealed from view.

5. Window Signs/Graphics

Only the address, hours of operation, entrance/exit information, and emergency phone numbers may be displayed in an area not to exceed one hundred and forty-four (144) square inches. Interior signage must be placed a minimum of 12" from front window glass. Decal application graphics will be allowed on glass areas of storefronts, offices, and leasing areas. These graphics must be vinyl die-cut and white, cream, bronze, or gold in color and applied directly to the glass. Graphics for multi-tenant sites (shopping centers) must be consistent in color, size, and style. Text height shall not exceed four (4) inches. Signs required by law must be placed at the bottom of the window.

All building signage, building graphics and site signage must be submitted to the Committee for approval.

No other window signs or graphics will be allowed and no temporary advertising placards, banners, pennants, trademarks or other descriptive material may be placed on the inside of the glass. Bandit signs are not permitted.

The Association will have a 'Zero Tolerance' for unapproved signs. Failure to correct the violation(s) or notify the Association within three (3) business days will result in the Association entering the property to remove the infraction or forwarding the information directly to the Association's attorney for legal action.

C. Traffic Regulatory Signs

1. Public Right-of-Way Signage

All traffic regulatory signs within the public right-of-way shall conform to Texas Department of Transportation (TxDOT) requirements.

D. Temporary and Construction Signs

Temporary and/or construction signs give information regarding a site and/or its current stage of development. All Temporary signs require approval by the Committee prior to erection and shall be designed and erected in accordance with the procedures described in **Section I.C.** Signs erected without approval may be removed and disposed of by the Committee without liability at owner's expense. The Site Developer may erect a Construction and Leasing sign at

any time following purchase of the site and may amend the information contained therein at any time, both subject to Committee approval. The construction sign must be removed when construction is completed or the project is 95% leased or sold, whichever occurs first. All construction signs must be maintained in good condition. Temporary signs shall be of post and panel construction, as shown in **Exhibit A-17e**, and shall be ground mounted with the base of the sign not to exceed six (6) inches above natural ground. The height shall not exceed ten (10) feet and the maximum width is eight (8) feet. The signs shall be boxed and painted all four sides. Colors shall be in accordance with **Exhibit A-17e**. All lettering shall be solid and either painted utilizing die-cut stencils or applied in die-cut vinyl. Vinyl materials shall be of sufficient quality to withstand fading and peeling for a period of no less than one (1) year. No other temporary sign of any kind is permitted. Temporary signs shall be placed parallel to the street and outside the Landscape Setback line. Consult with the Association for location.

One sign shall be allowed for each site.

Two signs may be approved for corner properties. If construction is completed on one street frontage, the sign for that frontage must be removed when construction is completed or the project is 95% leased or sold, whichever occurs first. The remaining sign on the adjacent street frontage may remain until construction is completed or the project is 95% leased or sold, whichever occurs first.

Signs on construction office trailers are not permitted.

E. Temporary Leasing Signs

Temporary leasing signs give information regarding the availability of lease space within the building. All Temporary Leasing signs require approval by the Committee prior to installation and shall be designed and erected in accordance with the procedures described in **Section I.C**. Signs erected without approval may be removed and disposed of by the Committee without liability at owner's expense. The Property Owner/Tenant may erect a Temporary Leasing sign when the lease space is available and may amend the information contained therein at any time, both subject to Committee approval. Display of an approved Temporary Leasing sign is valid for six (6) months only. At the termination, or before, of the approved six month time frame, an application for a six (6) month extension may be submitted to the Committee. Extensions will not be given if the building is 100% leased. Temporary Leasing signs must be maintained in good condition. The 36" X 40" Temporary Leasing signs shall be of post and panel aluminum construction, as shown in **Exhibit A-17f**, and shall be ground mounted with the base of the sign not to exceed twenty (20) inches above natural ground.

The height of the sign shall not exceed five (5) feet and the maximum width shall not exceed three (3) feet. The signs shall be painted all four sides. Colors and dimensions shall be in accordance with **Exhibit A-17f**. All lettering shall be solid and either painted utilizing die-cut stencils or applied in die-cut vinyl. Vinyl materials shall be of sufficient quality to withstand fading and peeling for a period of no less than twelve (12) months. No other exterior temporary sign of any kind is permitted. Temporary signs shall be placed parallel to the street and outside the Landscape Setback line. If the property does not front a boulevard, a sign may be displayed on the subject property and a secondary sign may be displayed on an adjacent property with boulevard frontage, only after approval of the adjacent property owner and approved by the Committee. Consult with the Association for location. The sign is limited to the property owner only, and not intended for properties with the potential of multiple tenants.

F. Temporary Leasing Signs – Window Display

A leasing sign may be displayed in the storefront window. The sign may not exceed 24" X 36" (if displayed vertically) or 36" X 24" (if displayed horizontally). The sign may be displayed on an easel or suspended from the ceiling or structure, but in no case may the sign be closer than 12" from the storefront glass. Temporary Leasing signs require approval by the Committee prior to installation. The sign is limited to the property owner only, and not intended for properties with the potential of multiple tenants.

G. Prohibited Signs

The following is a list of signs and sign elements that are not permitted on or inside any building or storefront or on the exterior of the development.

1. Box signs (to include interior box signs (for the purpose of advertising) visible from the exterior of the building).
2. Banners, balloons, inflatable figures, streamers, or pennants.
3. Bandit signs. (Temporary advertising or announcements)
4. Temporary trailer, vehicular-mounted, or other portable signs.
5. Search lights, animated, audible, oscillating, or flashing signs.
6. Iridescent painted signs.

7. Exposed neon, fluorescent, LED or incandescent illumination.
8. Day-Glo or fluorescent colors.
9. Freestanding pole signs or posters (except those classified as Directional signs.
10. Informational signs.
11. Life-size or super life-size figures of people, animals or logos.
12. Billboards or other off-premise signs (as defined by current edition of the City of Houston Sign Ordinance).
13. Special event signage, such as "Grand Opening", "Now Open", special event advertising, and temporary name banners are not allowed.
14. Paper flyers, cardboard signs, etc. for the purpose of announcements or advertising.
15. Decals for credit cards or any announcements and advertising.
16. Any type of sign carried by a person(s) on sidewalks, street corners, esplanades, or at building storefronts, etc. for/with the purpose of advertising.
17. Re-using a portion or portions of existing building signs for a new business in an existing building is not permitted. Removal of the existing sign will be required and a new sign (after approval by the Committee) will be installed.
18. Signage, advertising signage or graphics on moving vans, step vans, panel trucks, trucks, vans, recreational vehicles or any vehicle. This does not apply to school buses, taxis or other vehicles used for the purpose of transporting people.

VI. CONSTRUCTION

A. Ingress/Egress/Parking

Access to construction sites across the landscape setback shall be limited to one area only and shall be marked with a sign (maximum size 1' x 2'). Contractor parking shall also be limited to one area outside the landscape setback adjacent to the construction entry and at least twenty (20) feet from any existing trees in the landscape setback. The designated parking area and construction access area may require a temporary gravel surface if trucks and equipment leave deep ruts across the landscaped setback (submit request for temporary access for approval). Any such graveled area will be restored to original condition prior to occupancy. In no instance will cars, trucks, or construction equipment be parked or stored in the landscape setback (minimum thirty-five (35) feet from back of curb). The contractor shall repair any damage to the landscape setback.

B. Clean Job Site Requirements

All construction sites in the Cinco Ranch are to be maintained in a clean and orderly fashion. Each Site Developer shall adopt procedures or contract requirements to suit individual circumstances. If a construction site is not maintained to a clean and orderly state, the Committee has the authority to authorize clean-up by an outside party and to assess the cost of this clean-up against the tract owner (refer to "Failure to Comply" - Section I). Dumpsters or trailers for construction debris and portable toilets must be located at least one hundred (100) feet from the street. Construction trash shall not be stored adjacent to the dumpsters or construction trailer. Parking is not permitted along setback areas. Construction trailers must comply with the information outlined under "Temporary Buildings" – Section III of these guidelines.

C. Protection of Existing Trees and Development

Existing trees on individual construction sites shall be evaluated carefully to determine their desirability and suitability to the proposed design. Existing trees to be preserved on building sites and all site improvements existing in landscape setback areas (landscaping, earth berms, irrigation, lights, etc.) must be fully protected from damage during construction. Work done in esplanades (to connect utilities, etc.) must protect existing landscaping, berms, and other site features and return them to their original condition. Existing adjacent developments must be protected with a temporary fence erected at least 10 feet from and parallel to the

property line.

Existing trees shall be protected as follows:

1. Erect tree protection fencing at the drip line (see "Definitions") of all trees to be protected. Tree protection fencing shall be constructed prior to the beginning of any construction activity, including clearing and grubbing.
2. Care shall be taken when working in the vicinity of trees to prevent any damage to trunks, branches, or foliage. Nails, bolts, rope, or guy wires shall not be attached to any trees.
3. No vehicles, materials, or equipment of any kind may be permitted inside or stored within fenced protection areas.
4. Disposal of toxic materials or potentially toxic materials, such as solvents, paints, and gasoline, is expressly prohibited anywhere on the construction site, including tree protection areas.
5. Burning of debris is not permitted within one-hundred and fifty (150) feet of any tree. Comply with all local codes and regulations regarding burning of debris.
7. Protection fencing shall not be removed at any time prior to Substantial Completion without the approval of the Committee.

DEVELOPERS WILL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING SITE FEATURES DAMAGED DURING CONSTRUCTION, INCLUDING STRUCTURES, TREES, LANDSCAPING, SIDEWALKS, AND LIGHTING.

D. Miscellaneous Site Elements

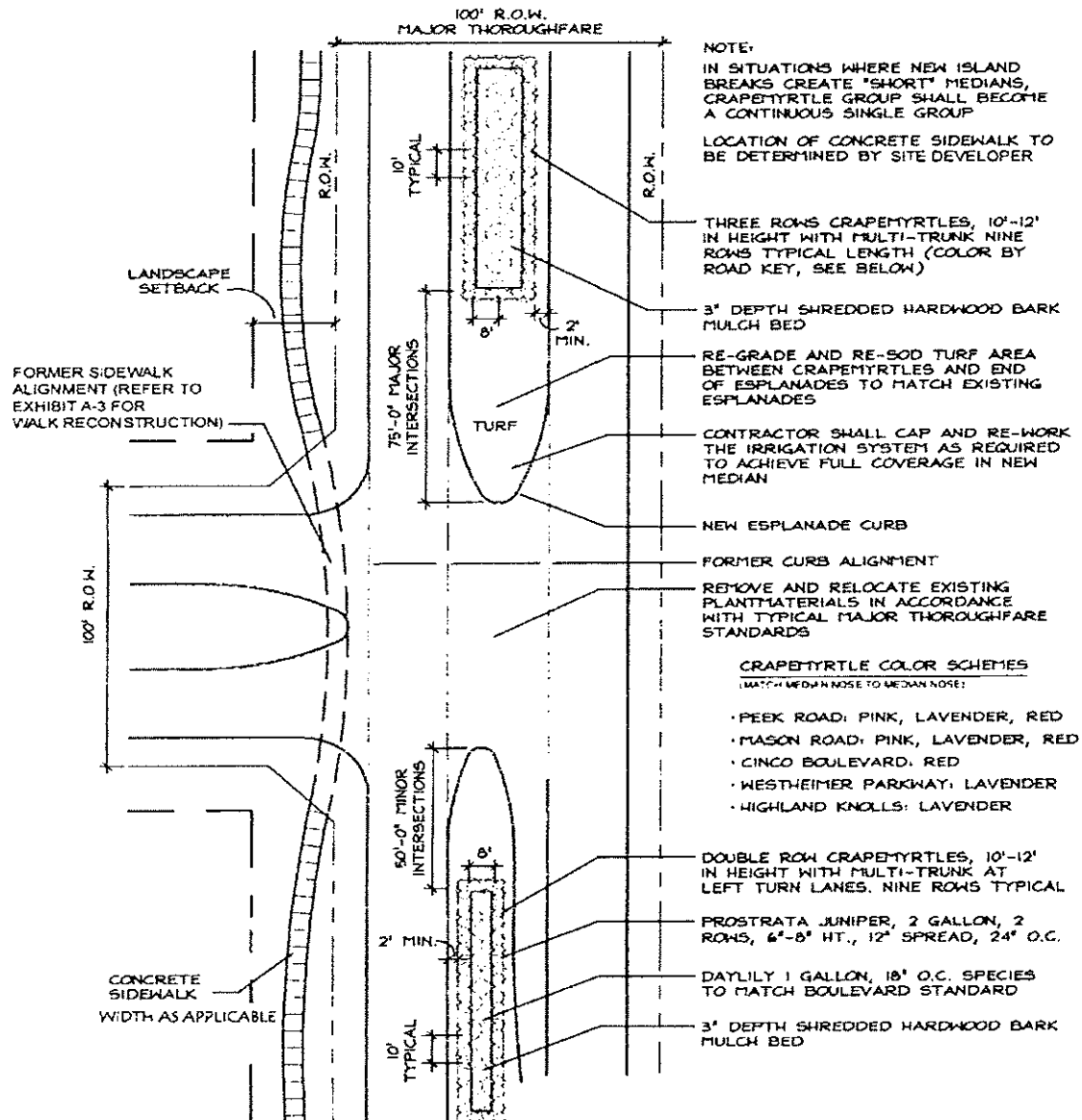
1. Temporary chain link fences are not permitted.
2. Provide silt fence around entire property. The silt fence may not encroach the landscape setback. The silt fence shall be maintained in good condition at all times.

- VI. APPENDIX**
 - A. Exhibits – A-1 through A-18**
 - B. Lighting Standards**
 - C. Review Submittal Requirements**

RP 075-67-0386

Exhibits

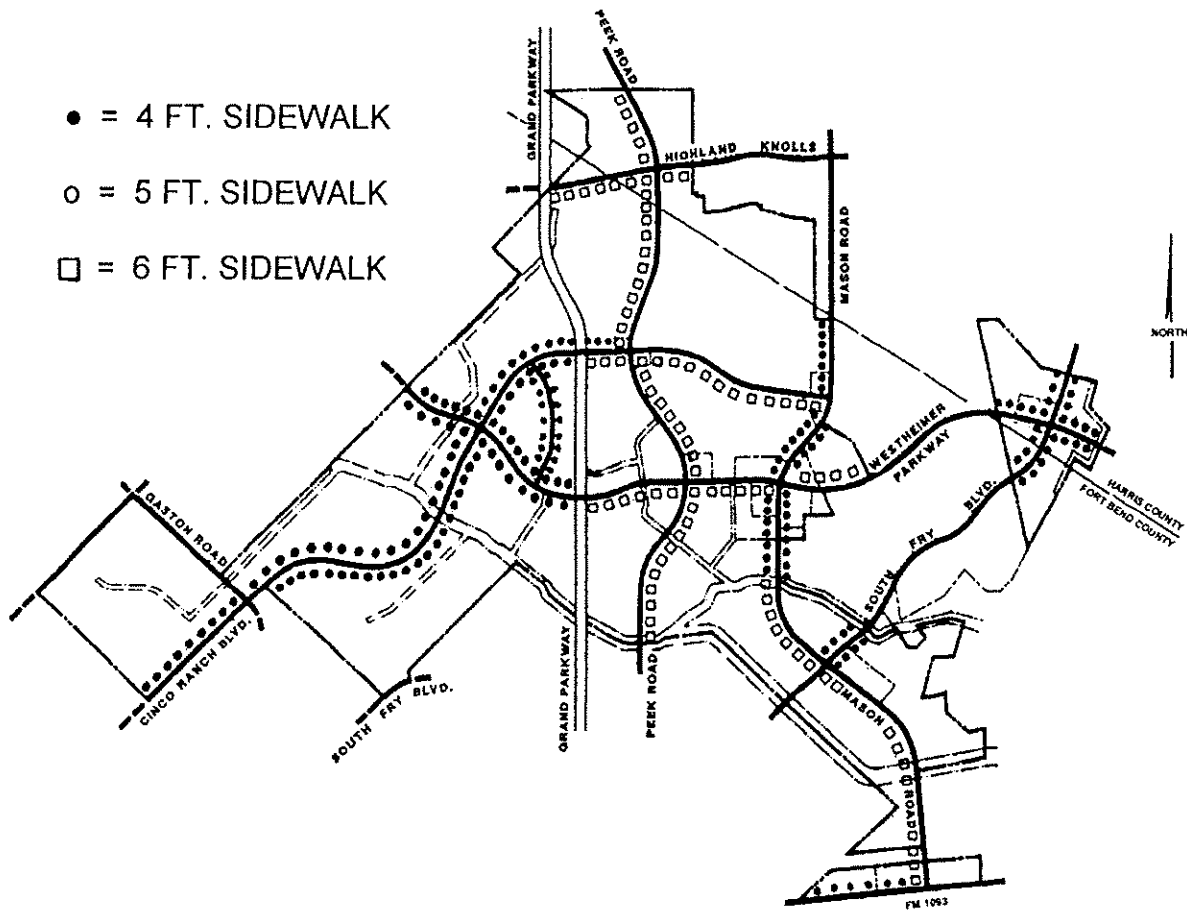
RP 075-52-0987
1850-29-520 11



ESPLANADE PLAN
NOT TO SCALE

Note: For illustration purposes only.

