

HILLSIDE TOWNHOMES

PREPARED FOR:
LAVALLEE CONSTRUCTION, LLC

**RIVERSIDE DRIVE AND AZUD ROAD
 THOMPSON, CONNECTICUT**

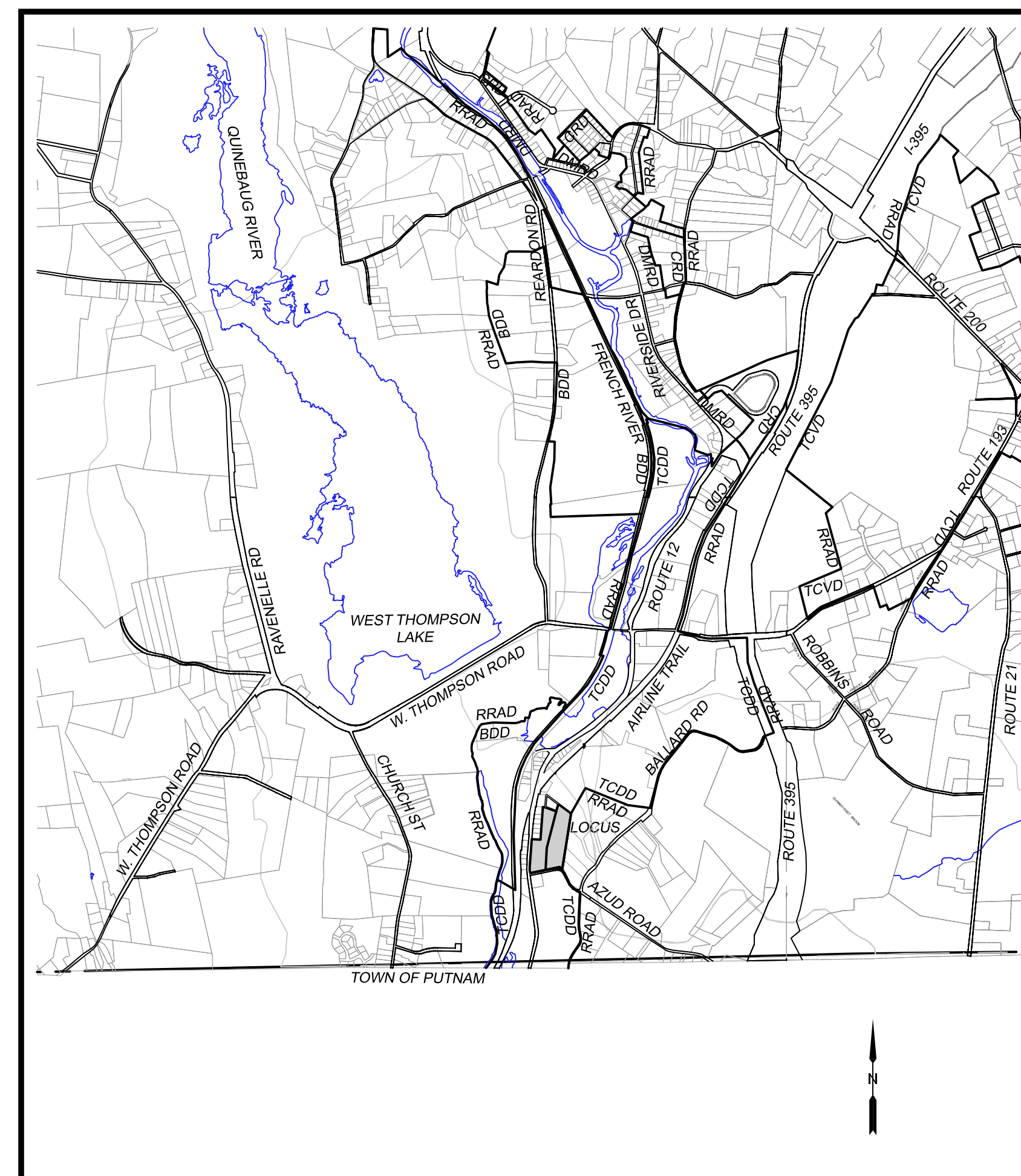
**DATED: JANUARY 31, 2023
 REVISED THROUGH 5-1-23**

PREPARED FOR:
 LAVALLEE CONSTRUCTION, LLC
 83 RICH ROAD
 NORTH GROSVENORDALE, CT 06255

DIRECTIONS TO SITE FROM TOWN HALL:
 HEAD SOUTH ON RIVERSIDE DRIVE (ROUTE 12).
 SITE IS ON THE LEFT JUST BEFORE AZUD ROAD.

INDEX OF DRAWINGS

- 1 COVER AND LOCATION MAP
- 2 VICINITY AND INDEX PLAN
- 3 PROPERTY SURVEY
- 4 40 SCALE UTILITY AND DRIVEWAY LAYOUT PLAN
- 5 PROFILE SHEET
- 6 PHASES 1 & 2 SITE DEVELOPMENT PLAN
- 7 PHASE 3 SITE DEVELOPMENT PLAN
- 8 PHASE 4 & 5 SITE DEVELOPMENT PLAN
- 9 CONSTRUCTION DETAILS - SEWER AND MISC.
- 10 CONSTRUCTION DETAILS - E & S
- 11 CONSTRUCTION DETAILS - DRAINAGE



LOCATION MAP

1" = 2000'

TABLE OF ZONING COMPLIANCE

ZONE: THOMPSON CORRIDOR DEVELOPMENT DISTRICT (TCDD)

ITEM	REQUIRED*	PROPOSED
FRONTAGE	100'	1153' ±
LOT COVERAGE	<75%	24%
FRONT SETBACK	20'	25' ±
SIDE SETBACK	25'	65' ±
REAR SETBACK	25'	269' ±
LOT SIZE	40,000 SF	558,445 SF

*MULTI-FAMILY, THREE OR MORE UNITS

PERMIT APPROVAL BY THE THOMPSON
 INLAND WETLAND COMMISSION

 CHAIRMAN DATE

SPECIAL PERMIT APPROVAL BY THE THOMPSON
 PLANNING AND ZONING COMMISSION

 CHAIRMAN DATE

J & D CIVIL ENGINEERS, LLC

**401 RAVENELLE ROAD
 THOMPSON, CT 06255**

JDCIVILENGINEERS.COM
 860-923-2920

SURVEY NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996.

SURVEY TYPE: COMPILATION PLAN
 PURPOSE: TO DEPICT NEARBY PROPERTIES AND STRUCTURES.
 HORIZONTAL ACCURACY: CLASS D

THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.

2. REFERENCE PLANS:
 (A) "SUBDIVISION PLAN PREPARED FOR JASON LAVALLEE, RIVERSIDE DRIVE, THOMPSON CT" ON FILE AS MAP #1562.

(B) MAPGEO GIS WEBSITE, 2019 AERIAL PHOTOGRAPHY

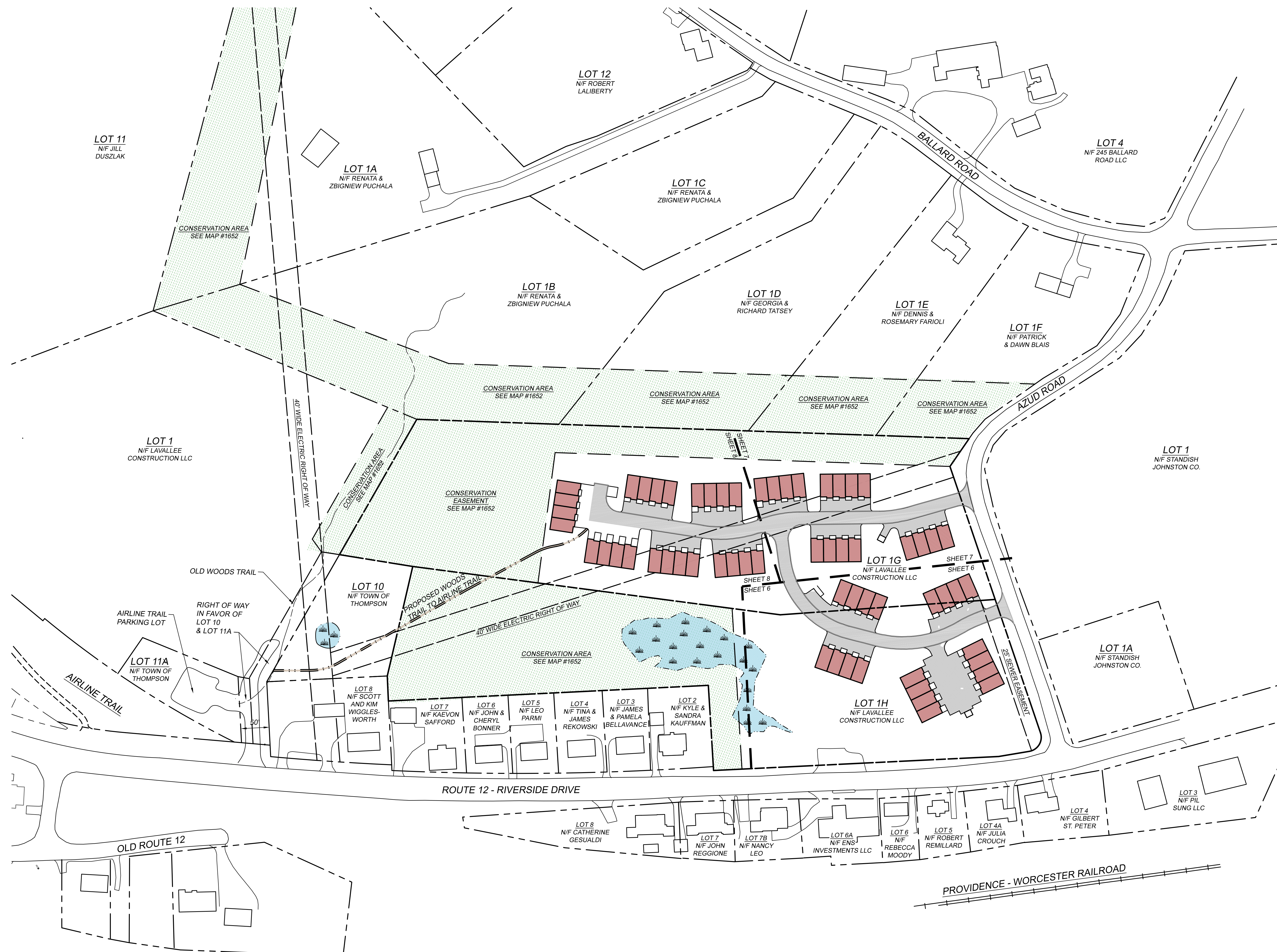
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/10/23 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE © 2023 J&D CIVIL ENGINEERS, LLC

LEGEND

- SUBJECT PROPERTY LINE
- ABUTTING PROPERTY LINE
- EASEMENT LINE
- WETLAND SOILS



VICINITY PLAN & INDEX MAP
 PREPARED FOR
LAVALLEE CONSTRUCTION LLC
 RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT
 MAP 67 BLOCK 53 LOTS 1G AND 1H

J&D CIVIL ENGINEERS, LLC
 401 RAVENELLE ROAD
 N. GROSVENORDALE, CT 06255
 860-923-2920

DESIGNED: JJB	REVISIONS:
CHECKED: DRB	2-15-23, 3-28-23,
	5-1-23
JOB NO: 22203	DATE: JANUARY 2023
SCALE: 1" = 80'	SHEET: 2

22203 Lavallee vicinity map 2023-05-01 8125.dwg Vicinity Map 5/1/2023 13:01:52

REFERENCE PLANS

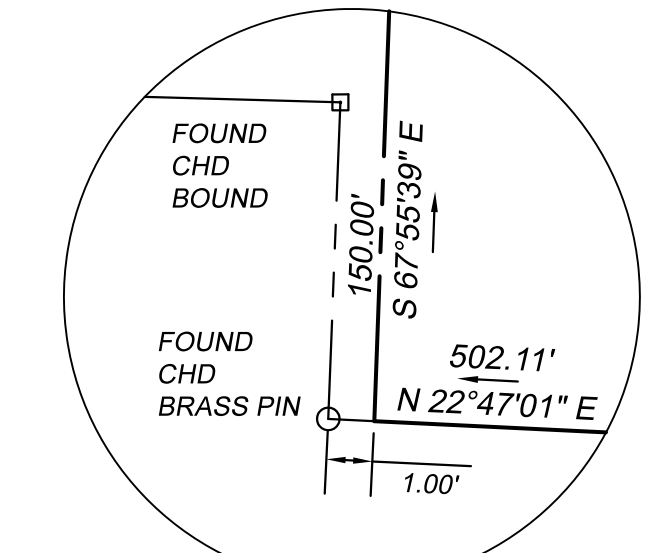
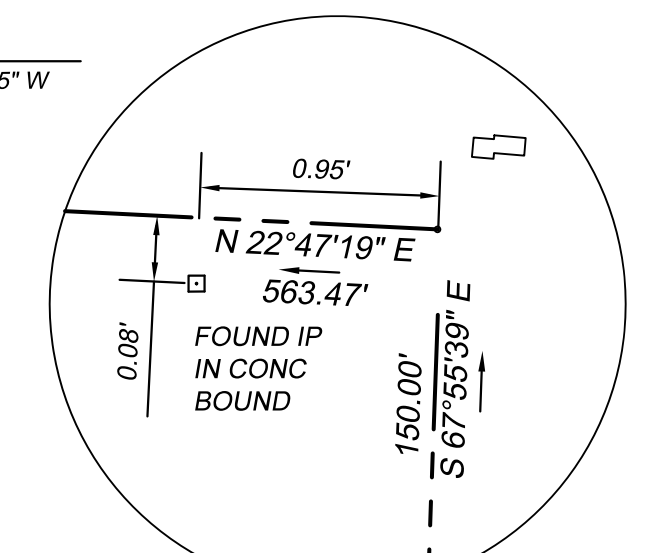
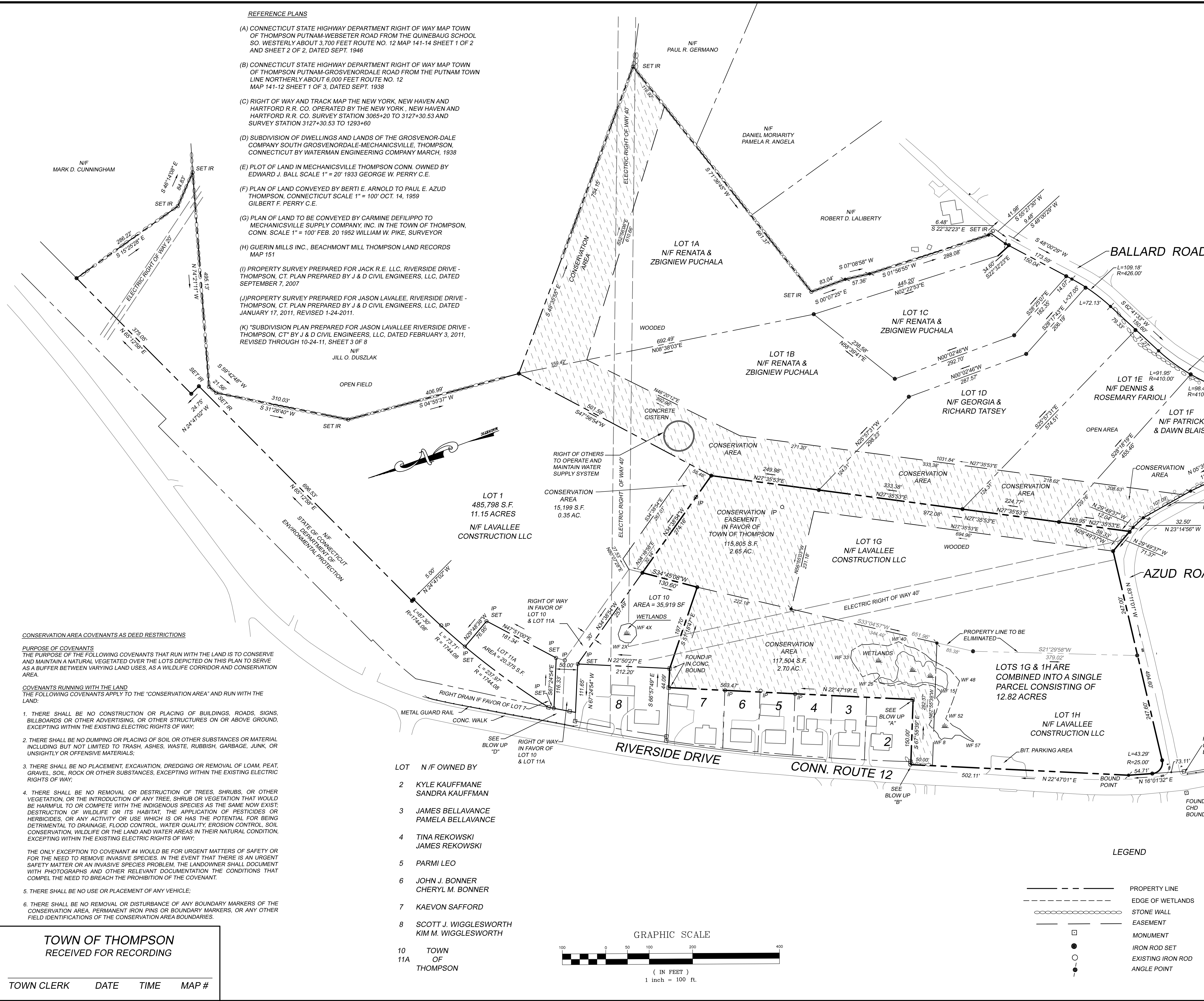
- (A) CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF THOMPSON PUTNAM-WEBSETER ROAD FROM THE QUINEBAUG SCHOOL SQ. WESTERLY ABOUT 3,700 FEET ROUTE NO. 12 MAP 141-14 SHEET 1 OF 2 AND SHEET 2 OF 2, DATED SEPT. 1946
- (B) CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF THOMPSON PUTNAM-GROSVENORDALE ROAD FROM THE PUTNAM TOWN LINE NORTHERLY ABOUT 6,000 FEET ROUTE NO. 12 MAP 141-12 SHEET 1 OF 3, DATED SEPT. 1938
- (C) RIGHT OF WAY AND TRACK MAP THE NEW YORK, NEW HAVEN AND HARTFORD R.R. CO. OPERATED BY THE NEW YORK, NEW HAVEN AND HARTFORD R.R. CO. SURVEY STATION 3065+20 TO 3127+30.53 AND SURVEY STATION 3127+30.53 TO 1293+60
- (D) SUBDIVISION OF DWELLINGS AND LANDS OF THE GROSVENOR-DALE COMPANY SOUTH GROSVENORDALE-MECHANICSVILLE, THOMPSON, CONNECTICUT BY WATERMAN ENGINEERING COMPANY MARCH, 1938
- (E) PLOT OF LAND IN MECHANICSVILLE THOMPSON CONN. OWNED BY EDWARD J. BALL SCALE 1" = 20' 1933 GEORGE W. PERRY C.E.
- (F) PLAN OF LAND CONVEYED BY BERTI E. ARNOLD TO PAUL E. AZUD THOMPSON, CONNECTICUT SCALE 1" = 100' OCT. 14, 1959 GILBERT F. PERRY C.E.
- (G) PLAN OF LAND TO BE CONVEYED BY CARMINE DEFILIPPO TO MECHANICSVILLE SUPPLY COMPANY, INC. IN THE TOWN OF THOMPSON, CONN. SCALE 1" = 100' FEB. 20 1952 WILLIAM W. PIKE, SURVEYOR
- (H) GUERIN MILLS INC., BEACHTON MILL THOMPSON LAND RECORDS MAP 151
- (I) PROPERTY SURVEY PREPARED FOR JACK R.E. LLC, RIVERSIDE DRIVE - THOMPSON, CT. PLAN PREPARED BY J & D CIVIL ENGINEERS, LLC, DATED SEPTEMBER 7, 2007
- (J) PROPERTY SURVEY PREPARED FOR JASON LAVALLEE, RIVERSIDE DRIVE - THOMPSON, CT. PLAN PREPARED BY J & D CIVIL ENGINEERS, LLC, DATED JANUARY 17, 2011, REVISED 1-24-2011.
- (K) "SUBDIVISION PLAN PREPARED FOR JASON LAVALLEE RIVERSIDE DRIVE - THOMPSON, CT" BY J & D CIVIL ENGINEERS, LLC, DATED FEBRUARY 3, 2011, REVISED THROUGH 10-24-11, SHEET 3 OF 8

