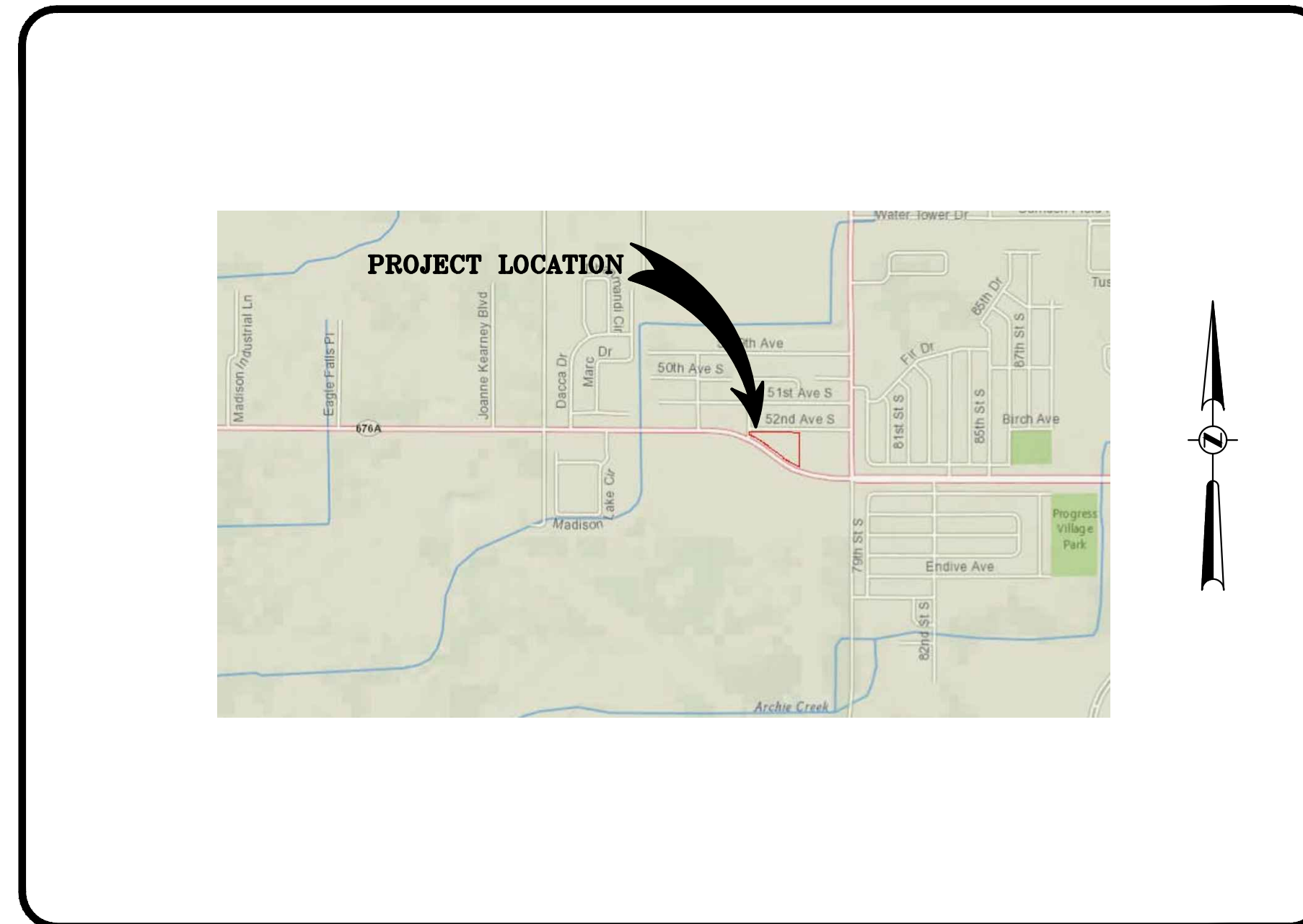


PRELIMINARY PLANS FOR *MADISON RESIDENCES*

PLAN INDEX

- 1 COVER SHEET
- 2 SPECIFICATIONS AND NOTES
- 3 PRELIMINARY SITE PLAN

LOCATION MAP



AERIAL PHOTO



LEGAL DESCRIPTION

THAT PART OF TRACT 2 IN THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 30 SOUTH, RANGE 19 EAST, SOUTH TAMPA SUBDIVISION AS RECORDED IN PLAT BOOK 6, PAGE 3 OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA.

