

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: Jeffrey Way Building
Address: Jeffrey Way / Youngsville, NC Zip Code 27596
Owner/Authorized Agent: Perry Cox Phone # 919.363.5411 E-Mail: perry@pcoxdesign.com

CONTACT: Perry Cox
DESIGNER: FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural Perry Cox Architect, PA Perry Cox 919.363.5411 perry@pcoxdesign.com

2018 NC BUILDING CODE: New Building
2018 NC EXISTING BUILDING CODE: N/A
CONSTRUCTED: (date) N/A CURRENT OCCUPANCY(S) (Ch. 3):
RENOVATED: (date) N/A PROPOSED OCCUPANCY(S) (Ch. 3): B & S-1

BASIC BUILDING DATA
Construction Type: II-B
Sprinklers: N/A N/A
Standpipes: N/A
Primary Fire District: No Flood Hazard Area: No
Special Inspections Required: No

Gross Building Area Table
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL
3rd Floor
2nd Floor
Mezzanine
1st Floor 20,000 20,000
Basement
TOTAL 20,000

ALLOWABLE AREA
Primary Occupancy Classification(s): Business Storage - S-2 N/A N/A N/A N/A
Accessory Occupancy Classification(s): S-1 Commercial Vehicle Repair Garage
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Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: Yes Separation: 1 Hr. Exception:
Non-Separated Use (508.3)

Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A ≤ 1

Table with 6 columns: STORY NO., DESCRIPTION AND USE, (A) BLDG AREA PER STORY (ACTUAL), (B) TABLE 506.2 AREA, (C) AREA FOR FRONTAGE INCREASE1,5, (D) ALLOWABLE AREA PER STORY OR UNLIMITED2,3

- 1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = 190'-10" (F)
b. Total Building Perimeter = 381'-8" (P)
c. Ratio (F/P) = .50 (F/P)
d. W = Minimum width of public way = 30' (W)
e. Percent of frontage increase I = 100/[F/P - 0.25] x W/30 = 25 (%)

- 2 Unlimited area applicable under conditions of Section 507.
3 Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
5 Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT
Table with 4 columns: ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS
Table with 7 columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), REQ'D, RATING PROVIDED, DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR RATED PENETRATION, SHEET # FOR RATED JOINTS

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Table with 10 columns for various assembly types: North, East, West, South, Interior walls and partitions, Floor Construction, Floor Ceiling Assembly, Roof Construction, Shaft Enclosures, etc.

\* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS
Table with 4 columns: FIRE SEPARATION DISTANCE (FEET), DEGREE OF OPENINGS PROTECTION, ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: Yes
Exit Signs: Yes
Fire Alarm: No
Smoke Detection Systems: No
Carbon Monoxide Detection: No

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: A3
Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)

- 2018 NC Administrative Code and Policies
Exit access travel distances (1017)
Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation

ACCESSIBLE DWELLING UNITS (SECTION 1107)
Table with 8 columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)
Table with 5 columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, TOTAL # OF PARKING SPACES PROVIDED, # OF ACCESSIBLE SPACES PROVIDED (REGULAR WITH 5' ACCESS AISLE, VAN SPACES WITH 132" ACCESS AISLE, 8' ACCESS AISLE), TOTAL # ACCESSIBLE PROVIDED

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) N/A - SHELL BUILDING
Table with 8 columns: USE, WATERCLOSETS, URINALS, LAVATORIES, SHOWERS / TUBS, DRINKING FOUNTAINS

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

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ENERGY SUMMARY
(BUILDING IS EXEMPT PER 2018 NCECC, SECTION C101.2 EXCEPTION 2)

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Select one
Exempt Building: Yes Provide code or statutory reference: NCECC Section C101.2 (exception 2)

Climate Zone: 4A
Method of Compliance: Energy Code - Prescriptive
(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)
Roof/ceiling Assembly (each assembly)
Description of assembly: Opti-Liner
U-Value of total assembly: 0.37
R-Value of insulation: R-30 Continuous +
Skylights in each assembly: N/A
U-Value of skylight:
total square footage of skylights in each assembly:

Exterior Walls (each assembly)
Description of assembly: 6" metal studs w/ batt insulation, Brick
U-Value of total assembly: 0.59
R-Value of insulation: R-19
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values: R 7.35

Walls below grade (each assembly)
Description of assembly: N/A
U-Value of total assembly:
R-Value of insulation: N/A

Floors over unconditioned space (each assembly)
Description of assembly: N/A
U-Value of total assembly:
R-Value of insulation:

Floors slab on grade
Description of assembly: N/A
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

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BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(SEE STRUCTURAL DRAWINGS)

DESIGN LOADS:
Importance Factors: Snow (Is) Select one
Seismic (Ie) Select one
Live Loads: Roof psf
Mezzanine psf
Floor psf
Ground Snow Load: psf
Wind Load: Basic Wind Speed mph (ASCE-7)
Exposure Category Select one

SEISMIC DESIGN CATEGORY: Select one
Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) Select one
Spectral Response Acceleration Sa %g S1 %g
Site Classification (ASCE 7) Select one
Data Source: Select one
Basic structural system Select one
Analysis Procedure: Select one
Architectural, Mechanical, Components anchored? Select one

LATERAL DESIGN CONTROL: Select one

SOIL BEARING CAPACITIES:
Select one psf
Pile size, type, and capacity

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BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(SHELL BUILDING - SEE MECHANICAL DRAWINGS)

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb:
summer dry bulb:

Interior design conditions
winter dry bulb:
summer dry bulb:
relative humidity:

Building heating load:

Building cooling load:

Mechanical Spacing Conditioning System
Unitary
description of unit:
heating efficiency:
cooling efficiency:
size category of unit:
Boiler
Size category. If oversized, state reason:
Chiller
Size category. If oversized, state reason:

List equipment efficiencies:

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BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(SHELL BUILDING - SEE ELECTRICAL DRAWINGS)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Select one
Lighting schedule (each fixture type)
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

Additional Efficiency Package Options
(When using the 2018 NCECC; not required for ASHRAE 90.1)
C406.2 More Efficient HV AC Equipment Performance
C406.3 Reduced Lighting Power Density
C406.4 Enhanced Digital Lighting Controls
C406.5 On-Site Renewable Energy
C406.6 Dedicated Outdoor Air System
C406.7 Reduced Energy Use in Service Water Heating