NOTES

- 1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARD FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- SURVEY TYPE: PROPERTY SURVEY
- BOUNDARY DETERMINATION CATEGORY: PROPERTY BOUNDARY LINES DEPICTED HEREON CONTIGUOUS WITH PROPERTY BOUNDARY LINES AS DEPICTED ON THE SURVEY REFERENCE PLANS LISTED HEREON ARE A "RESURVEY". THE REMAINDER OF THE PROPERTY BOUNDARY LINES DEPICTED HEREON ARE AN "ORIGINAL SURVEY".
- PURPOSE: TO COMBINE LOTS 1G AND 1H.
- HORIZONTAL ACCURACY: CLASS A-2
- 2. GENERAL NOTES:
- ELECTRIC RIGHT OF WAYS DEPICTED HEREON ARE APPROXIMATE LOCATION THE PROPERTY DEPICTED HEREON IS SUBJECT TO RIGHTS OF RECORD
- TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DENNIS R. BLANCHETTE DATE 12/07/2023 LICENSE NUMBER 4100

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE



PROPERTY IS NOT WITHIN 100 YEAR FLOOD ZONE PER FIRM MAP 090117 0014 B DATED: NOV. 1, 1984

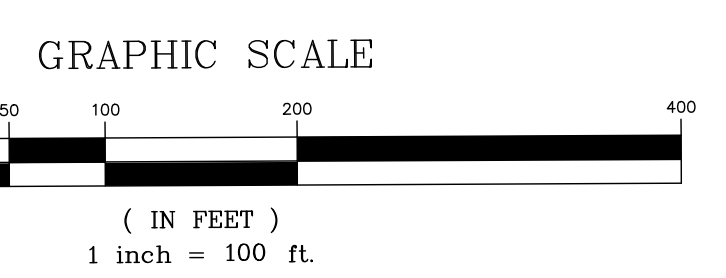
**PROPERTY SURVEY MAP
PREPARED FOR
LAVALLEE CONSTRUCTION, LLC
RIVERSIDE DRIVE - THOMPSON, CT**

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: DRB	REVISIONS:
CHECKED: JJB	
JOB NO: 22203	DATE: JANUARY 2023
SCALE: 1" = 100'	SHEET: 3

LEGEND

- PROPERTY LINE
- - - EDGE OF WETLANDS
- ○ ○ ○ ○ STONE WALL
- EASEMENT
- MONUMENT
- IRON ROD SET
- EXISTING IRON ROD
- ∠ ANGLE POINT



- | | |
|-------|--|
| LOT 1 | N/F OWNED BY |
| 2 | KYLE KAUFFMANE
SANDRA KAUFFMAN |
| 3 | JAMES BELLAVANCE
PAMELA BELLAVANCE |
| 4 | TINA REKOWSKI
JAMES REKOWSKI |
| 5 | PARMI LEO |
| 6 | JOHN J. BONNER
KHERYL M. BONNER |
| 7 | KAEVON SAFFORD |
| 8 | SCOTT J. WIGGLESWORTH
KIM M. WIGGLESWORTH |
| 10 | TOWN OF THOMPSON |
| 11A | TOWN OF THOMPSON |

CONSERVATION AREA COVENANTS AS DEED RESTRICTIONS

PURPOSE OF COVENANTS
THE PURPOSE OF THE FOLLOWING COVENANTS THAT RUN WITH THE LAND IS TO CONSERVE AND MAINTAIN A NATURAL VEGETATED OVER THE LOTS DEPICTED ON THIS PLAN TO SERVE AS A BUFFER BETWEEN VARYING LAND USES, AS A WILDLIFE CORRIDOR AND CONSERVATION AREA.

COVENANTS RUNNING WITH THE LAND
THE FOLLOWING COVENANTS APPLY TO THE "CONSERVATION AREA" AND RUN WITH THE LAND:

- THERE SHALL BE NO CONSTRUCTION OR PLACING OF BUILDINGS, ROADS, SIGNS, BILLBOARDS OR OTHER ADVERTISING, OR OTHER STRUCTURES ON OR ABOVE GROUND, EXCEPT WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;
- THERE SHALL BE NO DUMPING OR PLACING OF SOIL OR OTHER SUBSTANCES OR MATERIAL INCLUDING BUT NOT LIMITED TO TRASH, ASHES, WASTE, RUBBISH, GARBAGE, JUNK, OR UNSIGHTLY OR OFFENSIVE MATERIALS;
- THERE SHALL BE NO PLACEMENT, EXCAVATION, DREDGING OR REMOVAL OF LOAM, PEAT, GRAVEL, SOIL, ROCK OR OTHER SUBSTANCES, EXCEPT WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;
- THERE SHALL BE NO REMOVAL OR DESTRUCTION OF TREES, SHRUBS, OR OTHER VEGETATION, OR THE INTRODUCTION OF ANY TREE, SHRUB OR VEGETATION THAT WOULD BE HARMFUL TO OR COMPETE WITH THE INDIGENOUS SPECIES AS THE SAME NOW EXIST; DESTRUCTION OF WILDLIFE OR ITS HABITAT, THE APPLICATION OF PESTICIDES OR HERBICIDES, OR ANY ACTIVITY OR USE WHICH IS OR HAS THE POTENTIAL FOR BEING DETRIMENTAL TO DRAINAGE, FLOOD CONTROL, WATER QUALITY, EROSION CONTROL, SOIL CONSERVATION, WILDLIFE OR THE LAND AND WATER AREAS IN THEIR NATURAL CONDITION, EXCEPT WITHIN THE EXISTING ELECTRIC RIGHTS OF WAY;

THE ONLY EXCEPTION TO COVENANT #4 WOULD BE FOR URGENT MATTERS OF SAFETY OR FOR THE NEED TO REMOVE INVASIVE SPECIES. IN THE EVENT THAT THERE IS AN URGENT SAFETY MATTER OR AN INVASIVE SPECIES PROBLEM, THE LANDOWNER SHALL DOCUMENT WITH PHOTOGRAPHS AND OTHER RELEVANT DOCUMENTATION THE CONDITIONS THAT COMPEL THE NEED TO BREACH THE PROHIBITION OF THE COVENANT.

- THERE SHALL BE NO USE OR PLACEMENT OF ANY VEHICLE;
- THERE SHALL BE NO REMOVAL OR DISTURBANCE OF ANY BOUNDARY MARKERS OF THE CONSERVATION AREA, PERMANENT IRON PINS OR BOUNDARY MARKERS, OR ANY OTHER FIELD IDENTIFICATIONS OF THE CONSERVATION AREA BOUNDARIES.

TOWN OF THOMPSON
RECEIVED FOR RECORDING

TOWN CLERK DATE TIME MAP #

22203 boundary line adjust sht 3.dwg SHEET 3 1/30/2023 15:29:43



EVERSOURCE WILL MODIFY THE EXISTING PUTNAM ELECTRIC CO. ELECTRIC R.O.W. TO PERMIT UNDERGROUND UTILITIES AND WILL ACQUIRE A NEW ELECTRIC EASEMENT ALONG PROPOSED ROADS

PROPOSED WOODS TRAIL TO AIRLINE TRAIL SEE SHEET 2 FOR CONTINUATION

ASSESSORS LOTS 1H AND 1G
AREA = 558,445 S.F.
(12.82 ACRES)

LEGEND

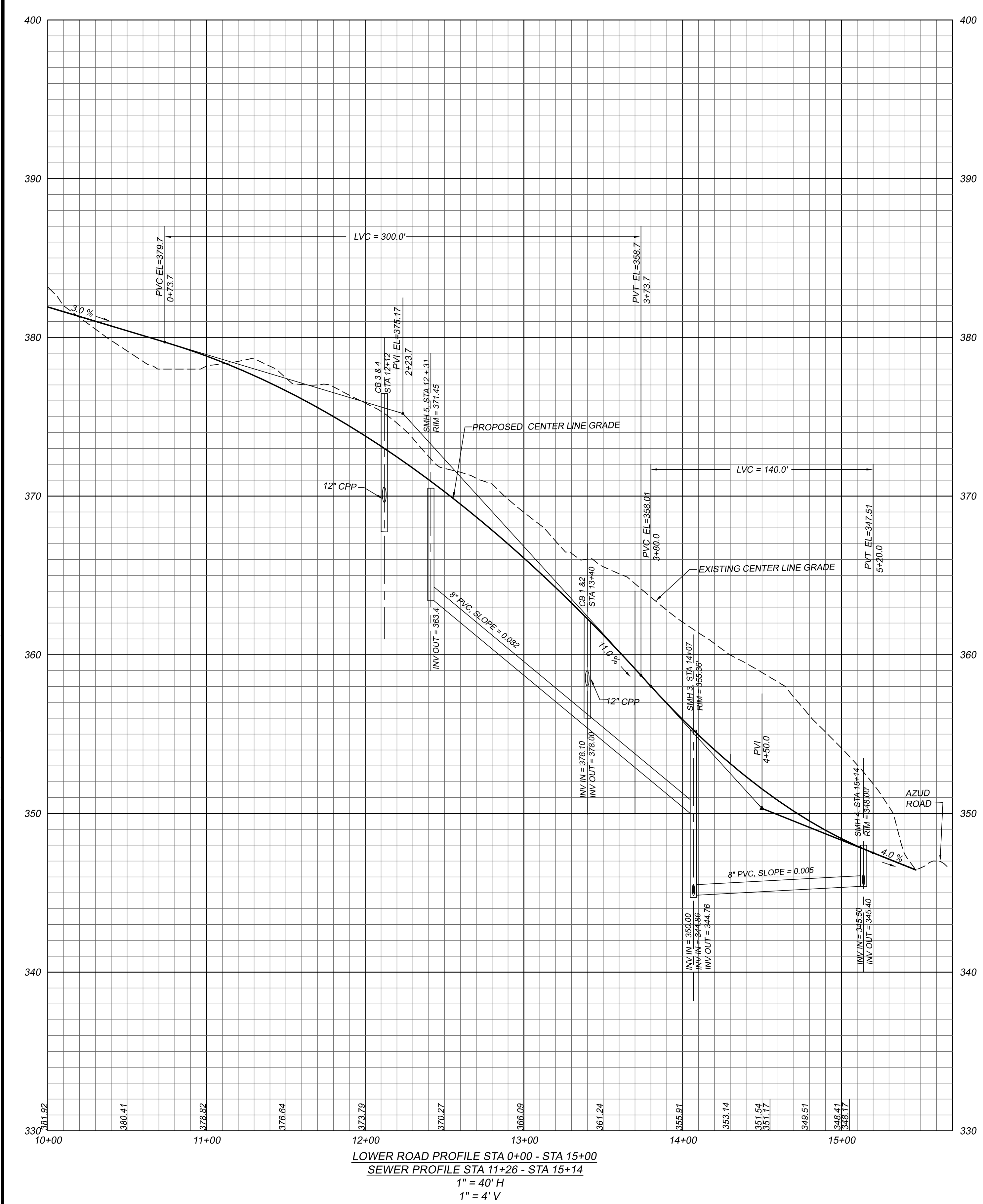
	PROPERTY LINE
	EDGE OF WETLANDS
	STONEWALL
	UTILITIES
	GUARDRAIL
	UPLAND REVIEW AREA
	EXISTING DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED SEWER
	EXISTING SEWER
	EXISTING UTILITY POLE
	EXISTING SIGN
	PROPOSED WATER LINE

UTILITY & ROAD LAYOUT PLAN
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

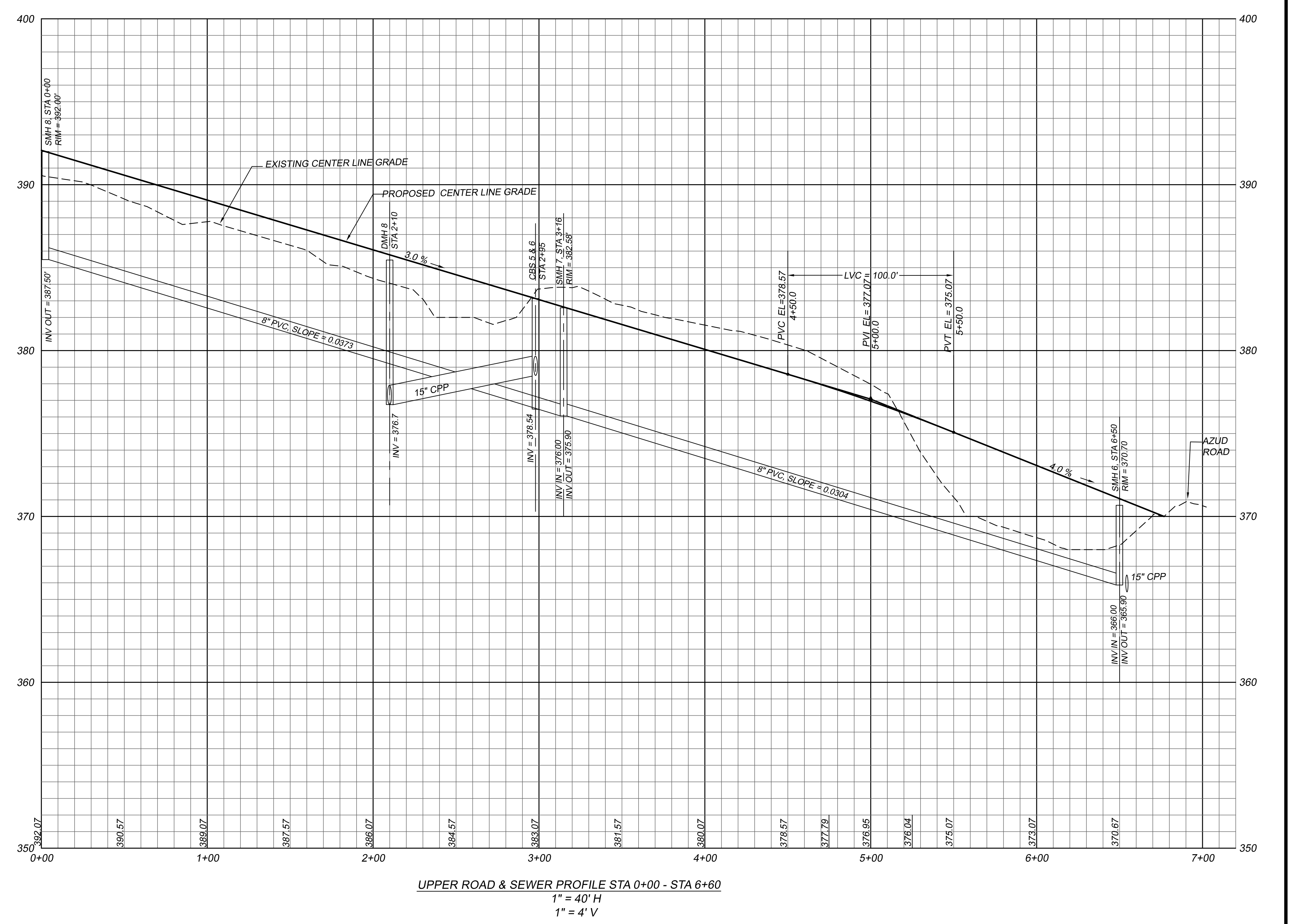
J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB	REVISIONS:
CHECKED: DRB	3-2-23, 3-28-23, 4-10-23, 5-1-23
JOB NO: 22203	DATE: JANUARY 31, 2023
SCALE: 1" = 40'	SHEET: 4

SEE CT DOT ENCROACHMENT PERMIT PLAN FOR WORK IN STATE R.O.W.