**NEW ESPLANADE OPENINGS
AND MEDIAN LANDSCAPING**

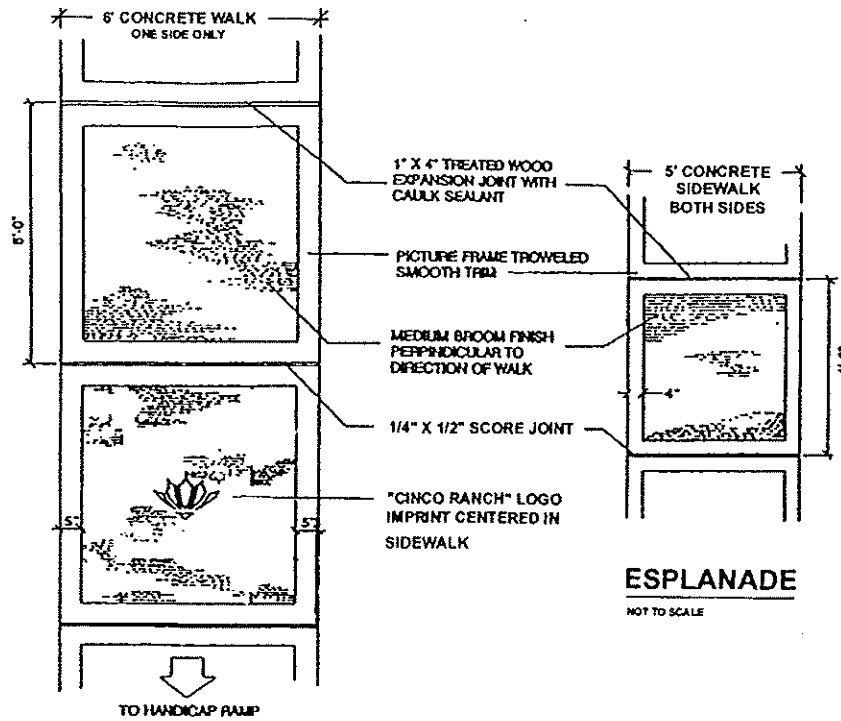


SITE PLAN
NOT TO SCALE

**SIDEWALKS ALONG MAJOR THROUGHFARES
AND WIDTH REQUIREMENTS**

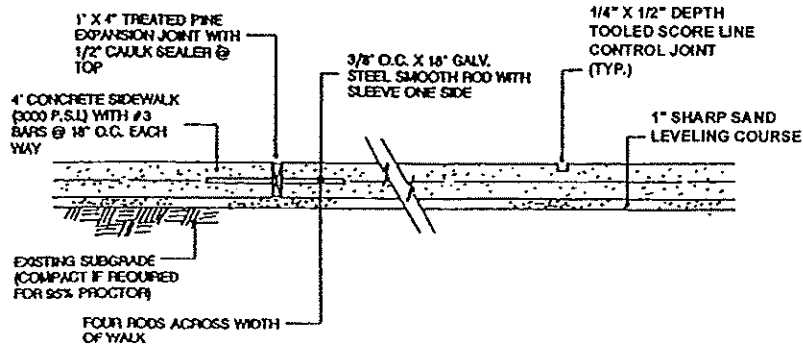
Note: For illustration purposes
only.

EXHIBIT A-2



MAJOR THOROUGHFARE

NOT TO SCALE



SIDEWALK CONSTRUCTION

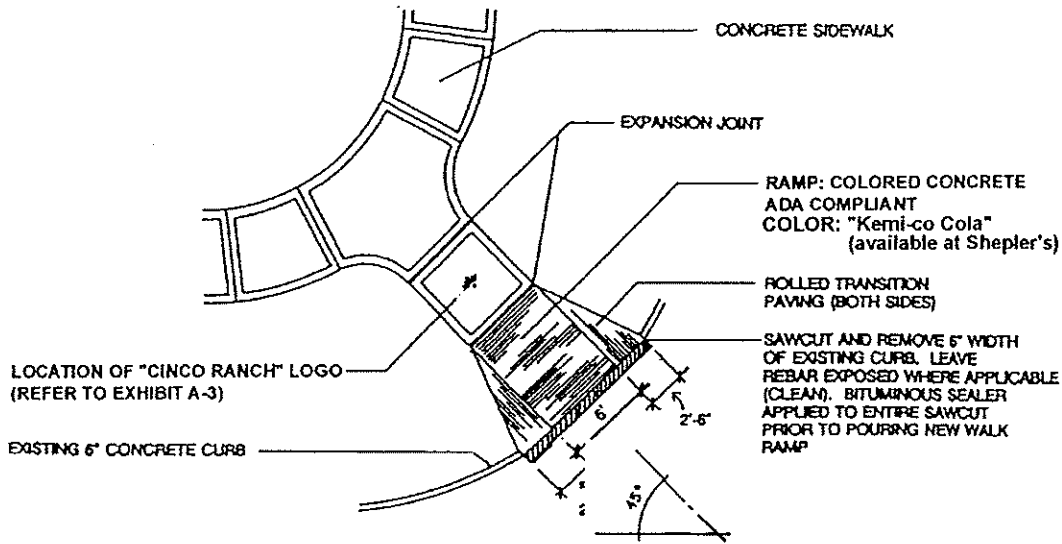
NOT TO SCALE

Note: For illustration purposes only.

SIDEWALK CONSTRUCTION

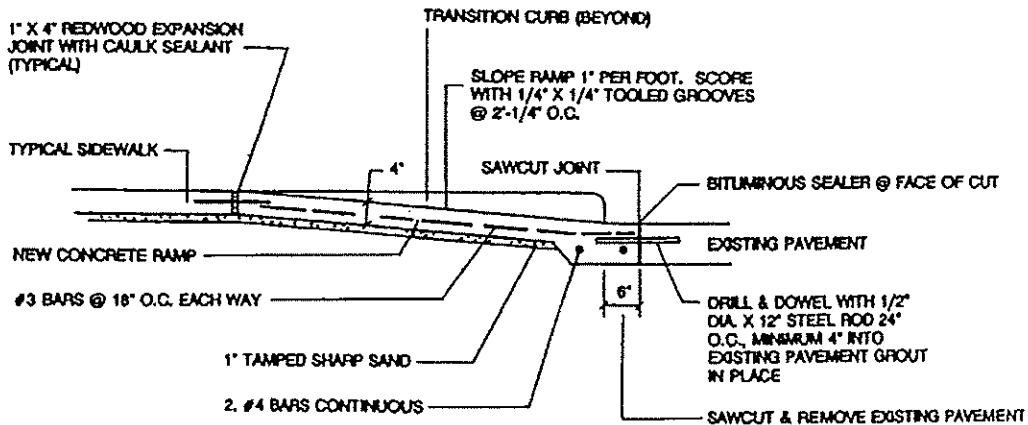
EXHIBIT A-3

RP 075-67-0990



RAMP: PLAN

NOT TO SCALE



RAMP: SECTION

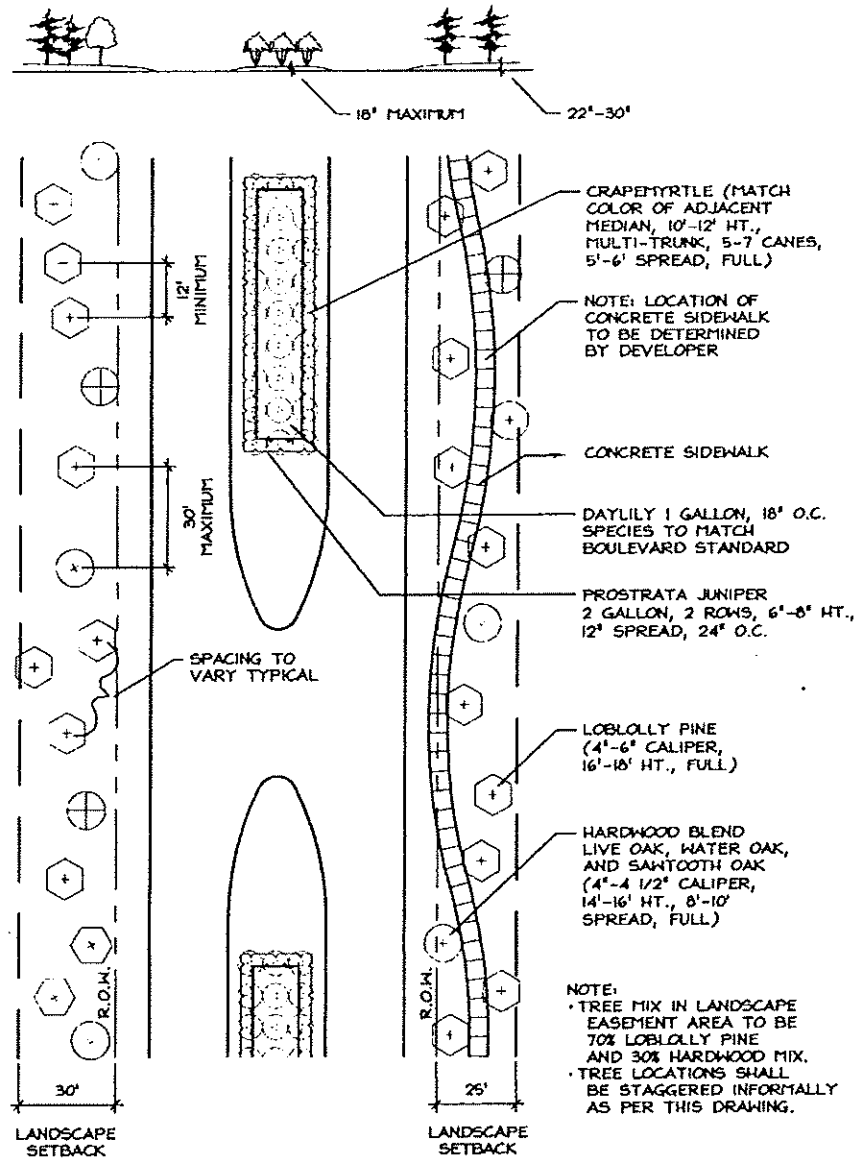
NOT TO SCALE

**CURB RAMP DETAIL AT MAJOR
THOROUGHFARES**

Note: For illustration purposes
only.

EXHIBIT A-4

1660-29-0991



MAJOR THOROUGHFARE PLAN

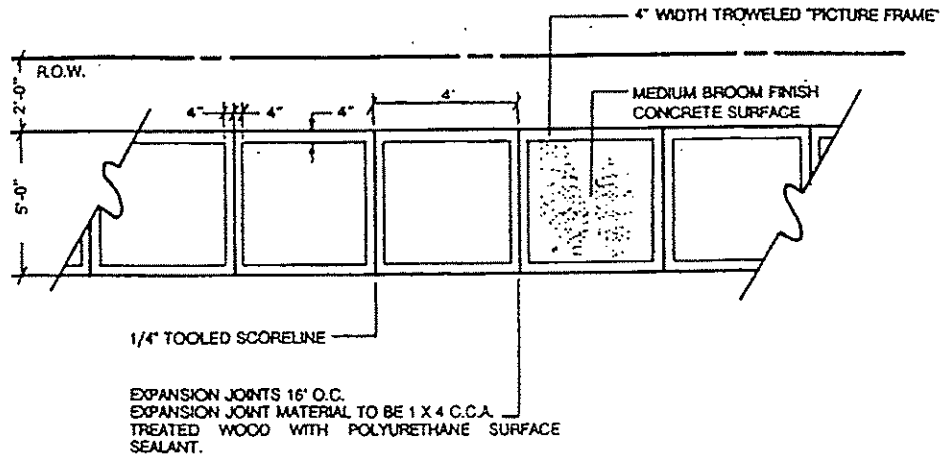
NOT TO SCALE

Note: For illustration purposes only.

LANDSCAPING

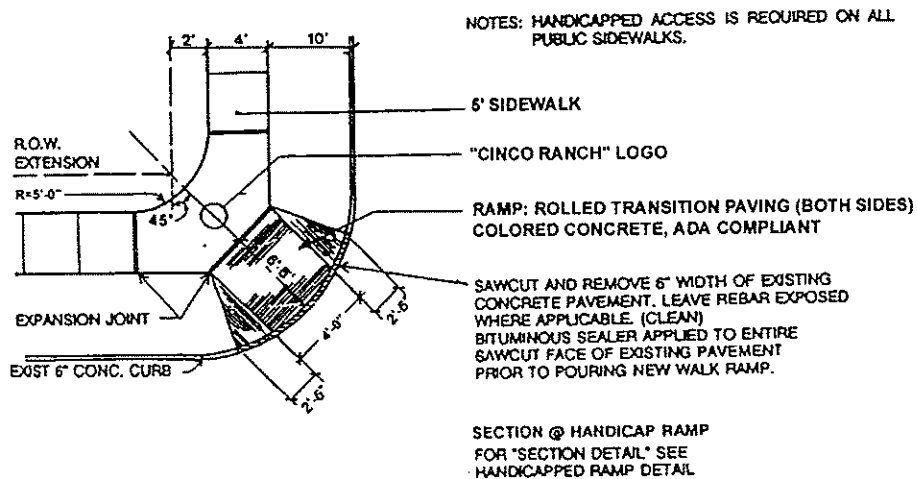
EXHIBIT A-5

2660-29-520 RP 07562-0992



SIDEWALK: PLAN

NOT TO SCALE



CURB RAMP: PLAN

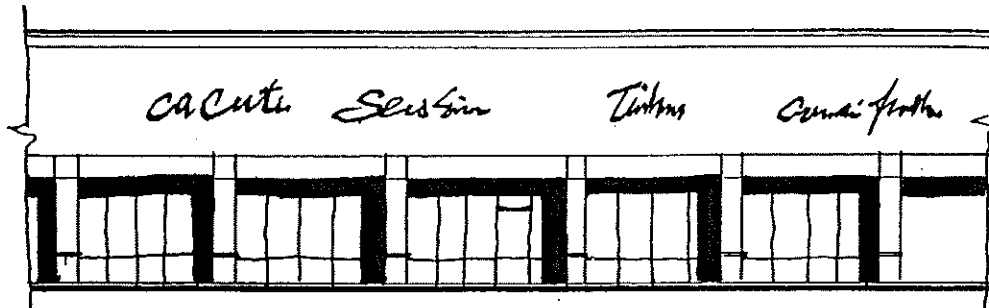
NOT TO SCALE

SIDEWALKS ALONG COLLECTOR / LOOP AND MINOR STREETS

Note: For illustration purposes only.

EXHIBIT A-6

660-29-520 71



DISCOURAGED: STRIP RETAIL

BOXY INSTITUTIONAL BUILDINGS WITH LIMITED HORIZONTAL RELIEF WILL NOT BE APPROVED



PREFERRED: RESIDENTIAL IN CHARACTER

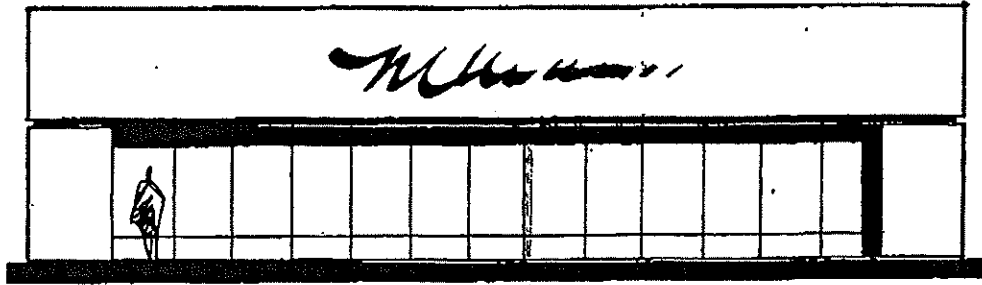
BUILDING SHOULD REFLECT THE RESIDENTIAL CHARACTER OF CINCO RANCH. THE USE OF PITCHED OR VARIED ROOFLINES, DORMERS, PORCHES, DIVIDED LIGHT WINDOWS, AND OTHER ELEMENTS ARE STRONGLY ENCOURAGED.

Note: For illustration purposes only.