Index to Drawings

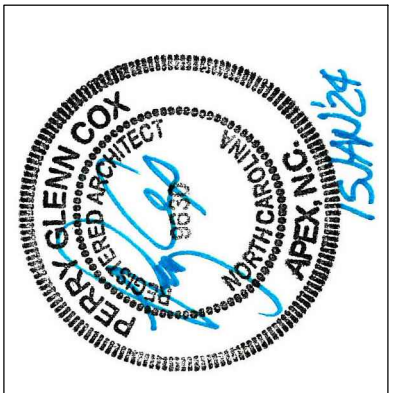
Table with 4 columns: NO., DRAWING, NO., DRAWING
A0.1 BUILDING CODE SUMMARY FA1 FIRE ALARM PLANS
A1 BUILDING ELEVATIONS - -
A2 BUILDING PLAN
A3 WALL SECTIONS
P1 PLUMBING PLANS
M1 MECHANICAL PLANS
E1 ELECTRICAL NOTES
E2 POWER & LIGHTING PLAN



Perry Cox architect, p.c.
124 Salem Towne Court
Apex, North Carolina 27502
919.363.5411 www.pcoxapp.com

Bailey - Jeffrey Way Building
Jeffrey Way
Youngsville, North Carolina 27596

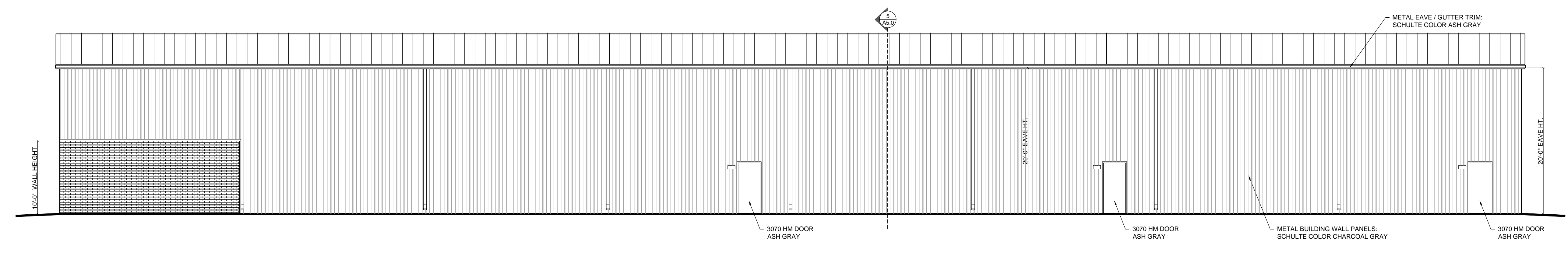
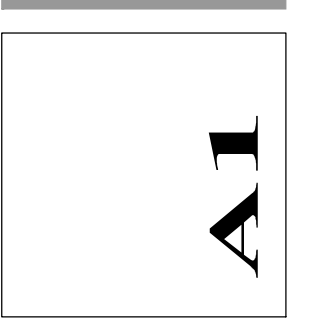
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**Perry Cox architect, p.a.**  
 124 Salem Towne Court  
 Apex, North Carolina 27502  
 919.363.5411 www.pcoodesign.com

**Bailey - Jeffrey Way Building**  
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 Youngsville, North Carolina 27596

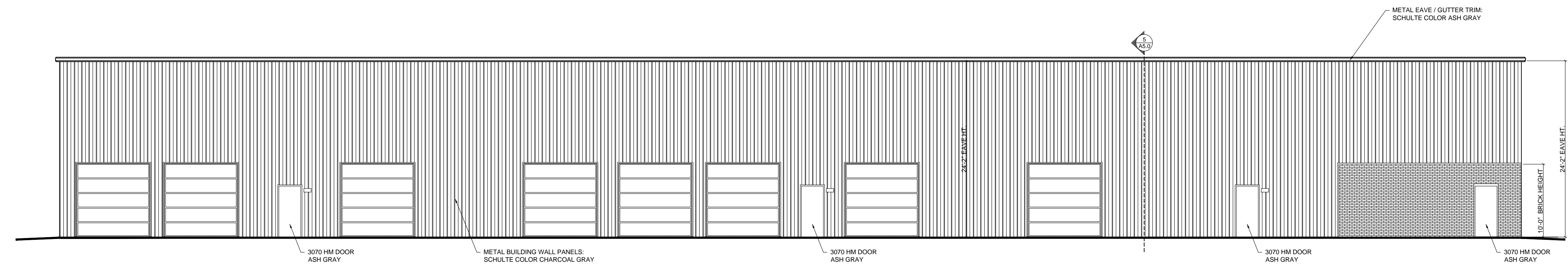
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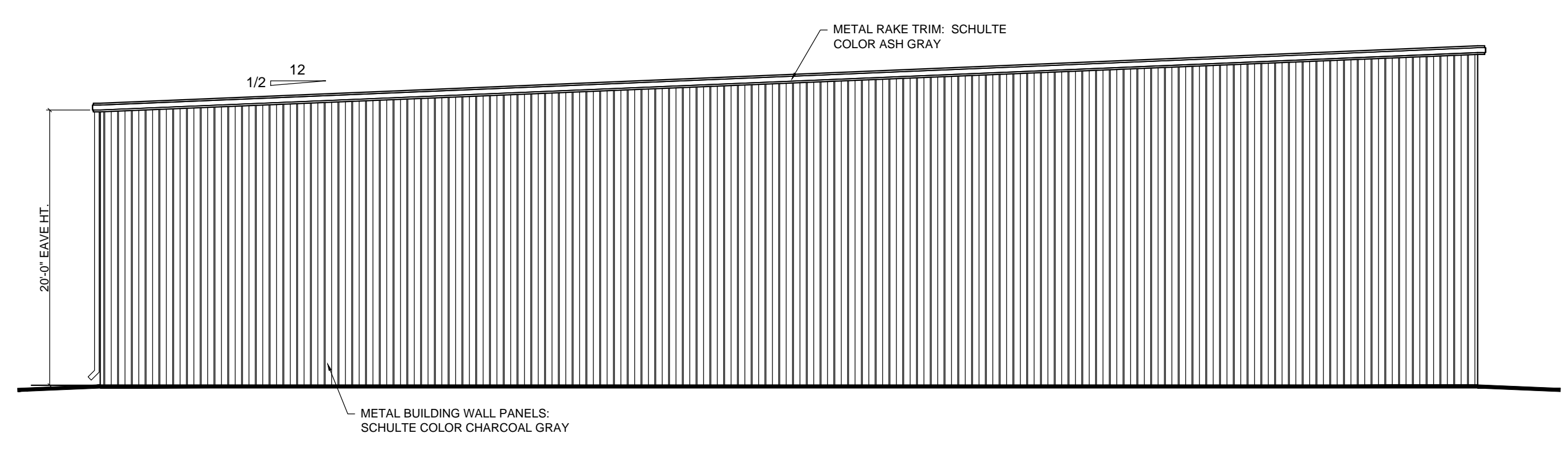
**04 North Elevation** Scale: 1/8" = 1'-0"