LOWER ROAD PROFILE STA 0+00 - STA 15+00
SEWER PROFILE STA 11+26 - STA 15+14
1" = 40' H
1" = 4' V



UPPER ROAD & SEWER PROFILE STA 0+00 - STA 6+60
1" = 40' H
1" = 4' V

DRIVEWAY PROFILES
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB	REVISIONS:
CHECKED: DRB	3-28-23
JOB NO: 22203	DATE: JANUARY 31, 2023
SCALE: 1" = 40'	SHEET: 5

22203 Laveille final 2023-05-01.dwg PROFILE SHIT 5 5/16/2023 08:38:30

LEGEND

- BUILDING SETBACK LINE
- PROPERTY LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED PHASE (TEMP) CONTOUR LINE
- EDGE OF WETLANDS
- EROSION CONTROL DEVICES
- TEST PIT
- STONEWALL
- UTILITIES
- GUARDRAIL
- UPLAND REVIEW AREA
- EXISTING DRAINAGE
- PROPOSED DRAINAGE
- PROPOSED SEWER
- EXISTING SEWER
- EXISTING UTILITY POLE
- SIGN
- LIMIT OF DISTURBANCE (L.O.D.)
- PROPOSED WATER LINE

SEE SHEETS 4&5 FOR DRAINAGE & SEWER ELEVATIONS AND NOTES

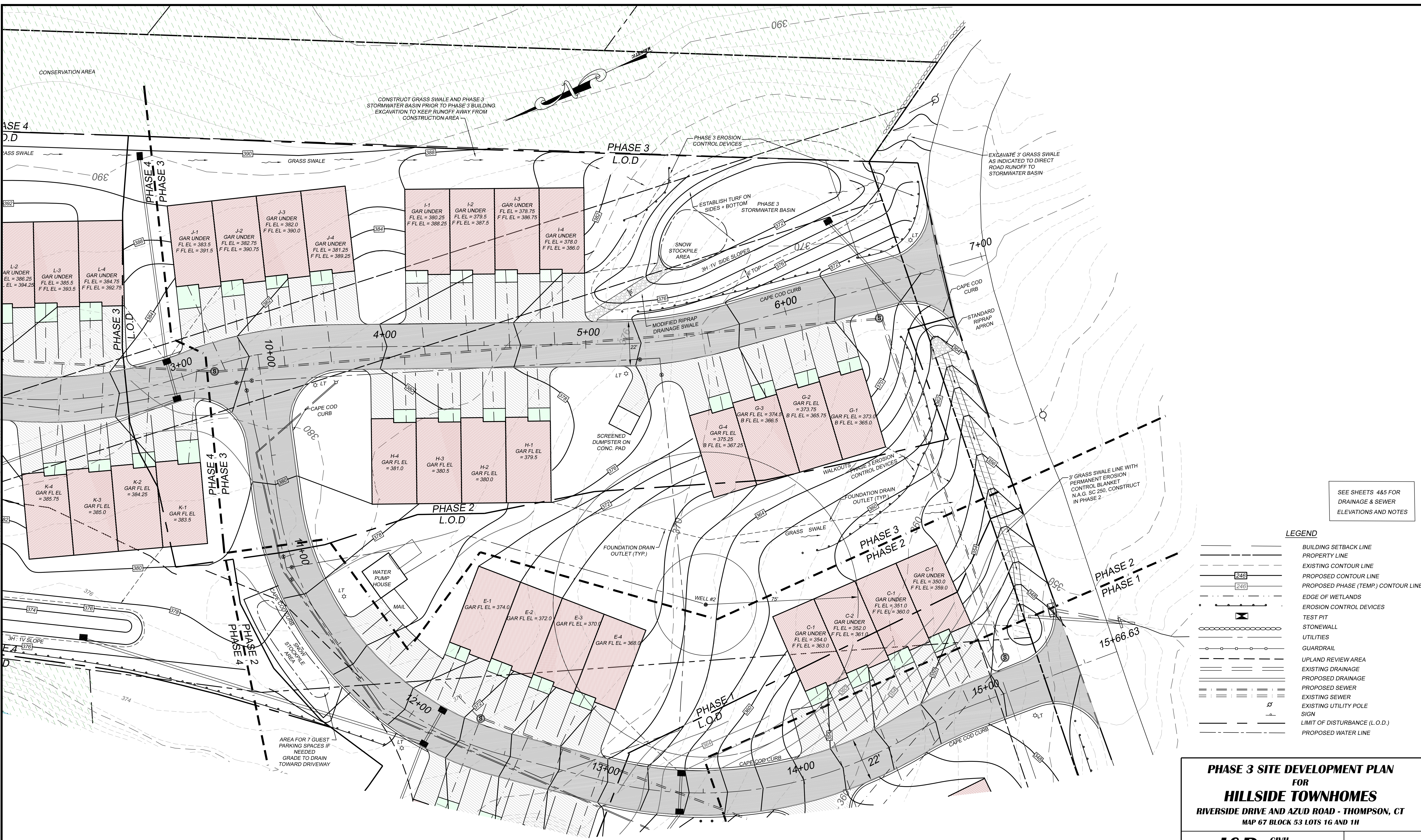


PHASES 1 & 2 SITE DEVELOPMENT PLAN
 FOR
HILLSIDE TOWNHOMES
 RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT
 MAP 67 BLOCK 53 LOTS 16 AND 1H

J&D CIVIL ENGINEERS, LLC
 401 RAVENELLE ROAD
 N. GROSVENORDALE, CT 06255
 860-923-2920

DESIGNED: JJB	REVISIONS:
CHECKED: DRB	3-2-23, 3-28-23,
	4-10-23, 5-1-23
JOB NO: 22203	DATE: JANUARY 31, 2023
SCALE: 1" = 40'	SHEET: 6

22203 Lavalin final 2023-05-01.dwg PHASES 1 & 2 SHEET 6 OF 6 5/16/2023 08:39:04



CONSTRUCT GRASS SWALE AND PHASE 3 STORMWATER BASIN PRIOR TO PHASE 3 BUILDING EXCAVATION TO KEEP RUNOFF AWAY FROM CONSTRUCTION AREA

EXCAVATE 3" GRASS SWALE AS INDICATED TO DIRECT ROAD RUNOFF TO STORMWATER BASIN

ESTABLISH TURF ON SIDES + BOTTOM PHASE 3 STORMWATER BASIN

3" GRASS SWALE LINE WITH PERMANENT EROSION CONTROL BLANKET N.A.G. SC 250, CONSTRUCT IN PHASE 2

AREA FOR 7 GUEST PARKING SPACES IF NEEDED GRADE TO DRAIN TOWARD DRIVEWAY

SEE SHEETS 4&5 FOR DRAINAGE & SEWER ELEVATIONS AND NOTES

LEGEND

	BUILDING SETBACK LINE
	PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	PROPOSED PHASE (TEMP) CONTOUR LINE
	EDGE OF WETLANDS
	EROSION CONTROL DEVICES
	TEST PIT
	STONEWALL
	UTILITIES
	GUARDRAIL
	UPLAND REVIEW AREA
	EXISTING DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED SEWER
	EXISTING SEWER
	EXISTING UTILITY POLE
	SIGN
	LIMIT OF DISTURBANCE (L.O.D.)
	PROPOSED WATER LINE

PHASE 3 SITE DEVELOPMENT PLAN
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT
MAP 67 BLOCK 53 LOTS 16 AND 1H

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB	REVISIONS:
CHECKED: DRB	3-2-23, 3-28-23,
	4-10-23, 5-1-23
JOB NO: 22203	DATE: JANUARY 31, 2023
SCALE: 1" = 40'	SHEET: 7



SEE SHEETS 4&5 FOR DRAINAGE & SEWER ELEVATIONS AND NOTES

LEGEND

	BUILDING SETBACK LINE
	PROPERTY LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	PROPOSED PHASE (TEMP.) CONTOUR LINE
	EDGE OF WETLANDS
	EROSION CONTROL DEVICES
	TEST PIT
	STONEWALL
	UTILITIES
	GUARDRAIL
	UPLAND REVIEW AREA
	EXISTING DRAINAGE
	PROPOSED DRAINAGE
	PROPOSED SEWER
	EXISTING SEWER
	EXISTING UTILITY POLE
	SIGN
	LIMIT OF DISTURBANCE (L.O.D.)
	PROPOSED WATER LINE

PHASES 4 & 5 SITE DEVELOPMENT PLAN
FOR
HILLSIDE TOWNHOMES
 RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT
 MAP 67 BLOCK 53 LOTS 16 AND 1H

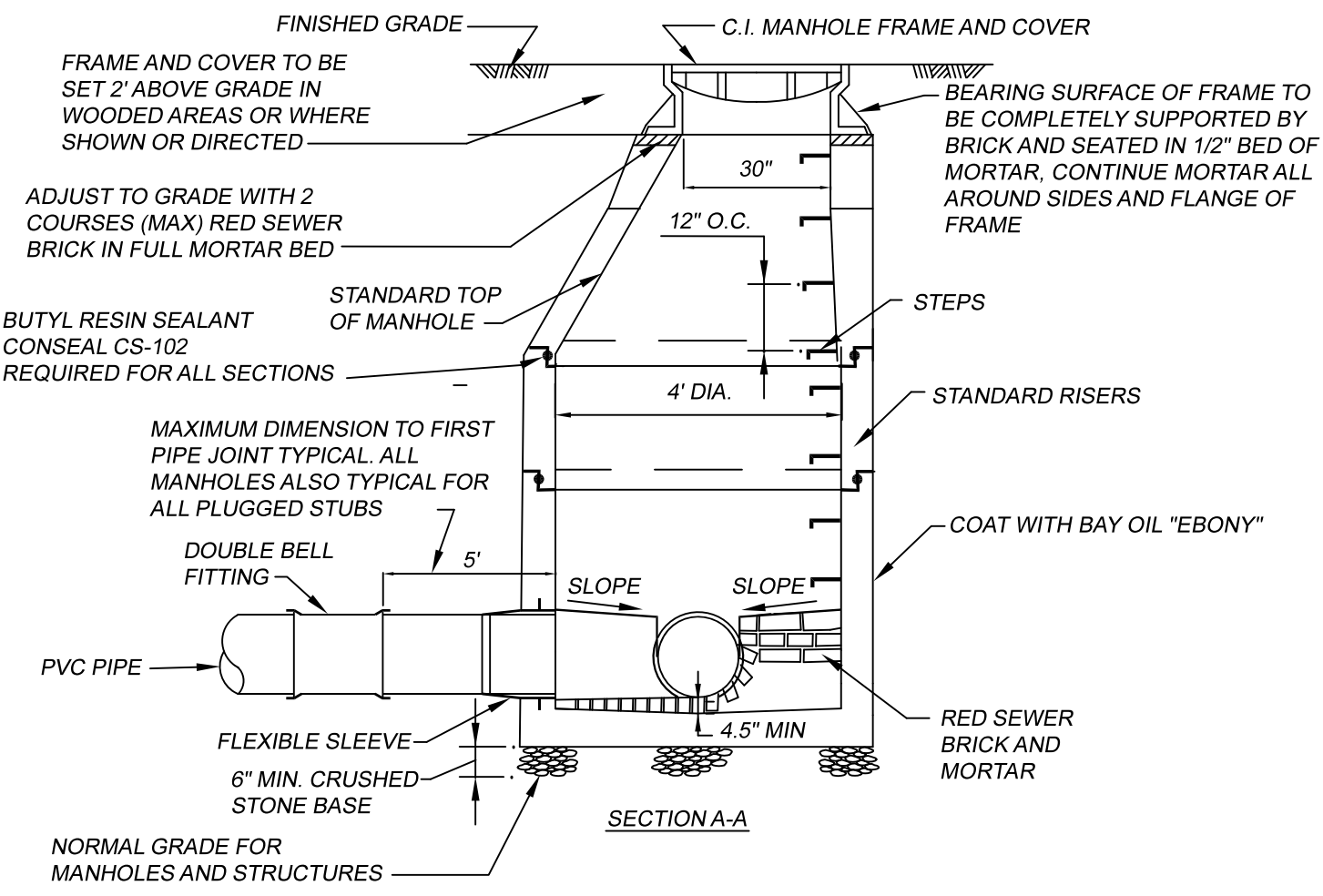
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JOB NO: 22203	DATE: JANUARY 2023
SCALE: 1" = 40'	SHEET: 8

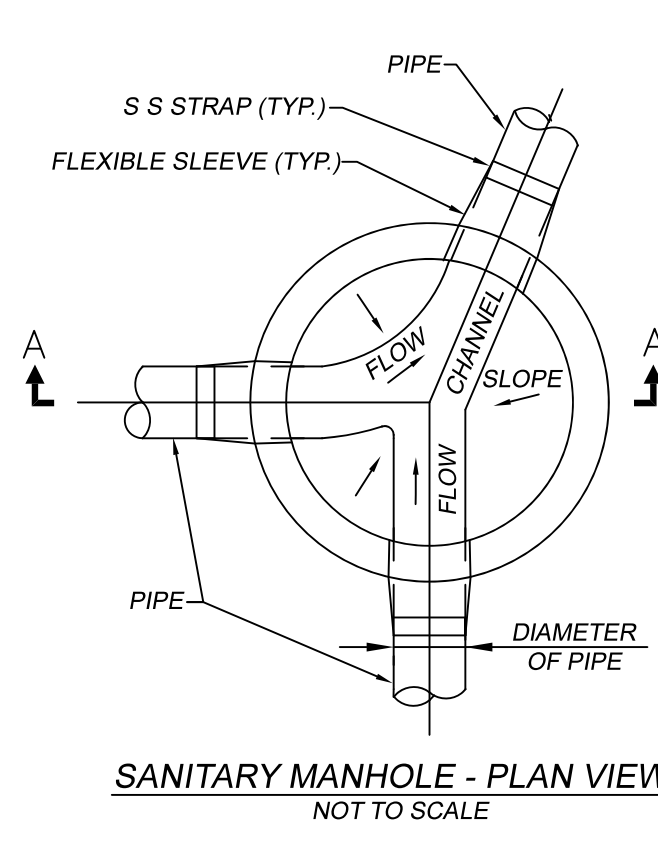
22203 Lanes final 2023-05-01 DWG Phases 4 and 5 SH 8 5/1/2023 13:12:53

TABLE OF ALLOWABLE TRENCH WIDTH FOR CLASS OF PIPE SPECIFIED

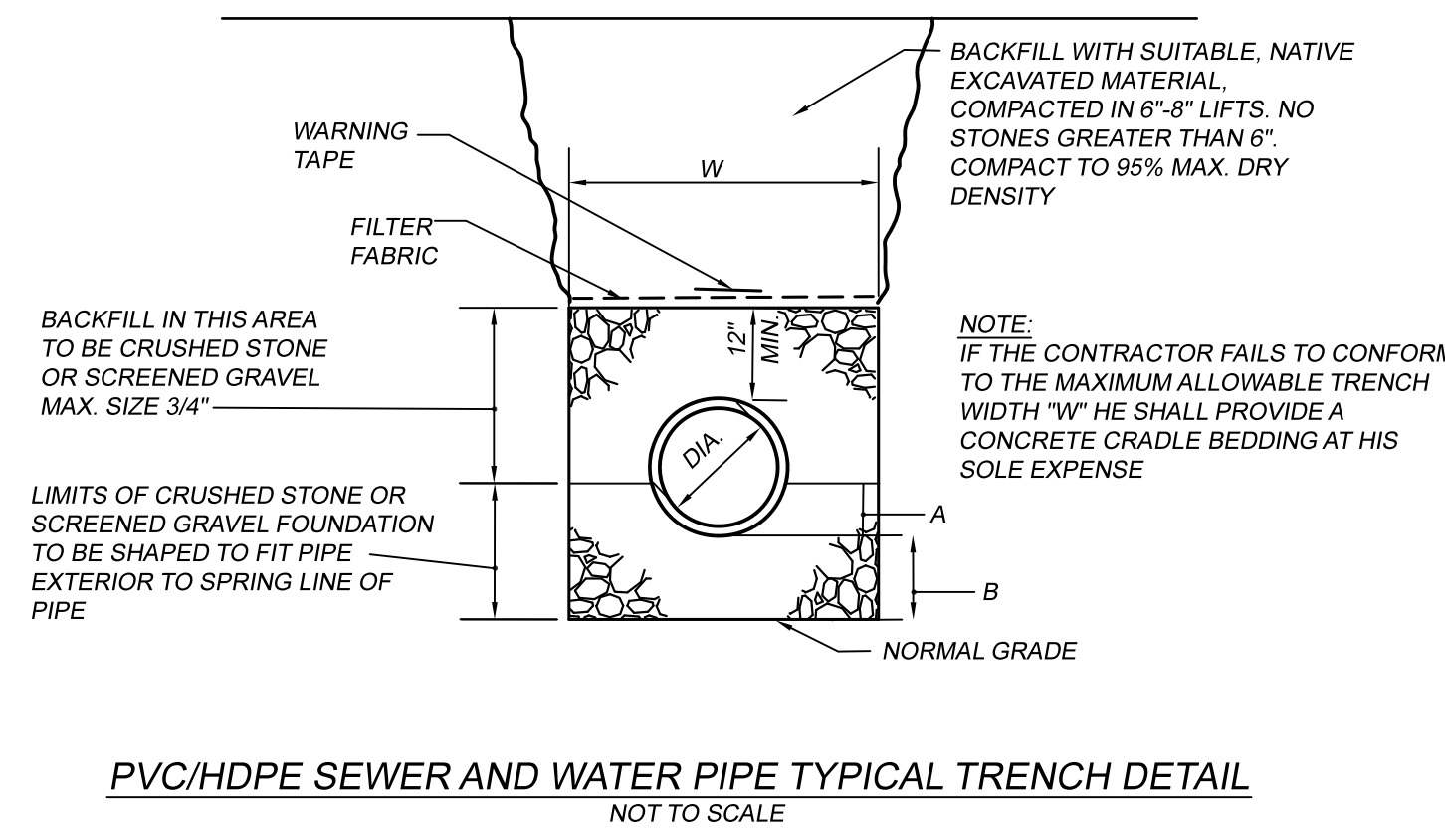
W (FEET)	PIPE DIAMETER			
	6" OR LESS	8"	10"	12"
A (INCHES)	3	3	3	3
B "	6	6	6	6
C "	3	3	4	4
D "	3	3	3	3
E "	4	4	4	4
F "	4	4	4	4