ARCHITECTURAL BUILDING DESIGN

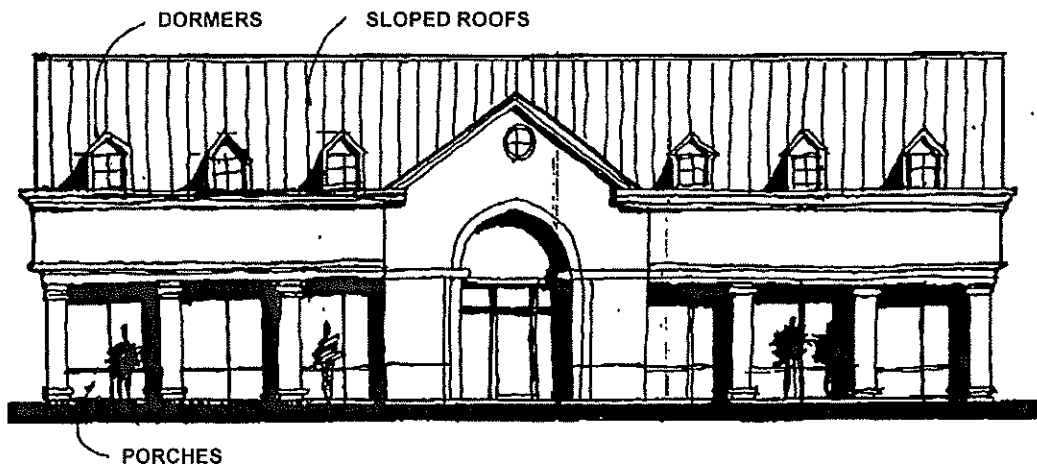
EXHIBIT A-7

1500-29-510
11 0752-0904



DISCOURAGED: STRIP RETAIL PAD BUILDINGS

BOXY INSTITUTIONAL BUILDINGS WITH LIMITED HORIZONTAL RELIEF WILL NOT BE APPROVED



PREFERRED: RESIDENTIAL IN CHARACTER PAD BUILDINGS

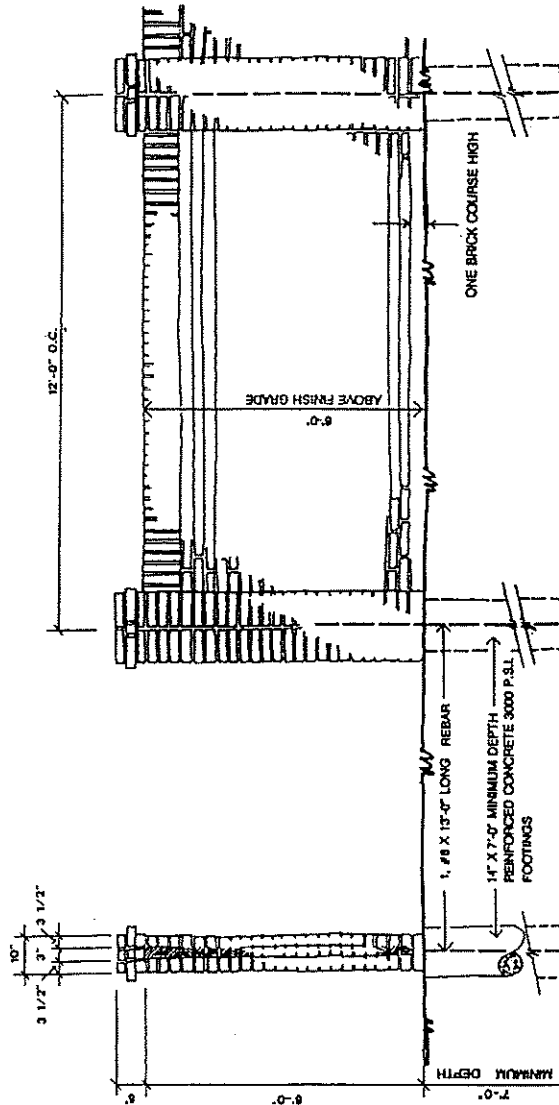
BUILDINGS SHOULD REFLECT THE RESIDENTIAL CHARACTER OF CINCO RANCH. THE USE OF PITCHED OR VARIED ROOFLINES, DORMERS, PORCHES, DIVIDED LIGHT WINDOWS, AND OTHER RESIDENTIAL DESIGN ELEMENTS ARE STRONGLY ENCOURAGED.

Note: For illustration purposes only.

ARCHITECTURAL BUILDING DESIGN

EXHIBIT A-8

5660-29-520 24



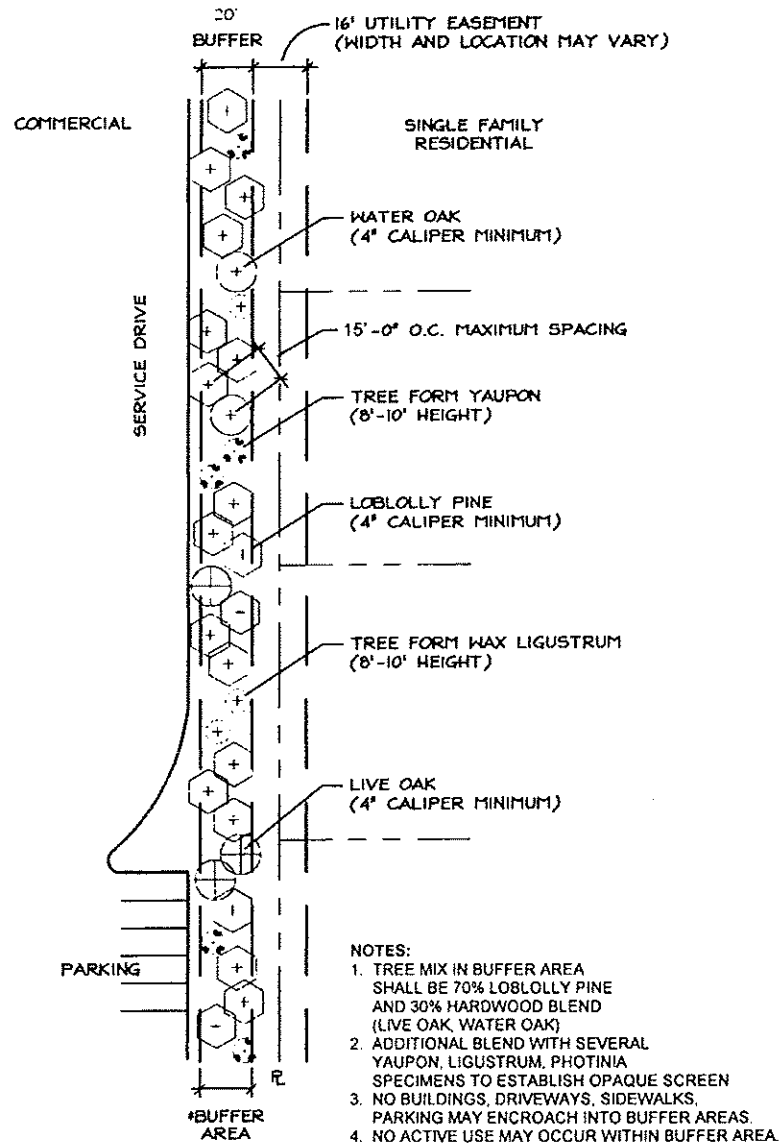
ELEVATION
NOT TO SCALE

STANDARD BRICKWALL FENCE ALONG
MAJOR THOROUGHFARES

Note: For illustration purposes
only.

EXHIBIT A-9

RF 075-62-0996



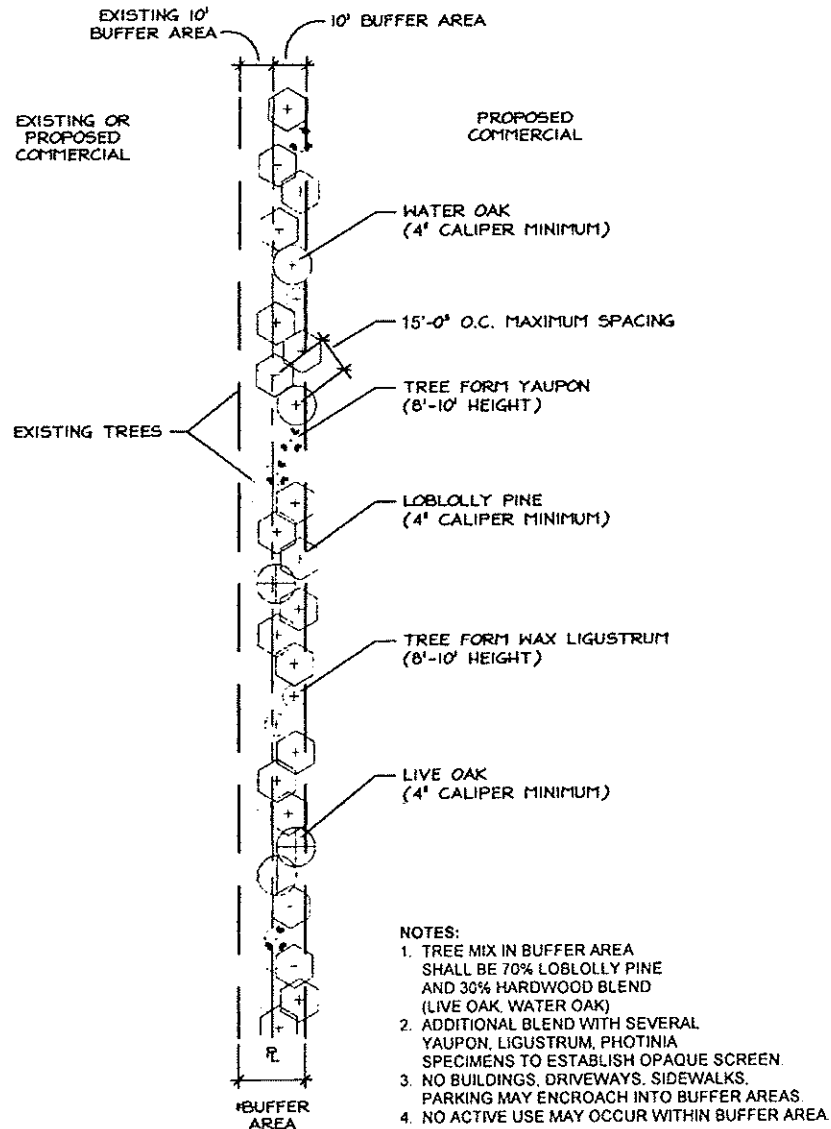
BUFFER PLAN
NOT TO SCALE

**TYPICAL BUFFER AREA FOR COMMERCIAL
ADJACENT TO SINGLE FAMILY RESIDENTIAL**

Note: For illustration purposes only.

EXHIBIT A-10

1660-67-0997



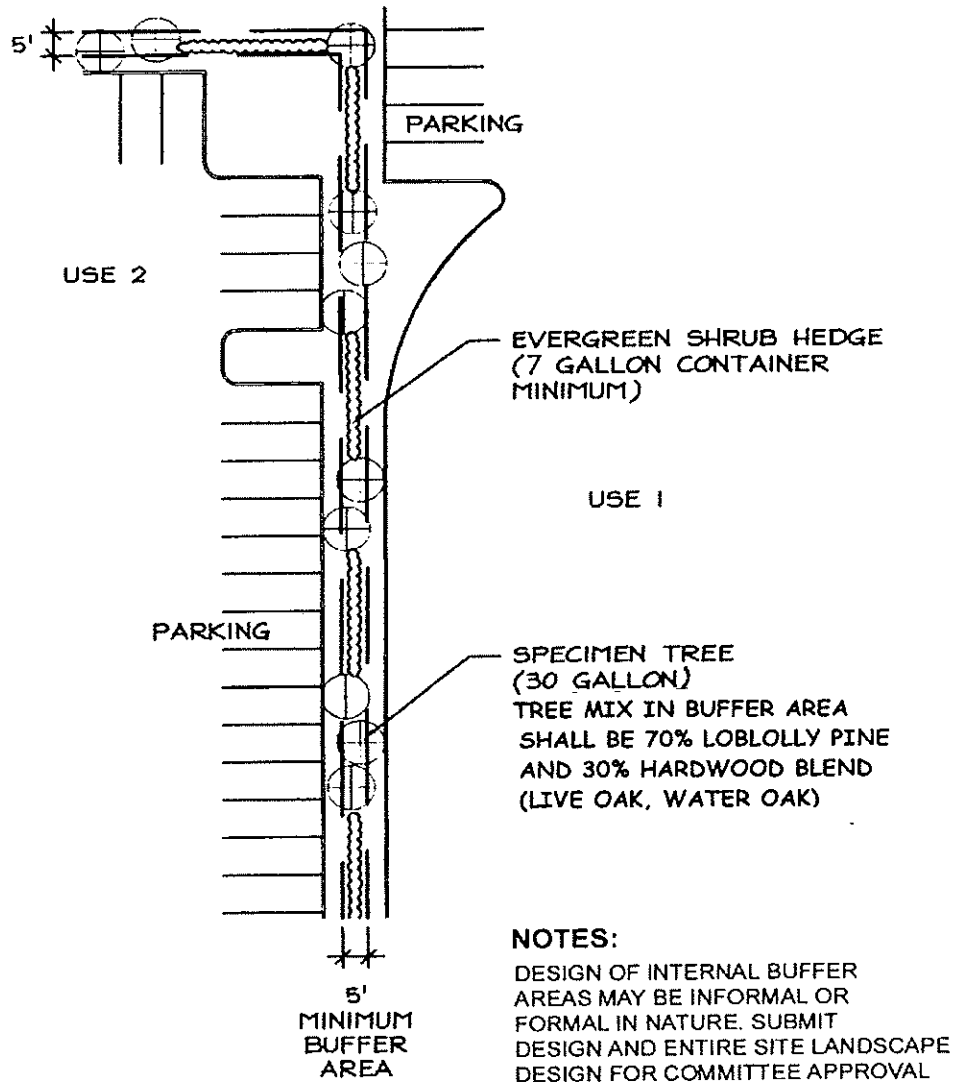
BUFFER PLAN
NOT TO SCALE

**BUFFER ZONE BETWEEN ADJACENT
COMMERCIAL DISTRICTS**

Note: For illustration purposes only.

EXHIBIT A-11

0660-29-520



BUFFER PLAN
NOT TO SCALE

INTERNAL BUFFER REQUIREMENTS FOR MULTI-
USE COMMERCIAL TRACTS

Note: For illustration purposes
only.

EXHIBIT A-12

0000-19-520
RR 075-2-0999

CINCO RANCH
OFF-STREET PARKING REQUIREMENTS

USE	<u>CINCO RANCH DESIGN GUIDELINES</u>
OFFICE	4 SPCS / 1000 S.F. G.F.A.
MEDICAL / DENTAL OFFICE	4 SPCS / 1000 S.F. G.F.A.
APARTMENTS	EFFICIENCY - 1.25 SPCS/UNIT 1 BEDROOM - 1.33 SPCS/UNIT 2 BEDROOM - 1.66 SPCS/UNIT 3+ BEDROOM - 2.00 SPCS/UNIT
CHURCHES	1 SPC/5 SEATS IN AUDITORIUM
HOSPITALS	2.2 SPCS/BED
HOTELS	1 SPC/GUEST ROOM (<250) .75 SPC/GUEST ROOM (250-500) .50 SPC/GUEST ROOM (>500)
SCHOOLS	ELEMENTARY - 1.5 SPCS/30 PERSON CLASSROOM JR. HIGH - 3.5 SPCS/30 PERSON CLASSROOM HIGH SCHOOL - 9.5 SPCS/30 PERSON CLASSROOM COLLEGE/UNIVERSITY 1 SPC/3 EMPLOYEES PLUS 1 SPC/10 RESIDENT STUDENTS & 1 SPC/5 NON-RESIDENT STUDENTS
RETAIL	GROCERY & CONVENIENCE STORE 5 SPCS/1000 S.F. G.F.A. FREE STANDING RETAIL 4 SPCS/1000 S.F. G.F.A. CLOTHING 4 SPCS/1000 S.F. G.F.A. FURNITURE 2 SPCS/100 S.F. G.F.A. BLDG. MATERIALS 4 SPCS/1000 S.F. G.F.A. OF RETAIL SALES AREA DISCOUNT STORE 4 SPCS/100 S.F. G.F.A.
SHOPPING CENTER	CONVENIENCE (<25,000 S.F.) 4.0 SPCS/1000 S.F. G.F.A. NEIGHBORHOOD (25,001-100,000 S.F.) 4.0 SPCS/1000 S.F. G.F.A. COMMUNITY (100,001-399,999 S.F.) 4.0 SPCS/1000 S.F. G.F.A. REGIONAL (400,000-1,000,000 S.F.) 5.0 SPCS/1000 S.F. G.F.A.
FINANCIAL INSTITUTION	4 SPCS/1000 S.F. G.F.A.
RESTAURANT	8 SPCS/1000 S.F. G.L.A.
BAR	1 SPC/1000 S.F. G.L.A.
SERVICE STATION	3 SPCS/SERVICE STALL + 1 SPC/EMPLOYEE/SHIFT
DAY CARE CENTER	10 SPC/EMPLOYEE/SHIFT + 1 SPC/5 CHILDREN
AUTO SERVICE USE	50 SPCS/1000 G.F.A.
THEATRE	1 SPCS/3 SEATS
BOWLING ALLEY	50 SPCS/LANE
COUNTRY CLUB/GOLF	50 SPCS/GREEN
SELF STORAGE	1.0 SPC / 1000 S.F. G.F.A.
VETERINARY	4 SPCS / 1000 S.F. G.F.A.
PHYSICAL FITNESS	5 SPCS / 1000 S.F. G.F.A.

