

## GENERAL NOTES

### GENERAL ARCHITECTURAL:

- ALL DOOR HANDLES SHALL COMPLY WITH ADA AND BE LEVER OPERATED UNLESS OTHERWISE SPECIFIED.
- INTERIOR CEILING SHALL HAVE BE CLASS 'A' FLAME SPREAD RATING OF 0-25; SMOKE DEVELOPMENT OF 0-450.
- INSULATION AND INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS IBC. (CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450)
- TOP OF FIRE EXTINGUISHER, HAVING A GROSS WEIGHT LESS THAN 40 LBS., SHALL BE NOT MORE THAN 5 FEET ABOVE THE FLOOR; 3-1/2 FEET IF GROSS WEIGHT 40 LBS. OR GREATER.
- A REQUIRED FIRE SEPARATION SHALL BE CONTINUOUS FROM FOUNDATION THROUGH ALL INTERVENING CONSTRUCTION TO THE ROOF DECK, FROM OUTSIDE WALL TO OUTSIDE WALL OR FROM FIRE BARRIER TO FIRE BARRIER. PROVIDE UL OR FM LISTED ASSEMBLY.
- PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN TESTED IN ACCORDANCE WITH ASTM-E814.
- CONTRACTOR SHALL COORDINATE ALL SEALANT COLORS WITH THE ARCHITECT PRIOR TO INSTALLATION.

### GENERAL ADAAG

- PROVIDE HANDICAPPED ACCESSIBILITY IN ACCORDANCE WITH ADAAG (ACCESSIBILITY GUIDELINES)
- GROUND AND FLOOR SURFACES (SLIP RESISTANT UNDER ALL WEATHER CONDITIONS)
- PROVIDE AN ACCESSIBLE ROUTE FROM EACH ACCESSIBLE PARKING SPACE TO THE ACCESSIBLE BUILDING ENTRANCE (5).
- THRESHOLDS SHALL COMPLY WITH REGARDING CHANGES IN LEVEL. (NOT MORE THAN 1/2" HEIGHT AND BEVELED IF OVER 1/4")
- DOOR HARDWARE SHALL COMPLY WITH ADAAG. HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- SIGNAGE, WHERE PROVIDED AT PERMANENT ROOMS AND SPACES AND OTHER SIGNS WHICH PROVIDE DIRECTION TO OR INFORMATION ABOUT FUNCTIONAL SPACES OF THE BUILDING, SHALL BE IN ACCORDANCE WITH ADAAG (RAISED CHARACTER, LETTER SIZE, MOUNTING).
- PROVIDE LOW LEVEL MOUNTED EXIT SIGNAGE IN ACCORDANCE WITH ADAAG (RAISED CHARACTER, LETTER SIZE, MOUNTING) AT ALL REQUIRED EXITS.
- ACCESSIBLE TOILETS SHALL COMPLY WITH ADAAG.
- LAVATORIES SHALL COMPLY WITH THE FOLLOWING:
  - LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON.
  - KNEE AND TOE CLEARANCES SHALL COMPLY WITH ADAAG.
  - HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR COVERED.
  - FAUCETS SHALL COMPLY WITH ADAAG.
- MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE NOT MORE THAN 40" FROM THE FLOOR.
- TOILET ROOM GRAB BARS SHALL COMPLY WITH ADAAG.
- A DOORWAY IN A MEANS OF EGRESS SHALL PROVIDE AT LEAST 32" CLEAR (CONSIDERED 3'0" DOOR). WHERE A PAIR OF DOORS IS PROVIDED, AT LEAST ONE LEAF SHALL COMPLY.
- PARKING SPACES AND ACCESS AISLES CANNOT INCLUDE A RAMP OR ANY OTHER SLOPED SURFACE EXCEEDING 1:48 (2%) IN ANY ALL DIRECTIONS.

## ABBREVIATIONS

ACOUS.	ACOUSTICAL	MFG.	MANUFACTURER
A.C.T.	ACOUSTICAL CEILING TILE	MAX.	MAXIMUM
ADJ.	ADJUSTABLE	MAINT.	MAINTENANCE
A.F.F.	ABOVE FINISHED FLOOR	MECH.	MECHANICAL
A.F.G.	ABOVE FINISHED GRADE	MIN.	MINIMUM
ALUM.	ALUMINUM ANGLE / ANGLAR	MTL.	METAL
ANG.	ANGLE	MULL.	MULLION
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BM.	BEAM	NO.	NUMBER
C.B.	CATCH BASIN	N.T.S.	NOT TO SCALE
C.J.	CONSTRUCTION JOINT	O.C.	ON CENTER
CLG.	CEILING	O.H.	OPPOSITE HAND
CLR.	CLEAR	OZ.	OUNCE
C.M.U.	CONCRETE MASONRY UNIT	PLAS.	PLASTER
COL.	COLUMN	PL.	PLASTIC
CONC.	CONCRETE	P.L.	PLATE LINE
CONT.	CONTINUOUS	PTD.	PAINTED
CPT.	CARPET	P.T.H.	PAPER TOWEL HOLDER
DET.	DETAIL	RE.	REFER
D.S.	DOWN SPOUT	REF.	REFRIGERATOR
EA.	EACH	REINF.	REINFORCING
E.J.	EXPANSION JOINT	REQD.	REQUIRED
ELEC.	ELECTRICAL	SCHED.	SCHEDULE
ELEV.	ELEVATION OR ELEVATOR	S.C.	SOLID CORE
EQ.	EQUAL	S.D.	SOAP DISPENSER
E.T.R.	EXISTING TO REMAIN	SIM.	SIMILAR
E.W.C.	ELECTRICAL WATER COOLER	SPECS.	SPECIFICATION
EXP.	EXPANSION	SQ.	SQUARE
EXT.	EXTERIOR	SQR.	SQUARE
F.E.	FIRE EXTINGUISHER	STL.	STEEL
F.E.C.	FIRE EXTINGUISHER IN CABINET	STND.	STANDARD
F.F.	FINISHED FLOOR	STOR.	STORAGE
F.F.E.	FINISHED FLOOR ELEVATION	STRUCT.	STRUCTURAL
FL.	FLOOR	SUSP.	SUSPENDED
F.O.S.	FACE OF STUD	TEMP.	TEMPORARY
GALV.	GALVANIZED	TEMPRD.	TEMPERED
G.B.	GRAB BAR	THK.	THICK / THICKNESS
G.D.	GARBAGE DISPOSAL	THRLD.	THRESHOLD
GYP.	GYPSPUM	T.P.H.	TOILET PAPER HOLDER
H.M.	HOLLOW METAL	TYP.	TYPICAL
HOL.	HOLLOW	UR.	URINAL
HORZ.	HORIZONTAL	VR.	VERTICAL
HR.	HOUR	V.	VERTICAL
HRDWR.	HARDWARE	V.O.J.	VERIFY ON JOB
INSUL.	INSULATION	V.W.C.	VINYL WALL COVERING
LAM.	LAMINATE	W.C.	WATER CLOSET
LAV.	LAVATORY	WD.	WOOD
		WID.	WIDTH