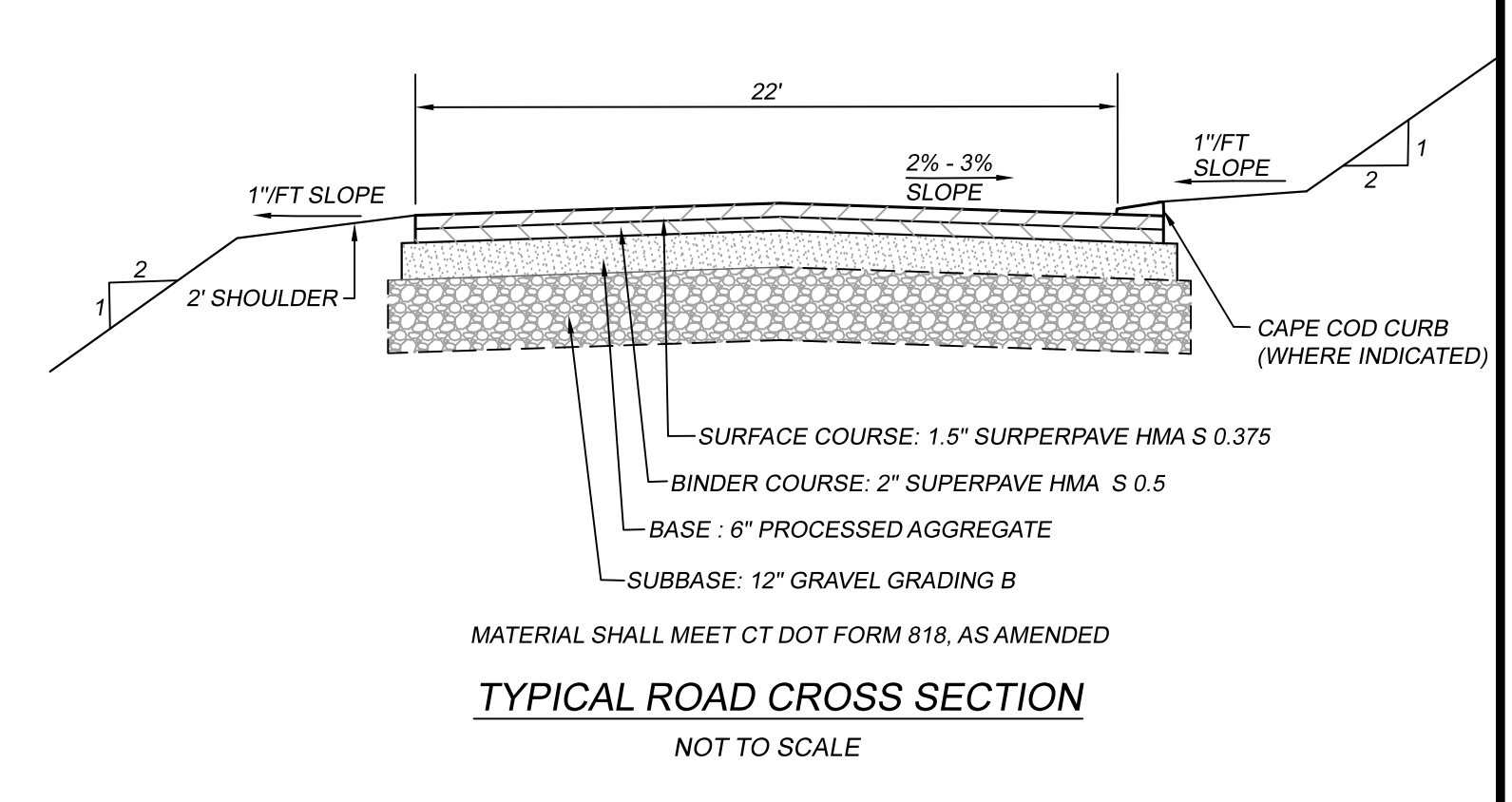
SANITARY MANHOLE
NTS



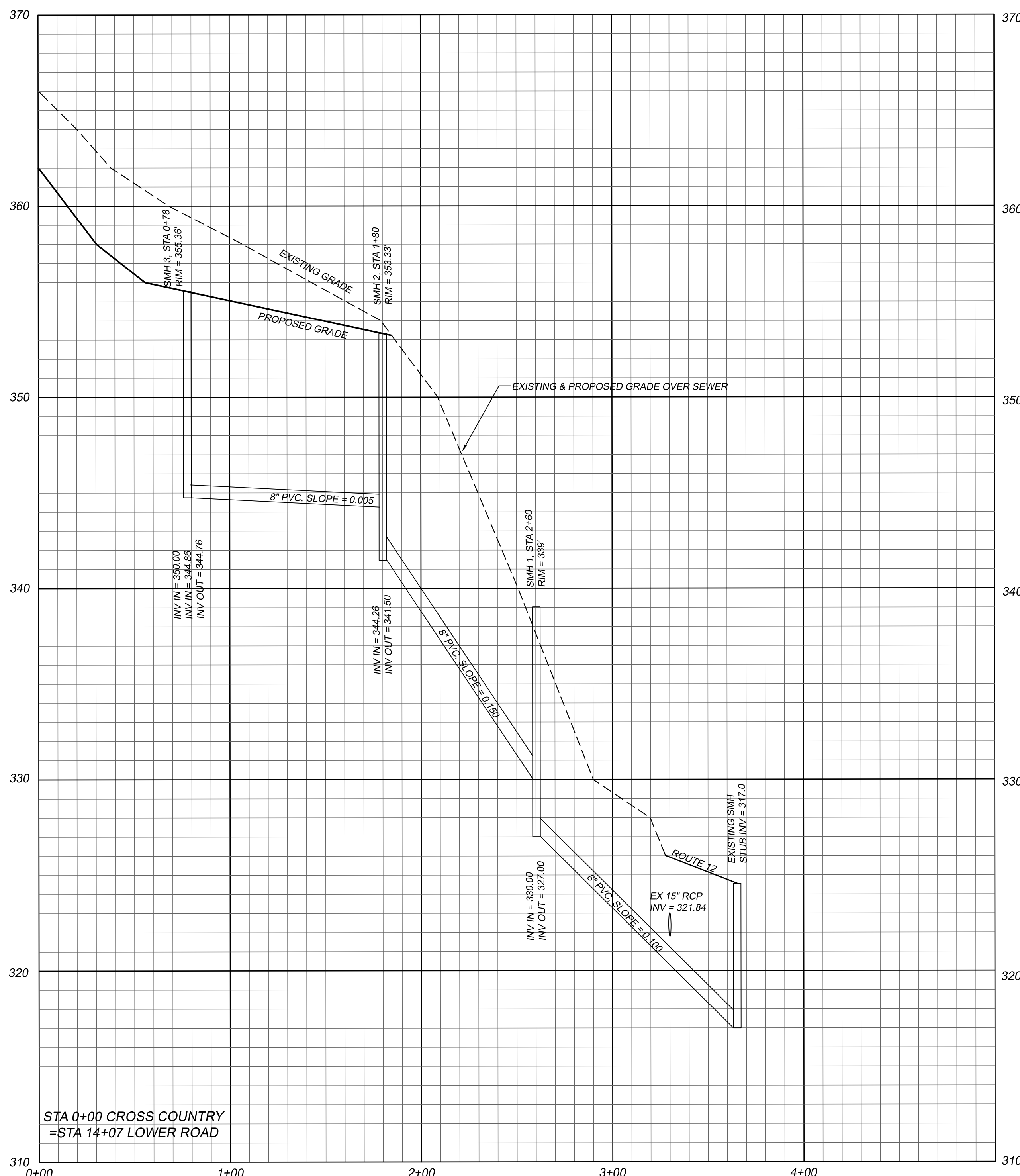
SANITARY MANHOLE - PLAN VIEW
NOT TO SCALE



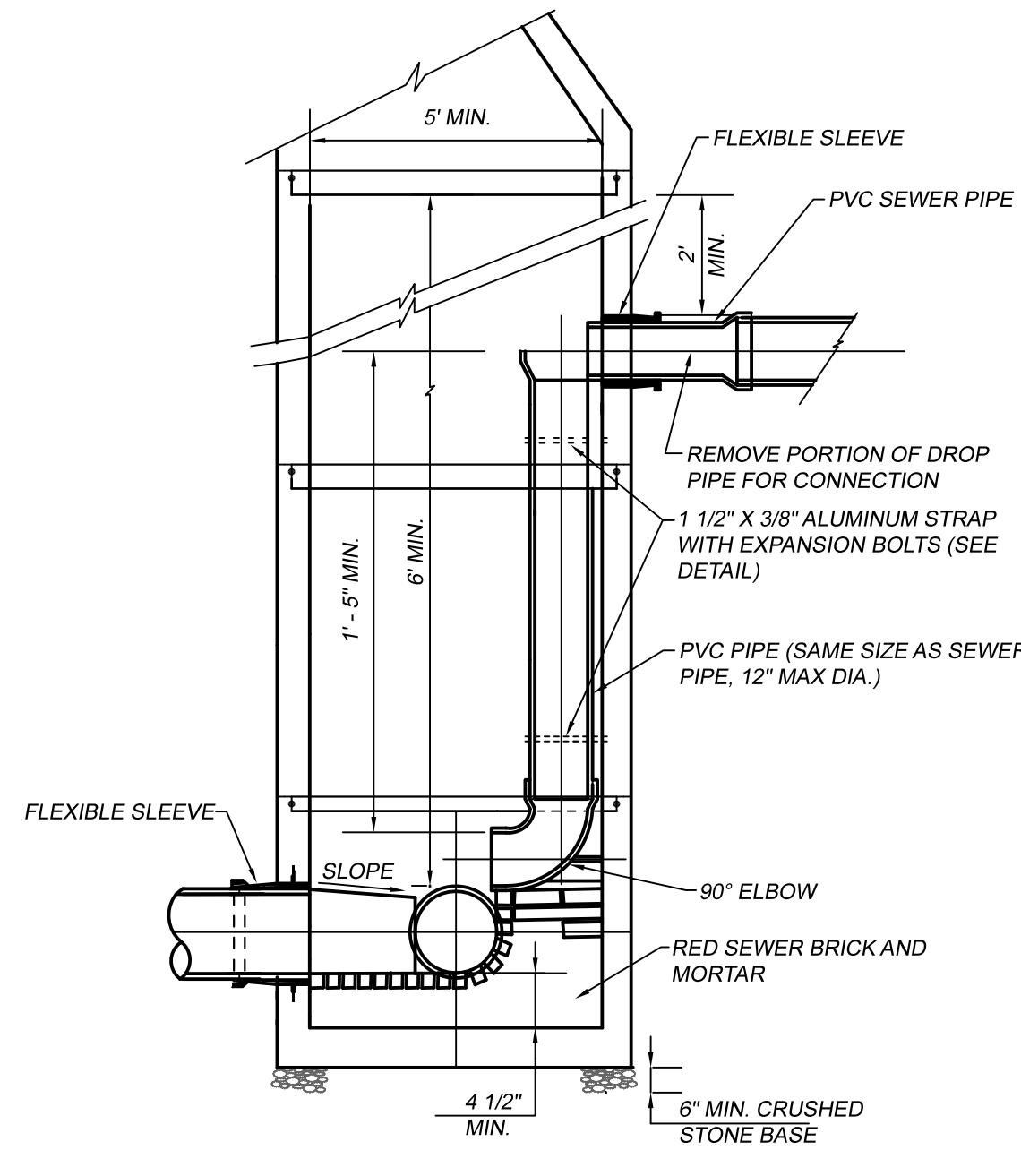
PVC/HDPE SEWER AND WATER PIPE TYPICAL TRENCH DETAIL
NOT TO SCALE



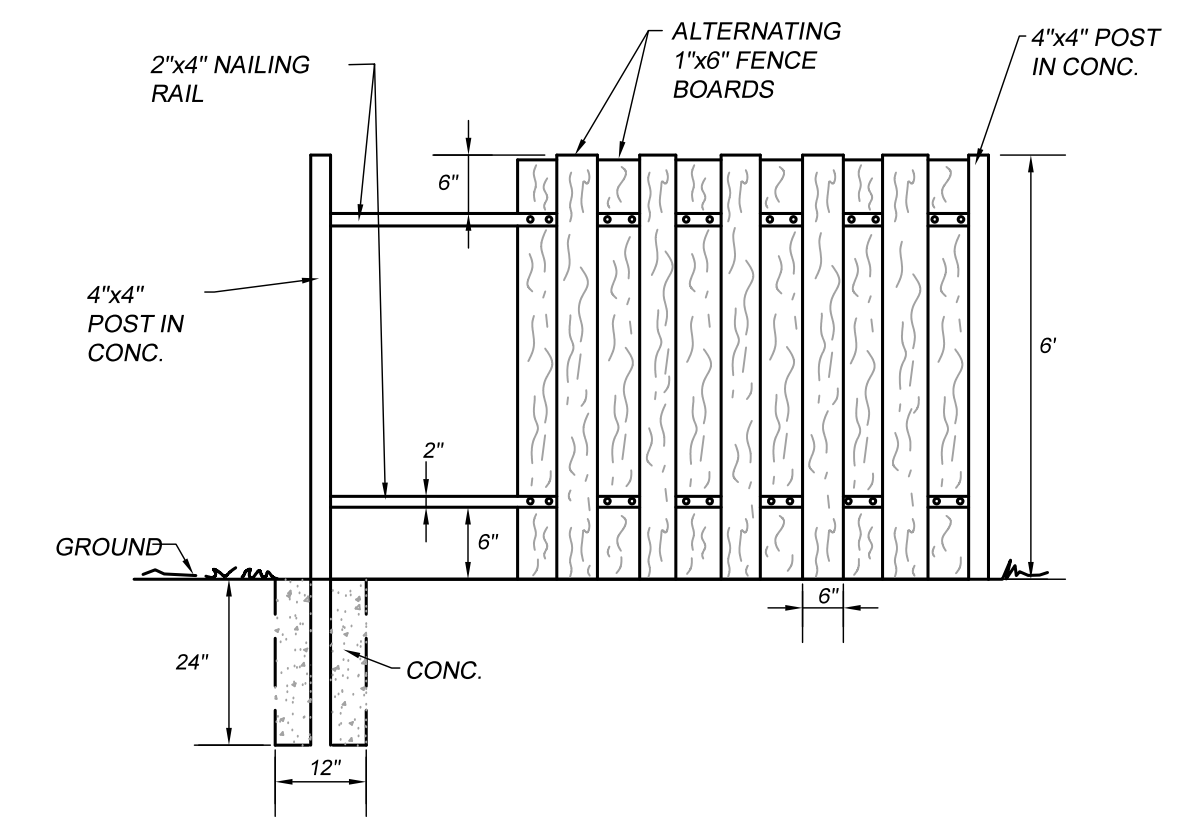
TYPICAL ROAD CROSS SECTION
NOT TO SCALE



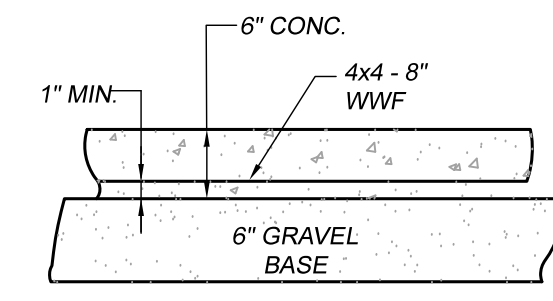
SEWER PROFILE CROSS COUNTRY STA 0+73 - STA 3+65
1" = 40' H
1" = 4' V