**EXTERIOR FINISH LEGEND**

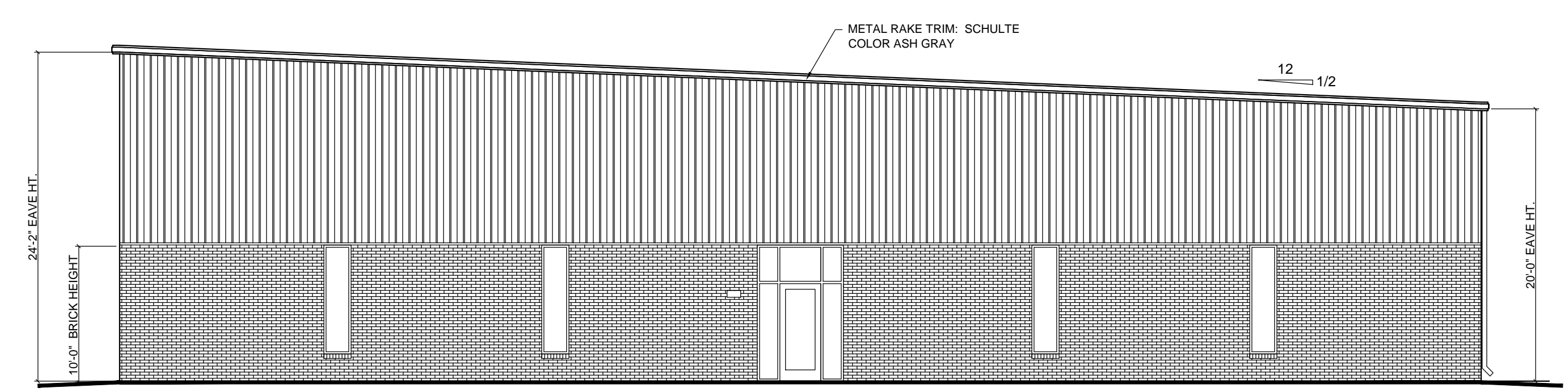
|    |  |
|----|--|
| P1 | ASH GRAY                                 |
| -  | -  |
| M1 | WALL PANELS: SCHULTE COLOR CHARCOAL GRAY |
| M2 | RAKE & EAVE TRIM: SCHULTE COLOR ASH GRAY |
| -  | -  |
| -  | -  |
| -  | -  |



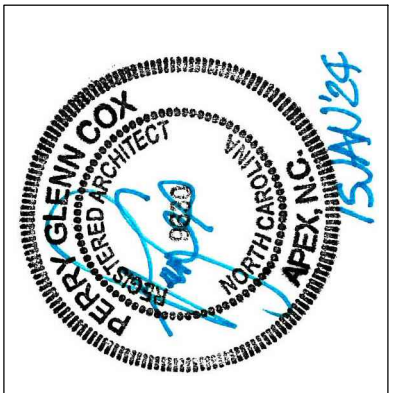
**03 South Elevation** Scale: 1/8" = 1'-0"



