

WESTMAC



NELSON  
SHELTON  
REAL ESTATE

**FOR SALE**  
**1115-1121 S.**  
**WESTGATE**  
**AVENUE**

Developable Multifamily Land in Brentwood





CLICK OR SCAN for 360° Aerial Video





**WESTMAC**

Commercial Brokerage Company



1115-1121 S.  
**WESTGATE  
AVENUE**

**For questions, contact any of the Listing Agents:**

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310.966.4352

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**WOODY COOK**

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**SHAWN SEDGHI**

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powerreo@hotmail.com

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**WESTMAC COMMERCIAL BROKERAGE COMPANY**

1515 S. Sepulveda Boulevard, CA 90025

Phone: 310.478.7700

DRE# 01096973

www.westmac.com

**NELSON SHELTON REAL ESTATE**

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Phone: 310.271.2229

DRE# 01818147

www.nelsonshelton.com

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# EXECUTIVE SUMMARY

WESTMAC Commercial Brokerage Company and Nelson Shelton Real Estate are pleased to present the opportunity to purchase 1115-1121 S. Westgate Avenue, Los Angeles, CA 90049, an extraordinary development opportunity in prime Brentwood.

Located between Kiowa Avenue and Goshen Avenue, 1115-1121 S. Westgate Avenue features two parcels totaling  $\pm 6,900$  square feet of land in the highly desirable Brentwood neighborhood with [Q]R3-1 zoning. The lack of developable R3 and R4 zones in LA is one of the biggest roadblocks to constructing new apartments, making this an extraordinary opportunity for savvy developers looking to build a multifamily housing development. The former building has been demolished and the lot currently sits vacant. The Seller has submitted plans based on by-right development for a four (4) story, eight (8) unit apartment building with one (1) level of subterranean parking. This property is ready to issue permits.

The Property's unbeatable Brentwood location is one of Los Angeles's most desirable and sought after neighborhoods, combined with a high barriers to entry market, making this a rare development opportunity. The Property is located less than one mile from the VA Greater Los Angeles Healthcare System and has a high walk score of 86. It is also in close proximity to UCLA, Westwood, Santa Monica and The Pacific Palisades. The location provides easy access to both the 405 and 10 freeways and access to much of the best shopping, dining, and culture that Los Angeles has to offer.



**RENDERING OF PLANNED DEVELOPMENT**



# PROPERTY OVERVIEW

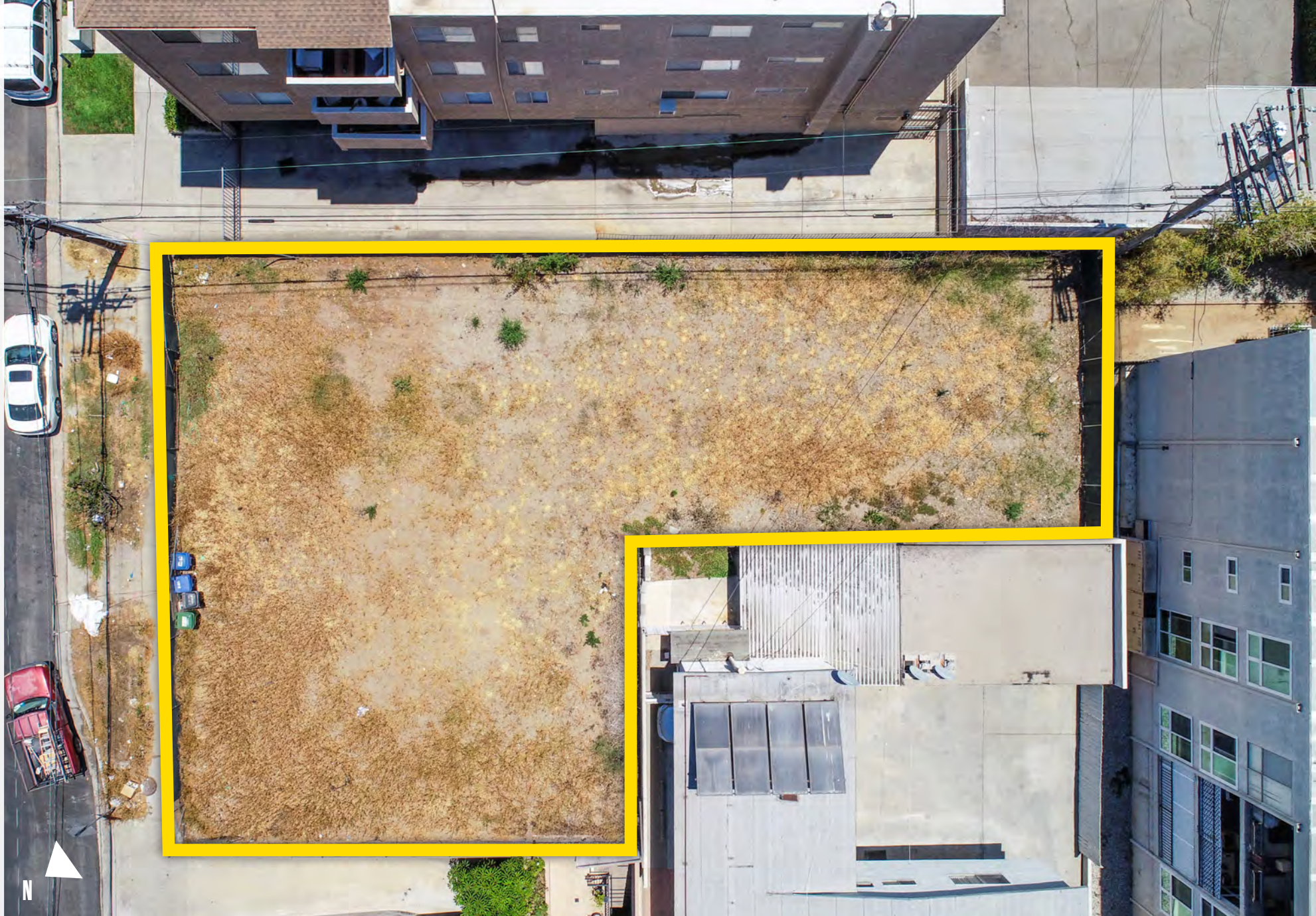
<i>Address</i>	1115-1121 S. Westgate Avenue, Los Angeles, CA 90049
<i>APN(s)</i>	4265-012-064; 4265-012-065
<i>Lot Size</i>	± 6,900 square feet (2,400 SF + 4,500 SF)
<i>Dimensions</i>	120' x 37.5'; 40' x 60'
<i>Zoning</i>	[Q]R3-1
<i>Neighborhood</i>	Brentwood
<i>Community Plan Area</i>	Brentwood/Pacific Palisades
<i>Specific Plan Area</i>	West Los Angeles Transportation Improvement and Mitigation
<i>General Plan Land Use</i>	Medium Residential
<i>Transit Oriented Communities (TOC)</i>	Not Eligible
<i>Frontage</i>	77.5' along Westgate Ave.
<i>Walk Score</i>	86 (Very Walkable)
<i>Asking Price</i>	\$2,900,000
<i>Price Per SF</i>	\$420/SF on Land

## Due Diligence Access:

Interested parties can access due diligence information at [www.WestgateDevelopmentOpportunity.com](http://www.WestgateDevelopmentOpportunity.com).