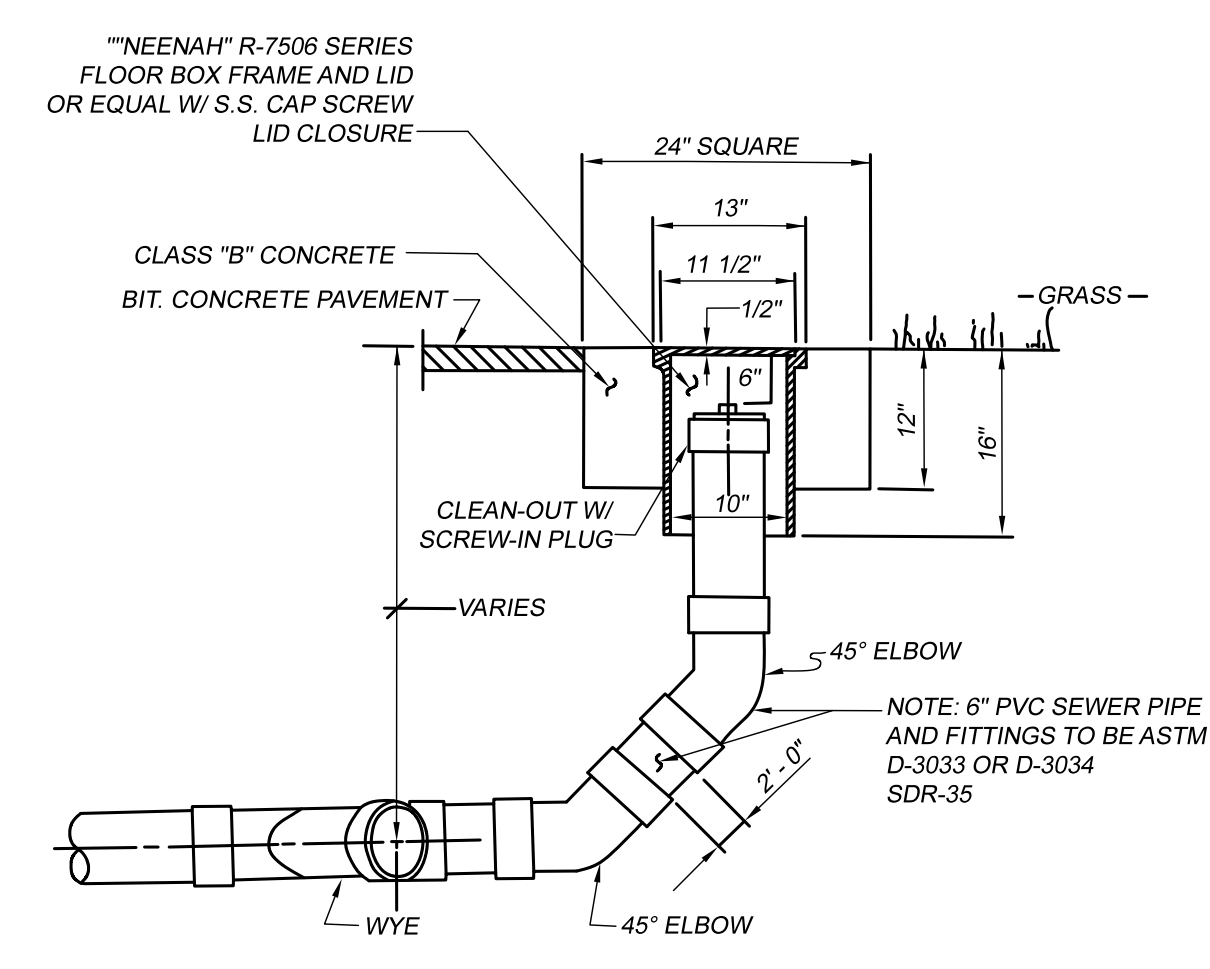
DROP SANITARY MANHOLE
NOT TO SCALE



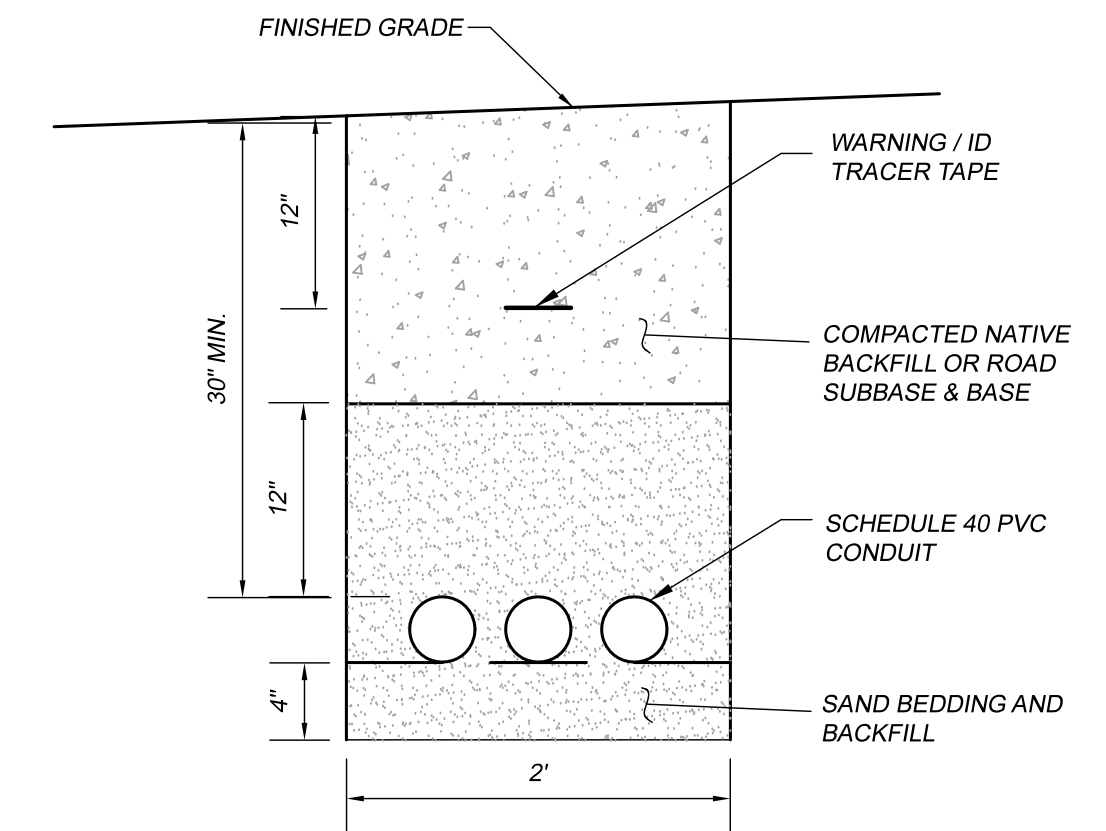
DUMPSTER SCREENING FENCE
N.T.S.



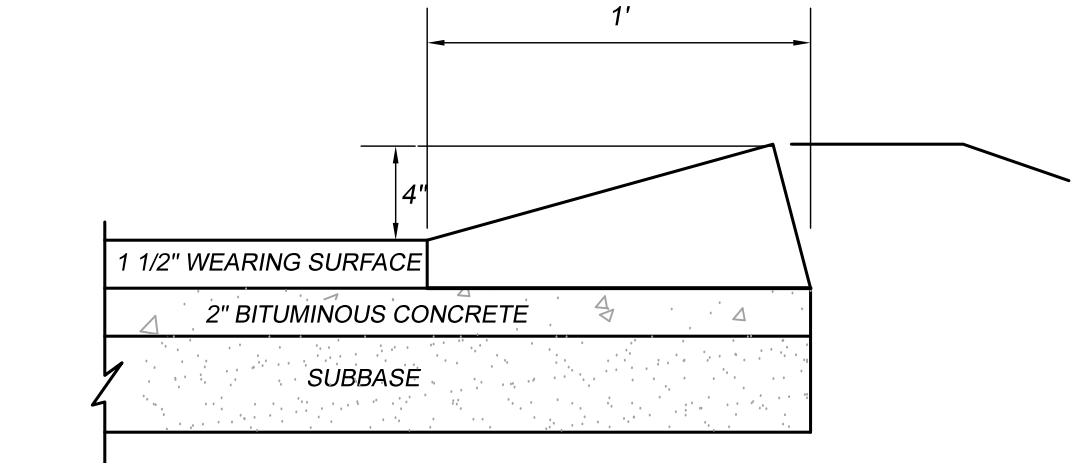
DUMPSTER PAD DETAIL
N.T.S.



SEWER CLEANOUT
NOT TO SCALE



TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE



CAPE COD BITUMINOUS CONCRETE CURBING
NOT TO SCALE

GENERAL CONSTRUCTION NOTES:

LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL NOTIFY CALL BEFORE YOU DIG AND FIELD VERIFY THE LOCATION, DEPTH AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.

CONSTRUCTION SHALL BE IN CONFORMANCE WITH CONDOT FORM 818 UNLESS OTHERWISE NOTED ON THE PLANS. UTILITY INSTALLATION SHALL BE IN CONFORMANCE WITH THE APPROPRIATE UTILITY COMPANY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

TYPICAL DETAILS SHOWN ARE TO ILLUSTRATE THE ENGINEER'S INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY SUBMIT PROPOSALS FOR ALTERNATE METHODS TO SUIT FIELD CONDITIONS.

ALL PIPING SHALL HAVE WARNING TAPE INSTALLED. IN ADDITION, ALL NONMETALLIC PIPE MUST BE PARALLELED BY A METALLIC WIRE OR METALLIC DETECTION TAPE FOR EASE OF LOCATING.

ALL PIPING SHALL BE CLEANED AND TESTED IN ACCORDANCE WITH THE APPLICABLE UTILITY'S REQUIREMENTS. COPIES OF ALL TESTS SHALL BE PROVIDED TO THE OWNER PRIOR TO ACCEPTANCE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY TESTING EQUIPMENT.

ALL TRENCHING SHALL BE DONE IN COMPLIANCE WITH OSHA REGULATIONS AND THE INSTALLATION REQUIREMENTS OF THE PIPE MANUFACTURER.

BENCHMARKS WILL BE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR IN LAYING OUT THE PROJECT. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

THE CONTRACTOR SHALL PROTECT BENCHMARKS, PROPERTY CORNERS AND SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. ANY SUCH ITEMS WHICH NEED TO BE REPLACED SHALL BE AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION DETAILS
SEWER AND MISCELLANEOUS
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

J&D CIVIL ENGINEERS, LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-923-2920

DESIGNED: JJB CHECKED: DRB	REVISIONS:
JOB NO: 22203 SCALE: AS NOTED	DATE: JANUARY 31, 2023 SHEET: 9

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PHASING NARRATIVE :

LAVALLEE CONSTRUCTION INTENDS TO BUILD THE PROJECT OVER A MULTI-YEAR PERIOD. WORK WILL GENERALLY PROCEED FROM THE SOUTHWEST (LOWEST GROUND) TO THE NORTHEAST (HIGHEST GROUND). THE FOLLOWING IS THE WORK WHICH SHALL BE COMPLETED IN EACH PHASE PRIOR TO INITIATING BUILDING CONSTRUCTION ON SUBSEQUENT PHASES.

PHASE 1: 8 UNITS, BUILDINGS: A AND B
DRIVEWAY: LOWER ROAD STATION 13+50 TO 15+50 (INTERSECTION WITH AZUD ROAD)
SEWER: 436" SEWER FROM RIVERSIDE DRIVE INCLUDING SMH 1, SMH 2, SMH 3, SMH 4
WATER: WELL 1 - PRIVATE, SERVES 8 TWO BEDROOM UNITS X (3) = 24 PEOPLE
DRAINAGE: REPLACE CULVERT UNDER AZUD ROAD, CONSTRUCT PHASE 1 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED.

PHASE 2: 12 UNITS, BUILDINGS: C, D, AND E
DRIVEWAY: LOWER ROAD STATION 10+50 TO 13+50
SEWER: 186" SEWER INCLUDING SMH 5
WATER: WELL 2 - ESTABLISH PUBLIC WATER SUPPLY - COORDINATE WITH CT DPH
DRAINAGE: CONSTRUCT PHASE 2 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED. INSTALL CB 1, CB 2, CB 3, AND CB 4, CONSTRUCT GRASS SWALE ADJACENT TO AZUD ROAD PRIOR TO BUILDING EXCAVATION
FIRE PROTECTION: INSTALL 10,000 GALLON CISTERN AND PIPE NETWORK TO DRY HYDRANT AT DRIVEWAY INTERSECTION PRIOR TO CO'S BEING ISSUED.

PHASE 3: 16 UNITS, BUILDINGS: G, H, I, AND J
DRIVEWAY: UPPER ROAD STATION 3+00 TO 6+80 (INTERSECTION WITH AZUD ROAD) AND 10+00 - 10+50
SEWER: 516 SEWER INCLUDING SMH 6 AND SMH 7
WATER: COORDINATE WITH CT DPH FOR WELL 3 AND/OR WATER PUMP HOUSE IF NECESSARY
DRAINAGE: CONSTRUCT GRASS SWALE ON THE EAST SIDE OF THE PROJECT AND PHASE 3 STORMWATER BASIN PRIOR TO BUILDING EXCAVATION.

PHASE 4: 12 UNITS, BUILDINGS: K, L, AND M
DRIVEWAY: UPPER ROAD STATION 1+00 TO 3+00 (INTERSECTION WITH AZUD ROAD)
SEWER: 306" SEWER INCLUDING SMH 8
WATER: EXTEND PUBLIC WATER TO UNITS
DRAINAGE: CB 5, CB 6, CB 7, DMH 8, CONSTRUCT PHASE 4 STORMWATER BASIN PRIOR TO ANY PAVING OR CO'S BEING ISSUED.

PHASE 5: BUILDINGS: N, O, AND P
DRIVEWAY: STATION 0+00 TO 6+80 (INTERSECTION WITH AZUD ROAD) AND 10+00 - 10+50
SEWER: INSTALL SEWER LATERALS TO MAIN
WATER: EXTEND PUBLIC WATER TO UNITS
DRAINAGE: NONE

SEQUENCE OF CONSTRUCTION :

SEE PHASING NARRATIVE FOR FEATURES TO BE CONSTRUCTED IN EACH PHASE. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH PHASE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE BUILDING CONSTRUCTION FOR ANY FOLLOWING PHASE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

- EXCAVATING CONTRACTOR SHALL NOTIFY CALL BEFORE YOU DIG AS REQUIRED, AND IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL BURIED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- FIELD STAKE THE BUILDINGS, DRIVEWAYS AND UTILITY STRUCTURES. THROUGHOUT THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL PROTECT DOWNSTREAM WETLANDS FROM SEDIMENTATION.
- INSTALL COMPOST FILTER SOCK ALONG THE DOWNSLOPE SIDE OF CONSTRUCTION ACTIVITIES AS SHOWN ON THE DRAWINGS.
- STRIP TOPSOIL FROM SITE. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER. INSTALL FILTER SOCK BELOW TOPSOIL, AND EXCESS MATERIAL STOCKPILES. STOCKPILES IN PLACE MORE THAN 30 DAYS SHALL BE SEEDED OR COVERED.
- UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION. EROSION AND SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED UNTIL THE PERMANENT STABILIZATION IS COMPLETED. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED WITH ONE OF THE FOLLOWING: (1) A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION, (2) AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
- IN THE EVENT THAT CONSTRUCTION OF ANY STRUCTURES IS DELAYED, EITHER DO NOT BEGIN EARTHWORK IN THE AREA OF FEATURES THAT WILL NOT BE CONSTRUCTED IMMEDIATELY, OR COMPLETE EARTHWORK, THEN PROVIDE STABILIZATION OF BUILDING PADS AND ALL ASSOCIATED DISTURBED AREAS WITH CLEAN STONE OR VEGETATION AS INDICATED IN THE PLAN.
- FINE GRADE AND RESPERD TOPSOIL ALL AREAS AND IMMEDIATELY PERMANENTLY SEED AND MULCH ALL DISTURBED AREAS. PROVIDE EROSION CONTROL BLANKET IN AREAS SHOWN AND AREAS STEEPER THAN 3:1 SLOPE.
- AFTER PERMANENT STABILIZATION OF SITE (I.E. A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION) HAS BEEN ACHIEVED, THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE CONTROLS SHALL BE RESTABILIZED. PERMANENT STORMWATER FEATURES SHOULD BE CLEANOUT OUT AS NEEDED UPON FINAL STABILIZATION OF THE SITE.

GENERAL SEEDING NOTES

- TEMPORARY SEEDING NOTES - SITE PREPARATION: APPLY 1-2 TON /ACRE AGRICULTURAL GRADE LIMESTONE AND 10-10-10 FERTILIZER AT A RATE OF 300 LBS./ACRE AND WORK IN WHERE POSSIBLE. REFER TO FIGURE TS-2 IN THE 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR APPROPRIATE SEEDING MIXES AND RATES. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.
- PERMANENT SEEDING NOTES - SITE PREPARATION: GRADE AS NECESSARY TO BRING THE SUBGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISHED GRADE. PLACE TOPSOIL OVER SPECIFIED AREAS TO A DEPTH SUFFICIENTLY GREATER THAN SIX INCHES SO THAT AFTER SETTLEMENT AND LIGHT ROLLING THE COMPLETE WORK WILL CONFORM TO LINES, GRADES AND ELEVATIONS SHOWN.
- APPLY 4 TONS/ACRE AGRICULTURAL GRADE LIMESTONE AND 10-10-10 FERTILIZER AT A RATE OF 300 LBS./AC OR AS PER FIELD TEST. LIMESTONE AND FERTILIZER MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS.
- FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL BY ROTOTILLING OR OTHER METHOD TO A MINIMUM DEPTH OF FOUR INCHES. THE ENTIRE SURFACE SHALL BE DONE IN TWO SEPARATE OPERATIONS. THE SECOND SEEDING SHALL BE DONE IMMEDIATELY AFTER THE FIRST AND AT RIGHT ANGLES TO THE FIRST SEEDING AND LIGHTLY RAKED INTO THE SOIL. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.

AREA TO BE SEEDED	MIXTURE NUMBER	SPECIES	SEEDING RATES (LB/AC) PURE LIVE SEED
SLOPES, BANKS CHANNELS AND DIVERSIONS	2	CREeping RED FESCUE	20
		REDTOP	2
		TALL FESCUE OR SMOOTH BROMEGRASS	20
LAWN AND HIGH MAINTENANCE AREAS	1	KENTUCKY BLUEGRASS	20
		CREeping RED FESCUE	20
		PERENNIAL RYEGRASS	5

SEED MIXTURE NUMBERS REFER TO TO FIGURE PS-3, 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. REFER TO MANUAL FOR POTENTIAL ALTERNATIVE MIXTURES.

PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100.

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A MULTI-FAMILY DEVELOPMENT. SITE WORK WILL INCLUDE CONSTRUCTION OF BUILDINGS, ACCESS DRIVES, PARKING AREAS, AND NECESSARY UTILITIES.

ATTENTION SHALL BE GIVEN TO THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES. EROSION CONTROL DEVICES SHALL CONSIST OF SILT SOCK BARRIERS OR WOODCHIP BERMS TO FACILITATE MOVEMENT OF VERNAL POOLS AMPHIBIANS. SILT FENCE SHALL NOT BE USED ON THE PROJECT. NO ERODED SEDIMENTS SHALL BE PERMITTED TO FLOW OFF THE SITE. IF FIELD CONDITIONS WARRANT IT OR THE TOWN REQUESTS IT, ADDITIONAL E & S CONTROL MEASURES, BEYOND WHAT IS SHOWN ON THE PLAN, SHALL BE INSTALLED.