*G.L.A. - GROSS LEASABLE AREA
STALL SIZE: 9'x19'

G.F.A. - GROSS FLOOR AREA

G.B.A. - GROSS BUILDING AREA

Note: For illustration purposes
only.

OFF-STREET PARKING REQUIREMENTS

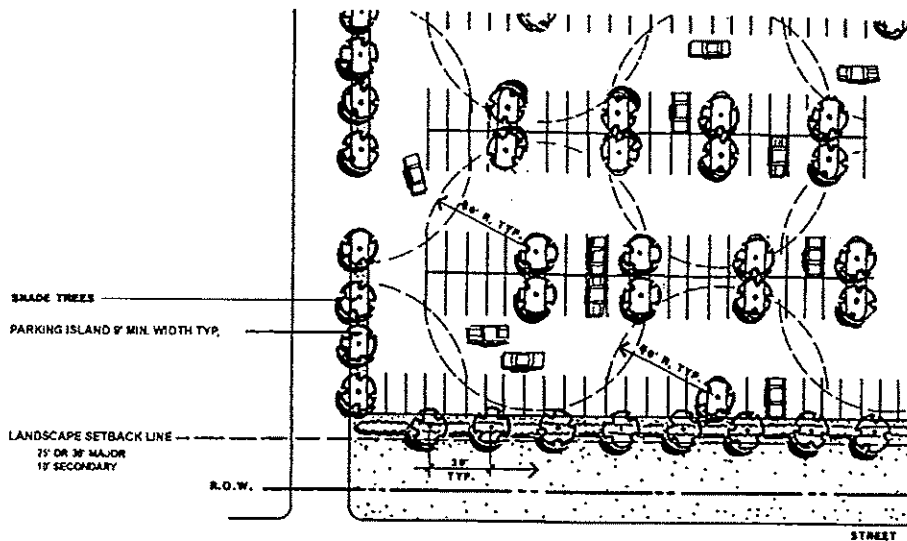
EXHIBIT A-13

ALTERNATIVE NO. 1

PERPENDICULAR PARKING

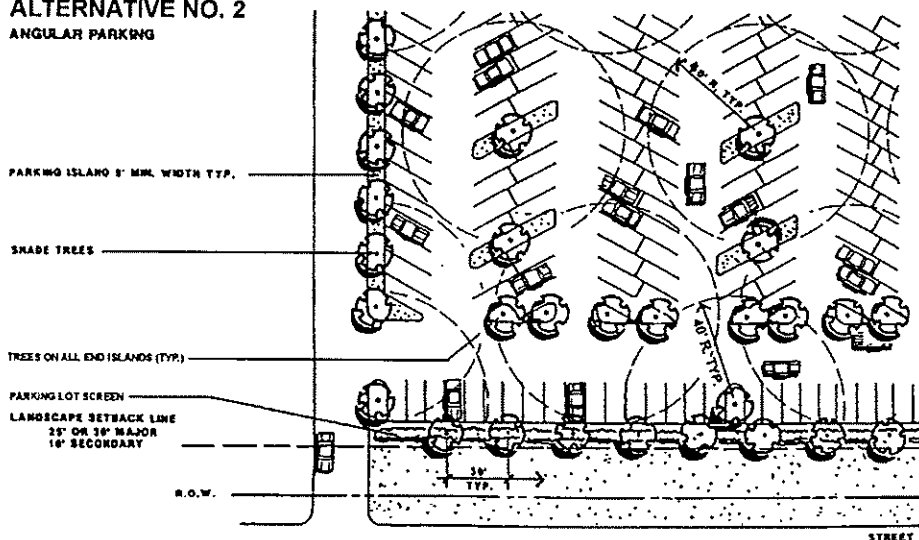
THE FOLLOWING NOTES APPLY TO BOTH ALTERNATIVES:

1. HEDGE PLANTING IS REQUIRED TO SCREEN PARKING FRONTING MAJOR THOROUGHFARES. SEE GUIDELINES.
2. NO PARKING SPACE SHALL BE LOCATED FURTHER THAN 40'-0" FROM A TREE (DOES NOT INCLUDE TREES IN LANDSCAPE SETBACK).
3. TREES SHALL BE DISTRIBUTED EVENLY THROUGHOUT PARKING AREA AND PROTECTED WITH CONCRETE CURBING. THERE SHALL BE MINIMUM 1 TREE PER 4 PARKING SPACES AND 1 TREE EVERY 30' O.C. ALONG FRONTAGE.



ALTERNATIVE NO. 2

ANGULAR PARKING

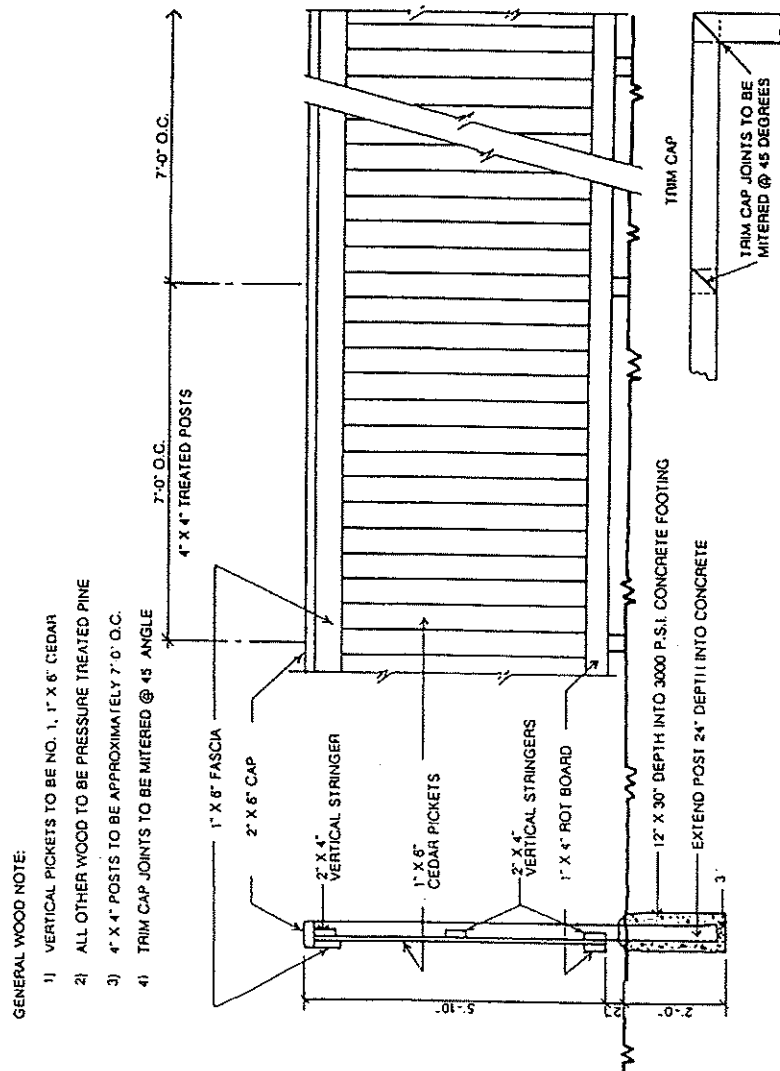


Note: For illustration purposes only.

PARKING LOT ISLAND REQUIREMENTS

EXHIBIT A-14

1001-23-520
RP 07562 1001



ELEVATION
NOT TO SCALE

Note: For illustration purposes only.

COMMERCIAL DISTRICT FENCING

EXHIBIT A-15

MASTER PLANT LIST

TREES

Acer rubrum	Red Maple
Betula nigra	River Birch
Carya illinoensis	Pecan
Cercis canadensis	Redbud
Cornus florida	Flowering dogwood
Crataegus marshallii	Parsley Leaf Hawthorn
Fraxinus pennsylvanica	Green Ash
Ilex cassine	Dahoon Holly
Ilex decidua	Deciduous Holly
Ilex opaca	American Holly
Ilex vomitoria	Yaupon Holly
Koelreuteria bipinnata	Goldenrain Tree
Lagerstroemia indica / faurei	Crape Myrtle
Liquidambar styraciflua	Sweetgum
Magnolia grandiflora	Southern Magnolia
Magnolia soulangiana	Saucer Magnolia
Magnolia virginiana	Sweet Bay Magnolia
Myrica cerifera	Southern Wax Myrtle
Parkinsonia aculeate	Retama
Pinus taeda	Loblolly Pine
Prunus caroliniana	Cherry Laurel
Pyrus calleryana	Callery Pear
Pyrus kawakami	Evergreen Pear
Quercus falcata	Southern Red Oak
Quercus nigra	Water Oak
Quercus nuttallii	Nuttall Oak
Quercus phellos	Willow Oak
Quercus shumardii	Shumard Oak
Quercus texana	Texas Red Oak
Quercus virginiana	Live Oak
Salix babylonica	Weeping Willow
Taxodium distichum	Bald Cypress
Ulmus crassifolia	Evergreen Elm

MASTER PLANT LIST

EXHIBIT A-16

001-29-320
22

SHRUBS

Aucuba japonica	Japanese Aucuba
Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry
Buxus microphylla 'Japonica'	Japanese Littleleaf Boxwood
Camellia sasanqua	Sasanqua Camellia
Chamaerops humilis	Mediterranean Fan Palm
Cleyera japonica	Japanese Cleyera
Cycas revolute	King Sago Palm
Elaeagnus pungens	Elaeagnus
Eriobotrya x 'Coppertone'	Coppertone Loquat
Fatsia japonica	Fatsia
Feijoa sellowiana	Pineapple Guava
Gardenia jasminoides 'radicans'	Dwarf Gardenia
Ilex cornuta vars.	Chinese Holly
Ilex cassine & vars.	Dahoon Holly
Ilex decidua	Deciduous Holly
Ilex vomitoria & vars.	Yaupon Holly
Juniperus spp.	Juniper
Lagerstroemia indica (dwarf varieties)	Dwarf Crape Myrtle
Ligustrum japonicum & vars.	Waxleaf Ligustrum
Ligustrum sinense 'Variegatum'	Variegated Privet
Mahonia bealei	Leatherleaf Mahonia
Michelia figo	Banana Shrub
Myrica cerifera	Southern Wax Myrtle
Nandina domestica	Nandina
Nandina domestica 'Compacta'	Compact Nandina
Photinia fraseri	Fraser's Photinia
Pittosporum tobira	Pittosporum
Pyracantha spp.	Pyracantha
Raphiolepis indica & vars.	Indian Hawthorn (excluding 'Ballerina')
Rhododendron spp.	Azalea
Viburnum japonicum	Japanese Viburnum
Viburnum odoratissimum	Sweet Viburnum
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus & vars.	Laurustinus Viburnum
Xylosma congestum	Shiny Xylosma
Yucca recurvifolia	Curved Leaf Yucca

MASTER PLANT LIST

EXHIBIT A-16

GROUNDCOVERS

Ajuga reptans	Ajuga
Asparagus densiflorus 'Sprenger'	Sprenger Asparagus
Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry
Cyrtomium falcatum	Holly Fern
Gardenia jasminoides 'Radicans'	Dwarf Gardenia
Hedera canariensis	Algerian Ivy
Hedera helix	English Ivy
Ilex cornuta (dwarf varieties)	Dwarf Chinese Holly
Juniperus spp.	Juniper
Liriope muscari	Liriope
Lonicera japonica 'Chinensis'	Purple Japanese Honeysuckle
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Nandina domestica 'Harbour Dwarf'	Harbour Dwarf Nandina
Ophiopogon japonicus	Monkey Grass
Ophiopogon japonicus 'Nana'	Dwarf Monkey Grass
Pyracantha x 'Red Elf'	Red Elf Pyracantha
Pyracantha x 'Ruby Mound'	Ruby Mound Pyracantha
Trachelospermum asiaticum	Asian Jasmine
Trachelospermum jasminoides	Star Jasmine
Zoysia tenuifolia	Korean Grass

GRASSES

Cynodon dactylon	Common Bermuda*
Cynodon hybrids	Hybrid Bermuda
Festuca arundinacea	Kentucky 31 Fescue
Lolium multiflorum	Annual Rye
Stenotaphrum secundatum	St. Augustine Grass

*Common Bermuda is allowed only in LMA Setbacks

VINES

Bignonia capreolata
Clematis paniculata / dioscoreifolia
Clytostoma callistegioides
Ficus pumila
Gelsemium sempervirens
Lonicera japonica 'Chinensis'
Lonicera japonica 'Halliana'
Milettia megasperma
Parthenocissus tricuspidata
Rosa banksiae
Trachelospermum jasminoides
Wisteria chinensis

Crossvine
Sweet Autumn Clematis
Trumpet Vine
Fig Vine
Carolina Yellow Jessamine
Purple Japanese Honeysuckle
Hall's Honeysuckle
Evergreen Wisteria
Boston Ivy
Lady Banksia Rose
Star Jasmine
Chinese Wisteria

PERENNIALS

Aster frikarti
Chrysanthemum maximum
Coreopsis spp.
Ferns
Gerbera jamesonii
Hymenocallis spp.
Hemerocallis spp.
Iris spp.
Tulbaghia violacea

Frikarti Aster
Shasta Daisy
Coreopsis
Ferns
Gerbera Daisy
Hymenocallis
Daylily
Iris
Society Garlic

ANNUALS (Spring)

Geraniums
Lantana
Marigolds
Periwinkle
Petunia
Portulaca
Purslane
Scarlet Begonia

MASTER PLANT LIST

EXHIBIT A-16

001-29-520
RR

ANNUALS (Fall)

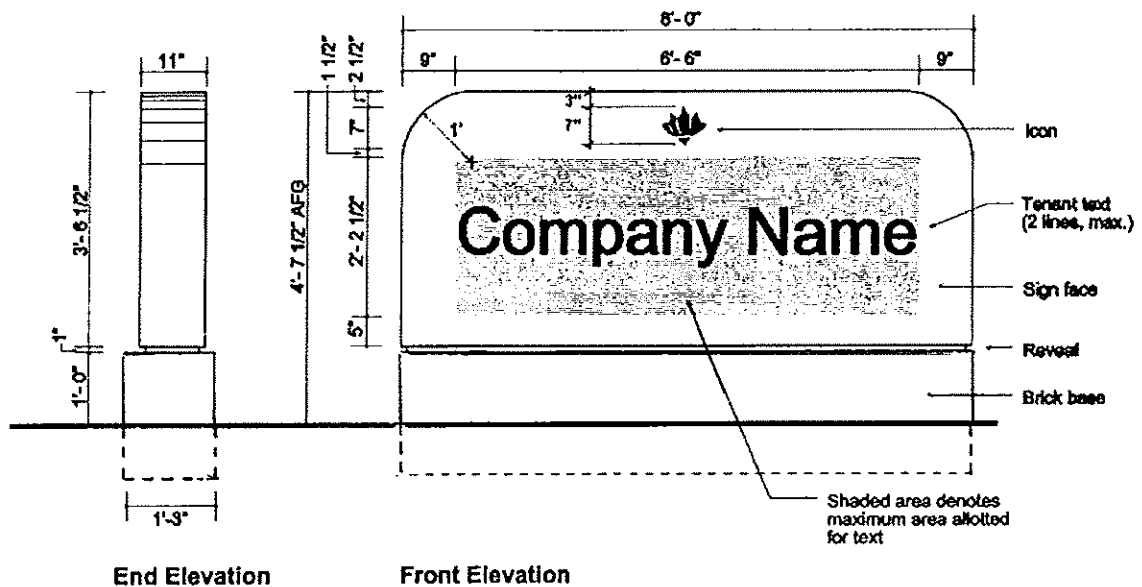
Calendula
Pansy
Snapdragons
Dianthus
Mums

WILDFLOWERS

Buchloe dactyloides
Cassia fasciculate
Castilleja indivisa
Coreopsis spp.
Echinacea purpurea
Gaillardia pulchella
Liatris pynchnostachya
Lupinus texensis
Monarda citriodora
Phlox drummondii
Rudbeckia hirta
Trifolium incarnatum
Verbena tenuisecta