# WESTGATE AVENUE



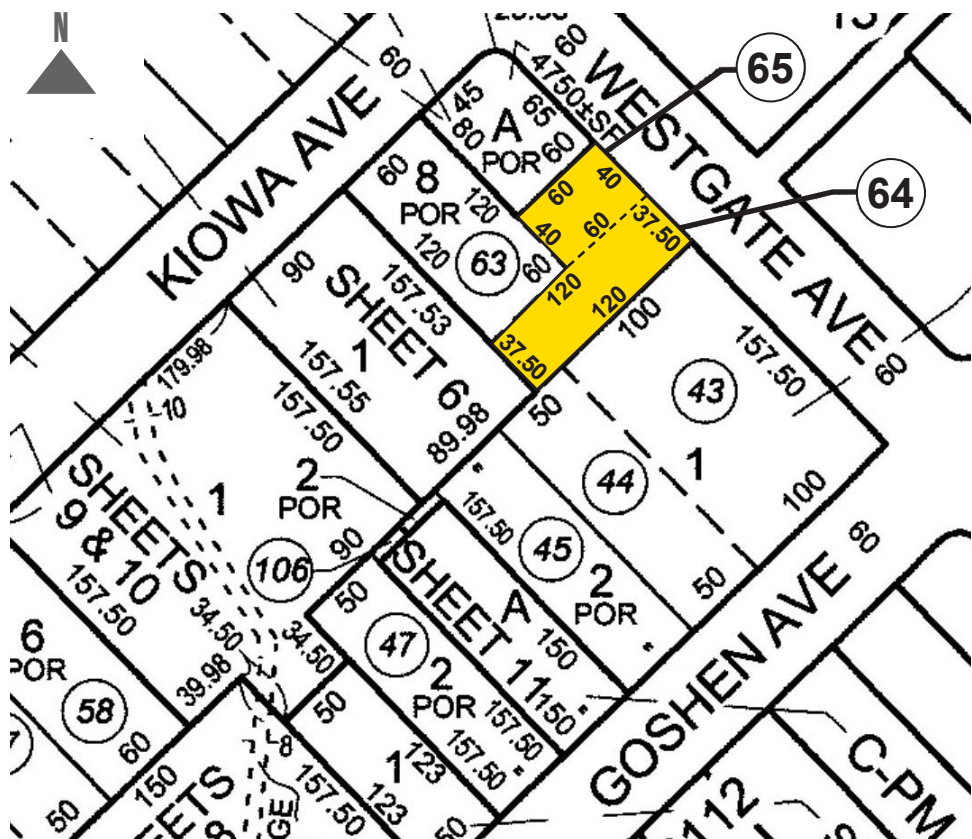
The findings are based upon public information available. We believe that this offering memorandum provides factual review of current zoning designation and development regulations for the Site. However, due to discretionary methods used by the City of Los Angeles for denoting zones and previous zoning actions, it is possible that this information may not reflect future City actions related to the subject site. Also, regulations and procedures for the planning and development process in the City of Los Angeles are frequently changed or updated. For these reasons, Seller, WESTMAC Commercial Brokerage Company and Nelson Shelton Real Estate cannot guarantee the accuracy of this information and cannot guarantee that there are no errors or omissions in this offering memorandum.



# DEVELOPMENT SUMMARY

The Property contains two (2) parcels of vacant land; previous improvements have been demolished. Together both parcels total approximately 6,900 square feet of land. Both parcels are zoned [Q]R3-1.

The zoning allow for a new four story development and 3.0 FAR (20,700 SF building based on a 6,900 square foot lot). Possible buildable units range from 5 to 9 units. To determine whether or not more units could be built on this land, buyers are advised and encouraged to contact the city.



## PLANNED DEVELOPMENT

The Seller has submitted plans to the City of Los Angeles for a By Right Development, which included the following:

Zoning	[Q]R3-1
Total Lot Size	± 6,900 square feet
Gross Allowable Area	± 12,225 square feet
Status	RTI; Ready to Issue
# of Stories Planned	Four (4) above ground
# of Units Planned	Eight (8)
# of Affordable Units	None
Parking	One (1) Subterranean parking level with 15 spaces
Bike Parking	Eight (8) long term spaces, two (2) short term spaces

## PLANNED UNIT MIX

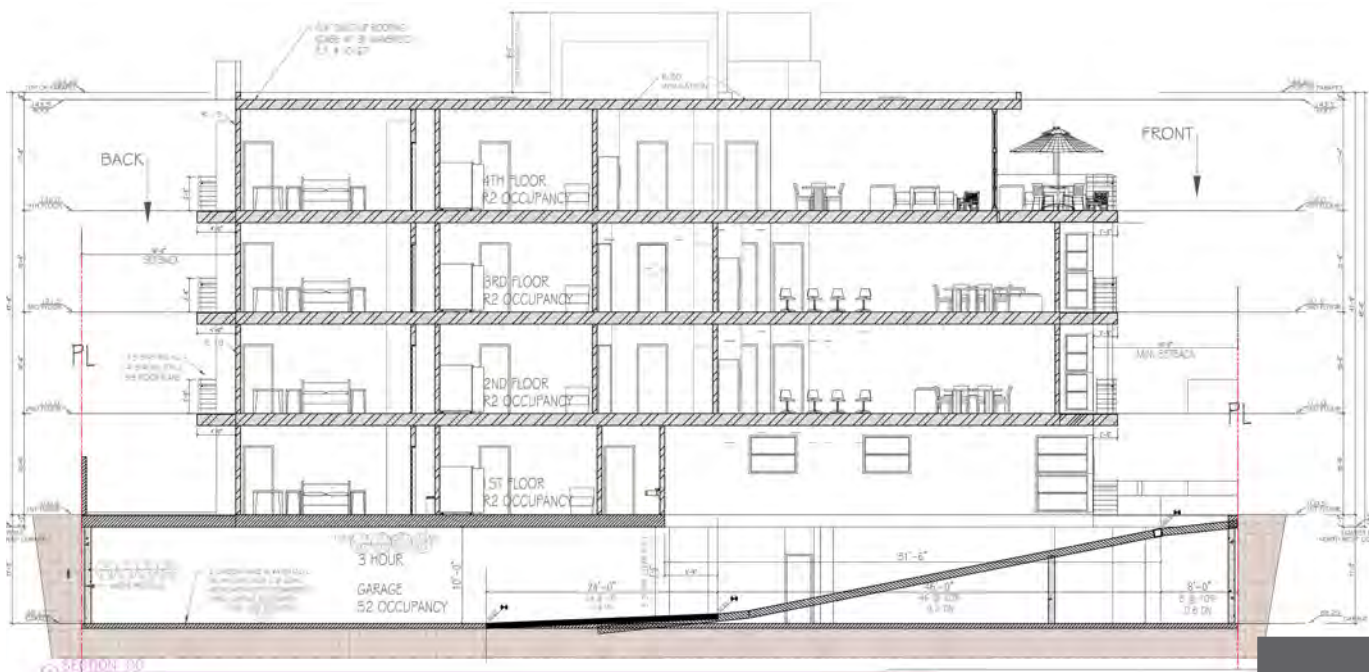
	Total SF	Unit	Unit SF
First Floor	3,411	101 - 2 bed, 2 bath	1,000
		102 - 2 bed, 2.5 bath	1,590
Second Floor	3,579	201 - 2 bed, 2 bath	1,170
		202 - 2 bed, 2.5 bath	1,710
Third Floor	3,576	301 - 2 bed, 2 bath	1,170
		302 - 2 bed, 2.5 bath	1,710
Fourth Floor	2,995	401 - 1 bed, 1.5 bath	730
		402 - 2 bed, 2.5 bath	1,515

**Note:** The land is entitled and RTI. Buyer shall complete its own due diligence with the City of Los Angeles for its proposed development.