### GENERAL NOTES:

- CONTRACTOR SHALL PERFORM ALL WORK AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE IN COMPLIANCE WITH THE CODE, AIA GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, RECOGNIZED INDUSTRY STANDARD, CRAFTSMANSHIP, STANDARDS IN THE AREA, ALL MANUFACTURER'S RECOMMENDATIONS AND ALL OTHER APPLICABLE CODES.
- THE ARCHITECT DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OR FOR THE SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE CONTRACT DOCUMENTS AND ANY EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, REFLECTORS, LIGHTS, ETC. DURING CONSTRUCTION. PROPERLY DEMARCATÉ AREAS CLOSED TO THE PUBLIC.
- THE CONTRACTOR WILL REMOVE ALL RUBBLE AND DEBRIS FROM THE JOB SITE AND LEAVE THE BUILDING AND GROUNDS BROOM CLEAN UPON COMPLETION OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND COORDINATION OF ALL CONDUIT, PIPING, DUCTWORK, ETC. WITH THE VARIOUS TRADES.
- CONTRACTOR SHALL VISIT THE SITE AND ACQUAINT HIMSELF THOROUGHLY WITH ALL EXISTING FACILITIES AND CONDITIONS WHICH WOULD AFFECT HIS PORTION OF THE WORK. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF INSTALLING THE WORK TO MEET SAID CONDITIONS.
- WHENEVER THERE ARE DISCREPANCIES BETWEEN THE DRAWINGS, OR THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL ESTIMATE UPON THE BETTER QUALITY OR GREATER QUANTITY OF MATERIAL OF WORK CALLED FOR, AND IT SHALL BE SO FURNISHED UNLESS OTHERWISE ORDERED IN WRITING.
- PLANS AND DETAIL DRAWINGS ARE TO LIMIT, EXPLAIN AND DEFINE CONDITIONS, SPECIFIED REQUIREMENTS AND MANNER OF WORK. STRUCTURAL OR OTHER CONDITIONS MAY REQUIRE CERTAIN MODIFICATIONS FROM THE MANNER OF INSTALLATION SHOWN, AND SUCH DEVIATIONS ARE PERMISSIBLE AND SHALL BE MADE AS REQUIRED, BUT, SPECIFIED SIZES AND REQUIREMENTS NECESSARY FOR SATISFACTORY OPERATION SHALL REMAIN UNCHANGED. ALL SUCH CHANGES SHALL BE MADE AS REQUIRED AND SHALL BE REFERRED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING. EXTRA CHARGES SHALL NOT BE ALLOWED FOR THESE CHANGES. THE CONTRACTOR SHALL REALIZE THAT THE DRAWINGS COULD NOT DELVE INTO EVERY STEP, SEQUENCE, OR OPERATION NECESSARY FOR THE COMPLETION OF THE PROJECT WITHOUT DRAWING ON THE CONTRACTOR'S EXPERIENCE OF INGENUITY. HOWEVER, ONLY TYPICAL DETAILS ARE SHOWN ON THE PLANS. IN CASES WHERE THE CONTRACTOR IS NOT CERTAIN ABOUT THE METHOD OF INSTALLATION OF HIS WORK, HE SHALL ASK FOR FURTHER EXPLANATION. LACK OF UNDERSTANDING SHALL NOT BE AN EXCUSE FOR IMPROPER INSTALLATION. IN GENERAL, THE DRAWINGS ARE DIAGRAMMATIC AND THE CONTRACTOR SHALL INSTALL HIS WORK IN A MANNER THAT INTERFERENCES BETWEEN THE VARIOUS TRADES IS AVOIDED. IN CASES WHERE INTERFERENCES DO OCCUR, THE ARCHITECT IS TO STATE WHICH EQUIPMENT, PIPING, ETC. IS TO BE RELOCATED REGARDLESS OF WHICH ITEM WAS INSTALLED FIRST.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND FEES.