Buffalograss
Partridge Pea
Indian Paintbrush
Coreopsis
Purple Coneflower
Indian Blanket
Gay Feather
Texas Bluebonnet
Lemon Mint
Drummond Phlox
Black-Eyed Susan
Crimson Clover
Moss Verbena

2001-2002-2003-2004-2005-2006-2007-2008-2009-2010-2011-2012-2013-2014-2015-2016-2017-2018-2019-2020-2021-2022-2023-2024-2025-2026-2027-2028-2029-2030-2031-2032-2033-2034-2035-2036-2037-2038-2039-2040-2041-2042-2043-2044-2045-2046-2047-2048-2049-2050-2051-2052-2053-2054-2055-2056-2057-2058-2059-2060-2061-2062-2063-2064-2065-2066-2067-2068-2069-2070-2071-2072-2073-2074-2075-2076-2077-2078-2079-2080-2081-2082-2083-2084-2085-2086-2087-2088-2089-2090-2091-2092-2093-2094-2095-2096-2097-2098-2099-2100-2101-2102-2103-2104-2105-2106-2107-2108-2109-2110-2111-2112-2113-2114-2115-2116-2117-2118-2119-2120-2121-2122-2123-2124-2125-2126-2127-2128-2129-2130-2131-2132-2133-2134-2135-2136-2137-2138-2139-2140-2141-2142-2143-2144-2145-2146-2147-2148-2149-2150-2151-2152-2153-2154-2155-2156-2157-2158-2159-2160-2161-2162-2163-2164-2165-2166-2167-2168-2169-2170-2171-2172-2173-2174-2175-2176-2177-2178-2179-2180-2181-2182-2183-2184-2185-2186-2187-2188-2189-2190-2191-2192-2193-2194-2195-2196-2197-2198-2199-2200-2201-2202-2203-2204-2205-2206-2207-2208-2209-2210-2211-2212-2213-2214-2215-2216-2217-2218-2219-2220-2221-2222-2223-2224-2225-2226-2227-2228-2229-2230-2231-2232-2233-2234-2235-2236-2237-2238-2239-2240-2241-2242-2243-2244-2245-2246-2247-2248-2249-2250-2251-2252-2253-2254-2255-2256-2257-2258-2259-2260-2261-2262-2263-2264-2265-2266-2267-2268-2269-2270-2271-2272-2273-2274-2275-2276-2277-2278-2279-2280-2281-2282-2283-2284-2285-2286-2287-2288-2289-2290-2291-2292-2293-2294-2295-2296-2297-2298-2299-2300-2301-2302-2303-2304-2305-2306-2307-2308-2309-2310-2311-2312-2313-2314-2315-2316-2317-2318-2319-2320-2321-2322-2323-2324-2325-2326-2327-2328-2329-2330-2331-2332-2333-2334-2335-2336-2337-2338-2339-2340-2341-2342-2343-2344-2345-2346-2347-2348-2349-2350-2351-2352-2353-2354-2355-2356-2357-2358-2359-2360-2361-2362-2363-2364-2365-2366-2367-2368-2369-2370-2371-2372-2373-2374-2375-2376-2377-2378-2379-2380-2381-2382-2383-2384-2385-2386-2387-2388-2389-2390-2391-2392-2393-2394-2395-2396-2397-2398-2399-2400-2401-2402-2403-2404-2405-2406-2407-2408-2409-2410-2411-2412-2413-2414-2415-2416-2417-2418-2419-2420-2421-2422-2423-2424-2425-2426-2427-2428-2429-2430-2431-2432-2433-2434-2435-2436-2437-2438-2439-2440-2441-2442-2443-2444-2445-2446-2447-2448-2449-2450-2451-2452-2453-2454-2455-2456-2457-2458-2459-2460-2461-2462-2463-2464-2465-2466-2467-2468-2469-2470-2471-2472-2473-2474-2475-2476-2477-2478-2479-2480-2481-2482-2483-2484-2485-2486-2487-2488-2489-2490-2491-2492-2493-2494-2495-2496-2497-2498-2499-2500-2501-2502-2503-2504-2505-2506-2507-2508-2509-2510-2511-2512-2513-2514-2515-2516-2517-2518-2519-2520-2521-2522-2523-2524-2525-2526-2527-2528-2529-2530-2531-2532-2533-2534-2535-2536-2537-2538-2539-2540-2541-2542-2543-2544-2545-2546-2547-2548-2549-2550-2551-2552-2553-2554-2555-2556-2557-2558-2559-2560-2561-2562-2563-2564-2565-2566-2567-2568-2569-2570-2571-2572-2573-2574-2575-2576-2577-2578-2579-2580-2581-2582-2583-2584-2585-2586-2587-2588-2589-2590-2591-2592-2593-2594-2595-2596-2597-2598-2599-2600-2601-2602-2603-2604-2605-2606-2607-2608-2609-2610-2611-2612-2613-2614-2615-2616-2617-2618-2619-2620-2621-2622-2623-2624-2625-2626-2627-2628-2629-2630-2631-2632-2633-2634-2635-2636-2637-2638-2639-2640-2641-2642-2643-2644-2645-2646-2647-2648-2649-2650-2651-2652-2653-2654-2655-2656-2657-2658-2659-2660-2661-2662-2663-2664-2665-2666-2667-2668-2669-2670-2671-2672-2673-2674-2675-2676-2677-2678-2679-2680-2681-2682-2683-2684-2685-2686-2687-2688-2689-2690-2691-2692-2693-2694-2695-2696-2697-2698-2699-2700-2701-2702-2703-2704-2705-2706-2707-2708-2709-2710-2711-2712-2713-2714-2715-2716-2717-2718-2719-2720-2721-2722-2723-2724-2725-2726-2727-2728-2729-2730-2731-2732-2733-2734-2735-2736-2737-2738-2739-2740-2741-2742-2743-2744-2745-2746-2747-2748-2749-2750-2751-2752-2753-2754-2755-2756-2757-2758-2759-2760-2761-2762-2763-2764-2765-2766-2767-2768-2769-2770-2771-2772-2773-2774-2775-2776-2777-2778-2779-2780-2781-2782-2783-2784-2785-2786-2787-2788-2789-2790-2791-2792-2793-2794-2795-2796-2797-2798-2799-2800-2801-2802-2803-2804-2805-2806-2807-2808-2809-2810-2811-2812-2813-2814-2815-2816-2817-2818-2819-2820-2821-2822-2823-2824-2825-2826-2827-2828-2829-2830-2831-2832-2833-2834-2835-2836-2837-2838-2839-2840-2841-2842-2843-2844-2845-2846-2847-2848-2849-2850-2851-2852-2853-2854-2855-2856-2857-2858-2859-2860-2861-2862-2863-2864-2865-2866-2867-2868-2869-2870-2871-2872-2873-2874-2875-2876-2877-2878-2879-2880-2881-2882-2883-2884-2885-2886-2887-2888-2889-2890-2891-2892-2893-2894-2895-2896-2897-2898-2899-2900-2901-2902-2903-2904-2905-2906-2907-2908-2909-2910-2911-2912-2913-2914-2915-2916-2917-2918-2919-2920-2921-2922-2923-2924-2925-2926-2927-2928-2929-2930-2931-2932-2933-2934-2935-2936-2937-2938-2939-2940-2941-2942-2943-2944-2945-2946-2947-2948-2949-2950-2951-2952-2953-2954-2955-2956-2957-2958-2959-2960-2961-2962-2963-2964-2965-2966-2967-2968-2969-2970-2971-2972-2973-2974-2975-2976-2977-2978-2979-2980-2981-2982-2983-2984-2985-2986-2987-2988-2989-2990-2991-2992-2993-2994-2995-2996-2997-2998-2999-3000-3001-3002-3003-3004-3005-3006-3007-3008-3009-3010-3011-3012-3013-3014-3015-3016-3017-3018-3019-3020-3021-3022-3023-3024-3025-3026-3027-3028-3029-3030-3031-3032-3033-3034-3035-3036-3037-3038-3039-3040-3041-3042-3043-3044-3045-3046-3047-3048-3049-3050-3051-3052-3053-3054-3055-3056-3057-3058-3059-3060-3061-3062-3063-3064-3065-3066-3067-3068-3069-3070-3071-3072-3073-3074-3075-3076-3077-3078-3079-3080-3081-3082-3083-3084-3085-3086-3087-3088-3089-3090-3091-3092-3093-3094-3095-3096-3097-3098-3099-3100-3101-3102-3103-3104-3105-3106-3107-3108-3109-3110-3111-3112-3113-3114-3115-3116-3117-3118-3119-3120-3121-3122-3123-3124-3125-3126-3127-3128-3129-3130-3131-3132-3133-3134-3135-3136-3137-3138-3139-3140-3141-3142-3143-3144-3145-3146-3147-3148-3149-3150-3151-3152-3153-3154-3155-3156-3157-3158-3159-3160-3161-3162-3163-3164-3165-3166-3167-3168-3169-3170-3171-3172-3173-3174-3175-3176-3177-3178-3179-3180-3181-3182-3183-3184-3185-3186-3187-3188-3189-3190-3191-3192-3193-3194-3195-3196-3197-3198-3199-3200-3201-3202-3203-3204-3205-3206-3207-3208-3209-3210-3211-3212-3213-3214-3215-3216-3217-3218-3219-3220-3221-3222-3223-3224-3225-3226-3227-3228-3229-3230-3231-3232-3233-3234-3235-3236-3237-3238-3239-3240-3241-3242-3243-3244-3245-3246-3247-3248-3249-3250-3251-3252-3253-3254-3255-3256-3257-3258-3259-3260-3261-3262-3263-3264-3265-3266-3267-3268-3269-3270-3271-3272-3273-3274-3275-3276-3277-3278-3279-3280-3281-3282-3283-3284-3285-3286-3287-3288-3289-3290-3291-3292-3293-3294-3295-3296-3297-3298-3299-3300-3301-3302-3303-3304-3305-3306-3307-3308-3309-3310-3311-3312-3313-3314-3315-3316-3317-3318-3319-3320-3321-3322-3323-3324-3325-3326-3327-3328-3329-3330-3331-3332-3333-3334-3335-3336-3337-3338-3339-3340-3341-3342-3343-3344-3345-3346-3347-3348-3349-3350-3351-3352-3353-3354-3355-3356-3357-3358-3359-3360-3361-3362-3363-3364-3365-3366-3367-3368-3369-3370-3371-3372-3373-3374-3375-3376-3377-3378-3379-3380-3381-3382-3383-3384-3385-3386-3387-3388-3389-3390-3391-3392-3393-3394-3395-3396-3397-3398-3399-3400-3401-3402-3403-3404-3405-3406-3407-3408-3409-3410-3411-3412-3413-3414-3415-3416-3417-3418-3419-3420-3421-3422-3423-3424-3425-3426-3427-3428-3429-3430-3431-3432-3433-3434-3435-3436-3437-3438-3439-3440-3441-3442-3443-3444-3445-3446-3447-3448-3449-3450-3451-3452-3453-3454-3455-3456-3457-3458-3459-3460-3461-3462-3463-3464-3465-3466-3467-3468-3469-3470-3471-3472-3473-3474-3475-3476-3477-3478-3479-3480-3481-3482-3483-3484-3485-3486-3487-3488-3489-3490-3491-3492-3493-3494-3495-3496-3497-3498-3499-3500-3501-3502-3503-3504-3505-3506-3507-3508-3509-3510-3511-3512-3513-3514-3515-3516-3517-3518-3519-3520-3521-3522-3523-3524-3525-3526-3527-3528-3529-3530-3531-3532-3533-3534-3535-3536-3537-3538-3539-3540-3541-3542-3543-3544-3545-3546-3547-3548-3549-3550-3551-3552-3553-3554-3555-3556-3557-3558-3559-3560-3561-3562-3563-3564-3565-3566-3567-3568-3569-3570-3571-3572-3573-3574-3575-3576-3577-3578-3579-3580-3581-3582-3583-3584-3585-3586-3587-3588-3589-3590-3591-3592-3593-3594-3595-3596-3597-3598-3599-3600-3601-3602-3603-3604-3605-3606-3607-3608-3609-3610-3611-3612-3613-3614-3615-3616-3617-3618-3619-3620-3621-3622-3623-3624-3625-3626-3627-3628-3629-3630-3631-3632-3633-3634-3635-3636-3637-3638-3639-3640-3641-3642-3643-3644-3645-3646-3647-3648-3649-3650-3651-3652-3653-3654-3655-3656-3657-3658-3659-3660-3661-3662-3663-3664-3665-3666-3667-3668-3669-3670-3671-3672-3673-3674-3675-3676-3677-3678-3679-3680-3681-3682-3683-3684-3685-3686-3687-3688-3689-3690-3691-3692-3693-3694-3695-3696-3697-3698-3699-3700-3701-3702-3703-3704-3705-3706-3707-3708-3709-3710-3711-3712-3713-3714-3715-3716-3717-3718-3719-3720-3721-3722-3723-3724-3725-3726-3727-3728-3729-3730-3731-3732-3733-3734-3735-3736-3737-3738-3739-3740-3741-3742-3743-3744-3745-3746-3747-3748-3749-3750-3751-3752-3753-3754-3755-3756-3757-3758-3759-3760-3761-3762-3763-3764-3765-3766-3767-3768-3769-3770-3771-3772-3773-3774-3775-3776-3777-3778-3779-3780-3781-3782-3783-3784-3785-3786-3787-3788-3789-3790-3791-3792-3793-3794-3795-3796-3797-3798-3799-3800-3801-3802-3803-3804-3805-3806-3807-3808-3809-3810-3811-3812-3813-3814-3815-3816-3817-3818-3819-3820-3821-3822-3823-3824-3825-3826-3827-3828-3829-3830-3831-3832-3833-3834-3835-3836-3837-3838-3839-3840-3841-3842-3843-3844-3845-3846-3847-3848-3849-3850-3851-3852-3853-3854-3855-3856-3857-3858-3859-3860-3861-3862-3863-3864-3865-3866-3867-3868-3869-3870-3871-3872-3873-3874-3875-3876-3877-3878-3879-3880-3881-3882-3883-3884-3885-3886-3887-3888-3889-3890-3891-3892-3893-3894-3895-3896-3897-3898-3899-3900-3901-3902-3903-3904-3905-3906-3907-3908-3909-3910-3911-3912-3913-3914-3915-3916-3917-3918-3919-3920-3921-3922-3923-3924-3925-3926-3927-3928-3929-3930-3931-3932-3933-3934-3935-3936-3937-3938-3939-3940-3941-3942-3943-3944-3945-3946-3947-3948-3949-3950-3951-3952-3953-3954-3955-3956-3957-3958-3959-3960-3961-3962-3963-3964-3965-3966-3967-3968-3969-3970-3971-3972-3973-3974-3975-3976-3977-3978-3979-3980-3981-3982-3983-3984-3985-3986-3987-3988-3989-3990-3991-3992-3993-3994-3995-3996-3997-3998-3999-4000-4001-4002-4003-4004-4005-4006-4007-4008-4009-4010-4011-4012-4013-4014-4015-4016-4017-4018-4019-4020-4021-4022-4023-4024-4025-4026-4027-4028-4029-4030-4031-4032-4033-4034-4035-4036-4037-4038-4039-4040-4041-4042-4043-4044-4045-4046-4047-4048-4049-4050-4051-4052-4053-4054-4055-4056-4057-4058-4059-4060-4061-4062-4063-4064-4065-4066-4067-4068-4069-4070-4071-4072-4073-4074-4075-4076-4077-4078-4079-4080-4081-4082-4083-4084-4085-4086-4087-4088-4089-4090-4091-4092-4093-4094-4095-4096-4097-4098-4099-4100-4101-4102-4103-4104-4105-4106-4107-4108-4109-4110-4111-4112-4113-4114-4115-4116-4117-4118-4119-4120-4121-4122-4123-4124-4125-4126-4127-4128-4129-4130-4131-4132-4133-4134-4135-4136-4137-4138-4139-4140-4141-4142-4143-4144-4145-4146-4147-4148-4149-4150-4151-4152-4153-4154-4155-4156-4157-4158-4159-4160-4161-4162-4163-4164-4165-4166-4167-4168-4169-4170-4171-4172-4173-4174-4175-4176-4177-4178-4179-4180-4181-4182-4183-4184-4185-4186-4187-4188-4189-4190-4191-4192-4193-4194-4195-4196-4197-4198-4199-4200-4201-4202-4203-4204-4205-4206-4207-4208-4209-4210-4211-4212-4213-4214-4215-4216-4217-4218-4219-4220-4221-4222-4223-4224-4225-4226-4227-4228-4229-4230-4231-4232-4233-4234-4235-4236-4237-4238-4239-4240-4241-4242-4243-4244-4245-4246-4247-4248-4249-4250-4251-4252-4253-4254-4255-4256-4257-4258-4259-4260-4261-4262-4263-4264-4265-4266-4267-4268-4269-4270-4271-4272-4273-4274-4275-4276-4277-4278-4279-4280-4281-4282-4283-4284-4285-4286-4287-4288-4289-4290-4291-4292-4293-4294-4295-4296-4297-4298-4299-4300-4301-4302-4303-4304-4305-4306-4307-4308-4309-4310-4311-4312-4313-4314-4315-4316-4317-4318-4319-4320-4321-4322-4323-4324-4325-4326-4327-4328-4329-4330-4331-4332-4333-4334-4335-4336-4337-4338-4339-4340-4341-4342-4343-4344-4345-4346-4347-4348-4349-4350-4351-4352-4353-4354-4355-4356-4357-4358-4



Icon:
Sandblasted and paint infilled or patina metal infill to match Cinco Ranch Signage standard. Lithochrome paint to be utilized with sandblasted icon. Infill icon to be inset so that face is flush with surrounding sign face. Logo Artwork available from the Association.