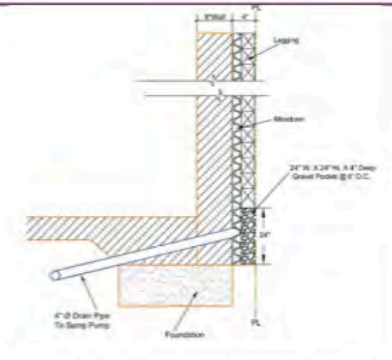
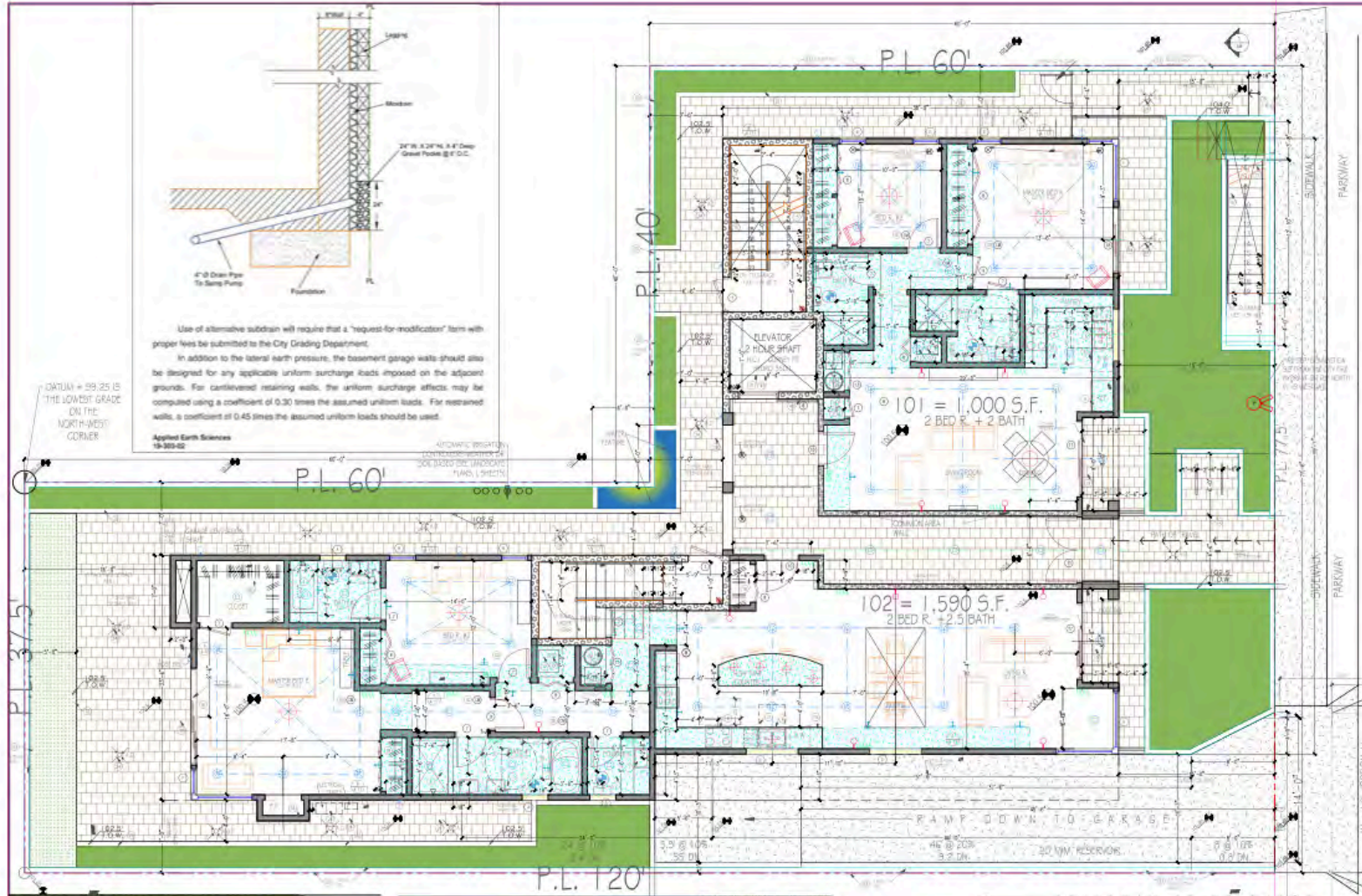
RENDERING











Use of alternative subdrain will require that a "request-for-modification" form with proper fees be submitted to the City Grading Department.  
 In addition to the lateral earth pressure, the basement garage walls should also be designed for any applicable uniform surcharge loads imposed on the adjacent grounds. For cantilevered retaining walls, the uniform surcharge effects may be computed using a coefficient of 0.30 times the assumed uniform loads. For restrained walls, a coefficient of 0.45 times the assumed uniform loads should be used.  
 Applied Earth Sciences  
 19-303-02

**NOTES AND SPECIFICATIONS:**

- 1. LAVATORY SINK: 18\"/>
- 2. SINK: 18\"/>
- 3. SINK: 18\"/>
- 4. TUB / SHOWER: 60\"/>
- 5. WHITE POOL TUB: 60\"/>
- 6. KITCHEN SINK: 18\"/>
- 7. DISHWASHER: 24\"/>
- 8. DOOR: 36\"/>
- 9. DOOR: 36\"/>
- 10. DOUBLE OVEN MICROWAVE: 30\"/>
- 11. PANTRY: 36\"/>
- 12. WASHER: 24\"/>
- 13. DRYER: 24\"/>
- 14. GUARD RAIL OR HALF WALL: 36\"/>
- 15. STAIR RAILING: 36\"/>
- 16. FIRE PLACE (GAS): 36\"/>
- 17. LINEN CLOSET: 36\"/>
- 18. BALCONY OR DECK: 36\"/>
- 19. SCOFFY ABOVE: 36\"/>
- 20. PLANTER: 36\"/>
- 21. CONCRETE BLOCK WALL: 36\"/>
- 22. DOWN SPOUT: 36\"/>
- 23. SINK: 18\"/>
- 24. WATER HEATER: 30\"/>
- 25. FORCE AIR UNIT (F.A.U.): 36\"/>
- 26. KITCHEN SINK (HANDICAP): 18\"/>
- 27. DISABLE ACCESS (RAMP): 36\"/>
- 28. STAIR (PRIVATE INTERIOR): 36\"/>
- 29. WALK BEHIND: 36\"/>
- 30. SLATE: 36\"/>
- 31. AUTO SPRINKLER AND VENTILATION: 36\"/>
- 32. SMOKE DETECTOR: 36\"/>
- 33. WATER CURTAIN: 36\"/>
- 34. SMOKE DETECTOR: 36\"/>
- 35. SMOKE DETECTOR: 36\"/>
- 36. EXTERIOR PLASTER: 36\"/>
- 37. WINDOWS AND DOORS SURROUNDS: 36\"/>
- 38. WALL MOUNTING: 36\"/>
- 39. SCREEN DISPANSON LOWE: 36\"/>
- 40. SPANISH CLAY TILE: 36\"/>
- 41. DOORS AND WINDOWS: 36\"/>
- 42. ELEVATOR: 36\"/>