## CODE REFERENCE

WIND DESIGN DATA:  
 - BASIC WIND SPEED (3 SECOND GUST): 115 MPH (LSUCC)  
 - WIND IMPORTANCE FACTOR: 1.0 (ASCE 7-16 TABLE G-1)  
 - OCCUPANCY CATEGORY: II (ASCE 7-16 TABLE 1-1)  
 - WIND EXPOSURE CATEGORY: EXPOSURE 'B'  
 - DESIGN WIND PRESSURE FOR EXTERIOR COMPONENTS AND CLADDING MATERIALS: (ASCE 7-16 METHOD 1)

### 2015 NFPA 101 LIFE SAFETY CODE

OCCUPANCY CLASSIFICATION: BUILDING SHELL ONLY

### 2021 IBC (EXCLUDING CHAPTER 1, 11, AND 27)

OCCUPANCY CLASSIFICATION: BUILDING SHELL ONLY

CONSTRUCTION TYPE: TYPE IIB, UNPROTECTED

### \*BUILDING SHELL ONLY.

TOTAL BUILDING AREA: 13,477 S.F.  
 CONDITIONED: 11,650 S.F.  
 COVERED PORCH: 1,827 S.F.

### FIRE PROTECTION SYSTEMS:

AUTOMATIC SPRINKLER SYSTEM: NO  
 FIRE ALARM SYSTEM: NO

HEIGHT: ONE STORY

### 2010 ADA STANDARDS (SEPTEMBER)

AMERICANS WITH DISABILITIES ACT

### 2021 IMC - INTERNATIONAL MECHANICAL CODE

### 2020 NEC - NATIONAL ELECTRICAL CODE

# A NEW FACILITY FOR: VAN ALAN COMPANIES 1911 CHEMIN METAIRIE, YOUNGSSVILLE, LA

## PROJECT PERSPECTIVES

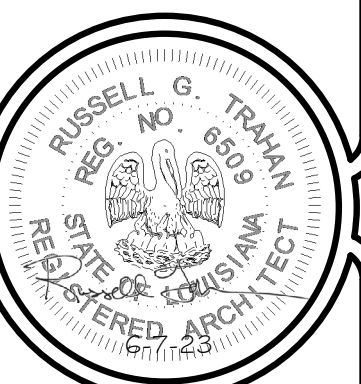


## SYMBOLS

	PARTITION / DETAIL TYPE
	SECTION DETAIL CALLOUT
	SECTION DETAIL CALLOUT
	DETAIL CALLOUT
	DETAIL # SHEET #
	WINDOW TYPE
	DOOR TYPE
	ROOM ROOM DESCRIPTION NUMBER
	DETAIL # SHEET # INTERIOR ELEVATION

## INDEX OF DRAWINGS

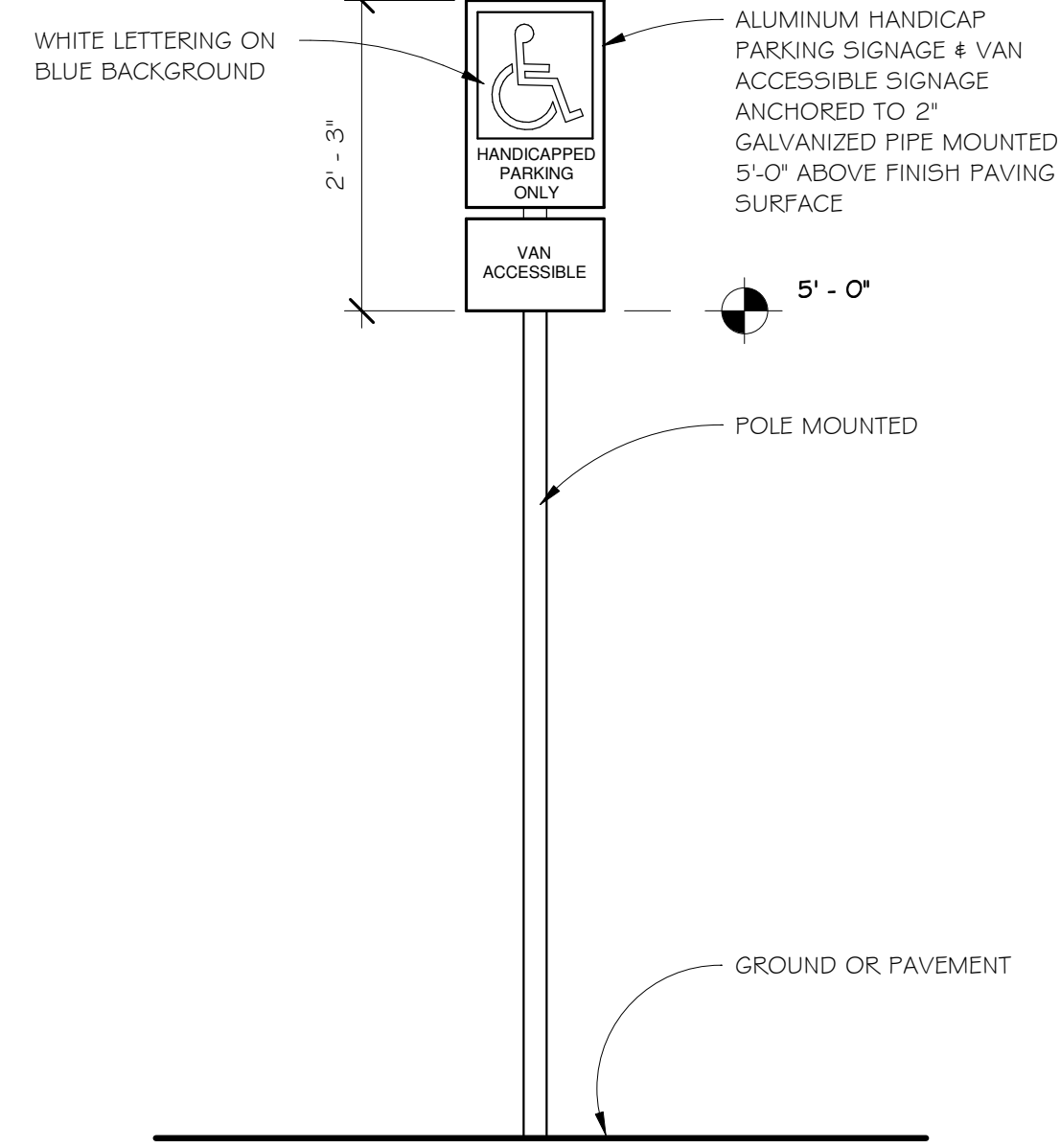
1	22	A1.1	TITLESHEET
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21	22	S2.1	TRUSS NOTES
22	22	S3.0	GENERAL NOTES