Text:
Sandblasted with Lithochrome paint infill. Maximum letter height is 7".

Sign Face:
Adoquin stone, color to match Cinco Ranch standard.

Reveal:
Painted aluminum or Lithochrome painted CMU block surface.

Base:
Brick running bond.

Foundation:
The top of the concrete foundation shall be flush with finish grade.

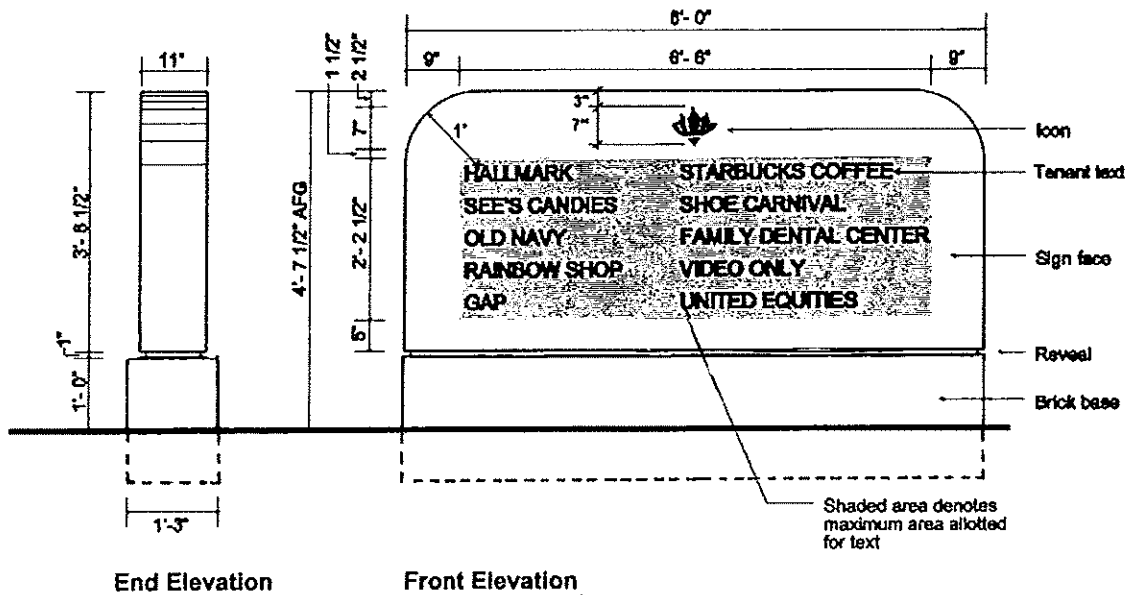
Note: For illustration purposes only.

MONUMENT SIGN – SINGLE TENANT

EXHIBIT A-17

075-62-1008

AS PER ORIGINAL



Icon:
Sandblasted and paint infilled or patina metal infill to match Cinco Ranch Signage standard. Lithochrome paint to be utilized with sandblasted icon. Infill icon to be inset so that face is flush with surrounding sign face. Logo Artwork available from the Association.

Text:
Flat cut metal letters, dark bronze. Maximum letter height is 2".

Sign Face:
Adoquin stone, color to match Cinco Ranch standard.

Reveal:
Painted aluminum or Lithochrome painted CMU block surface.

Base:
Brick running bond.

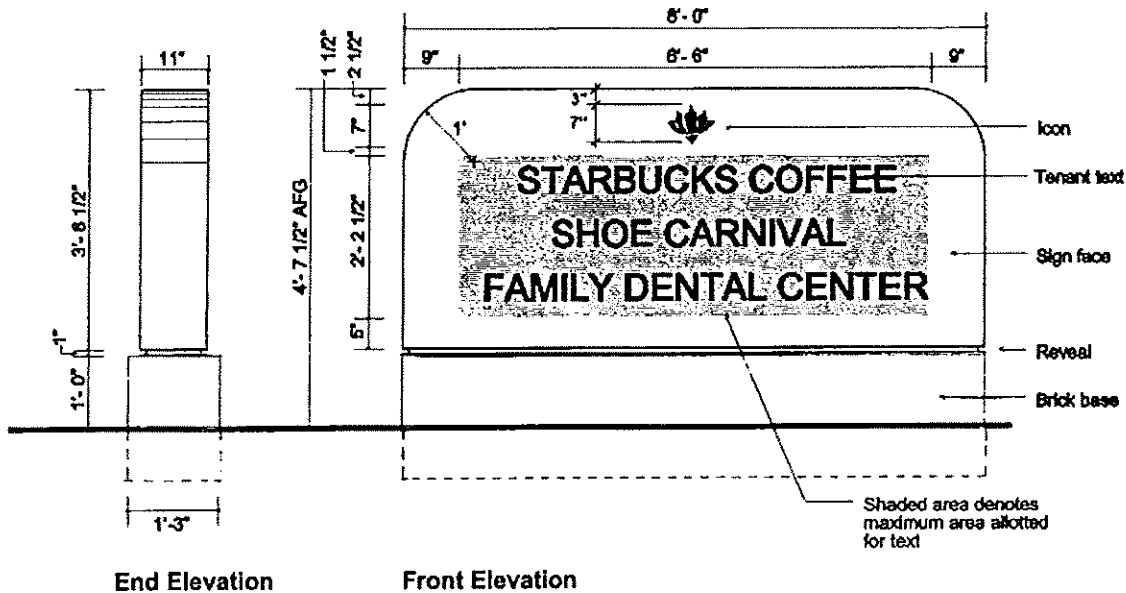
Foundation:
The top of the concrete foundation shall be flush with finish grade.

Note: For illustration purposes only.

MONUMENT SIGN – MULTIPLE TENANTS

EXHIBIT A-17a

AS PER ORIGINAL

**Icon:**

Sandblasted and paint infilled or patina metal infill to match Cinco Ranch Signage standard. Lithochrome paint to be utilized with sandblasted icon. Infill icon to be inset so that face is flush with surrounding sign face. Logo Artwork available from the Association.

Text:

Flat cut metal letters, dark bronze. Maximum letter height is 3".

Sign Face:

Adoquin stone, color to match Cinco Ranch standard.

Reveal:

Painted aluminum or Lithochrome painted CMU block surface.

Base:

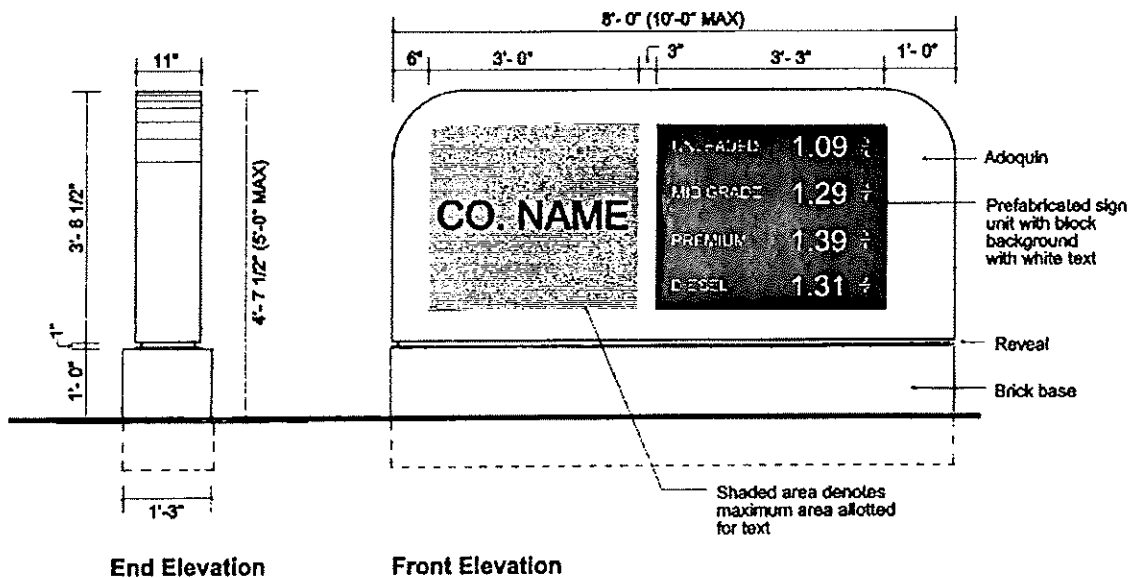
Brick running bond.

Foundation:

The top of the concrete foundation shall be flush with finish grade.

Note: For illustration purposes only.

MONUMENT SIGN – MULTIPLE TENANTS 'B'



Text:
Sandblasted with Lithochrome paint infill.

Sign Face:
Adoquin stone, color to match Cinco Ranch standard.

Reveal:
Painted aluminum or Lithochrome painted CMU block surface.

Base:
Brick running bond.

Foundation:
The top of the concrete foundation shall be flush with finish grade.

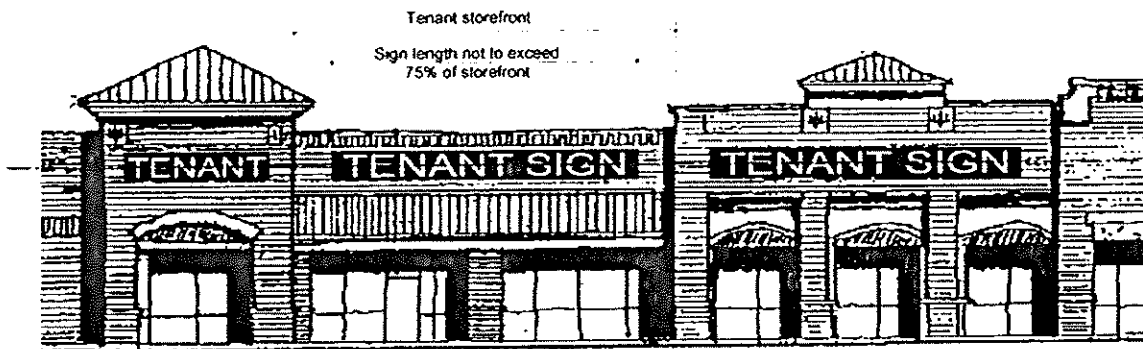
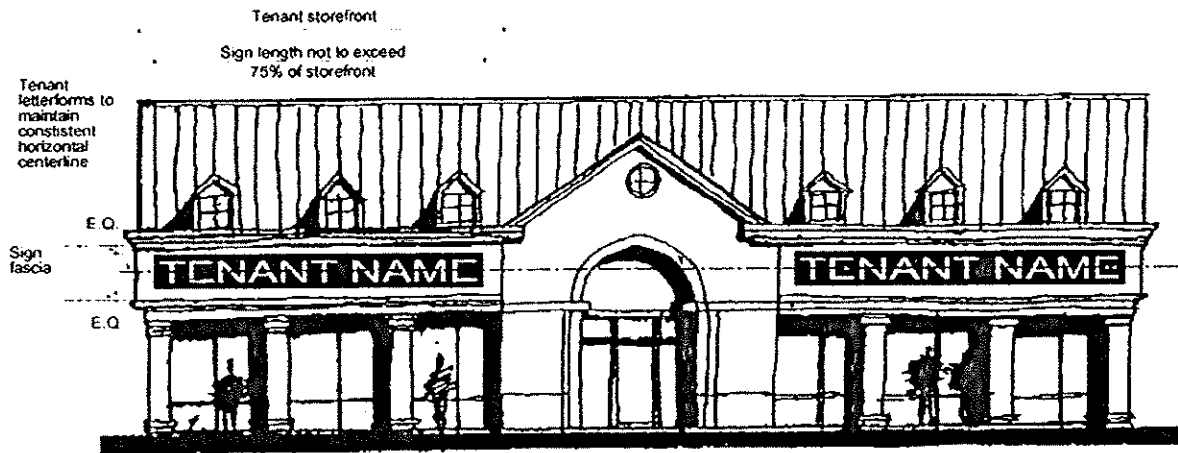
Note: For illustration purposes only.

MONUMENT SIGN – SERVICE STATION

EXHIBIT A-17-c

AS PER ORIGINAL

RR 075-62-1011



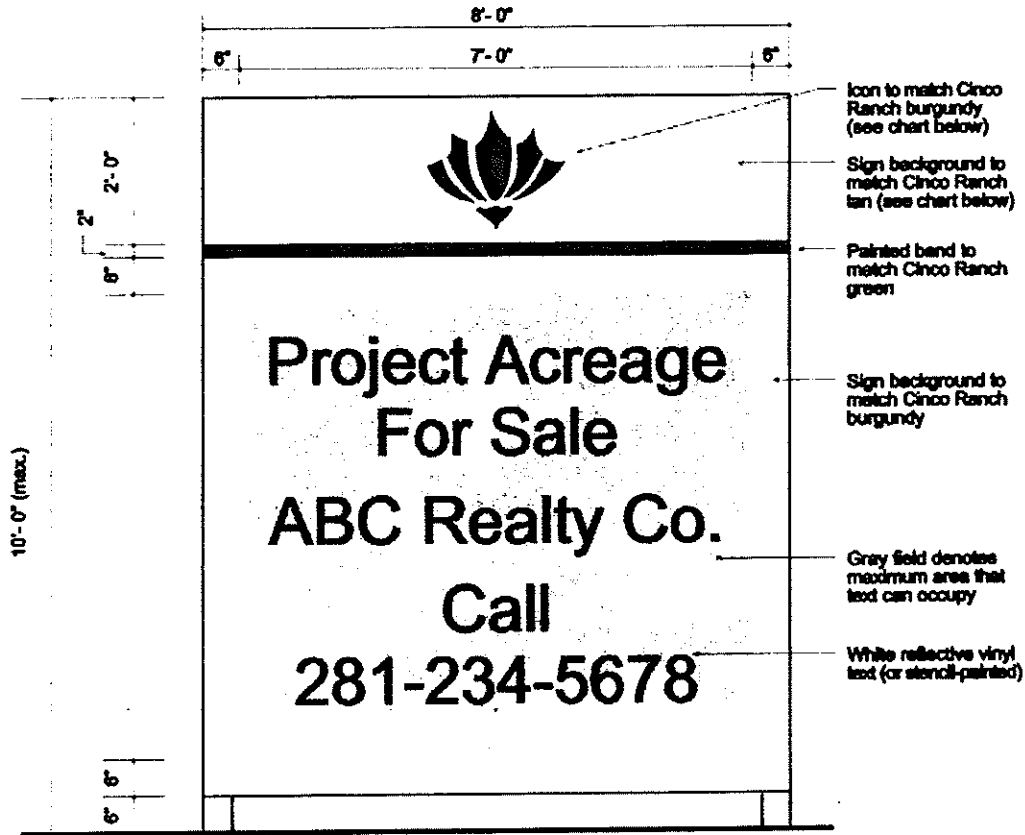
Building letter height shall not exceed 20".

Note: For illustration purposes only.