SEEDING AND EROSION CONTROL DEVICES WILL BE INSTALLED AS DETAILED ON THIS SHEET AND CHECKED REGULARLY FOR REPLACEMENT AND AFTER EVERY RAIN FOR REMOVAL OF DEPOSITED MATERIALS. RESPONSIBILITY FOR COMPLIANCE WITH THIS PLAN SHALL BELONG TO THE CONTRACTOR. THE CONTRACTOR SHALL BE THE DESIGNATED ON-SITE AGENT RESPONSIBLE FOR ENSURING TO THE TOWN THAT E & S CONTROL MEASURES ARE STRICTLY ENFORCED.

SEEDING DATES FOR PERMANENT VEGETATION ARE APRIL 1 - JUNE 15 AND AUGUST 15 - SEPTEMBER 15. SEEDING DATES FOR TEMPORARY VEGETATION ARE MARCH 1 - OCTOBER 15. OUTSIDE OF THESE DATES TEMPORARY MULCH CONSISTING OF STRAW OR HAY APPLIED AT THE RATE OF 95 LB/1000 SQUARE FEET SHALL BE USED. HYDROSEEDING WILL BE PERMITTED WHERE SLOPES ARE NO STEEPER THAN 2:1 AND SEEDING RATES WILL BE INCREASED BY 10%.

OPERATIONS AND MAINTENANCE

- ALL PROPOSED WORK SHALL CONFORM TO "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND TOWN REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE GOALS OF THIS EROSION CONTROL PLAN ARE MET BY WHATEVER MEANS ARE NECESSARY. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF DISTURBED AREAS.
- PRIOR TO CONSTRUCTION OR EXCAVATION, SEDIMENT BARRIERS SHALL BE INSTALLED IN LOCATIONS AS SHOWN ON THE PLAN OR AS REQUIRED BY THE TOWN AND MAINTAINED THROUGHOUT CONSTRUCTION.
- UPON FINAL GRADING, DISTURBED AREAS SHALL COVERED WITH A MINIMUM OF 6" LOAM AND SEEDED WITH PERENNIAL GRASSES AS SPECIFIED FOR THE PROJECT. IMMEDIATELY AFTER SEEDING, MULCH THE SEEDED AREA, NOT COVERED WITH EROSION CONTROL BLANKET, WITH HAY OR STRAW AT THE RATE OF 2 TONS PER ACRE. SEEDING DATES ARE TO BE BETWEEN APRIL 1 THRU JUNE 15 AND AUGUST 15 THRU OCTOBER 15.
- DAILY INSPECTIONS SHALL BE MADE OF EROSION AND SEDIMENT CONTROL MEASURES TO INSURE EFFECTIVENESS AND IMMEDIATE CORRECTIVE ACTION SHALL BE TAKEN IF FAILURE OCCURS. ADDITIONAL EROSION CONTROL MEASURES BEYOND WHAT IS SHOWN ON THE PLAN MAY BE NECESSARY.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN STABILIZED AND VEGETATIVE COVER HAS BEEN ESTABLISHED, AT WHICH TIME THEY BE REMOVED.
- SITE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THIS EROSION AND SEDIMENT CONTROL PLAN.

MINIMIZE DISTURBED AREAS

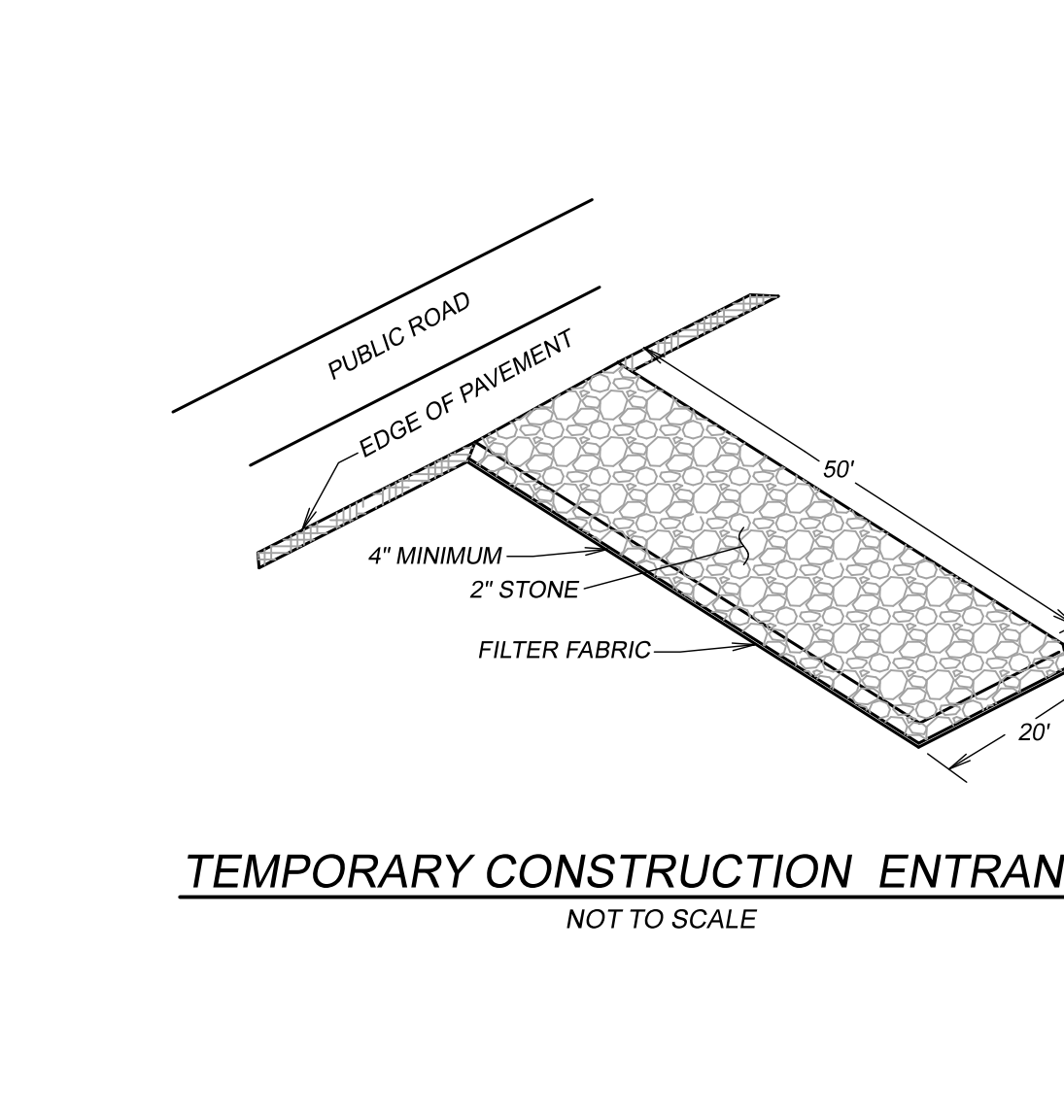
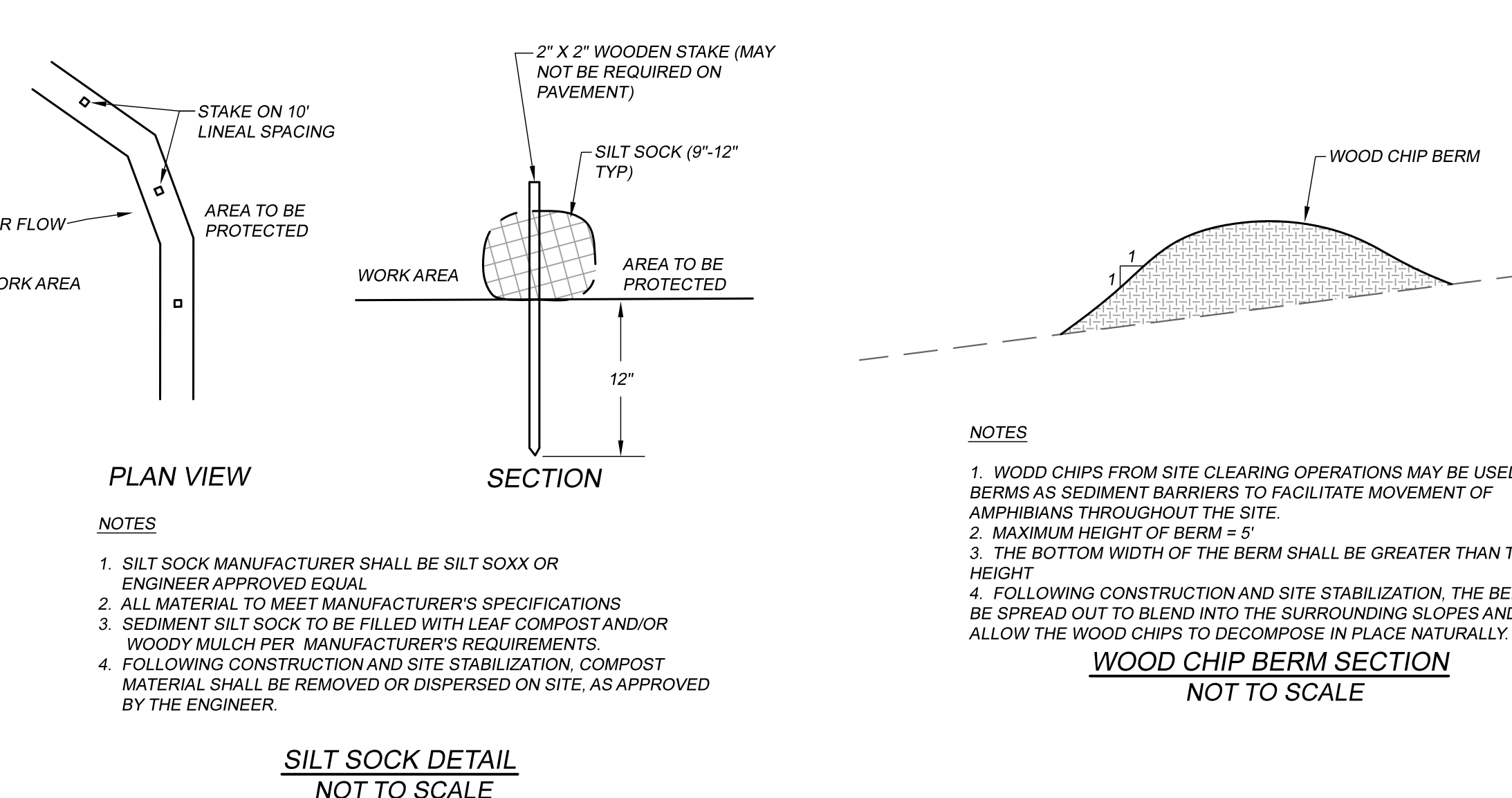
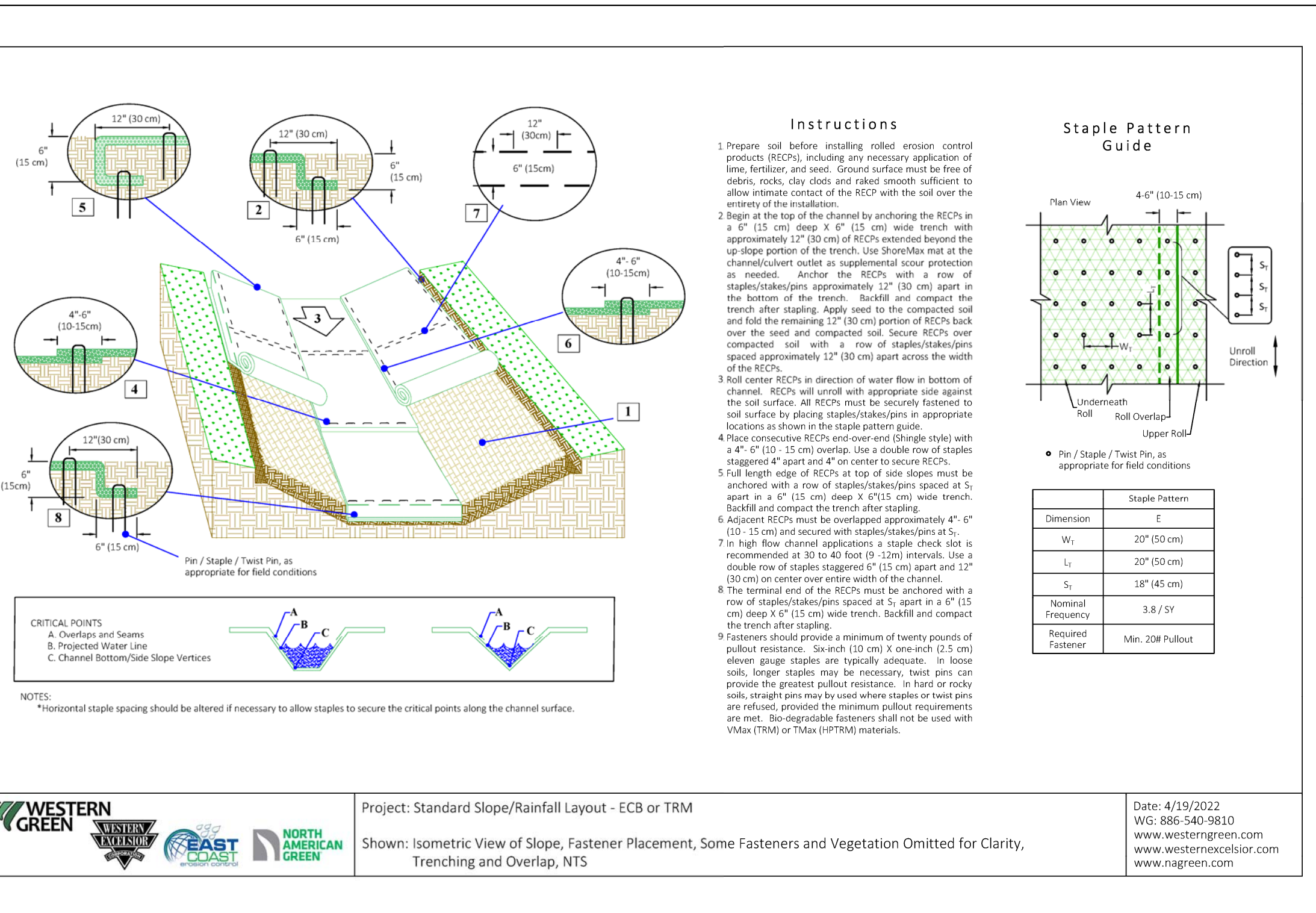
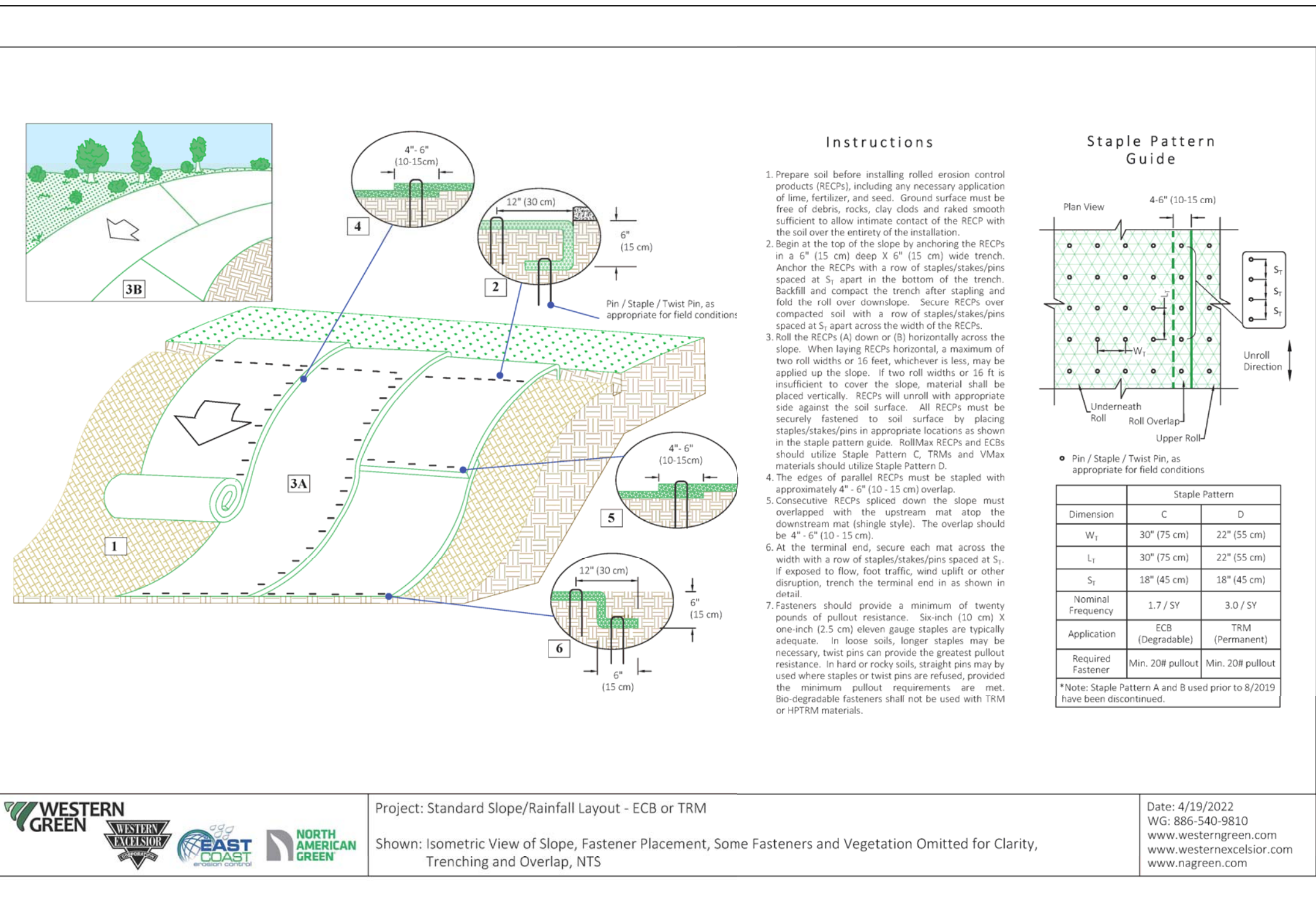
- KEEP LAND DISTURBANCE TO A MINIMUM - THE MORE LAND THAT IS IN VEGETATIVE COVER, THE MORE SURFACE WATER WILL INFILTRATE INTO THE SOIL, THUS MINIMIZING STORMWATER RUNOFF AND POTENTIAL EROSION. KEEPING LAND DISTURBANCE TO A MINIMUM NOT ONLY INVOLVES MINIMIZING THE EXTENT OF EXPOSURE AT AN ONE TIME, BUT ALSO THE DURATION OF EXPOSURE.
- PHASE CONSTRUCTION SO THAT AREAS WHICH ARE ACTIVELY BEING DEVELOPED AT ANY ONE TIME ARE MINIMIZED AND ONLY THAT AREA UNDER CONSTRUCTION IS EXPOSED. CLEAR ONLY THOSE AREAS ESSENTIAL FOR CONSTRUCTION.
- SEQUENCE THE CONSTRUCTION OF STORM DRAINAGE SYSTEMS SO THAT THEY ARE OPERATIONAL AS SOON AS POSSIBLE DURING CONSTRUCTION. ENSURE ALL OUTLETS ARE STABLE BEFORE OUTLETTING STORM DRAINAGE FLOW INTO THEM.
- SCHEDULE CONSTRUCTION SO THAT FINAL GRADING AND STABILIZATION IS COMPLETED AS SOON AS POSSIBLE.