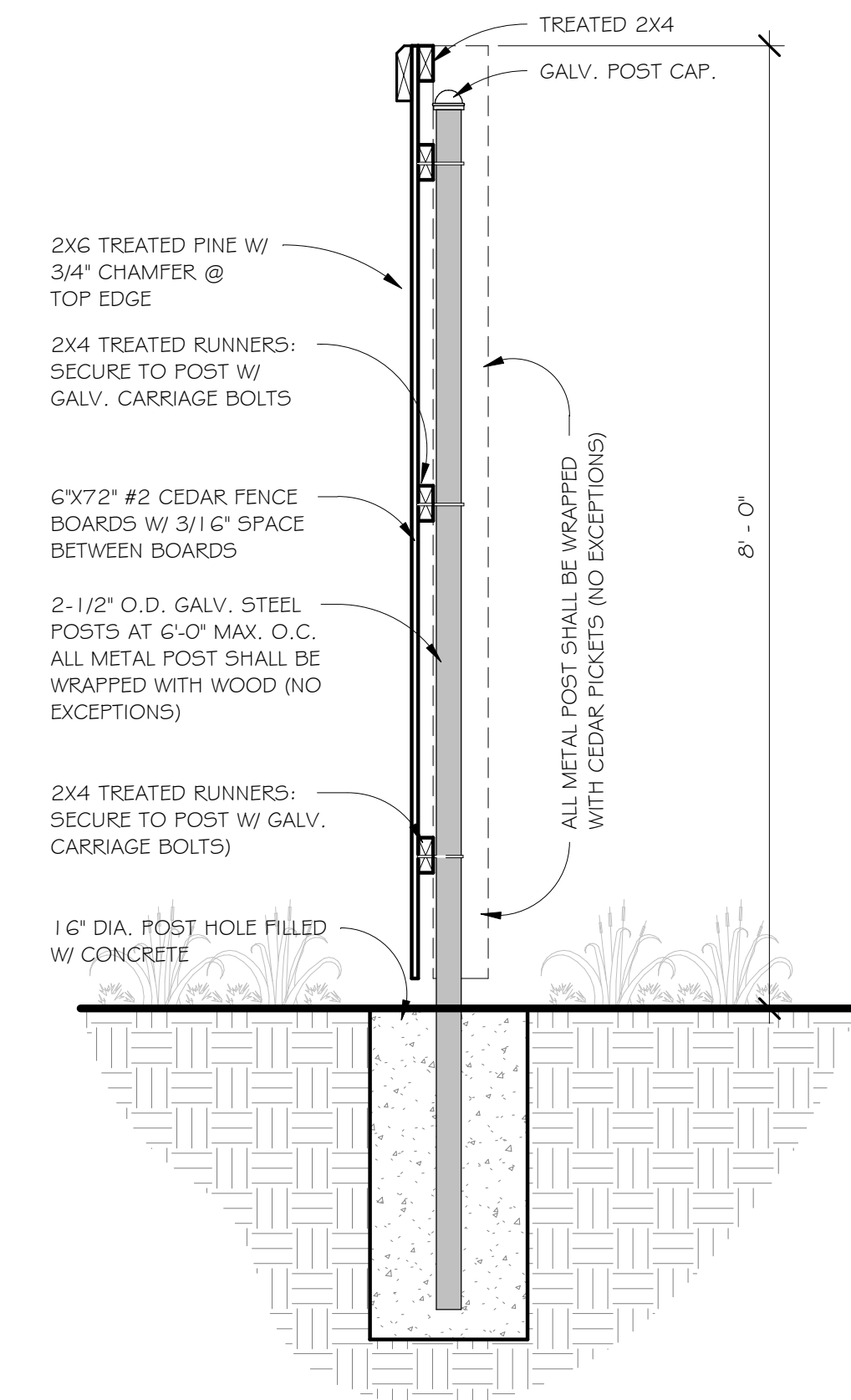
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06-07-23  
REVISION NO./DATE