SITE DATA

| | |
|---------------------------|---|
| FOLIO NUMBER: | 48875.0200 |
| SECTION/TOWNSHIP/RANGE: | 02/30/19 |
| PROPERTY SIZE: | ±3.54 ACRES |
| EXISTING ZONING: | PD (PRS 19-0186) |
| PROPOSED ZONING: | PLANNED DEVELOPMENT |
| FUTURE LAND USE | |
| DESIGNATION: | RES-6 |
| EXISTING USE: | VACANT |
| PROPOSED USE: | RESIDENTIAL |
| MAXIMUM BUILDING HEIGHT: | 2 STORY / 35 FEET |
| PROPERTY OWNER/APPLICANT: | MADISON PROFESSIONAL BUILDING, LLC |
| ENGINEER: | GLOBAL ENGINEERING ASSOCIATES, INC. 2302 N. HIGHLAND AVENUE TAMPA, FL 33602 |
| REQUIRED PARKING: | 21 UNITS X 2 SPACES = 42 SPACES |
| PROVIDED PARKING: | 71 SPACES (INCLUDING 5 HANDICAP SPACES) |

PER CONDITION 3 OF THE PD CONDITIONS OF APPROVAL, A 9 FOOT FRONT YARD SETBACK IS REQUIRED

PROPOSED BUILDING FOOTPRINT AREA = 18,480 SF
 PROPOSED VIA = 36,974 SF
 CONCRETE WALK AREA = 6,325 SF
 TOTAL IMPERVIOUS AREA = 61,779 SF

THIS PROPERTY LIES IN ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12057C0388J, HAVING AN EFFECTIVE DATE OCTOBER 07, 2021.

Prepared For:
MADISON TOWNHOMES LLC
1990 NE 163RD SR STE 209
NORTH MIAMI BEACH, FL 33162

Prepared By:
G E A
GLOBAL ENGINEERING ASSOCIATES, Inc.
2302 N. HIGHLAND AVENUE
TAMPA, FL 33602
PHONE: (813) 210-3333
FAX: (813) 944-4999

Professional Engineer, License No. [44797]; this item has been digitally signed and sealed by [Abdul Waris] on the date indicated here. Printed copies of this document are not considered Signed and Sealed and the signature must be verified on any electronic copies*.