**02 West Elevation** Scale: 1/8" = 1'-0"



**01 Front / East Elevation** Scale: 1/8" = 1'-0"

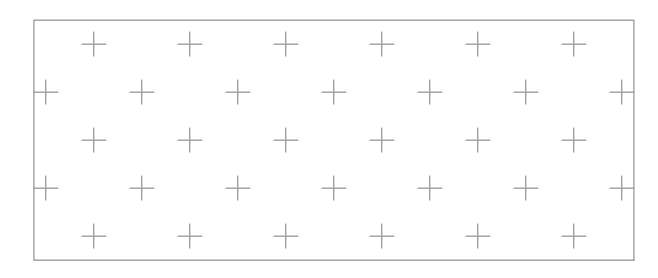


**Perry Cox architect, p.a.**  
 124 Salem Towne Court  
 Apex, North Carolina 27502  
 919.363.0411 www.pcoodesign.com

**Bailey - Jeffrey Way Building**  
 Jeffrey Way  
 Youngsville, North Carolina 27596

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**A2**

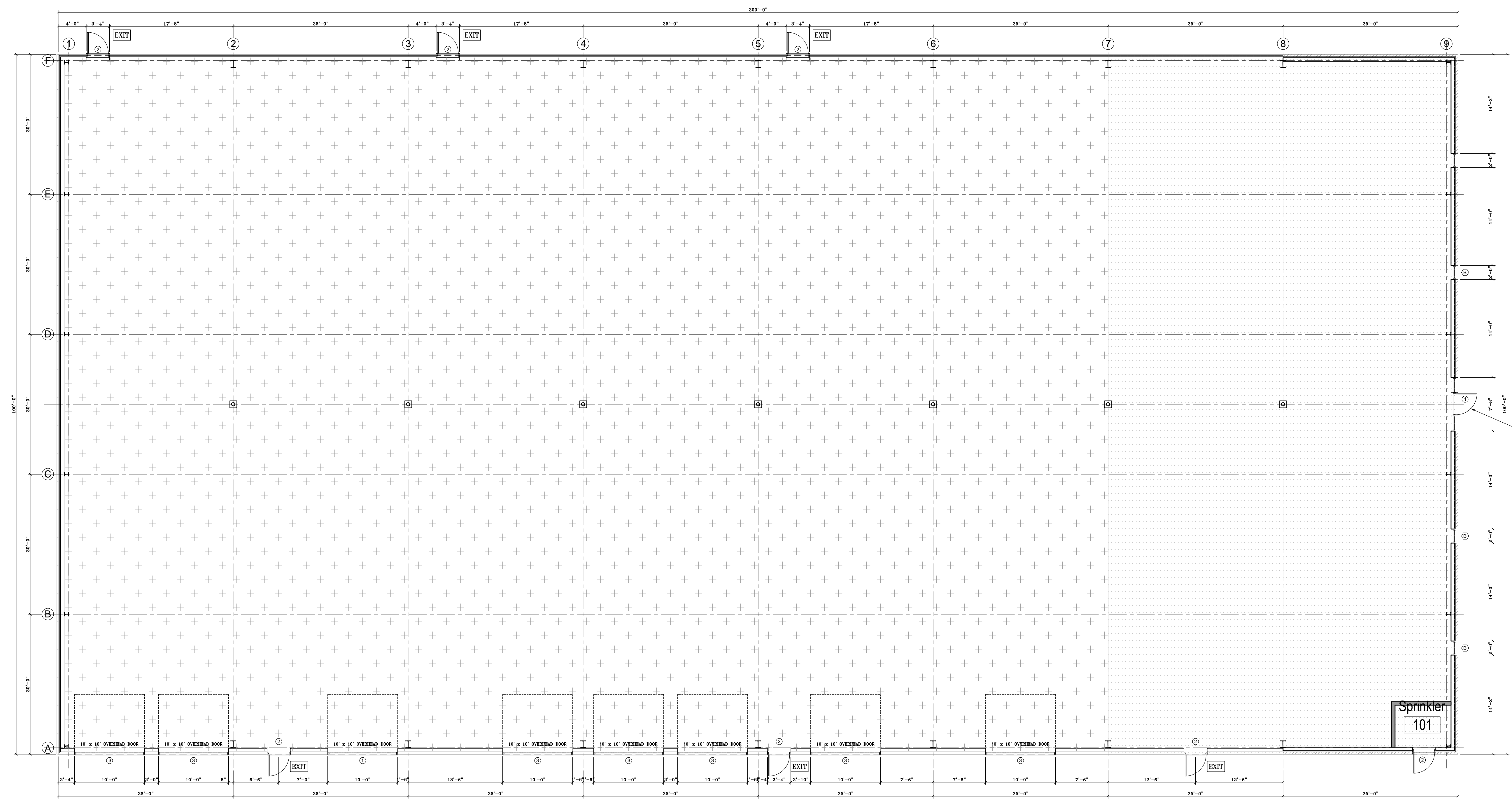


(S-1) STORAGE AREA (PROJECTED)  
 15,000 SF  
 1 OCCUPANT / 500 GROSS SF =  
 30 OCCUPANTS



(B) BUSINESS AREA (PROJECTED)  
 5,000 SF  
 1 OCCUPANT / 100 GROSS SF =  
 50 OCCUPANTS  
 80 TOTAL OCCUPANTS

| Area Data                  |               |
|----------------------------|---------------|
| (S-1) STORAGE AREA         | 15,000        |
| (B) BUSINESS AREA          | 5,000         |
| <b>TOTAL BUILDING AREA</b> | <b>20,000</b> |

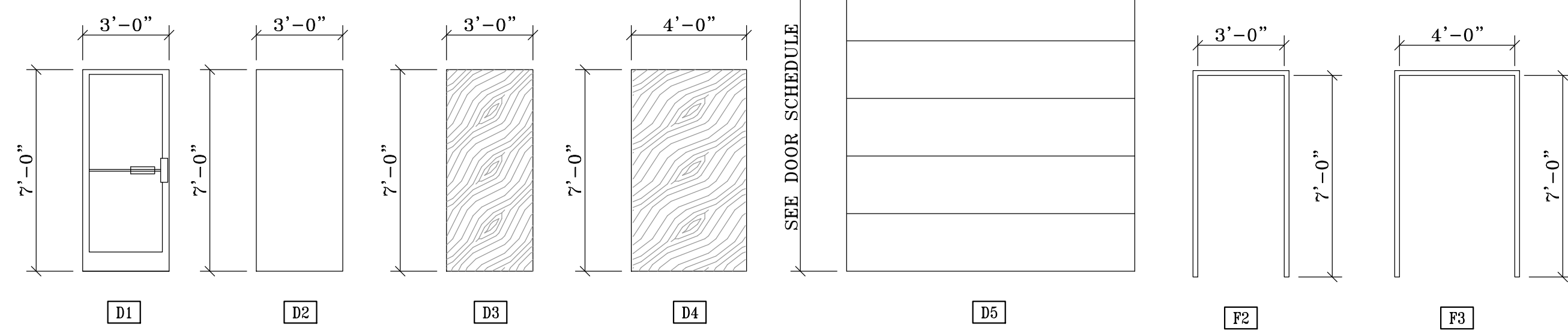


REQUIRED EXIT  
 Exit Load  
 20  
 Exit Capacity = 100  
 Exit Sign Req.  
 Per 1003.2.1(1)

**01 Floor Plan**

Scale: 1/8" = 1'-0"