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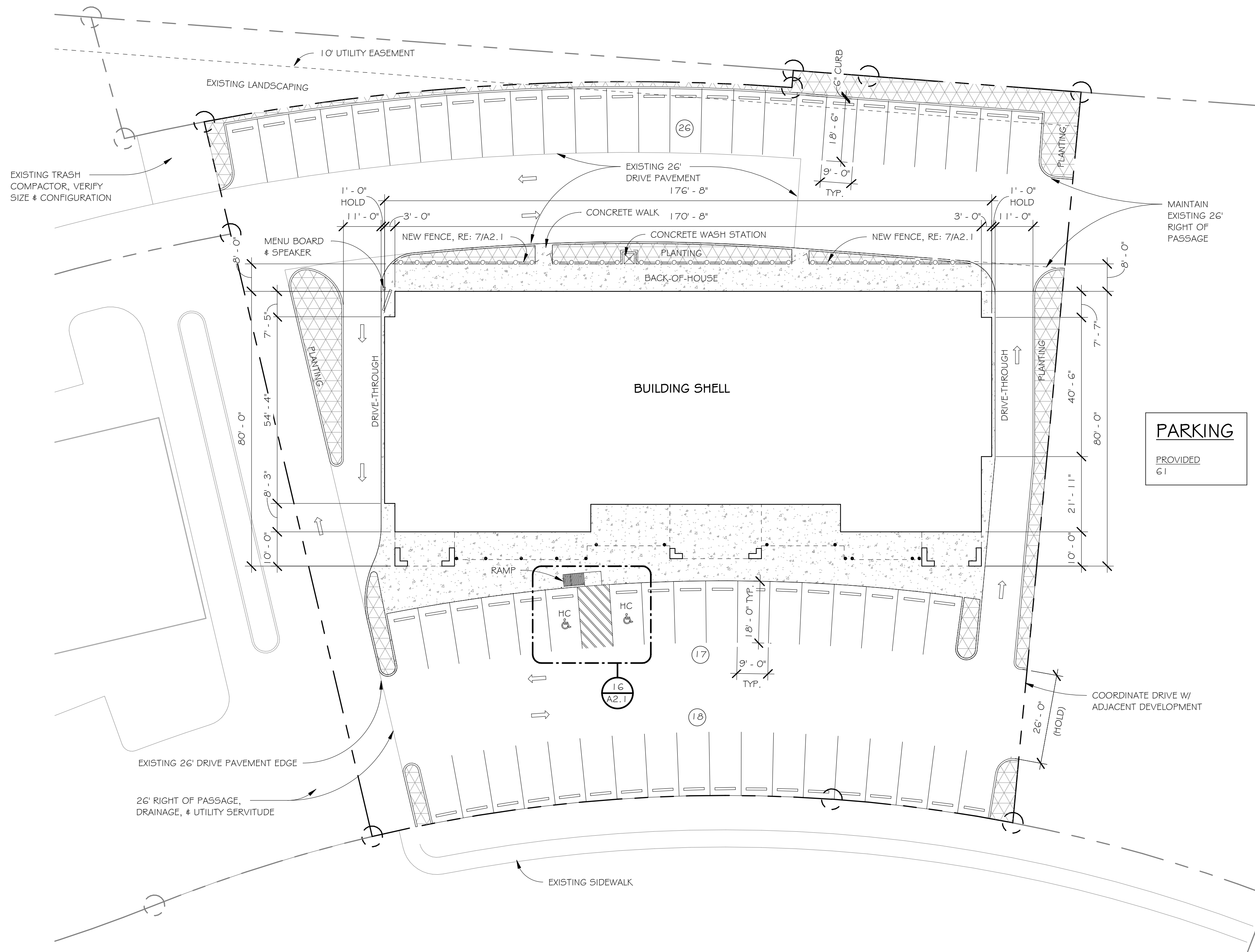
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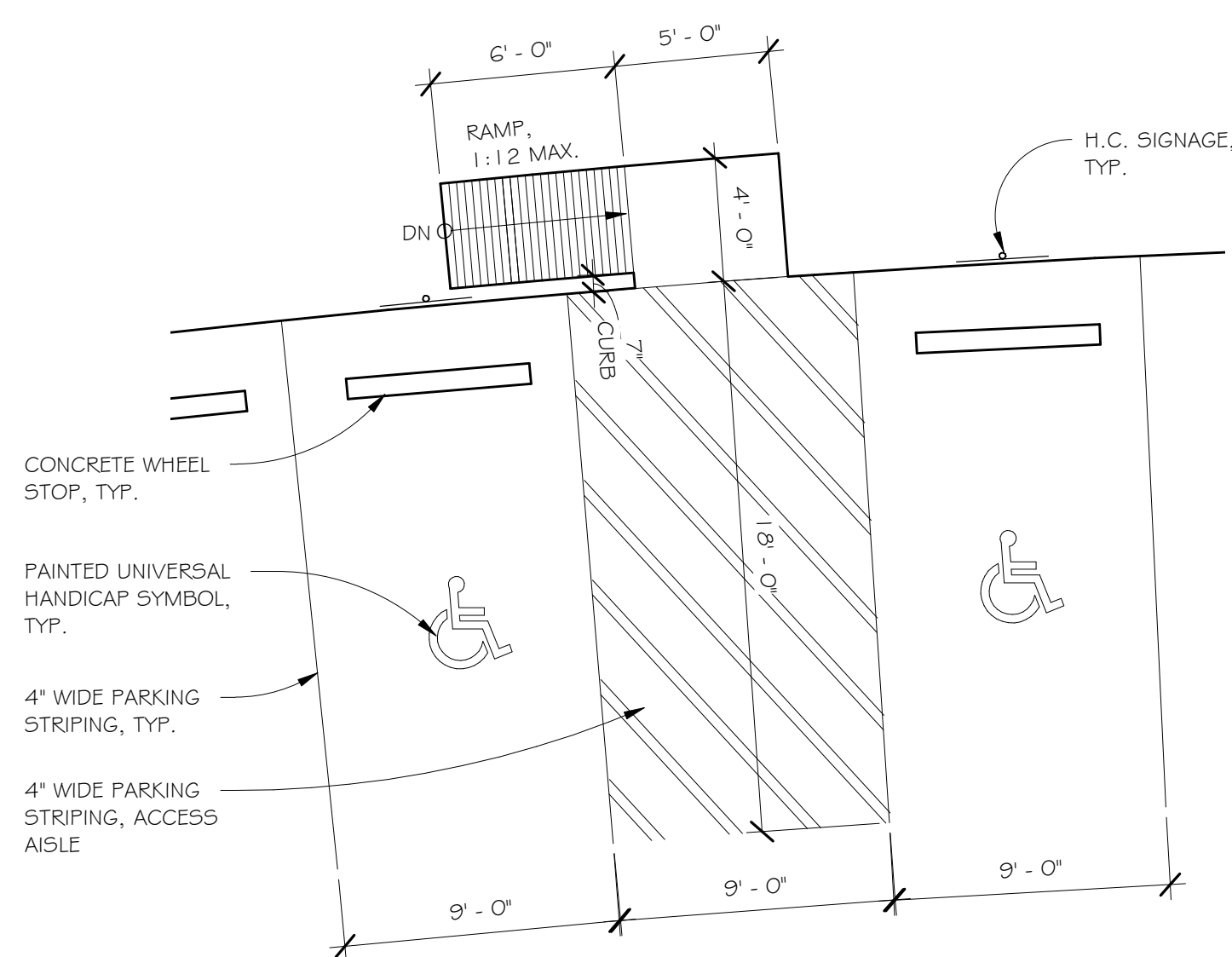
**6** HANDICAP SIGN DETAIL  
3/4" = 1'-0"