**Majid Nael, M.A.**  
 AND ASSOCIATES  
 BUILDING DESIGN  
 1115 WESTGATE AVENUE, SUITE 100  
 WESTGATE 1115  
 PROJECT STREET

**WESTGATE APARTMENTS**  
 1115 WESTGATE AVENUE, L.A. 90049

DATE: 10-10-2020  
 SHEET: A4  
 PROJECT: WESTGATE APARTMENTS  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 SCALE: AS SHOWN

**FIRST FLOOR PLAN**  
 SCALE 1/4" = 1'-0"

**STORMWATER MITIGATION LOW IMPACT DEVELOPMENT (LID) NOTES:**

1. SET FIRST FLOOR (S.F.) AND DRAINAGE PLAN (D.P.) PLACEMENT FOR LOCATION, SIZE AND DIMENSION OF BASIN.
2. ALL CONVEYERS DISCHARGING INTO BASIN USE DEBRAGGED PLANS (D.P.) SHEETS.
3. ALL ROOF RUNOFF TO DRAIN TO PROPOSED RAMP (D.P.) DEBRAGGED SHEETS.
4. ALL TRASH BASIN SHALL BE COVERED. SEE COVERED GARAGE PLAN (A3).

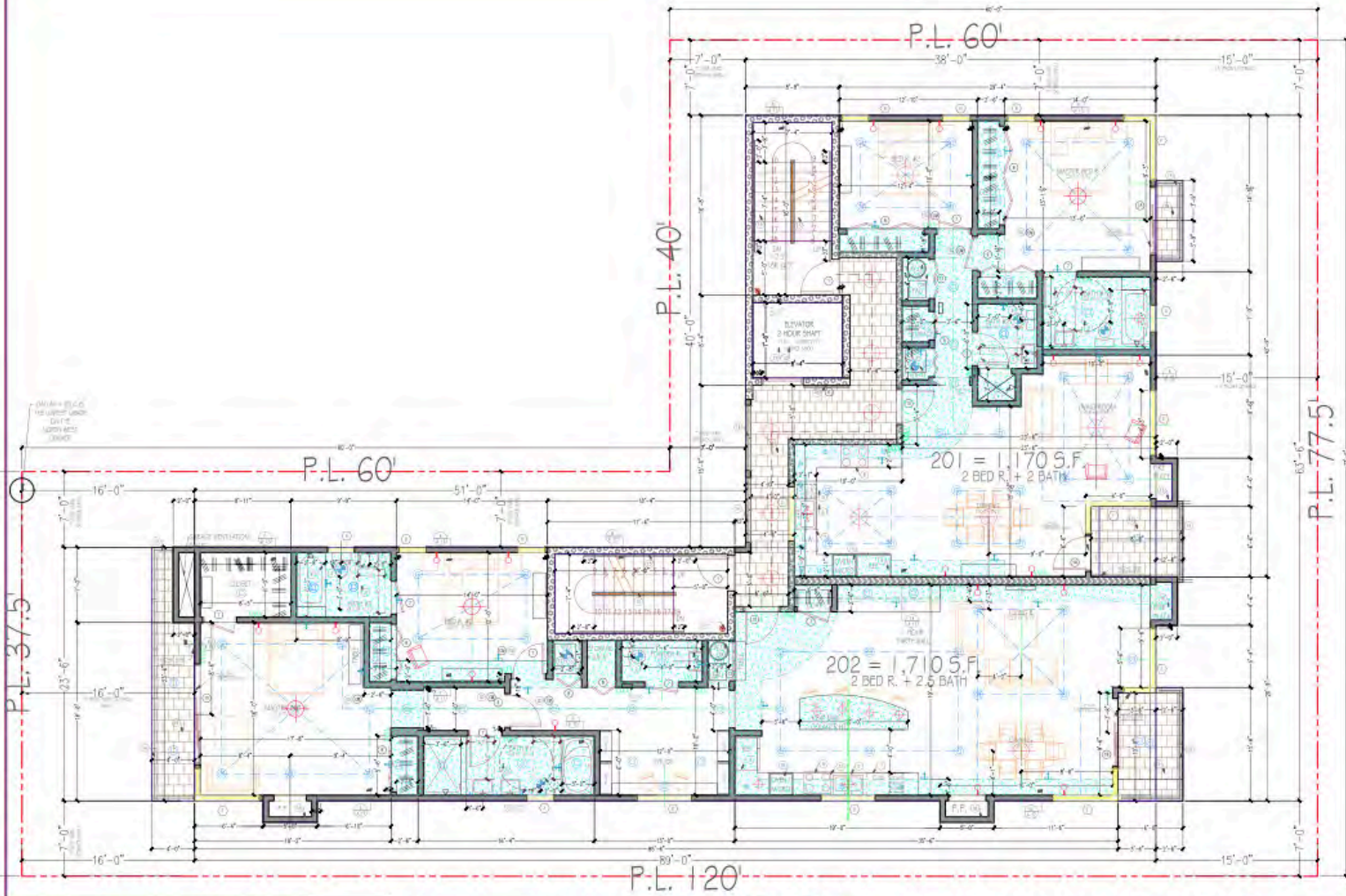
**NOTE :**  
 DIMENSIONS AND CONDITIONS:  
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING THE WORK AND SHALL NOTIFY MAJOR NAEL OF ANY DISCREPANCIES OR INCONSISTENCIES. WRITTEN DIMENSIONS SHALL TAKE OVER DIMENSIONS ON THE DRAWINGS. ALL DIMENSIONS ARE FINISH DIMENSIONS (SEE FINISH SCHEDULE AND STRUCTURAL).

DATUM : LOWEST POINT  
 DATUM = 99.25 IS THE LOWEST GRADE ON THE NORTH-WEST CORNER IN THE BACK

SEE NOTES & SPECIFICATION:  
 SEE NOTES AND SPECIFICATIONS ON THE RIGHT CORNER.







NOTES AND SPECIFICATIONS:

1. LAUNDRY SINK: ...
2. WATER CLOSET: ...
3. SHOWER: ...
4. TUB / SHOWER: ...
5. WHIRLPOOL TUB: ...
6. KITCHEN SINK: ...
7. COOKTOP: ...
8. DISHWASHER: ...
9. REFRIGERATOR: ...
10. CUPBOARD / DRAWER: ...
11. PARTIAL CLOSET: ...
12. BATHROOM: ...
13. GUARD RAIL OR HALF WALL: ...
14. STAIR RAILING: ...
15. STAIR: ...
16. FIRE PLACE (GAS): ...
17. LINEN CLOSET: ...
18. HALLWAY: ...
19. BALCONY OR DECK: ...
20. SLOTTED ABOVE: ...
21. LITE UP FLOOR ABOVE: ...
22. FINISH: ...
23. CONCRETE BLOCK WALL: ...
24. FLOOR DRAIN AREA DRAIN (A.D.): ...
25. DOWN SPOUT: ...
26. SLOTTED: ...
27. SLOTTED: ...
28. WATER TREATER: ...
29. POWER AIR UNIT (P.A.U.): ...
30. FITTING SINK (HANDSOME): ...
31. DISABLE ACCESS (D.A.): ...
32. STAIR PRIVATE INTERIOR: ...
33. STAIR PRIVATE INTERIOR: ...
34. TRANSITION: ...
35. SLOTTED: ...
36. SLOTTED: ...
37. SLOTTED: ...
38. SLOTTED: ...
39. SLOTTED: ...
40. 20 MIN. RATED DOOR (R.D.): ...
41. EXTERIOR STAIRS: ...
42. WINDOWS: ...
43. WINDOWS AND DOORS SURROUNDS: ...
44. WALL MOLDING: ...
45. SLOTTED EXPANSION JOINT: ...
46. SPANISH CLAY TILES: ...
47. DOORS AND WINDOWS: ...
48. ELEVATOR: ...