GENERAL CONSTRUCTION NOTES

1. ALL ELEVATIONS REFER TO N.G.V.D./N.A.V.D. STANDARDS, REFER TO PROJECT SURVEY.
2. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA(S).
4. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
8. ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO SHALL BE OF LATEST REVISIONS AND/OR LATEST EDITION.
9. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
10. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE OWNER'S ENGINEER, SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS WHICH ARE FROM THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL SHOP DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER'S ENGINEER.
11. AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES, AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER, OR WITHOUT AGENCY INSPECTOR PRESENT, MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
12. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
13. BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AROUND PIPES IN 6" LAYERS UP TO A LEVEL OF AT LEAST ONE FOOT ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
14. SITE WORK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED.
15. REINFORCING SHALL BE BILLET STEEL BARS CONFORMING TO ASTM A615 GRADE OR BETTER.
16. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION IS TO BE ALLOWED.
17. ALL DISTURBED AREAS WHICH ARE NOT TO BE SODED, ARE TO BE SEEDED AND MULCHED TO DOT STANDARDS, AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS, ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER OF RECORD, HAVE BEEN OBTAINED. ANY WASHOUTS, REGRADING, RESEEDING, AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR, UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE, BY THE REGULATORY AGENCY AND ENGINEER OF RECORD.
18. CHAPTER 77-153 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING. MAPS SHOW ONLY THE APPROXIMATE LOCATION OF GAS MAINS AND DO NOT SHOW SERVICE LINES. TO ONLY SAFE AND PROPER WAY TO LOCATE EITHER MAINS OR SERVICE LINES IS BY AN ON-SITE INSPECTION BY THE RESPECTIVE GAS PERSONNEL. THEREFORE, EXCAVATORS ARE INSTRUCTED TO TELEPHONE THE RESPECTIVE GAS COMPANY TWO (2) WORKING DAYS BEFORE ENTERING A CONSTRUCTION AREA.
19. THE CONTRACTOR SHALL LOCATE AND FLAG ALL PROPERTY CORNERS PRIOR TO FINAL ENGINEERING INSPECTION AND CERTIFICATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE PROPERTY CORNERS, WHICH HAVE BEEN LOST DURING CONSTRUCTION, RE-ESTABLISHED BY A PROFESSIONAL LAND SURVEYOR.
20. THE SOILS ENGINEER IS TO SUPPLY THE ENGINEER WITH A PHOTOCOPY OF ALL COMPARISON TESTS, AND ASPHALT RESULTS. THE SOILS ENGINEER IS TO CERTIFY TO THE ENGINEER OF RECORD, IN WRITING, THAT ALL TESTING REQUIREMENTS, REQUIRED BY THE LOCAL REGULATORY AGENCY, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), FOR THE IMPROVEMENTS, AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS, HAVE BEEN SATISFIED.
21. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING REQUIREMENTS SHOWN ON THE ENGINEERING CONSTRUCTION DRAWINGS. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER IS TO SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER, STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
22. THE CONTRACTOR IS TO REVIEW THE SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.
23. THE IRRIGATION SYSTEM SHALL HAVE COLOR CODED PIPING AND LABELING ON THE PIPE TO INSURE DIFFERENTIATION FROM POTABLE WATER PIPING.
24. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS AND PERMITS AT THE CONSTRUCTION SITE.
25. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS FOR CONSTRUCTION SITE SAFETY.
26. ALL SODDING, SEEDING AND MULCHING SHALL INCLUDE WATERING AND FERTILIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE AREAS UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.

CLEARING AND EROSION CONTROL NOTES

1. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER.
2. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.
3. THE CONTRACTOR SHALL CLEAR AND GRUB, ONLY THOSE PORTIONS OF THE SITE, NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
4. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER.
5. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS. ONLY "GRADING BY HAND" IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO REMAIN.

6. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.
8. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFACE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES. AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
10. DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
11. ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
12. WHEN CONSTRUCTION IS COMPLETED, THE RETENTION/DETENTION AREAS WILL BE RESHAPED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SODED IN ACCORDANCE TO THE PLANS.
13. CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS. IN ADDITION, THE CONTRACTOR SHALL PLACE STRAW, MULCH, OR OTHER SUITABLE MATERIAL ON THE GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY WIND OR WATER, THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
14. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.
15. THERE IS TO BE NO DISCHARGE (I.E. PUMPING, SHEET FLOW, SHALE, DITCH, ETC.) INTO EXISTING LAKE SYSTEM, WETLAND, OR RIVER, WITHOUT THE USE OF SETTLING PONDS. IF THE CONTRACTOR DESIRES TO DISCHARGE INTO THE EXISTING LAKE SYSTEM OR RIVER, A SETTLING POND PLAN MUST BE SUBMITTED AND APPROVED BY THE ENGINEER OF RECORD AND LOCAL REGULATORY AGENCY PRIOR TO CONSTRUCTION.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL DELETERIOUS SUBSTANCE MATERIAL, (I.E. MUCK, PEAT, BURIED DEBRIS), IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS, OR AS DIRECTED BY THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING, OR SHORING, AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED.
3. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. THE CONTRACTOR IS TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.
4. PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR APPROVAL.
5. THE CONTRACTOR IS TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER, AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.
6. ALL PAVEMENT MARKINGS SHALL BE MADE WITH PERMANENT THERMOPLASTIC, AND SHALL CONFORM TO FDOT STANDARD INDEX NO. 17346. PARKING STALL STRIPING TO BE 4" WIDE PAINTED WHITE STRIPES.
7. THE CONTRACTOR IS TO INSTALL EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES. SEE "EXTRA BASE FOR CROSS CULVERTS UNDER FLEXIBLE PAVEMENT DETAIL."
8. STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".
9. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS.
10. PVC STORM PIPE, 12" AND SMALLER SHALL CONFORM TO AWWA C-900, CLASS 150 STANDARDS, UNLESS OTHERWISE NOTED.
11. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES. PIPE LENGTH FOR MITERED END AND FLARED END SECTIONS ARE TO END OF PIPE.
12. ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
13. THE CONTRACTOR IS TO SOD THE RETENTION/DETENTION POND AS INDICATED ON PLANS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE POND.
14. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1991, OR LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERE TO.
15. UNDERCUTTING AND/OR OVER EXCAVATING THE RETENTION/DETENTION AREAS WILL NOT BE ALLOWED.
16. THE CONTRACTOR SHALL PROVIDE CERTIFIED RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES, INVERTS, AND LOCATIONS OF ALL STORMWATER FACILITIES INCLUDING THE STORMWATER POND, DRAINAGE STRUCTURES, BERMS & SWALES. THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER FOR THE PURPOSE OF CERTIFYING THE STORMWATER MANAGEMENT SYSTEM.

PAVING, GRADING & DRAINAGE TESTING & INSPECTION REQUIREMENTS

1. THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR IS TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.
2. THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING SCHEDULE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

WATER/SEWER CLEARANCE REQUIREMENTS

VERTICAL CLEARANCE AT CROSSINGS:
GRAVITY SEWERS OR FORCE MAINS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS AND WATER JOINTS WILL BE EQUALLY SPACED FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN ANY TWO JOINTS. WHERE THE MINIMUM 18 INCH SEPARATION CANNOT BE MAINTAINED THE SEWER SHALL BE PLACED IN A SLEEVE OR ENCASED IN CONCRETE FOR 20 FEET CENTERED ON THE POINT OF CROSSING.

WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER WATER MAINS, THE PIPES SHALL BE CENTERED AT THE CROSSING AS INDICATED ABOVE, AND THE WATER MAIN SHALL BE PLACED IN A SLEEVE OR ENCASED IN CONCRETE FOR 20 FEET CENTERED ON THE POINT OF CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.

HORIZONTAL SEPARATION BETWEEN PARALLEL LINES:
GRAVITY SEWERS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THIS DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10 FOOT SEPARATION, THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AND AT AN ELEVATION SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, AND THE WATER AND SEWER JOINTS SHALL BE STAGGERED.

FORCE MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN.

SANITARY SEWER/RECLAIMED WATER AND POTABLE WATER/RECLAIMED WATER SEPARATIONS
WHEN THE RECLAIMED WATER LINE IS TRANSPORTING WATER FOR PUBLIC ACCESS IRRIGATION:
MAXIMUM OBTAINABLE SEPARATION OF RECLAIMED WATER LINES AND DOMESTIC WATER LINES SHALL BE PRACTICED. A MINIMUM HORIZONTAL SEPARATION OF 5 FEET (CENTER TO CENTER) OR 3 FEET (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN RECLAIMED WATER LINES AND EITHER POTABLE WATER MAINS OR SEWAGE COLLECTION LINES. AN 18 INCH VERTICAL SEPARATION SHALL BE MAINTAINED AT CROSSINGS.

WHEN THE RECLAIMED WATER LINE IS TRANSPORTING WATER FOR NON-PUBLIC ACCESS IRRIGATION:
THE RECLAIMED WATER MAIN SHALL BE TREATED LIKE A SANITARY SEWER, A 10 FOOT HORIZONTAL AND 18 INCH VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE RECLAIMED WATER MAIN AND ANY EXISTING OR PROPOSED POTABLE WATER MAINS. MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN THE RECLAIMED WATER MAIN AND SANITARY SEWERS, OTHER THAN THAT NECESSARY TO ENSURE STRUCTURAL INTEGRITY AND PROTECTION OF THE LINES THEMSELVES.