**7** CEDAR FENCE DETAIL  
3/4" = 1'-0"

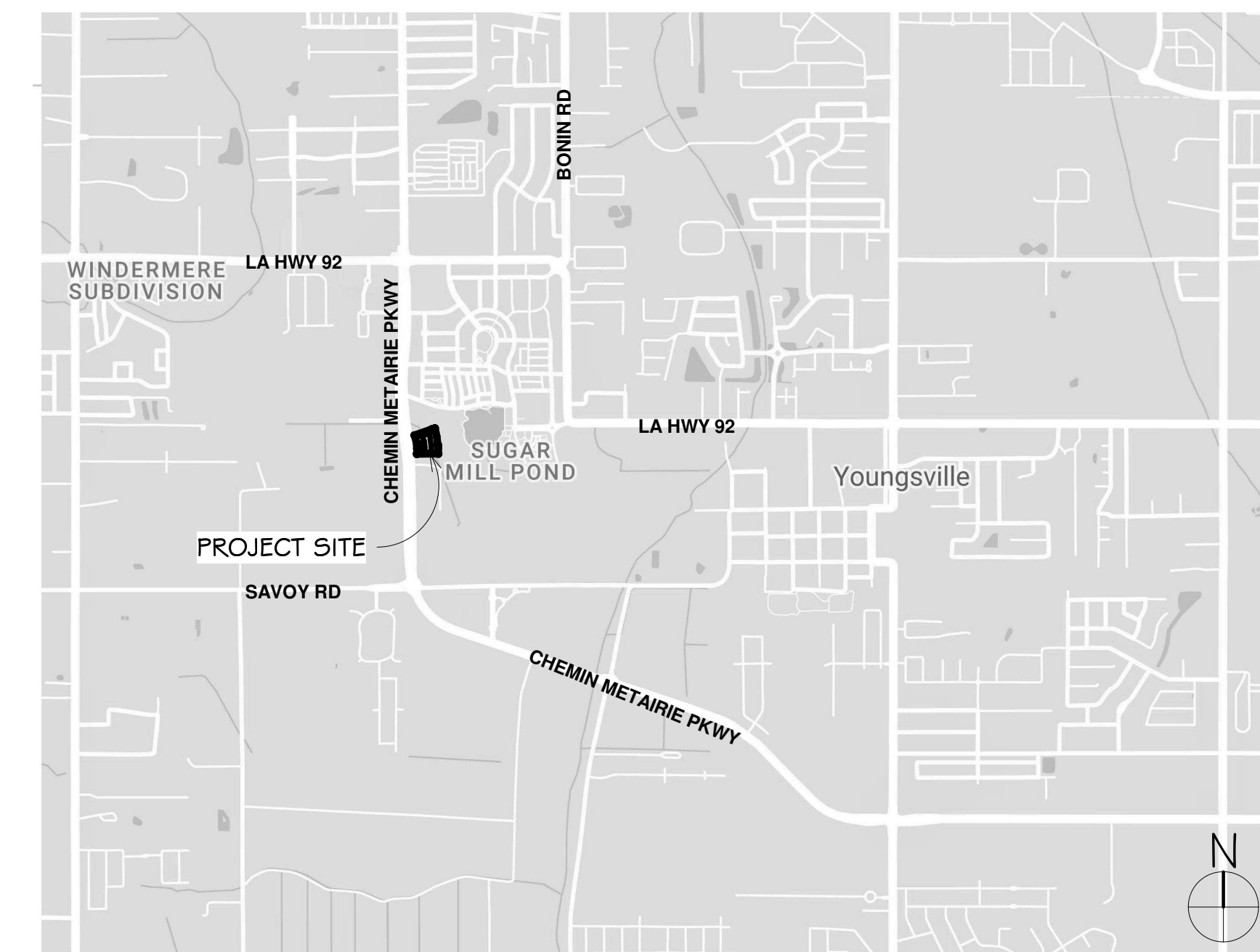
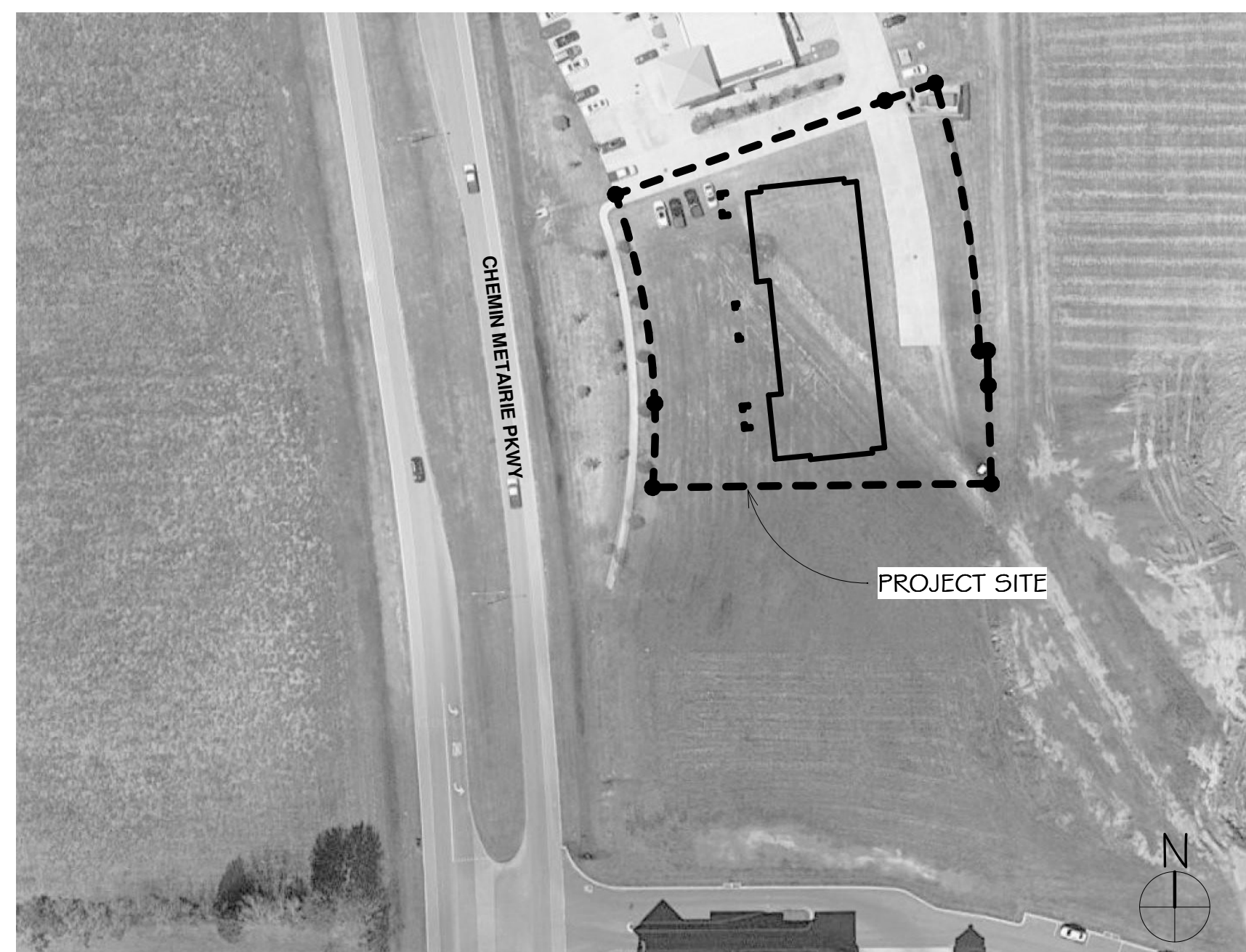