1 SECOND FLOOR PLAN  
SCALE 1/4" = 1'-0"

LEGENDS:

- 2x4 OR 2x6 WALLS
- 2x4 OR 2x6 COMMON AREAS WALLS
- 1 HOUR AREA SEPARATION WALL
- 2 HOUR SHUTT
- 1 HOUR SEPARATION / PARTY WALL
- CONCRETE BLOCK (2 HOUR)
- FLOOR DRAINS
- SMOKE DETECTOR
- NOTES
- DOORS
- WINDOWS
- WATER CURTAIN
- TRIPLEED GLAZES

NOTE:  
THIS IS THE SECOND FLOOR PLAN OF THE WESTGATE APARTMENTS. THE INFORMATION PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN.

Majid Naei, M.A.  
ARCHITECT  
AND ASSOCIATES  
BUILDING DESIGN

WESTGATE 1115  
PROJECT STREET

WESTGATE APARTMENTS  
1115 S WESTGATE AVENUE, L.A. 90049

1115 S WESTGATE AVENUE UNIT 1115  
WESTGATE APARTMENTS  
1115 S WESTGATE AVENUE  
BRENTWOOD, CA 94011

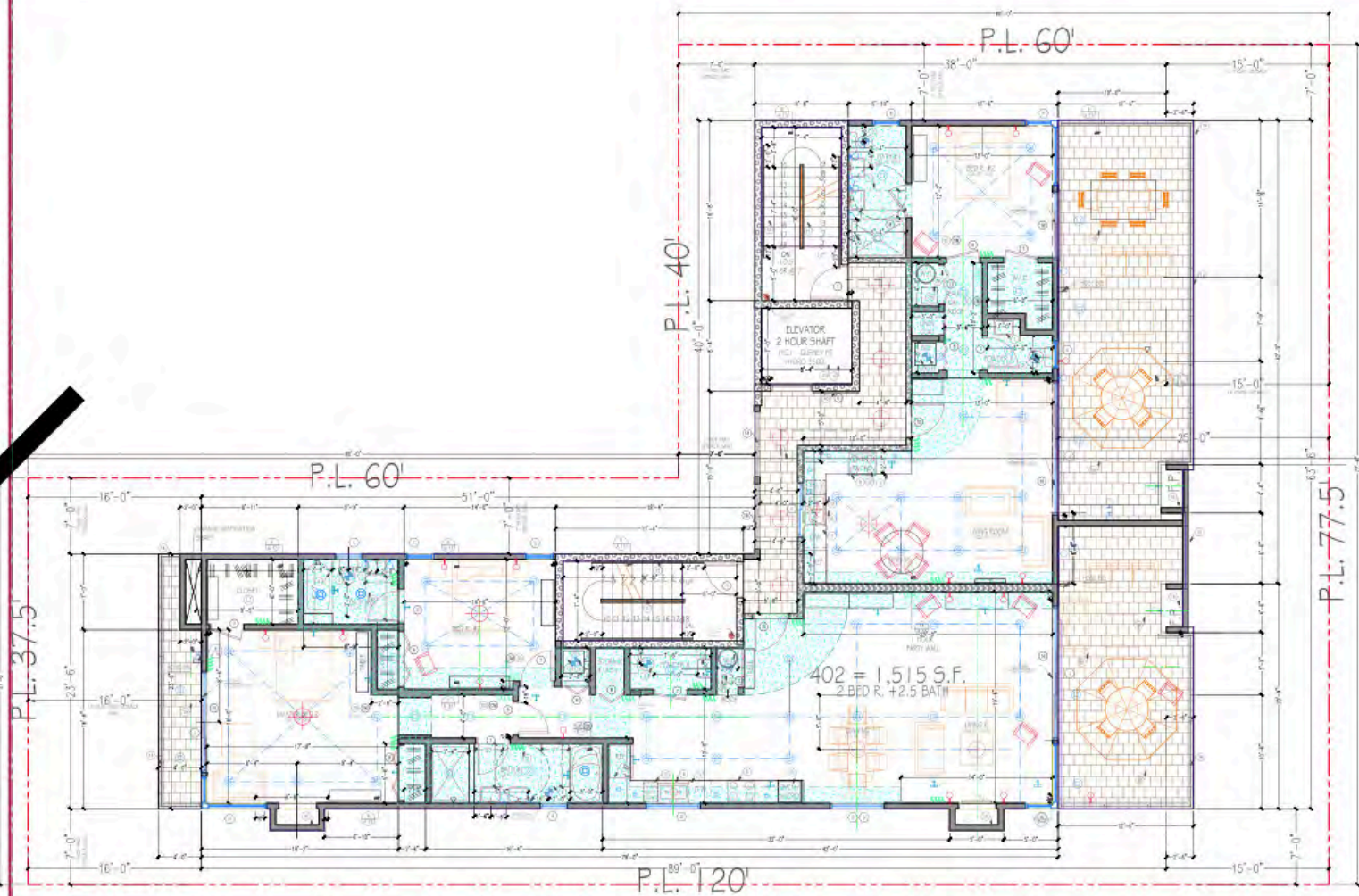
SECOND FLOOR PLAN - 1115  
S WESTGATE AVE

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SCALE	1/4" = 1'-0"
PROJECT	WESTGATE APARTMENTS
NO.	02
DATE	10/12/2020
BY	M.I.
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SCALE	1/4" = 1'-0"
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PROJECT	WESTGATE APARTMENTS
NO.	02
DATE	10/12/2020
BY	M.I.
CHECKED BY	M.I.
SCALE	1/4" =









- ### NOTES AND SPECIFICATIONS
1. LAVATORY SINK: ...
  2. WATER CLOSET: ...
  3. SHOWER: ...
  4. TUB / SHOWER: ...
  5. WIREFLOOR TUB: ...
  6. KITCHEN SINK: ...
  7. DISHWASHER: ...
  8. COOKTOP: ...
  9. REFRIGERATOR: ...
  10. DOUBLE OVEN MICROWAVE: ...
  11. PANTRY: ...
  12. WASHING MACHINE: ...
  13. DRYER: ...
  14. BUILT-IN OR HALF WALL: ...
  15. STAIR RAILING: ...
  16. FIRE PLACE (GAS): ...
  17. LINEN CLOSET: ...
  18. BALCONY OR DECK: ...
  19. STAIR: ...
  20. SHIRT ABOVE: ...
  21. TILE ON FLOOR: ...
  22. PLASTER: ...
  23. CONCRETE BLOCK WALL: ...
  24. FLOOR DRAIN AREA DRAIN (A.D.): ...
  25. DOWN SPOUT: ...
  26. SCUPPER: ...
  27. WATER HEATER: ...
  28. FORCE AIR UNIT (F.A.U.): ...
  29. KITCHEN SINK (HANDS-FREE): ...
  30. DISINFECTANT (TITLE 24): ...
  31. STAIR: ...
  32. STAIR SHAFT (COMMON): ...
  33. STAIR (PRIVATE-INTERIOR): ...
  34. STAIR (PRIVATE-INTERIOR): ...
  35. SUIT: ...
  36. AUTO SPRINKLER AND VENTILATION: ...
  37. SMOKE PROTECTOR: ...
  38. WATER CLOSET: ...
  39. SMOKE DETECTOR: ...
  40. 20 MIN. RATED DOOR (R1764): ...
  41. EXTERIOR PLASTER: ...
  42. WINDOWS AND DOORS SURROUNDS: ...
  43. WALL MOLDING: ...
  44. SCREEN EXPANSION JOINT: ...
  45. SPANISH CLAY TILE: ...
  46. DOORS AND WINDOWS: ...
  47. ELEVATOR: ...