**DOOR ELEVATIONS**



**DOOR SCHEDULE**

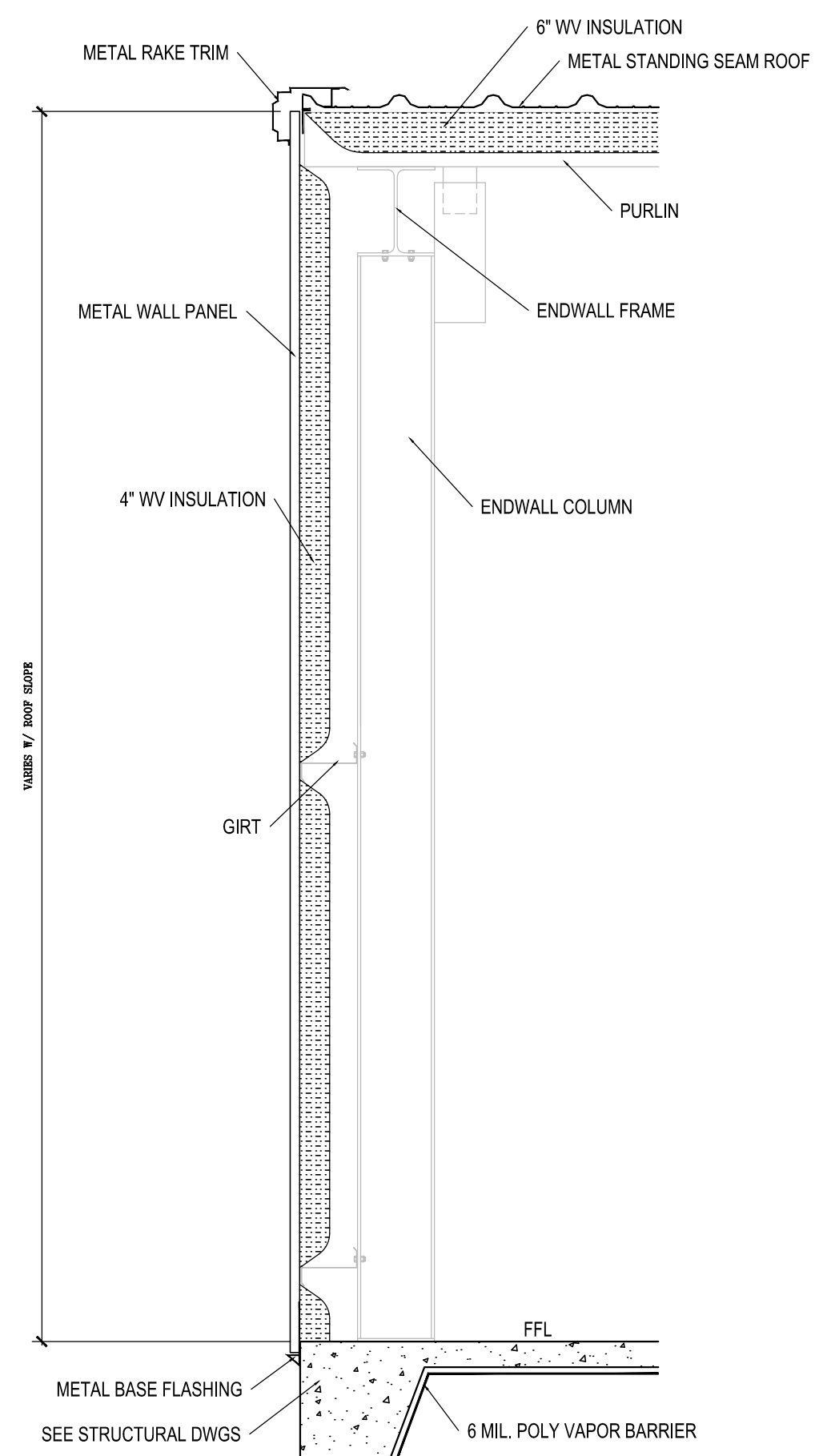
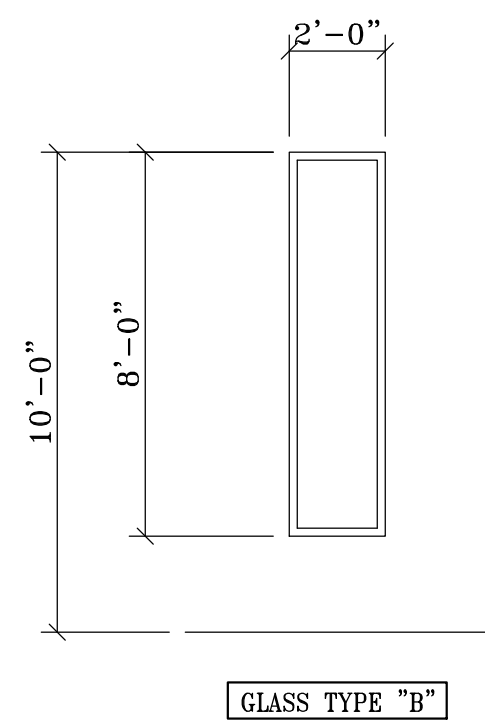
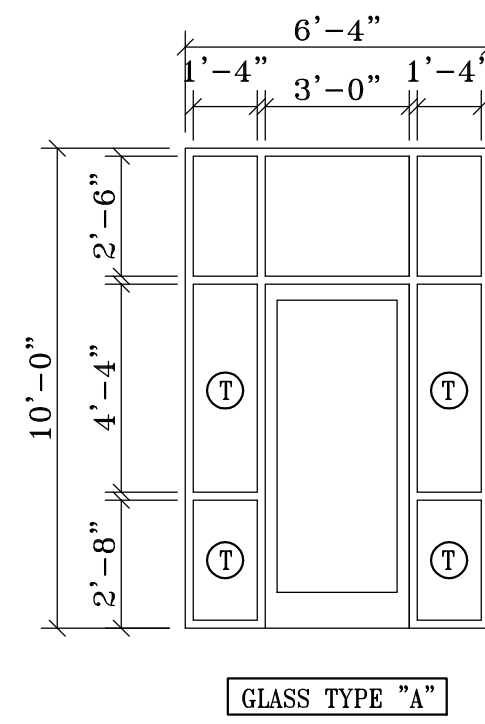
| DOOR |                        |       | FRAME |      |       |      |      | HARDWARE     |
|------|------------------------|-------|-------|------|-------|------|------|--------------|
| NO.  | SIZE                   | MTRL. | FIN.  | ELEV | MTRL. | FIN. | ELEV |              |
| E    | EXISTING DOOR          |       |       |      |       |      |      |              |
| 1    | 3'-0" x 7'-0" x 1-3/4" | ALUM  | FACT  | D2   | ALUM  | FACT | F2   | LH,CYL,CL,WS |
| 2    | 3'-0" x 7'-0" x 1-3/4" | HM    | PTD   | D2   | MTL   | PTD  | F2   | LH,CYL,CL,WS |
| 3    | 10'-0" x 10'-0"        | SS    | FACT  | D5   | MTL   | FACT |      | MO,LS,WS     |
| 4    | 3'-0" x 7'-0" x 1-3/4" | SCW   | STAIN | D3   | MTL   | PTD  | F2   | LH,CYL,CL,WS |