**13** ARCHITECTURAL SITE PLAN  
1" = 20'-0"



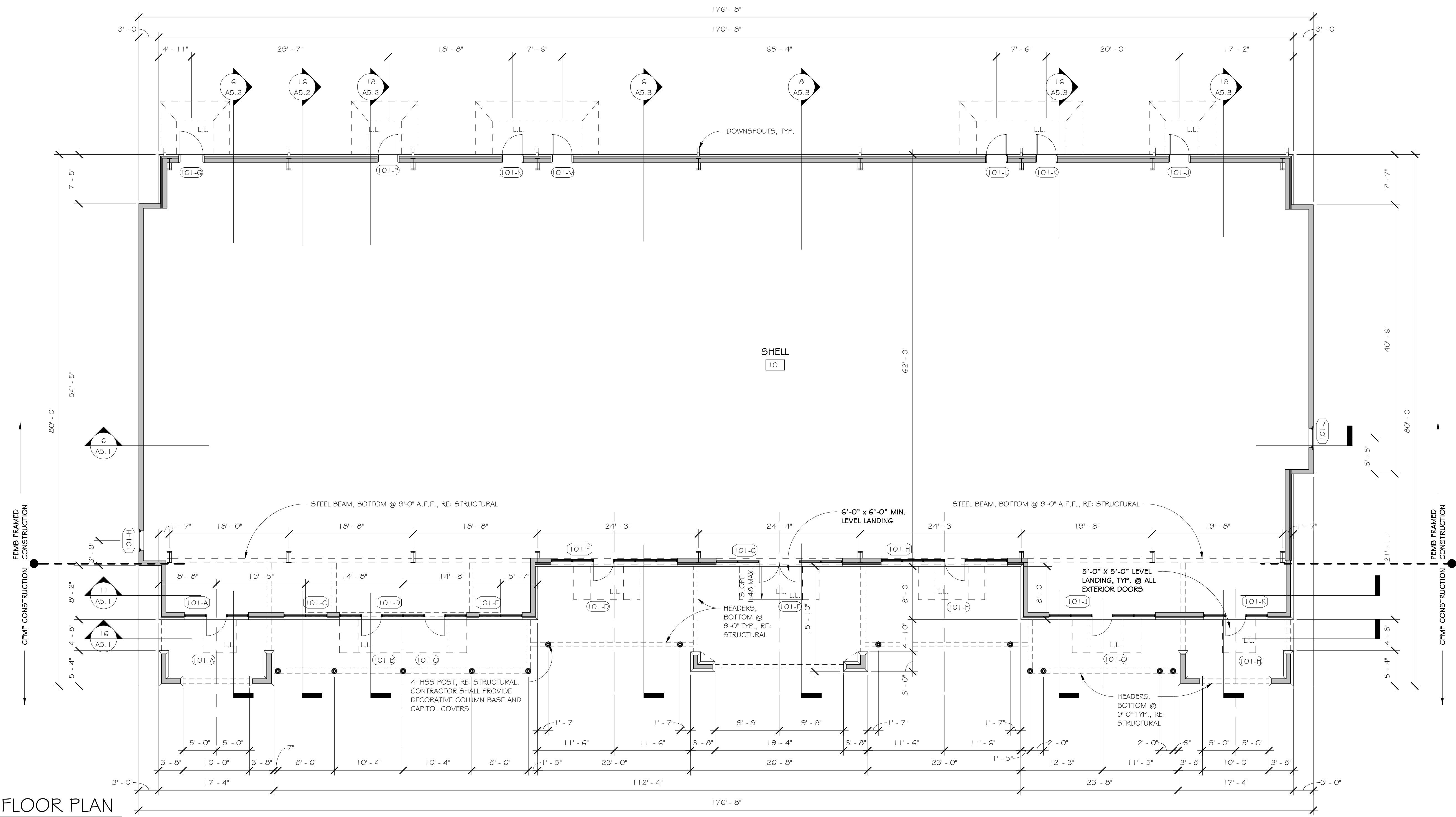
**16** H.C. PARKING PLAN  
3/16" = 1'-0"