**Majid Nael, M.A.S.**  
**AND ASSOCIATES**  
**BUILDING DESIGN**  
 1115 S. WESTGATE AVENUE, L.A. 90049  
 TEL: 310.408.8822 FAX: 310.408.8823

WESTGATE 1115  
 PROJECT STREET

**WESTGATE APARTMENTS**  
 1115 S. WESTGATE AVENUE, L.A. 90049

THIS DOCUMENT IS THE PROPERTY OF WESTGATE APARTMENTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF WESTGATE APARTMENTS.

FOURTH FLOOR PLAN - 1115  
 S. WESTGATE AVE

DATE: 10/12/2023  
 PROJECT NO.: 23-08-0000000000  
 SHEET NO.: 001  
 OF: 001  
 CONTRACT: 1115 S. WESTGATE AVENUE APARTMENTS  
 SHEET NO.: A7



1 FOURTH FLOOR PLAN  
 SCALE 1/4" = 1'-0"  
 SCALE: 1/4" = 1'-0"

- ### LEGENDS
- 2x4 OR 2x6 WALLS
  - 2x4 OR 2x6 COMMON AREA WALLS
  - 2 HOUR AREA SEPARATION WALL
  - 2 HOUR SEPARATION PARTY WALL
  - CONCRETE BLOCK (2 HOUR)
  - 5/8" METAL STUDS W. 5/8" DRYWALL
  - FLOOR DRAIN
  - SMOKE DETECTOR
  - NOTES
  - DOORS
  - WINDOWS
  - EXTERIOR PAN (BATHROOM)
  - WATER CLOSET
  - TRIPPED DISCS



D:\Majid's Drafting\Documents\WESTGATE 1115\5\sheet\WB ROOF PLAN - 1115 WESTGATE AVE.dwg, (0/1/2020 4:04:25 PM, Majid I. Majid)

**NOTE :**

SEE ELECTRICAL, MECHANICAL, PLUMBING, SUSMP, CIVIL PLANS

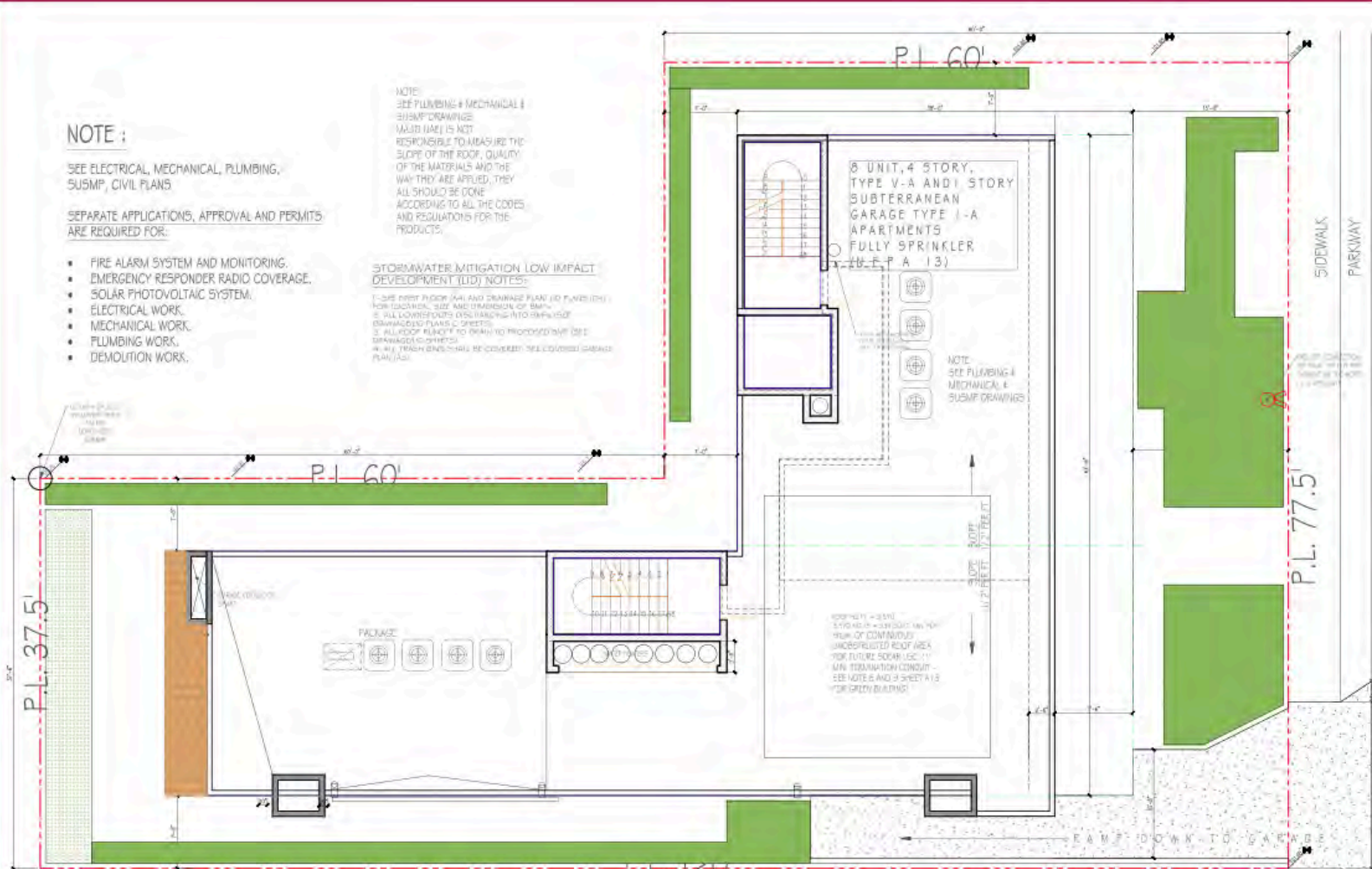
SEPARATE APPLICATIONS, APPROVAL AND PERMITS ARE REQUIRED FOR:

- FIRE ALARM SYSTEM AND MONITORING.
- EMERGENCY RESPONDER RADIO COVERAGE.
- SOLAR PHOTOVOLTAIC SYSTEM.
- ELECTRICAL WORK.
- MECHANICAL WORK.
- PLUMBING WORK.
- DEMOLITION WORK.

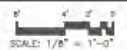
NOTE:  
SEE PLUMBING & MECHANICAL & SUSMP DRAWINGS.  
MAJID (ME) IS NOT RESPONSIBLE TO MEASURE THE SLOPE OF THE ROOF, QUALITY OF THE MATERIALS AND THE WAY THEY ARE APPLIED. THEY ALL SHOULD BE DONE ACCORDING TO ALL THE CODES AND REGULATIONS FOR THE PRODUCTS.