**DOOR FINISH SCHEDULE ABBREVIATIONS:**

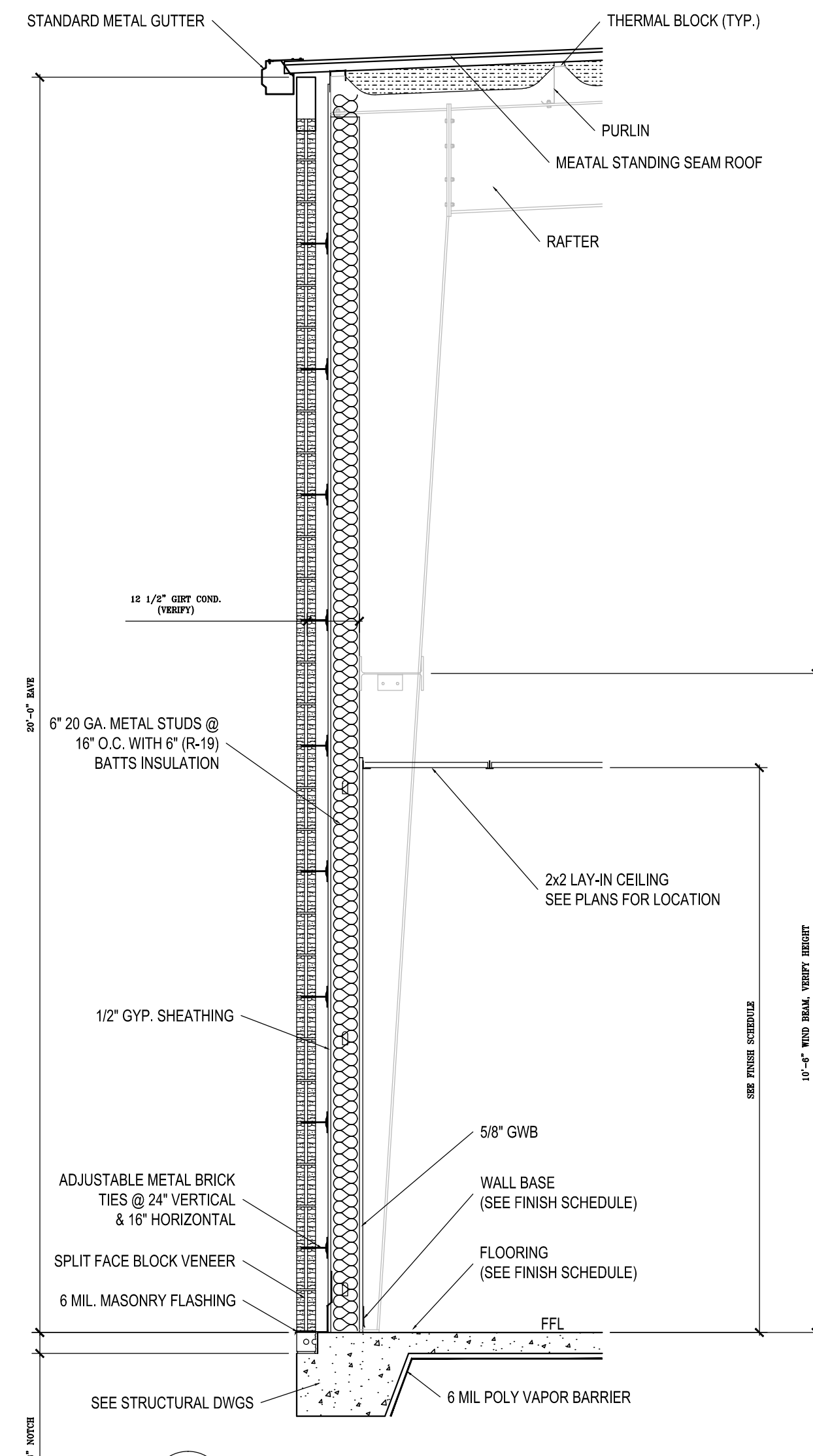
|      |                     |     |                   |     |                  |
|------|---------------------|-----|-------------------|-----|------------------|
| ALUM | ALUMINUM            | MO  | MANUALLY OPERATED | PRL | PRIVACY LOCKSET  |
| CL   | CLOSER              | MTL | METAL             | PTD | PAINTED          |
| CYL  | CYLINDRICAL LOCKSET | PAL | PASSAGE LOCKSET   | SS  | SECTIONAL STEEL  |
| FACT | FACTORY             | SCW | SOLID CORE WOOD   | STD | STAIN            |
| LH   | LEVER HANDLE        | PL  | PULL LEVER        | WS  | WEATHERSTRIPPING |
| LS   | LOCKSET             | PP  | PUSH PLATE        |     |                  |