MANAGING RUNOFF

- USE DIVERSIONS, STONE DIKES, SILT FENCES AND SIMILAR MEASURES TO BREAK FLOW LINES AND DISSIPATE STORM WATER ENERGY.
- AVOID DIVERTING ONE DRAINAGE SYSTEM INTO ANOTHER WITHOUT CALCULATING THE POTENTIAL FOR DOWNSTREAM FLOODING OR EROSION.
- CLEAN RUNOFF SHOULD BE KEPT SEPARATED FROM SEDIMENT LADEN WATER AND SHOULD NOT BE DIRECTED OVER DISTURBED AREAS WITHOUT ADDITIONAL CONTROLS. ADDITIONALLY, PREVENT THE MIXING OF CLEAN OFF-SITE GENERATED RUNOFF WITH SEDIMENT LADEN RUNOFF GENERATED ON-SITE UNTIL AFTER ADEQUATE INFILTRATION OF ON-SITE WATERS HAS OCCURRED.

INTERNAL EROSION CONTROLS

- DO NOT RELY EXCLUSIVELY ON PERIMETER EROSION CONTROL DEVICES.
- CONTROL EROSION AND SEDIMENTATION BY INSTALLING INTERNAL EROSION CONTROL IN THE SMALLEST DRAINAGE AREA POSSIBLE.
- DIRECT RUNOFF FROM SMALL DISTURBED AREAS TO ADJOINING UNDISTURBED VEGETATED AREAS.
- CONCENTRATED RUNOFF SHOULD BE CONVEYED TO SEDIMENT TRAPS OR BASINS AND STABLE OUTLETS USING RIP RAPPED CHANNELS, STORM DRAINS OR SIMILAR MEASURES.

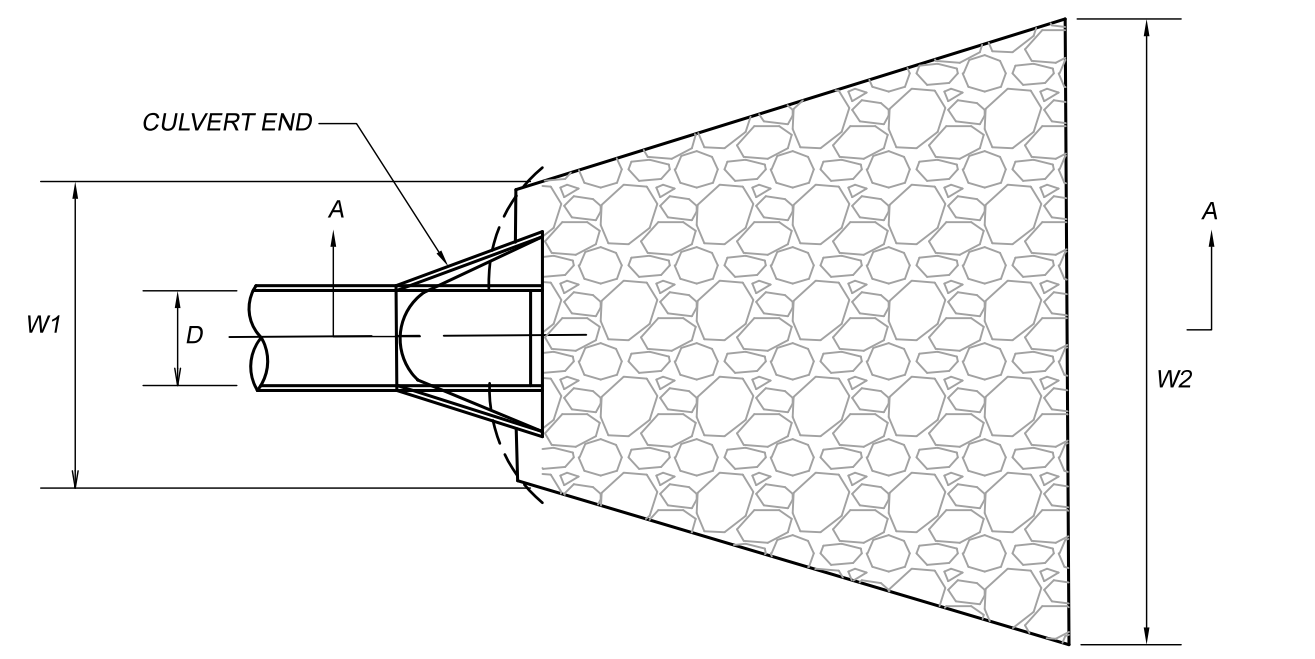


CONSTRUCTION DETAILS
EROSION AND SEDIMENT CONTROL
FOR
HILLSIDE TOWNHOMES
RIVERSIDE DRIVE AND AZUD ROAD - THOMPSON, CT

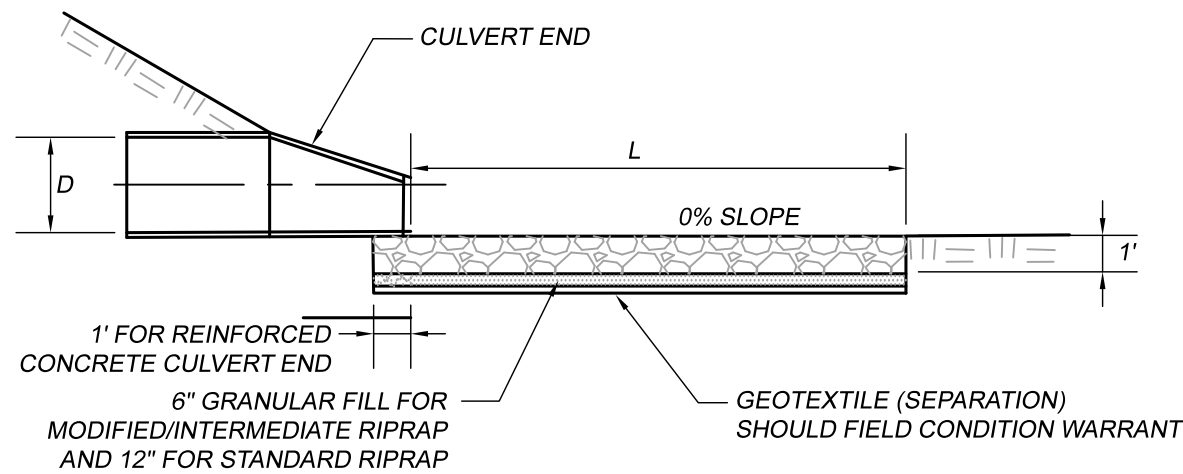
J&D CIVIL ENGINEERS, LLC
 401 RAVENELLE ROAD
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 860-923-2920

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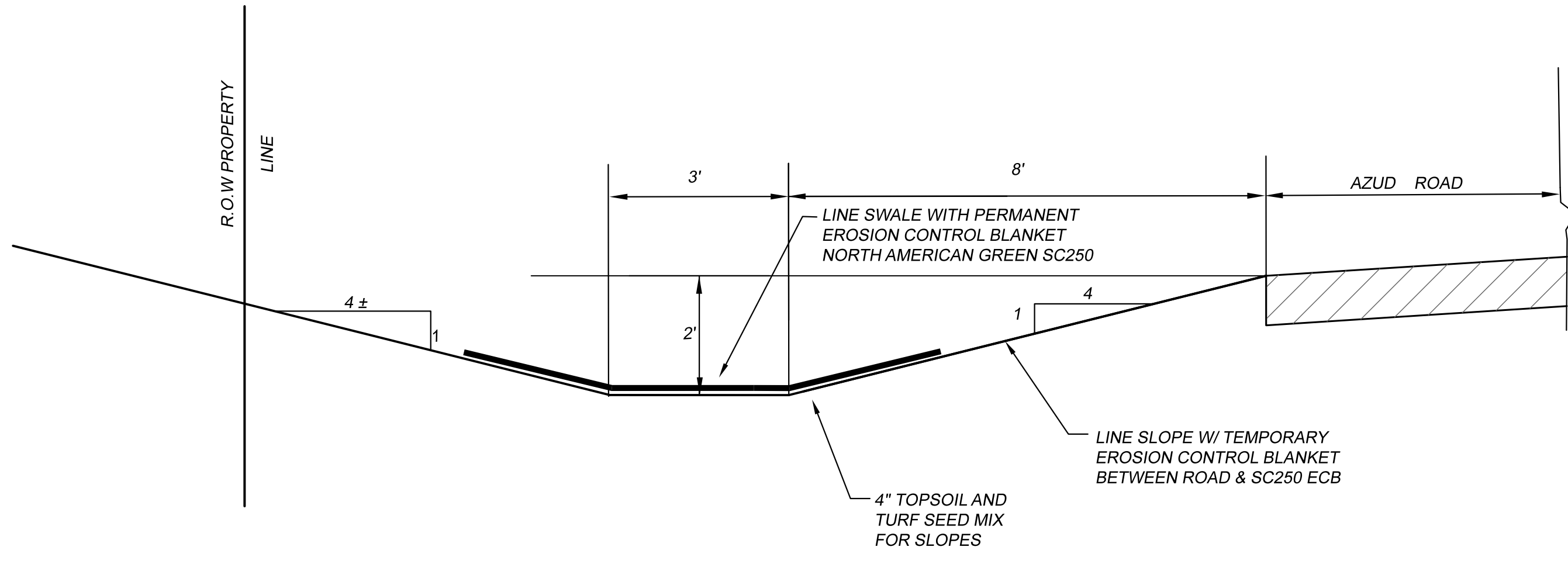
PLAN VIEW



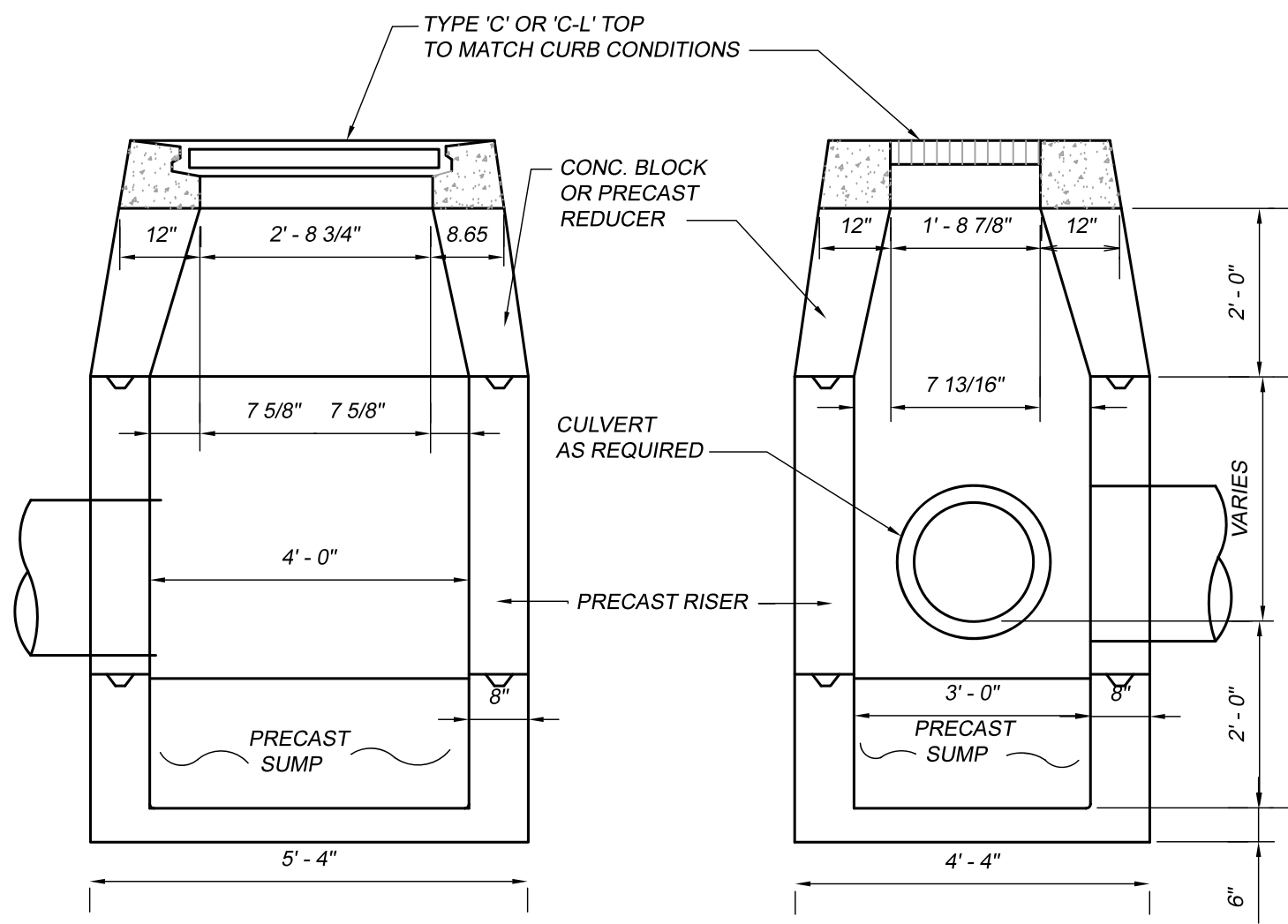
SECTION A-A

APRON #	W1	W2	L
1	3'	10'	10'
2	3'	10'	10'
3	4'	11'	10'
4	8'	12'	16'

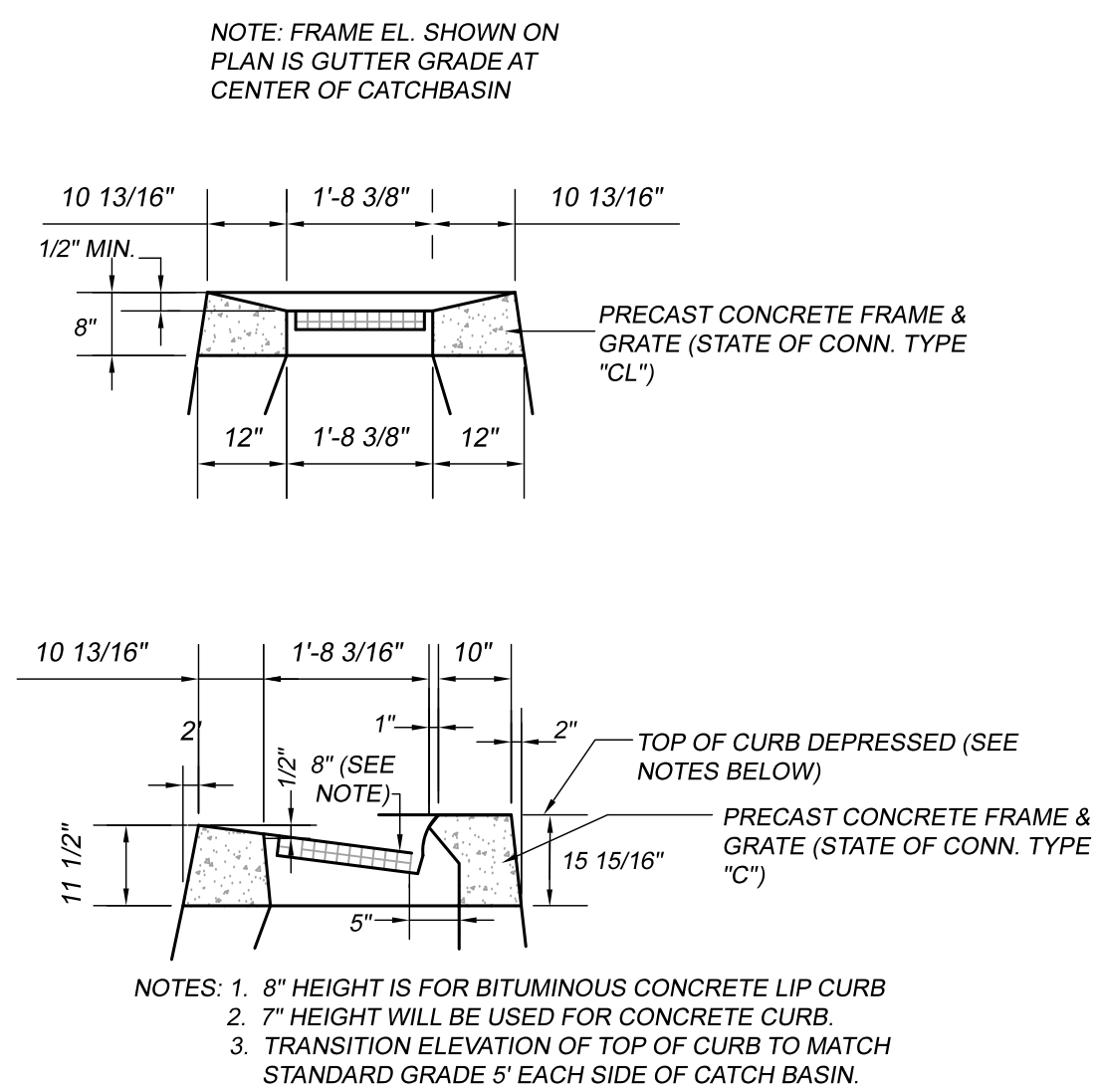
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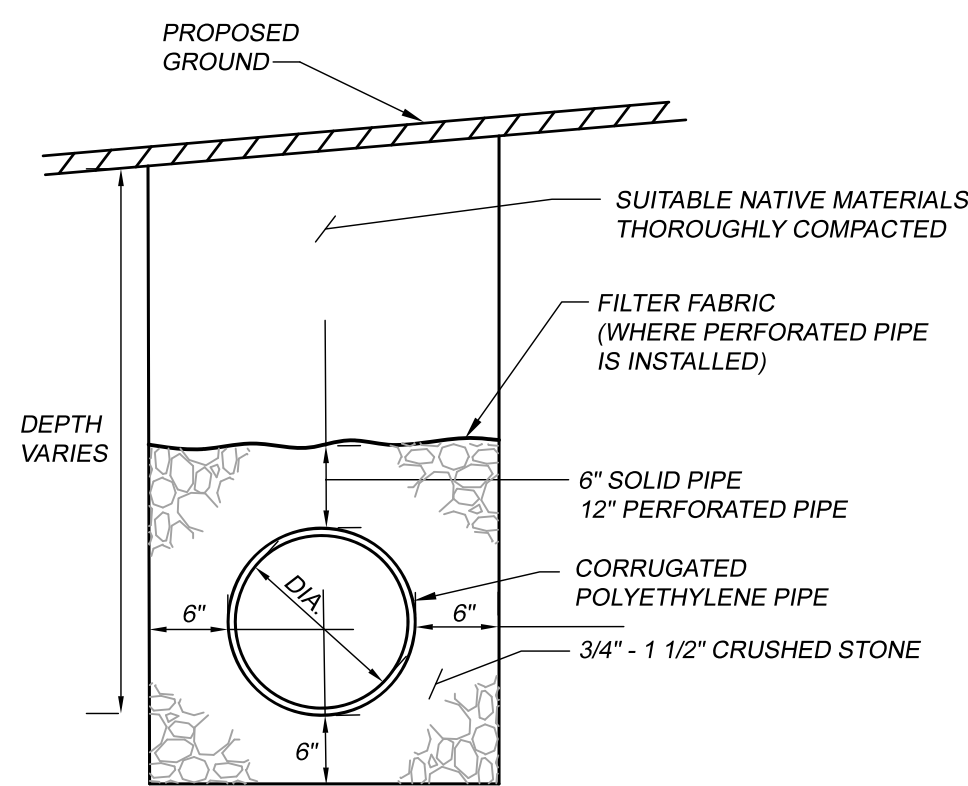
AZUD ROAD DRAINAGE SWALE SECTION
1" = 2'