**STORMWATER MITIGATION LOW IMPACT DEVELOPMENT (LID) NOTES:**

1. SEE DETAIL PLAN (A) AND DRAINAGE PLAN (D) FOR DETAILS FOR LOCATION, SIZE AND DIMENSION OF BMP'S.
2. ALL DOWNSPOUTS OVER HANGING INTO REINFORCED CONCRETE PLAN (C) SHEETS.
3. ALL ROOF FLUENTS TO DRAIN TO PROPOSED DETENT (SEE DRAINAGE CONCRETE) WALL. (SEE DETAIL PLAN FOR CONCRETE DETENTION CONDUIT PLAN (A)).



**SITE PLAN**  
SCALE 1/8" = 1'-0"



FIRE HYDRANT LOCATION

**LEGEND**

- D/S DOWN SPOUT
- R.D. ROOF DRAIN
- O.S. OVER FLOW SCUPPER 2' ABOVE ROOF DRAIN RIM
- CRAT CRICKET (MAINTAIN 1/2' SLOPE MIN. TO DRAIN
- D.S. & O.F. DOWN SPOUT & OVER FLOW SCUPPER

**NOTES:**

- 1- ROOF SLOPE 1/2" PER FOOT
- 2- ALL ROOF WATERS TO STREET (4" PVC) UNDER SIDE WALK ( VIA DUEL SUMP PUMP IF NEEDED)
- 3- A GRADING PERMIT SHALL BE OBTAINED FOR BASEMENT WALL BACKFILL AND BASEMENT EXCAVATION.
- 4- SEE PLUMBING AND MECHANICAL DRAWINGS FOR ACCURATE LOCATION, SIZE AND DETAILS OF PLUMBING.
- 5- OVERFLOW SCUPPERS SHALL BE TO TABLE 11-1 (LAFD)
- 6- SEE A23 FOR SURVEY

**GRADING NOTES :**  
SEE GRADING PLANS,  
SEE SUSMP / LID PLANS

- 1- REGISTERED DEPUTY INSPECTOR. A REGISTERED DEPUTY INSPECTOR IS REQUIRED ON ALL SHORING WORK INCLUDING SLOT CUTS. SEC 1701.50
  - 2- SHORING INSPECTION: CONTINUOUS INSPECTION BY THE SOILS ENGINEER/SECL IS REQUIRED
  - 3- SOILS REPORT APPROVAL LETTER. SEE SOILS REPORT APPROVAL LETTER ON PAGE A1-
  - 4- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACK FILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER
  - 5- SUPPORT OF ADJACENT STRUCTURE SURCHARGE: SHORING SYSTEM IS NOT ALLOWED TO SUPPORT SURCHARGE FROM ADJACENT STRUCTURES WITHOUT THE RECOMMENDATIONS OF AN APPROVED REPORT AND EVIDENCE THAT THE ADJOINING PROPERTY OWNER HAS BEEN NOTIFIED IN ADVANCE.
  - 6- ALL GRADING SLOPES SHALL BE PLANED AND SPRINKLED. (7012.1)
  - 7- STANDARD 12 INCH HIGH BEAM IS REQUIRED AT TOP OF ALL GRADED SLOPES. (7013.3)
  - 8- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
  - 9- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
  - 10- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15; OBTAIN GRADING INSPECTOR/SAND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. (2007.1)
- SEE GRADING PLANS FOR GRADING DETAILS (G1,G2,G3,G4)  
CUT - 2,600 CUBIC YARD FILL  
100. EXPORT: 2,500

**Majid Naeel, M.A.S.**  
REGISTERED PROFESSIONAL ENGINEER  
AND ASSOCIATES  
ARCHITECTURAL DESIGN  
INC. 1115 WESTGATE AVE. SUITE 100  
LOS ANGELES, CA 90024  
TEL: 310.441.1115 FAX: 310.441.1116

WESTDATE 1115  
PROJECT STREET

**WESTGATE APARTMENTS**  
1115 S. WESTGATE AVENUE, L.A. 90024

THIS PLAN AND ALL OTHERS TO BE SUBMITTED TO THE CITY OF LOS ANGELES FOR REVIEW SHALL BE THE PROPERTY OF THE CITY OF LOS ANGELES. THE CITY OF LOS ANGELES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF THE ORIGINAL DRAWINGS OR ANY REVISIONS THEREOF. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND ALL OTHER AGENCIES INVOLVED IN THE PROJECT.

ROOF PLAN - 1115  
WESTGATE AVE

DATE	NO.	DESCRIPTION
02/20/20	01	ISSUED FOR PERMITTING
02/20/20	02	ISSUED FOR PERMITTING
02/20/20	03	ISSUED FOR PERMITTING
02/20/20	04	ISSUED FOR PERMITTING
02/20/20	05	ISSUED FOR PERMITTING
02/20/20	06	ISSUED FOR PERMITTING
02/20/20	07	ISSUED FOR PERMITTING
02/20/20	08	ISSUED FOR PERMITTING
02/20/20	09	ISSUED FOR PERMITTING
02/20/20	10	ISSUED FOR PERMITTING
02/20/20	11	ISSUED FOR PERMITTING
02/20/20	12	ISSUED FOR PERMITTING
02/20/20	13	ISSUED FOR PERMITTING
02/20/20	14	ISSUED FOR PERMITTING
02/20/20	15	ISSUED FOR PERMITTING
02/20/20	16	ISSUED FOR PERMITTING
02/20/20	17	ISSUED FOR PERMITTING
02/20/20	18	ISSUED FOR PERMITTING
02/20/20	19	ISSUED FOR PERMITTING
02/20/20	20	ISSUED FOR PERMITTING





WILSHIRE

WILSHIRE

WESTGATE

STOP  
AHEAD



# OFFERING HIGHLIGHTS

## **IRREPLACEABLE BRENTWOOD LOCATION**

The Property is a rare gem in the heart of a serene, attractive and well kept Brentwood neighborhood with an abundance of shopping, dining, and service retailers just minutes away along Wilshire Boulevard. Brentwood includes high-style boutiques and trendy restaurants balanced by large secluded houses in the foothills of the Santa Monica mountains.

## **DENSE IMMEDIATE POPULATION WITH AFFLUENT AREA DEMOGRAPHICS**

Brentwood attracts a number of high-level executives, celebrities and other high-earning individuals thanks to the neighborhood's close proximity to the entertainment business and Silicon Beach. The average annual household income of residents within a one-mile radius of the Property is approximately \$135K. Total consumer spending within a one-mile radius of the Property is approximately \$874M.

## **EXCELLENT MARKET FUNDAMENTALS**

Apartment investment activity in the submarket during the past 12 months on a dollar basis, \$277M, was greater than the submarket's 10-year annual average of \$220M. Brentwood remains one of the most resilient apartment submarkets in Los Angeles, and commands some of the highest rents. Given the submarket's prestigious position within the market, market pricing per unit, \$450,000/unit, is among the highest seen for L.A. submarkets. Average cap rates, 4.0%, are below the metro average. Recent sales confirm the rich pricing assets in the area can achieve.

## **AMPLE AREA AMENITIES**

Excellent access to major freeways, restaurants, banking, and shopping facilities. The Property is in immediate proximity to Santa Monica, Brentwood, Westwood, and Beverly Hills. It also offers convenient access to 405 & 10 Freeways, and is within walking distance to over 30 restaurants, in addition to several banks, supermarkets, and varied retail.