**GENERAL NOTES**

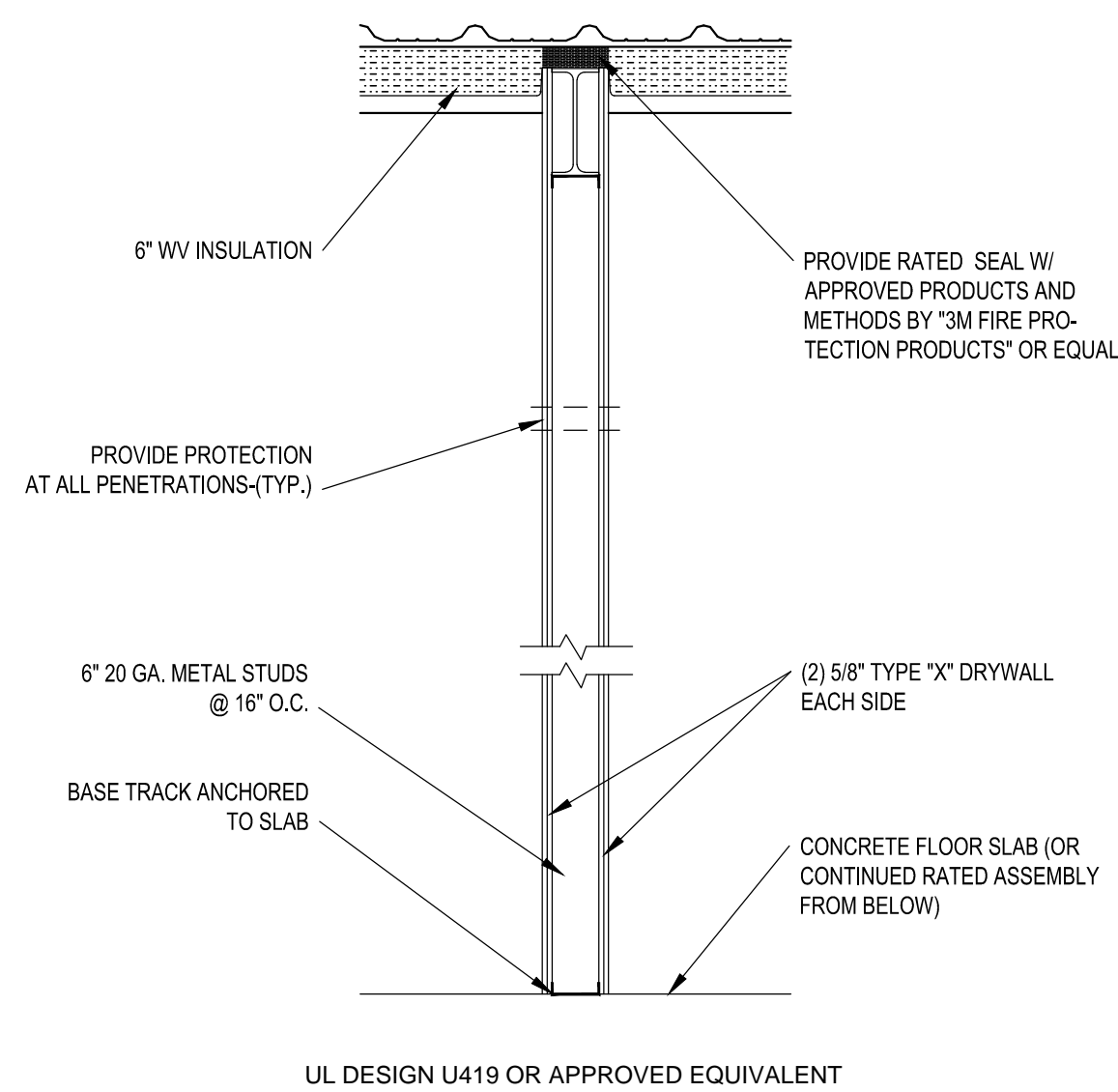
- INTERIOR DOOR #13 SHALL RECEIVE 3"x 33" VIEW GLASS



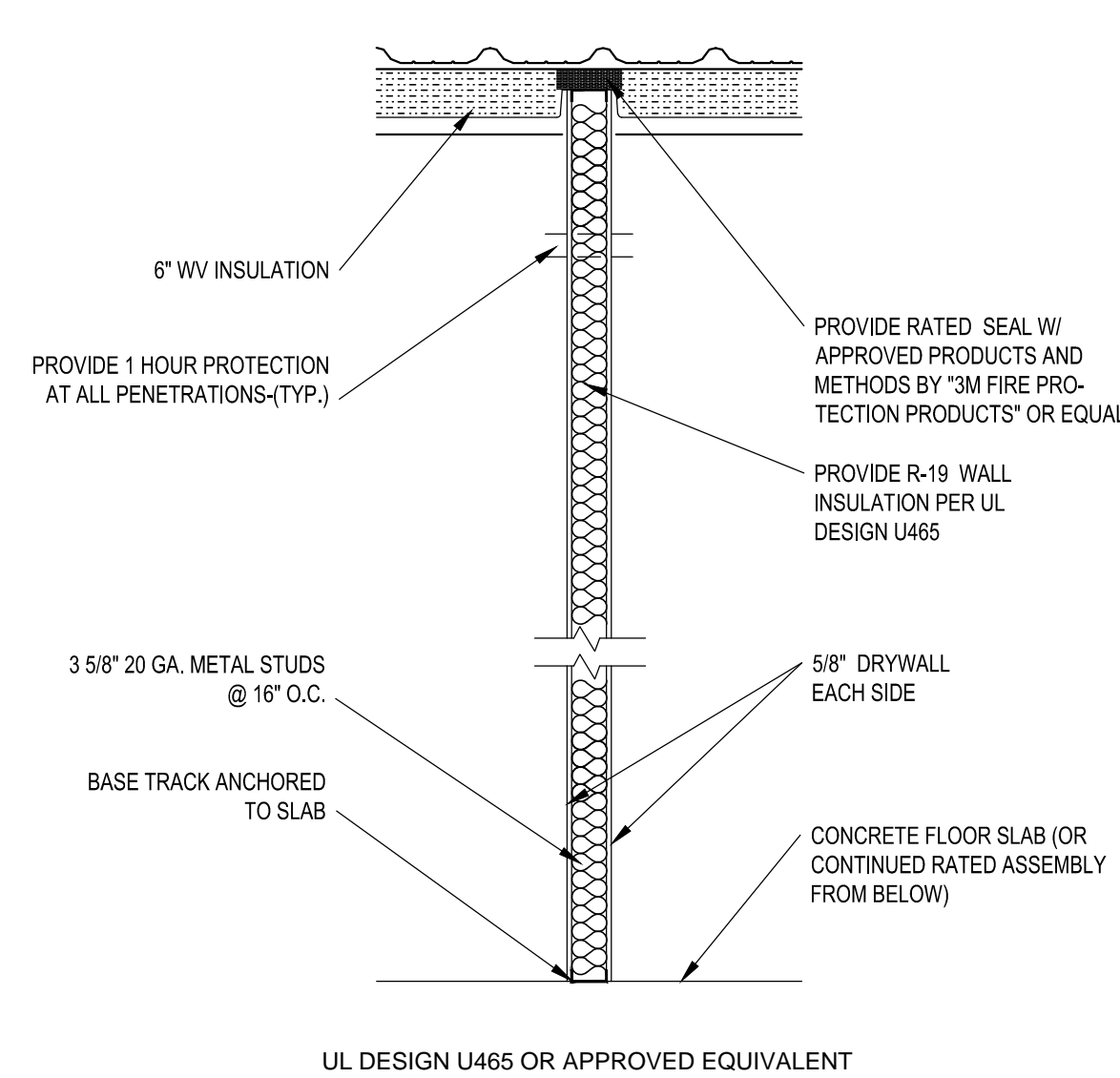
**04 ENDWALL PANEL DETAIL**  
Scale: 1/2" = 1'-0"