BUILDING MOUNTED SIGN

EXHIBIT A-17-d

RP 075-67-1012



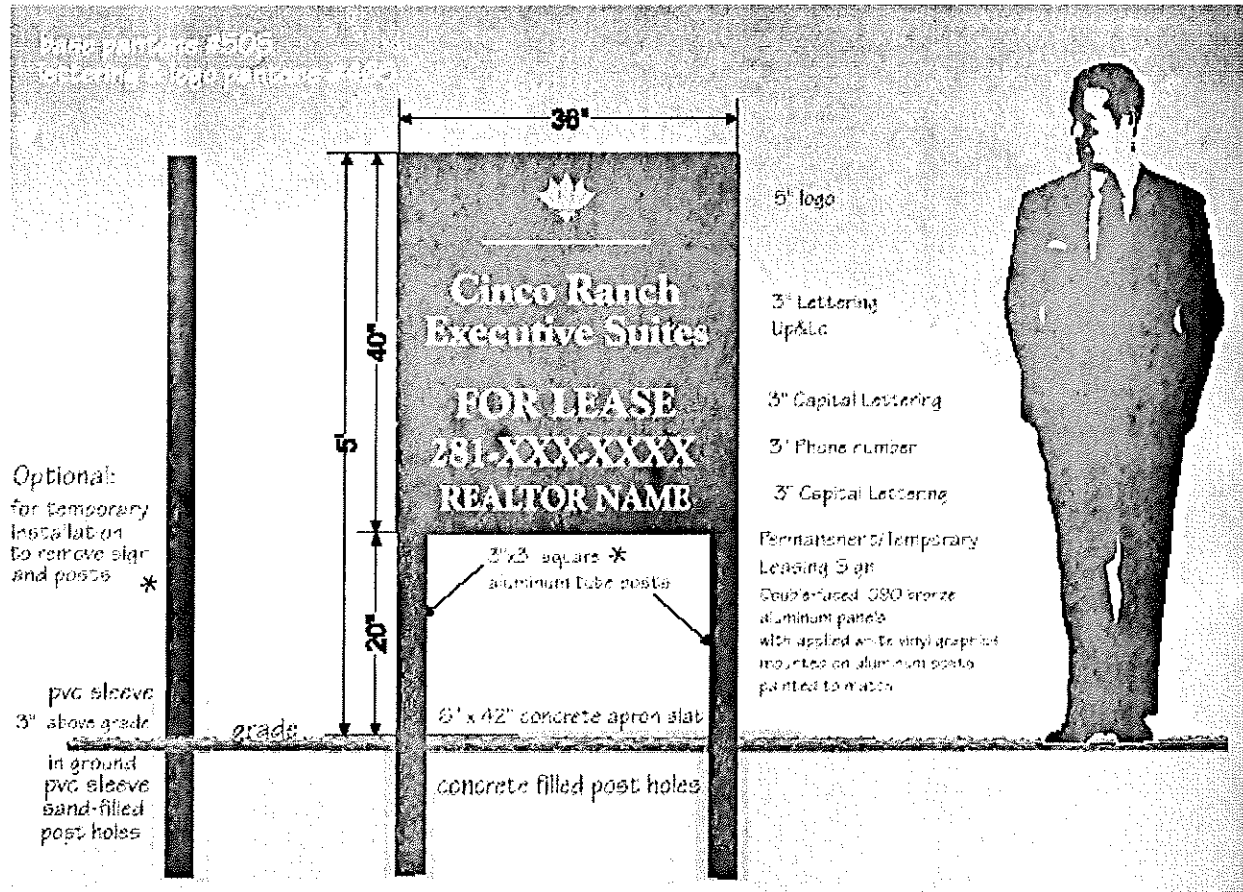
Front Elevation

- Signs to be ground mounted with the bottom of the sign not to exceed six inches above natural ground.
- All signs required to be boxed in on all sides.
- It will be the option of the property developer if text is to be installed on both sides. At a minimum the same colors must be used on the front, sides and back.
- Copy shall not exceed 8" in height.
- Sign colors:
 - Burgundy – PMS 505
 - White – PMS 155
 - Tan – PMS 465
 - Green – PMS 343

TEMPORARY SIGN

EXHIBIT A-17e

Note: For illustration purposes only.



TEMPORARY LEASING SIGN
EXHIBIT A-17F

Note: For illustration purposes only.

RP 075-62-1014



Note: For illustration purposes only.

Lighting Standards

Outdoor Site / Area Luminance Levels

<u>Area</u>	<u>Foot/Candles (F/C)</u>
Buildings (office/industrial)	
Building Entries	5.0 max.
Pedestrian Areas	2.0 max.
Service Areas	10.0 max.
Building Surrounds	1.0 max.
Buildings (commercial and retail)	
Building facades	10.0 max
Building Entries	10.0 max
Walks / Colonnades	10.0 max
Building Surrounds	5.0 max
Service Stations	
Approach	1.5 max.
Driveway	1.5 max.
Building	20.0 max.
Pump Islands	20.0 max.
Service Areas	7.0 max.
Site Elements	
General Site Lighting	0.5 max.
Walkways	1.0 min.
Parking Areas (office/industrial)	2.0 avg., min. 0.5
Parking Areas (commercial/retail)	5.0 max.
Covered Parking	2.0

LIGHTING STANDARDS

APPENDIX B

Review Submittal Requirements

2101-52-1012
RP 075-52-1012

REVIEW SUBMITTAL REQUIREMENTS

APPENDIX C

Submittal Request Form
Concept Plan Submittal

The Concept Plan Consultation is an abbreviated plan consultation intended to identify and highlight specific site development issues and requirements and to assist the Applicant in understanding applicable planning and design concepts and Preliminary Plan submittal requirements. If a property has multiple buildings or multiple pad sites, development guidelines shall be submitted defining the common elements (brick, finishes/colors, light fixtures, landscaping, etc.) of the property that the buildings and the development of the pad sites shall follow. No official approval of submittals will be rendered at this submittal.

Submittal Requirements:

- ☐ Eight (8) conceptual site plans on 11" x 17" paper.
- ☐ Eight (8) color renderings showing elevations and details as necessary to illustrate design intent on 11" x 17" paper.
- ☐ Eight (8) three dimensional color view on 11" x 17" paper.
- ☐ Compact 'pdf' file.

Submittals should be delivered to:

Cinco Commercial Architecture Committee
3022 Windemere Park Lane
Katy, Texas 77494
(281) 599-0408

Submittal Request Form

Preliminary Plan Submittal and Fees

A Preliminary Plan review submittal is required for all proposed commercial development within Cinco Ranch. A non-refundable review fee will be charged to Applicants submitting plans for review. This fee will offset costs for architectural review services rendered by outside consultants. The Preliminary Plan review fee is for one (1) review only. *Additional reviews will be assessed a non-refundable \$250 per review.*

Submittal Requirements:

- ☐ Five (5) sets of the building site plans and elevations on 24" x 36" paper, drawn to scale, printed legibly, illustrating building setbacks, summary of parking requirements. Site plans shall illustrate building footprint, building setbacks, landscape setbacks, landscape buffers, landscape islands/areas, dumpster enclosures, property sidewalks, sidewalks in the LMA, light poles, flag poles, monument signs, shrub hedges, radii of curbs at entrances. Elevations shall include elevations of all sides of the building and dumpster enclosure and proposed architectural materials. Dumpster enclosures shall include a personnel door.
- ☐ Colored elevation rendering(s)
- ☐ Non-refundable review fee of \$1,000.00.
- ☐ Service Station submissions shall include plans for gas canopies and signage.
- ☐ Additional Preliminary Plan submittals will be assessed a non-refundable \$250 per review if the Applicant makes significant changes to the plan or the initial plan submittal does not incorporate design elements required by the guidelines.

Checks for Preliminary Plan review fees are to be made payable to:

Cinco Commercial Property Association, Inc.

Submittals should be delivered to:

Cinco Commercial Architecture Committee
3022 Windemere Park Lane
Katy, Texas 77494
(281) 599-0408

025-67-1013

One (1) set of plans will be returned with correspondence addressing the Committee's comments and one (1) set will be retained by the Committee.

Two (2) set of plans incorporating all changes per the Associations comments shall be resubmitted for **Final Approval of Preliminary Submittal**. One (1) set of plans will be returned marked as 'Approved'.

Submittal Request Form
Final Plan Submittal and Fees

A Final Plan review submittal is required for all proposed commercial development within Cinco Ranch. A non-refundable review fee will be charged to Applicants submitting plans for review. This fee will offset the costs for architectural review services rendered by outside consultants. The Final Plan review fee is for two (2) reviews only. *Additional reviews will be assessed a non-refundable \$250.00 per review.*

Submittal Requirements:

- ☐ Four (4) full sets of plans on 24" x 36" paper must be submitted, including approved preliminary elevations, site plot plans, floor plans, building cross-sections; drainage and grading plans (existing and proposed grades throughout site), landscape plans, irrigation, sign criteria (building mounted and monument), parking and building lighting photometrics, mechanical/electrical/plumbing plans, and other plans necessary to illustrate how requirements will be fulfilled. Design/Build plans must be comparable in content and detail to construction bid documents
- ☐ Non-refundable review fee of \$1,500.00.
- ☐ Samples of exterior building materials mounted on board (materials board)
- ☐ Color board (with a 4" x 6" labeled sample of each color used)
- ☐ Summary of square footage to satisfy the parking standards
- ☐ Legal closing documents showing acreage, buyer/seller, and closing date must be provided

Checks for review fees are to be made payable to:

Cinco Commercial Property Association, Inc.

Submittals should be delivered to:

Cinco Commercial Architecture Committee
3022 Windemere Park Lane
Katy, Texas 77494
(281) 599-0408

One (1) set of plans will be returned with a letter addressing the Committee's comments and one (1) set will be retained by the Committee.

Two (2) set of plans incorporating all changes per the Associations comments shall be resubmitted for **Final Approval of Issue for Construction**. One (1) set of plans will be returned marked as 'Approved'.

**Cinco Ranch Supplemental
Development Guidelines**
For the Village Center



**The Cinco Associations
4025 S. Mason Road
Katy, Texas 77450**

MASTER PLAN DEVELOPMENT

I. Introduction and Purpose

The Cinco Associations strives to develop properties that stand out and make a statement about the standard of living in Cinco. These properties must meet changing consumer expectations as well as public regulations. This document is to provide a framework for achieving a visually and functionally controlled, harmonious environment within this project development. This supplemental development guideline is to present a simple, unified setting for each facility throughout the development. The landscape design standards, are Cinco standards.

These guidelines are not intended to be an absolute design regulation nor presume to predict all possible site specific conditions.

Site Requirements

- A. **Curb Cut Entrance:** Pave Stone www.pavestone.com
 Pavers: Product Design: Holland-Stone
 Installation Pattern: Herringbone Pattern 45%
 Holland-Stone: Soldier Coarse Around Paver Field
 Standard Paver Color: Old Town Blend
 For soldier & Herringbone
 *Width of driveway and 20' from property line.
- B. **Handicap Ramps:** Contrasting Color
 Manufacturer: Scofield
 Color A26-Brick Red
- C. **Architectural Site Lighting:**
 Manufacturer: Antique Street Lamps, Inc.
 Luminaire Base: "A", Color, Black
 Poles: Peachtree Series.
 Pole Number: PXPTFB18-10-T4-ANBK
 Model #: A25A175MMOG-ACT480ANBK
 Height: 10'
 Finish: Smooth
 Shaft: Tapered. 4"-3"
 Finish: ANBK. (Black).
 Lighting Metal Halide (175w) Clear
 *Base See Detail "A"
- D. **Overall Parking Surface Lighting:**
 Manufacturer: Wide Lite
 Series Type: EAL-Post Top Mount.
 Color: Black (TBK)
 Lighting: (450w) Metal Halide
 Wide Lite#: EALP 450-5V-480-TBK-PTRD
 Valmont Pole #: (30' Pole) DS210-800A300-P9 (23/8"Ø D x 4½" Tall) FP/GV-BK-FBC
 Pole: (Black)
 * Base See Detail "B"

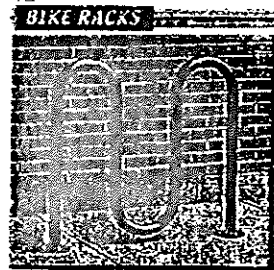
E. Handicap Sign Standard:

*See Detail "C"

F. Bike Rack:

Manufacturer: Fairweather
Bike Capacity: (5-13)
Amount: Inbed
Color: Black

*See Detail "D"



G. Trash Receptacles:

Manufacturer: Fairweather
Model: TR-12.24
Color: Black

Flared Top (Slim)



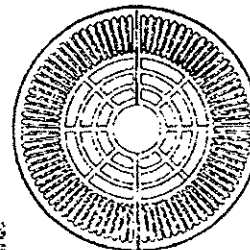
H. Bollards:

Manufacturer: Fairweather
Model: CB-B-32"
Color: Black



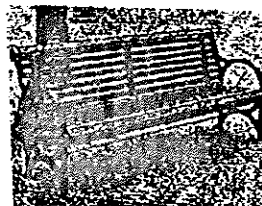
J. Tree Grates:

Manufacturer: Fairweather
RN Series: RN 48
Color: Black



K. Benches:

Manufacturer: Fairweather
Traditional Series
Model: TD-5



L. Wayfinding Graphics:

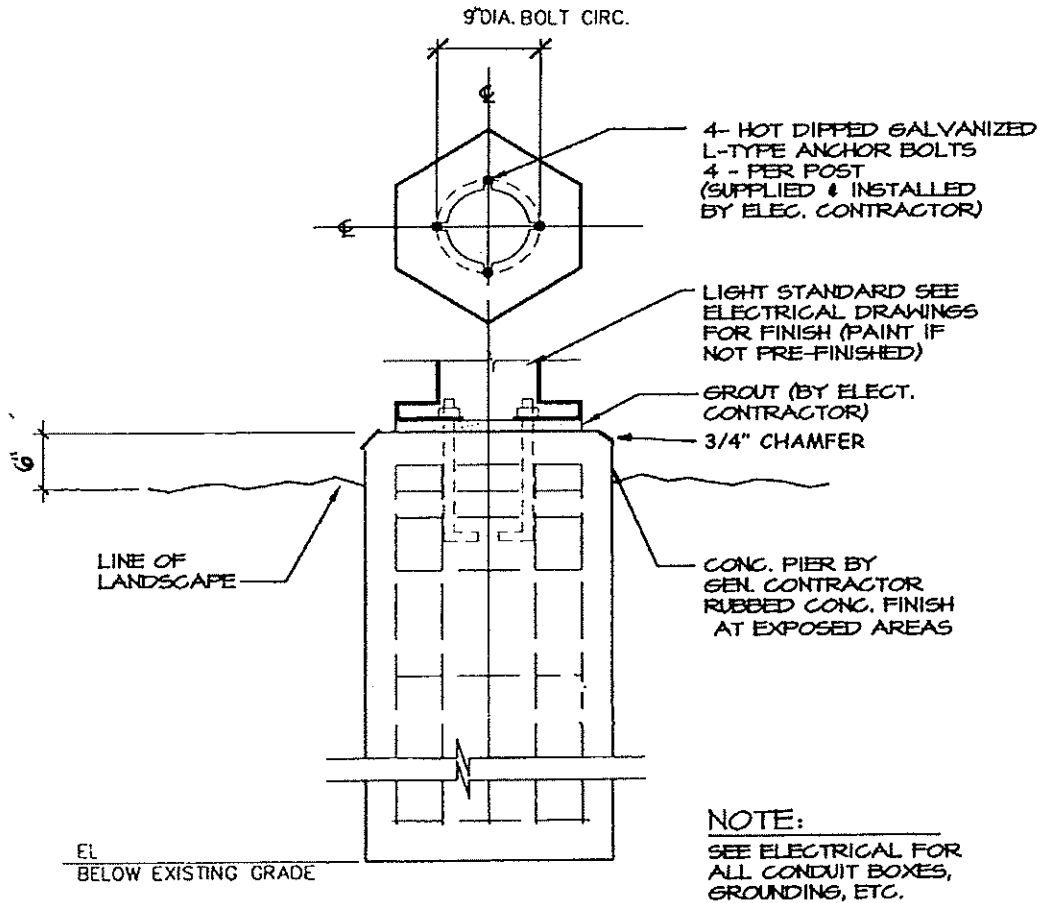
Stop Signs *See Detail "G"
Yield *See Detail "G"
Stop Bars *See Detail "G"
Monument Signage: *See Detail "E"

M. Lake Walks:

*See Detail "F"

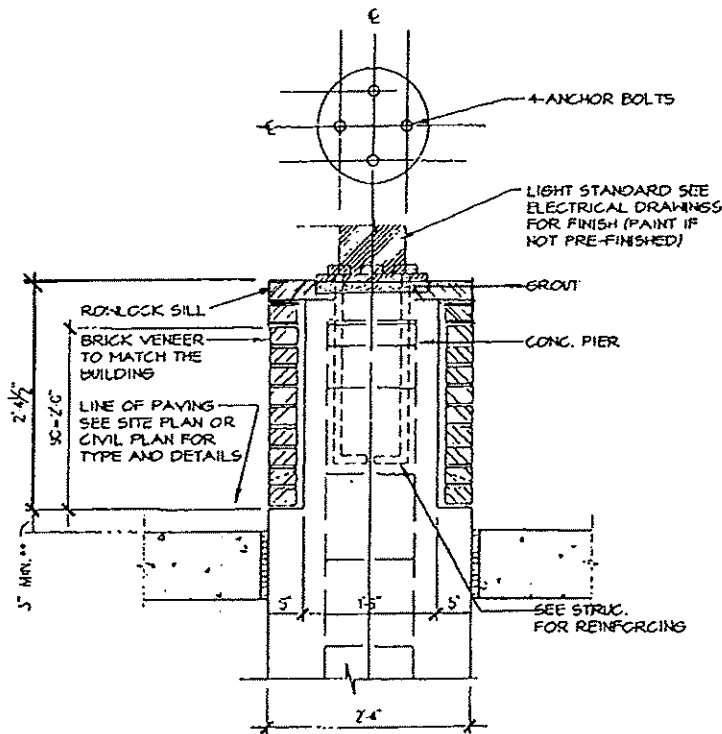
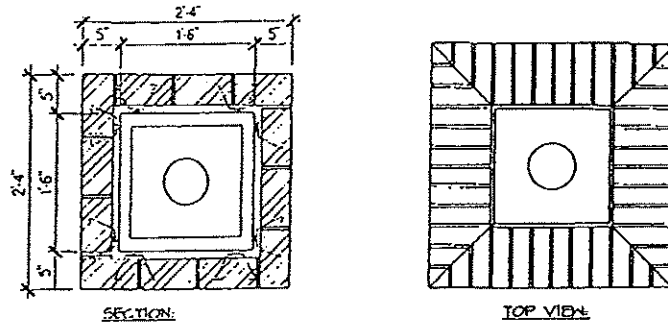
RECORDERS MEMORANDUM
This page is not satisfactory for photographic recordation due to carbon or photocopy, discolored paper, etc. All block-outs, additions and changes were presented at time instrument was filed and recorded.