VICINITY MAPS



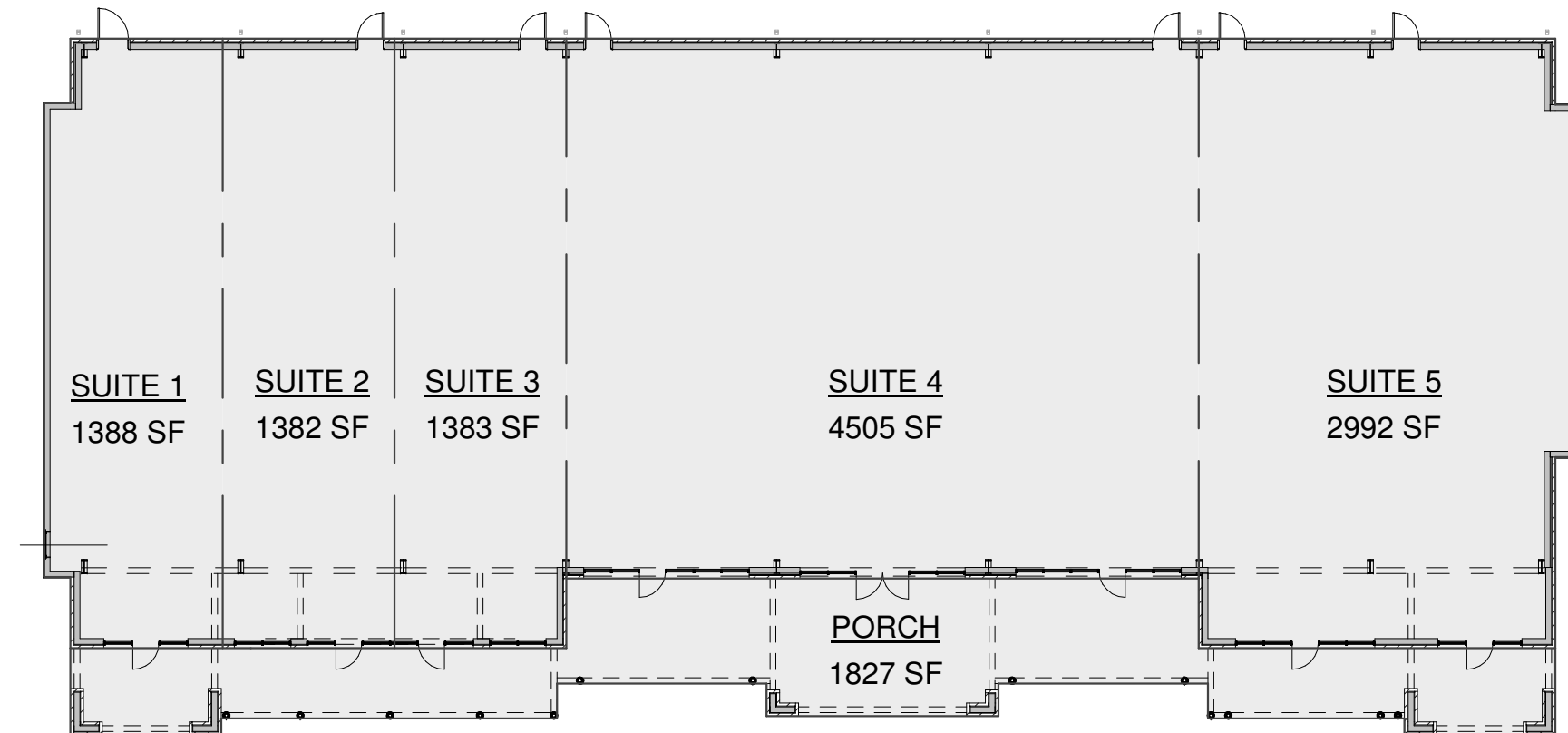
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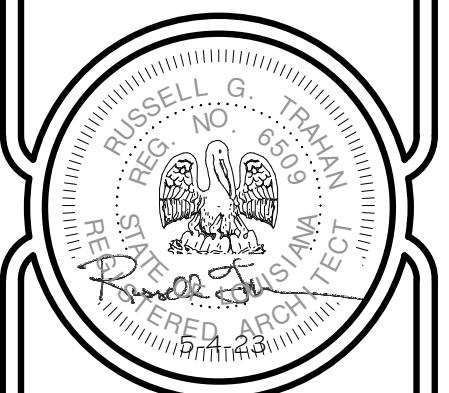


**FLOOR PLAN**  
1/8" = 1'-0"

AREA SCHEDULE	
AREA	SQUARE FT
SUITES	
SUITE 1	1388
SUITE 2	1382
SUITE 3	1383
SUITE 4	4505
SUITE 5	2992
	11650
COVERED PORCH	
PORCH	1827
	1827
GROSS BUILDING AREA	13477



**19 AREA PLAN**  
1" = 20'-0"



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