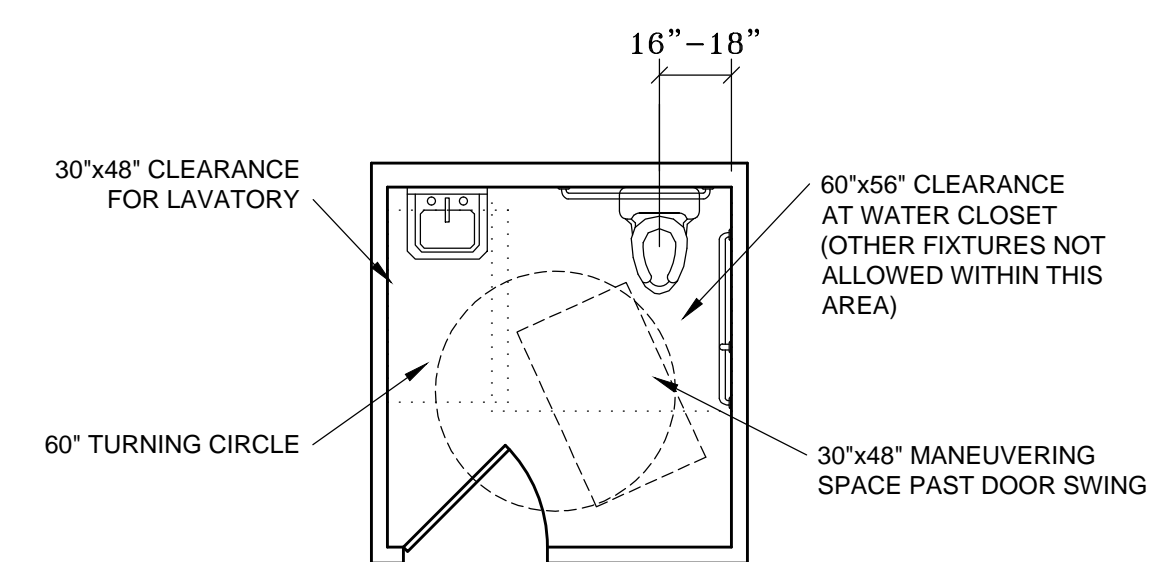
**03 LOW SIDEWALL DETAIL**  
Scale: 1/2" = 1'-0"



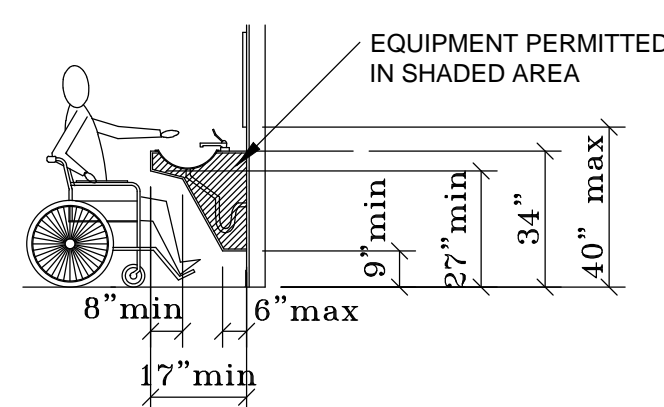
**01 TYPICAL FIRE BARRIER DETAIL**  
Scale: 1/2" = 1'-0"



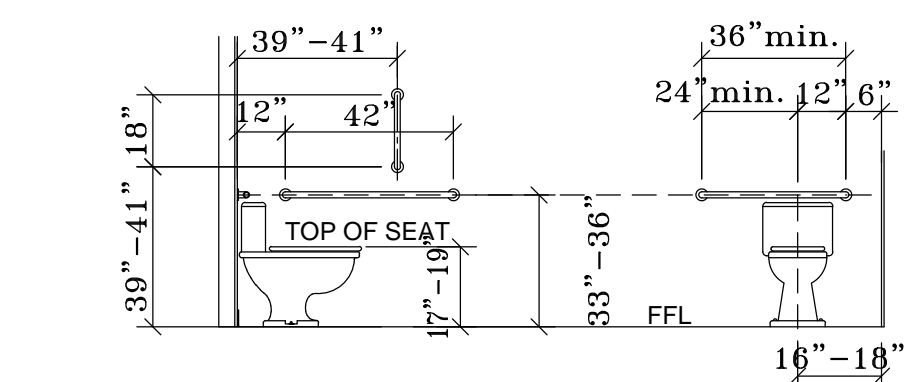
**02 TYPICAL COMMON WALL DETAIL**  
Scale: 1/2" = 1'-0"



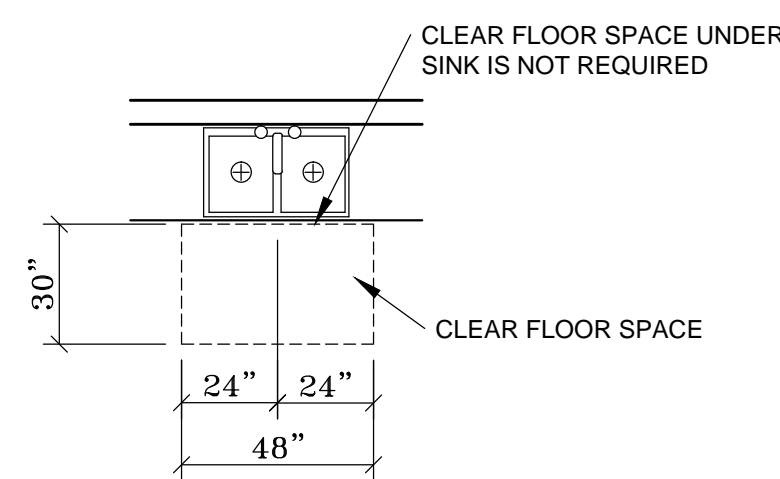
**A TYP. TOILET PLAN VIEW**  
Scale: 1/4" = 1'-0"



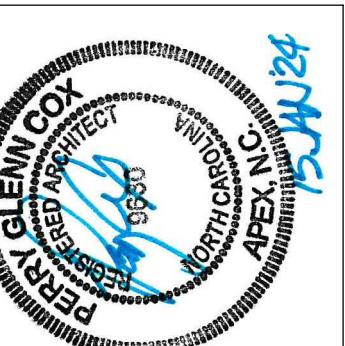
**C TYP. LAVATORY CLEARANCES**  
Scale: 1/4" = 1'-0"



**B TYP. TOILET ELEVATION**  
Scale: 1/4" = 1'-0"



**D PARALLEL APPROACH SINK**  
Scale: 1/4" = 1'-0"



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