RP 075-67-1025



LIGHT STANDARD DETAIL

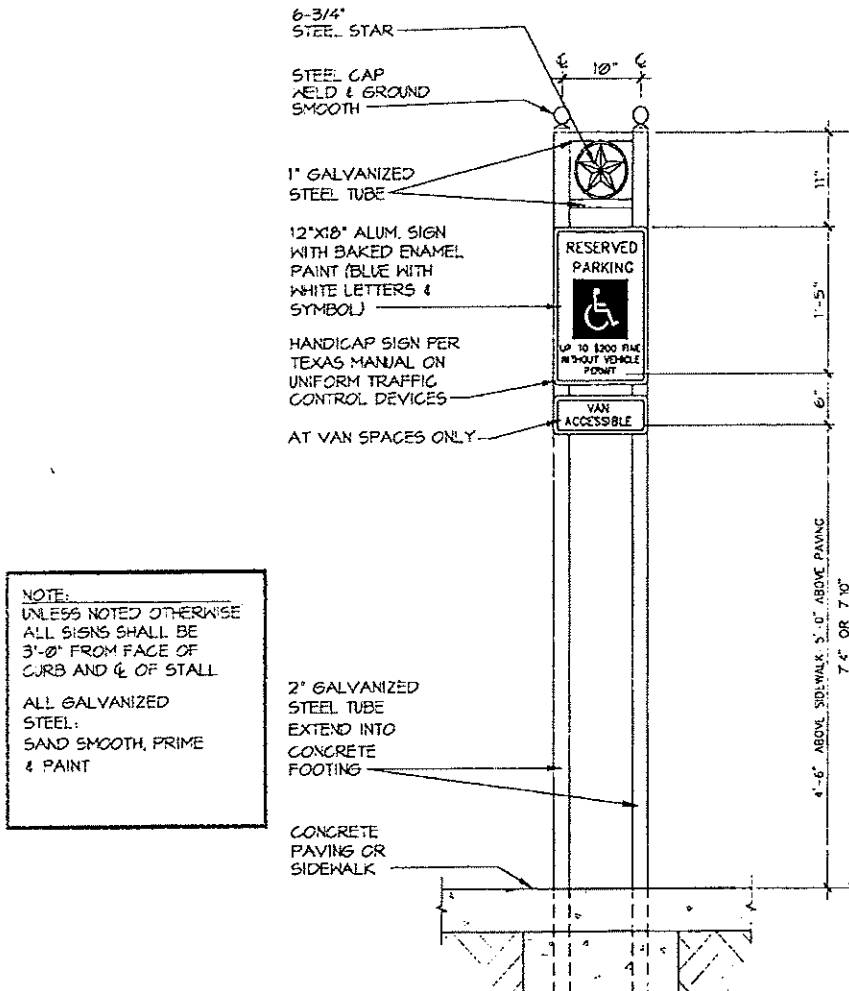
SCALE: 3/4" = 1'-0"



LIGHT STANDARD DETAIL



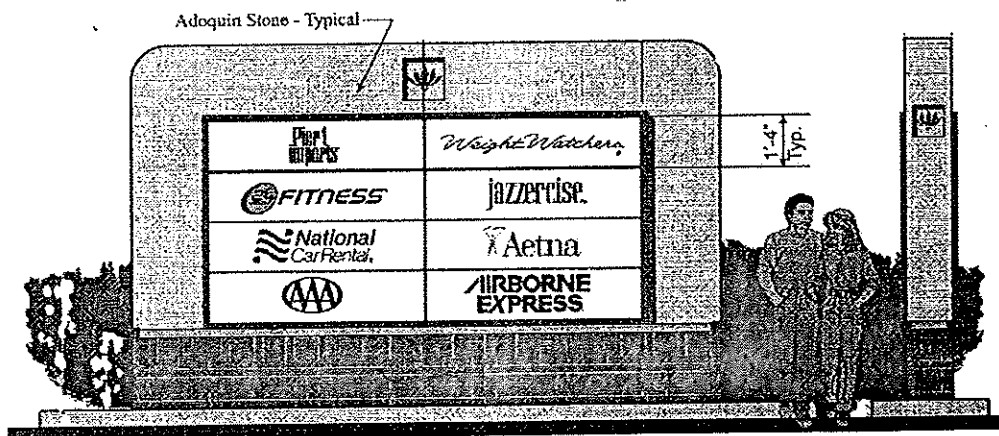
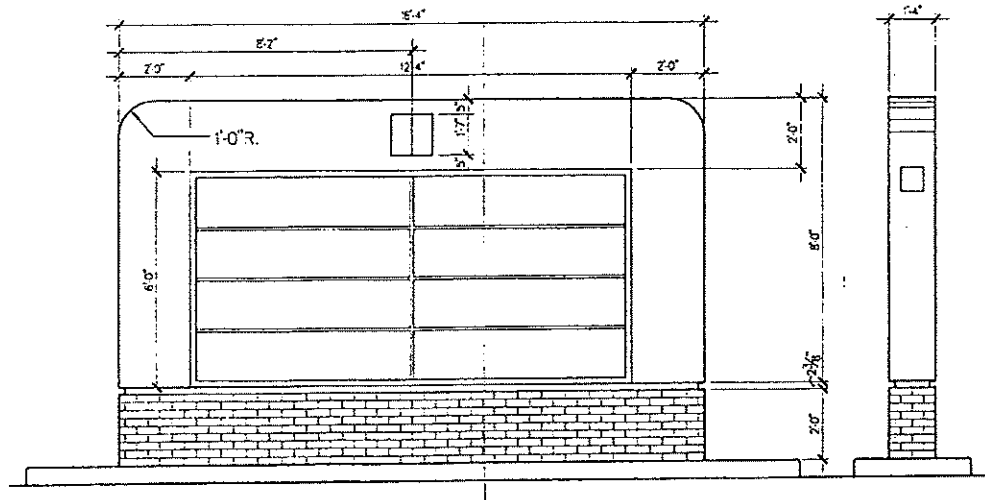
SCALE: 3/4" = 1'-0"



PARKING SIGN DETAIL

SCALE: 3/4" = 1'-0"

AS PER ORIGINAL



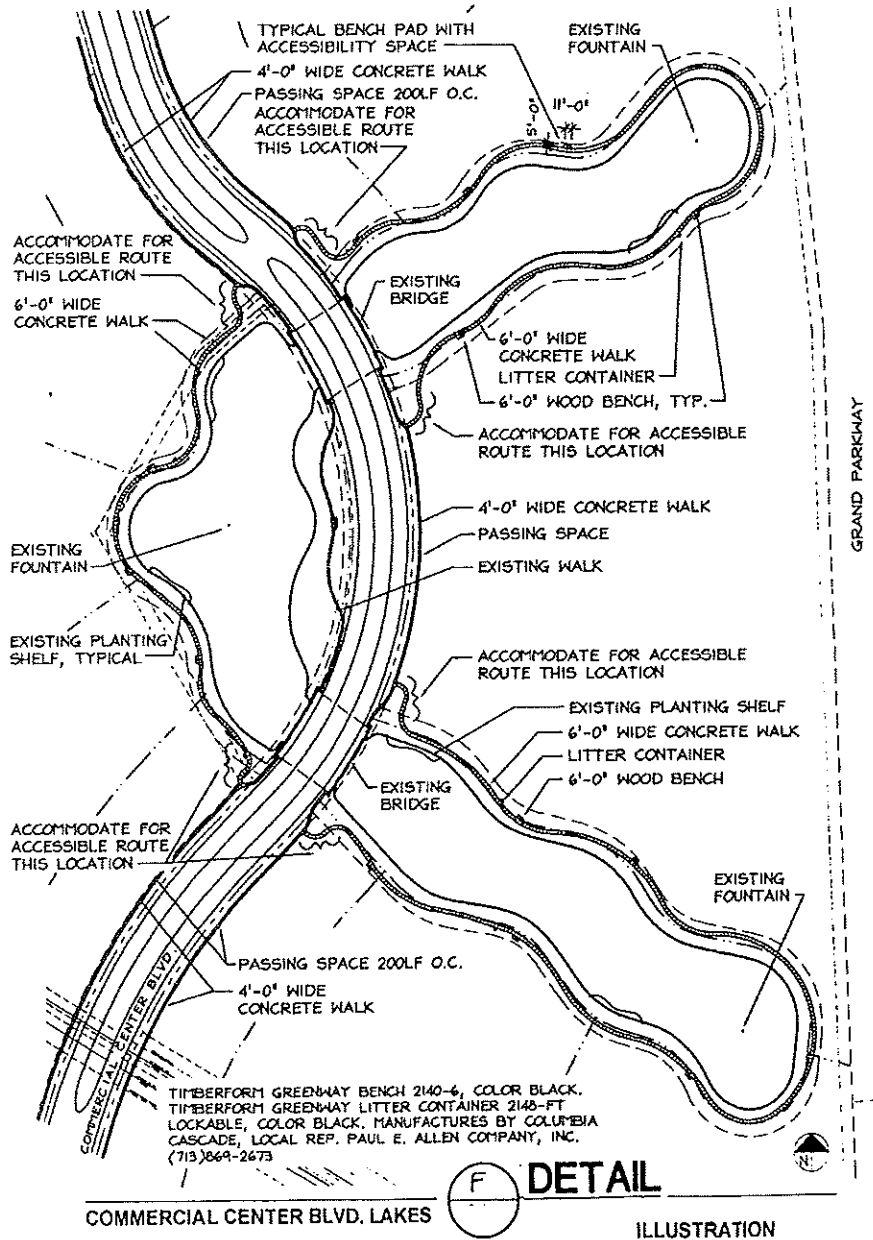
Multi-Tenant Monument Sign for



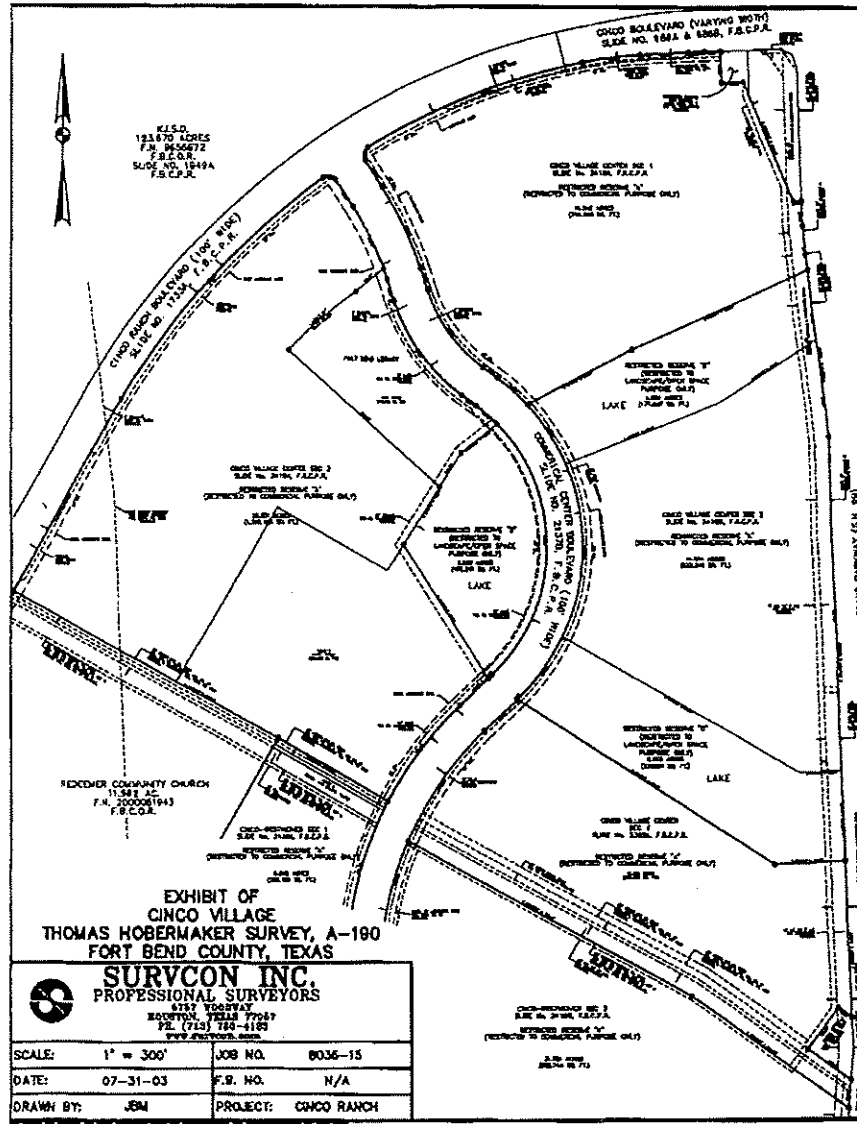
THE CINCO ASSOCIATIONS
RESIDENTIAL ♦ LANDSCAPE MAINTENANCE ♦ COMMERCIAL

 **DETAIL**

RP 075-67-1030



RF 075-67-1031



ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW, THE STATE OF TEXAS, COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly RECORDED, in the Official Public Records of Real Property of Harris County, Texas

JAN 12 2011



Stan Stewart
 COUNTY CLERK
 HARRIS COUNTY, TEXAS

RECORDER'S MEMORANDUM:
 At the time of recordation, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

RP 075-67-1033

Ret:

HOOVER SLOVACEK LLP
A REGISTERED LIMITED LIABILITY PARTNERSHIP
ATTORNEYS AT LAW
P.O. BOX 4547
HOUSTON, TEXAS 77210

FILED AND RECORDED

OFFICIAL PUBLIC RECORDS

Dianne Wilson

2011 Jan 25 03:37 PM

2011008601

RMM \$403.00

Dianne Wilson COUNTY CLERK

FT BEND COUNTY TEXAS

9918

99

None

M



CERT

2011008601

100 PGS

20110018095
01/12/2011 RP1 \$408.00

SECRETARY'S CERTIFICATE

Cinco Commercial Property Association, Inc.

lee

I, the undersigned, do hereby certify:

(1) I am the duly elected Secretary of Cinco Commercial Property Association, Inc., a Texas non-profit corporation (the "Association"), and,

(2) Attached hereto is a true and correct copy of the Cinco Ranch Commercial Design Guidelines Revised January 12, 2011, adopted by the Association.

IN WITNESS WHEREOF, I have hereunto subscribed my name on this the 5th day of January, 2011.

Cinco Commercial Property Association, Inc.

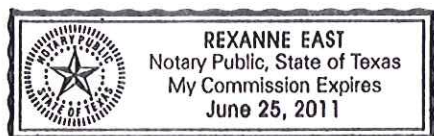
162

Cindy Keefe
Cindy Keefe, Secretary

THE STATE OF TEXAS §
 Fort Bend §
COUNTY OF ~~HARRIS~~ §

This instrument was acknowledged on this the 5 day of January, 2011 by Cindy Keefe, Secretary of Cinco Commercial Property Association, Inc., a Texas non-profit corporation.

AS PER ORIGINAL



Rexanne East
Notary Public, State of Texas

When Recorded, Return to:
Hoover Slovacek LLP
P. O. Box 4547
Houston, TX 77210-4547

✓

FILE FOR RECORD
8:00 AM

JAN 12 2011

Stan Stewart
County Clerk, Harris County, Texas

SECC-29-520-11