# AREA SUMMARY

## BRENTWOOD

Brentwood is a neighborhood on the Westside of Los Angeles, California. The 2000 U.S. census counted 31,344 residents in the 15.22-square-mile Brentwood neighborhood—or 2,059 people per square mile, among the lowest population densities for the city and the county. In 2008, the city estimated that the population had increased to 33,312. In 2000, the median age for residents was 35, which was old for city and county neighborhoods. The percentages of residents aged 50 and older were among the county's highest.

Brentwood is located at the base of the Santa Monica Mountains, bounded by the San Diego Freeway on the east, Wilshire Boulevard on the south, the Santa Monica city limits on the southwest, the border of Topanga State Park on the west and Mulholland Drive along the ridgeline of the mountains on the north.

With housing ranging from luxury hillside homes to both luxury and affordable housing multi-family complexes, Brentwood boasts a wide range of great places to live. Additionally, Brentwood Country Mart, Brentwood Village, and San Vicente Boulevard offers bustling commerce, pedestrian friendly streets, artisan restaurants, fitness studios, fashion boutiques, specialty shops, luxury salons, and more.





Located in Brentwood, the Property enjoys exclusivity to the Brentwood community and easy access to some of Los Angeles's staple landmarks including UCLA, The Brentwood Country Club, The Getty Museum, and Downtown Santa Monica.



2.5 Miles From Subject Property



1.7 Miles From Subject Property



3.5 Miles From Subject Property



3.2 Miles From Subject Property

## AREA DEMOGRAPHICS

### 1-3-5 Mile Radius From Subject Property

POPULATION	1-MILE	3-MILE	5-MILE
2020 Population	48,028	253,719	523,169
2024 Population	48,943	264,776	537,808
HOUSEHOLD	1-MILE	3-MILE	5-MILE
Total Households	24,881	116,947	242,047
Average Household Income	\$135,170	\$138,388	\$139,276
Median Household Income	\$109,224	\$107,055	\$106,814
BUSINESS	1-MILE	3-MILE	5-MILE
Total Businesses	5,558	33,398	61,636
Number of Employees	29,245	270,739	469,938
Total Consumer Spending	\$873.6M	\$4.2B	\$8.9B



### MEDIAN HOME VALUE

Within a 3-Mile Radius \$1,103,890



### OWNER OCCUPIED HOUSEHOLDS

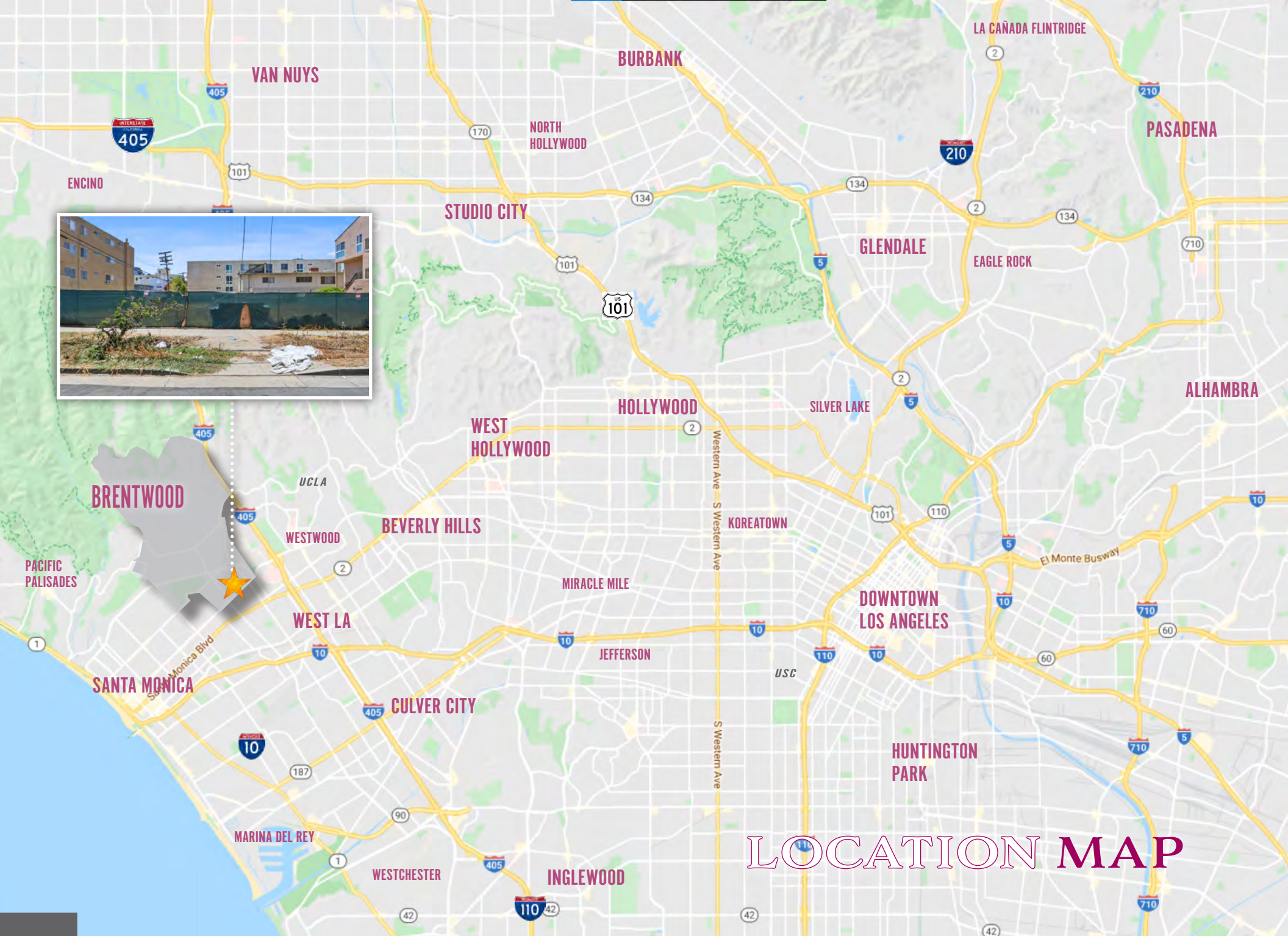
Within a 3-Mile Radius 38,965



### RENTER OCCUPIED HOUSEHOLDS

Within a 3-Mile Radius 76,076





# LOCATION MAP



## DISCLAIMER

This offering has been prepared solely for informational purposes. While the information contained herein is from sources deemed reliable, it has not been independently verified by WESTMAC Commercial Brokerage Company, Nelson, Shelton Real Estate, or by the Seller. This document is provided subject to errors, omissions and changes in the information and is subject to modification or withdrawal. The contents herein are confidential and are not to be reproduced without the express written consent. Interested buyers should be aware that the Seller is selling the Property "AS IS" CONDITION WITH ALL FAULTS, WITHOUT REPRESENTATIONS OR WARRANTIES OF ANY KIND OR NATURE. The Seller reserves the right to withdraw the Property being marketed at any time without notice, to reject all offers, and to accept any offer without regard to the relative price and terms of any other offer. Prospective buyers shall be responsible for their costs and expenses of investigating the Property and all other expenses, professional or otherwise, incurred by them.





# FOR SALE

## 1115-1121 S. WESTGATE AVENUE

Developable Multifamily Land in Brentwood



For questions, contact any of the Listing Agents:

**T.C. MACKER, CCIM**

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[tcmacker@westmac.com](mailto:tcmacker@westmac.com)

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**WOODY COOK**

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DRE# 01027773

**WESTMAC**

Commercial Brokerage Company



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SHELTON**  
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