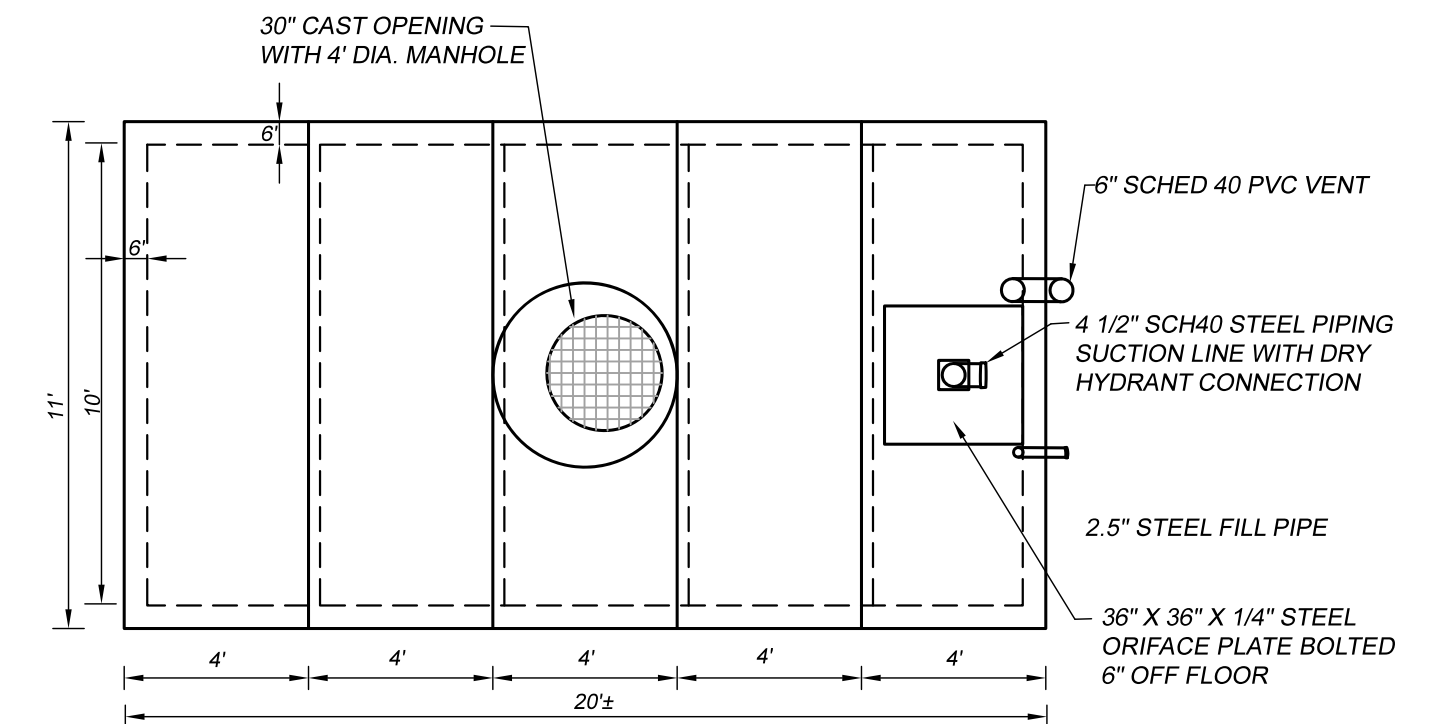
TYPE "C" OR "C-L" CATCH BASIN WITH SUMP
NOT TO SCALE



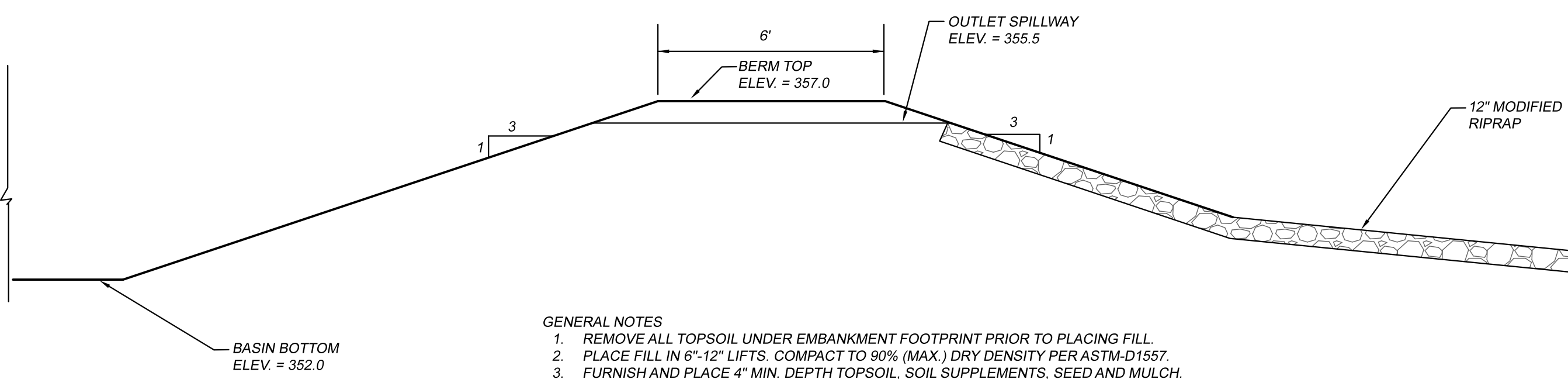
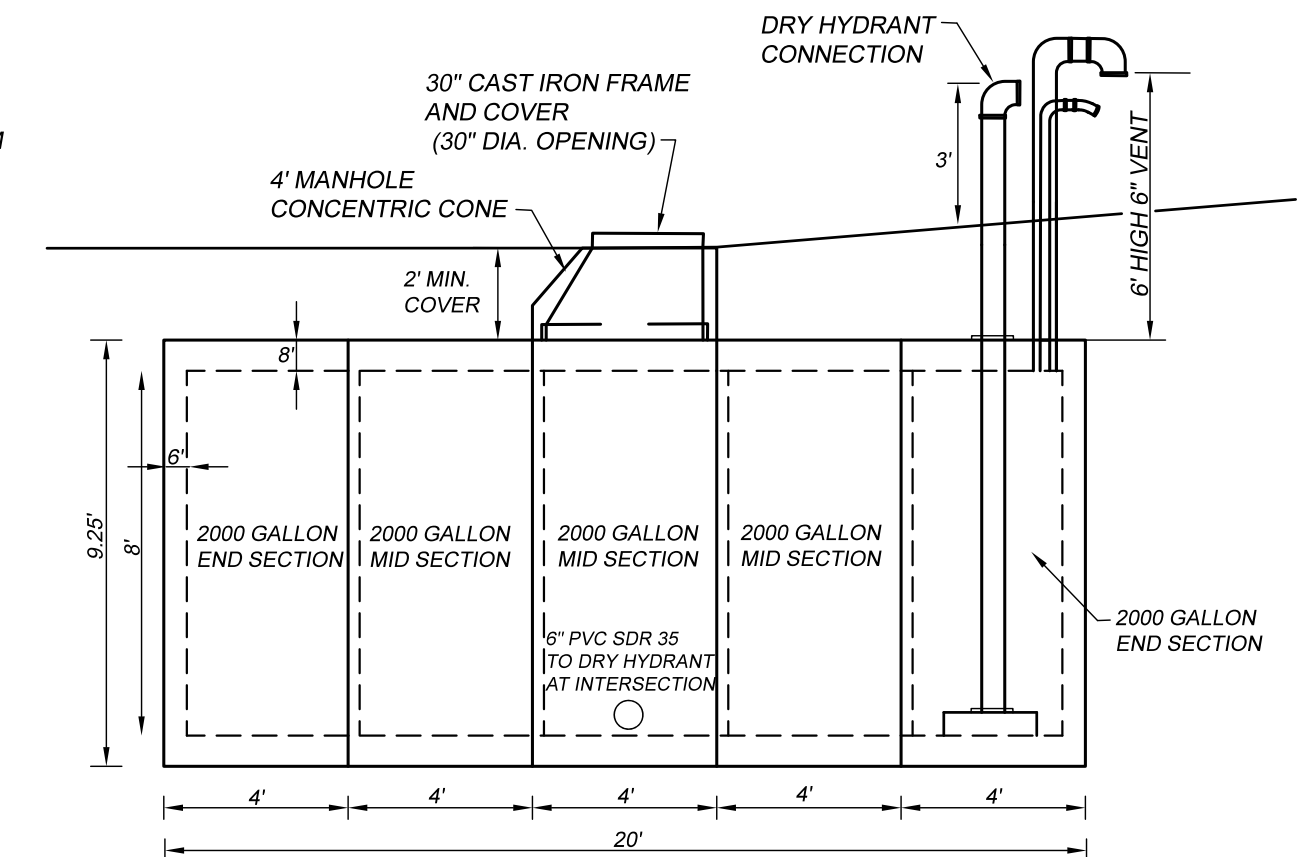
FRAME AND GRATE FOR TYPE "C" OR "C-L" CATCH BASIN
NOT TO SCALE



CPP DRAINAGE PIPE INSTALLATION DETAIL
NOT TO SCALE

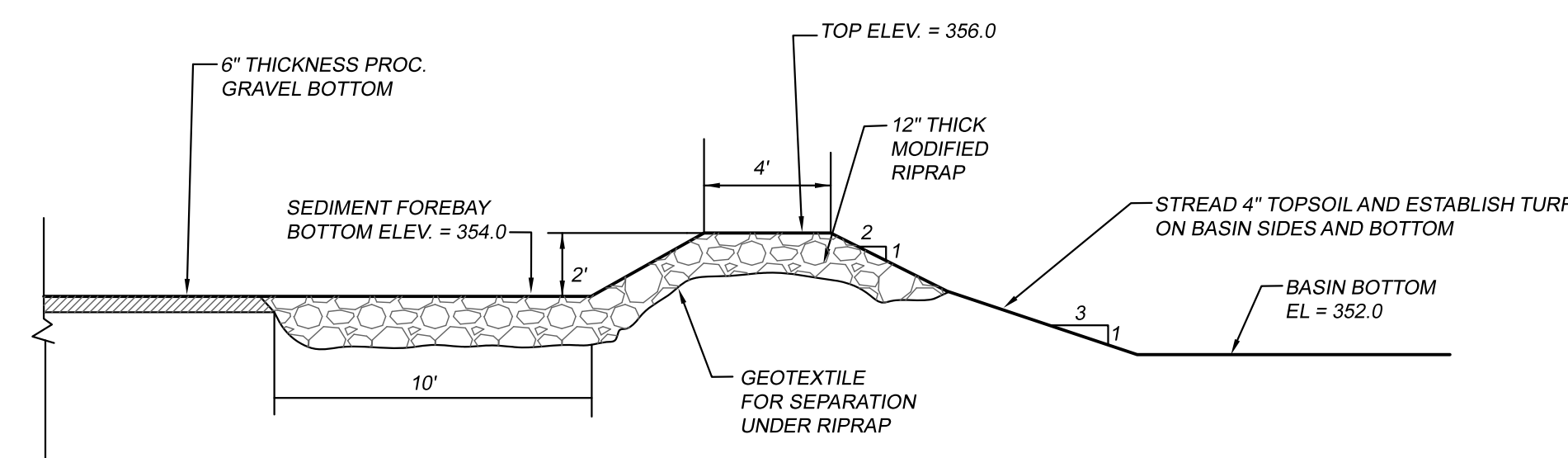


10,000 GALLON FIRE PROTECTION CISTERN
NOT TO SCALE



- GENERAL NOTES
1. REMOVE ALL TOPSOIL UNDER EMBANKMENT FOOTPRINT PRIOR TO PLACING FILL.
 2. PLACE FILL IN 6"-12" LIFTS. COMPACT TO 90% (MAX.) DRY DENSITY PER ASTM-D1557.
 3. FURNISH AND PLACE 4" MIN. DEPTH TOPSOIL, SOIL SUPPLEMENTS, SEED AND MULCH.

PHASE 2 STORMWATER BASIN
TYPICAL SECTION
N.T.S.



PHASE 2 STORMWATER BASIN
CROSS SECTION THROUGH SEDIMENT FOREBAY
1" = 5'

CISTERN NOTES:

1. CONCRETE TANKS SHALL MEET THE REQUIREMENTS FOR RESISTING EARTHQUAKE DAMAGE BY COMPLYING WITH THE EARTHQUAKE PROVISIONS OF ACI 308.
2. CONCRETE TANK WALLS SHALL BE MADE IMPERMEABLE BY MEANS OF AN IMPERVIOUS MEMBRANE OR COATING APPLIED TO THE INTERIOR SURFACE OF THE TANK TO PREVENT VISIBLE LEAKAGE OR SEEPAGE THROUGH THE TANK WALL.
3. LEAKAGE TESTING
A) PREPARATION- THE TANK SHALL BE FILLED WITH WATER TO THE MAXIMUM LEVEL AND LEFT TO STAND FOR AT LEAST 24 HOURS
B) MEASUREMENT- THE DROP IN LIQUID LEVEL SHALL BE MEASURED OVER THE NEXT 72-HOUR PERIOD TO DETERMINE THE LIQUID VOLUME LOSS. EVAPORATIVE LOSSES SHALL BE MEASURED OR CALCULATED AND SHALL BE DEDUCTED FROM THE MEASURED LOSS TO DETERMINE WHETHER THERE IS NET LEAKAGE.
C) THERE SHALL BE NO MEASURABLE LEAKAGE AFTER THE TANK IS PLACED IN SERVICE.
4. CAST-IN-PLACE CONCRETE MUST ACHIEVE A 28-DAY STRENGTH OF A GAUGE PRESSURE OF 3000 PSI. IT MUST BE PLACED WITHIN A MINIMUM IF 4IN. SLUMP AND VIBRATED IN A PROFESSIONAL MANNER.
5. ALL SUCTION AND FILL PIPING MUST BE ASTM INTERNATIONAL SCHEDULE 40 STEEL. ALL VENT PIPING MUST BE ASTM SCHEDULE 40 PVC.
6. ALL PVC PIPING MUST HAVE GLUED JOINTS.
7. THE FINAL SUCTION CONNECTION MUST BE 4 1/2 IN. MALE NATIONAL STANDARD HOSE THREAD AND MUST BE CAPPED.
8. THE FILLER PIPE SIAMESE MUST HAVE 2 1/2 IN. FEMALE NATIONAL STANDARD THREADS WITH PLASTIC CAPS.
9. ALL BACKFILL MATERIAL MUST BE SCREENED GRAVEL WITH NO STONES LARGER THEN 1 1/16IN. AND MUST BE COMPACTED TO 95 PERCENT IN ACCORDANCE WITH ASTM D1557.
10. BEDDING FOR THE CISTERN MUST CONSIST OF A MINIMUM OF 12 IN. OF 3/4IN TO 1 1/2IN CRUSHED, WASHED STONE, COMPACTED.

CONSTRUCTION DETAILS
DRAINAGE
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