NOTE: WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATIONS AS STIPULATED ABOVE, THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. APPROVAL FOR THE DEVIATION MUST BE OBTAINED PRIOR TO CONSTRUCTION.

WATER SYSTEM NOTES

1. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
2. ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
3. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY.
4. ALL DUCTILE IRON PIPE SHALL BE CLASS 52 IN ACCORDANCE WITH ANSI A 21.50 (AWWA C 150) AND ANSI A 21.31 (AWWA C 151) AND PIPE SHALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6 A 21.8 OR A 21.51 AND SHALL BE MORTAR LINED, STANDARD THICKNESS, AND BITUMINOUS SEALED IN ACCORDANCE WITH ANSI A (AWWA C 104-71).
5. ALL FITTINGS LARGER THAN 2" SHALL BE DUCTILE IRON CLASS 53 IN ACCORDANCE WITH AWWA C-110 WITH A PRESSURE RATING OF 350 PSI. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH AWWA C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH AWWA C-104.
6. THE CONTRACTOR IS TO INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.
7. THRUST BLOCKING SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS AS SHOWN ON DETAILS.
8. ALL PVC WATER MAINS 4" THROUGH 12" SHALL BE IN ACCORDANCE WITH AWWA C-900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18 IN ACCORDANCE WITH ASTM D-2241.
9. ALL PIPES AND FITTINGS 2" AND SMALLER SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS.
10. ALL GATE VALVES 2" OR LARGER SHALL BE RESILIENT SEAT OR RESILIENT WEDGE MEETING THE REQUIREMENTS OF AWWA C509
11. ALL FIRE HYDRANTS SHALL MEET THE REQUIREMENTS OF AWWA C502 AND SHALL BE APPROVED BY THE LOCAL UTILITY AND FIRE MARSHAL.
12. MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF, AND SUPPLEMENTAL SPECIFICATIONS THERE TO. APPROVAL AND CONSTRUCTION OF ALL POTABLE WATER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE LOCAL REGULATORY AGENCY.
13. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW THE LOCATIONS ON ALL WATER MAINS AND SERVICES. THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

WATER SYSTEM TESTING/ INSPECTION REQUIREMENTS

1. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH WATER DEPARTMENT SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND WATER DEPARTMENT INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.
2. CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING AND OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.

SANITARY SEWER NOTES

1. ALL SANITARY SEWER MAINS & LATERALS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
2. ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE, SDR 35 OR AS OTHERWISE INDICATED ON THE CONSTRUCTION DRAWINGS.
3. ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
4. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
5. PVC PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS DESIGNATION D-3034-77C, MA SDR 35. INSTALLATION OF SDR 35 PIPE SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ASTM SPECIFICATION SECTION D2321. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.
6. ALL PVC FORCE MAINS SHALL BE CLASS 200, SDR 21, COLOR GREEN, WITH A GREEN MAGNETIC TAPE A MINIMUM OF 2" WIDE, PLACED 1 FOOT BELOW THE PROPOSED GRADE. THE PRINTING ON THE MAGNETIC TAPE SHOULD READ "FORCEMAIN".
7. ALL DUCTILE IRON PIPE SHALL BE CLASS 52 IN ACCORDANCE WITH ANSI A 21.50 (AWWA C 150) AND ANSI A21.51 (AWWA C 151). DUCTILE IRON PIPE SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8, OR A 21.51.

8. ALL SANITARY SEWER GRAVITY MAINS OR SANITARY SEWER FORCEMAINS THAT REQUIRE D.I.P. ARE TO BE POLY-LINED OR EPOXY LINED.
9. ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.
10. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS ON ALL SANITARY SEWER MAINS AND SERVICES. THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

SANITARY SEWER TESTING/ INSPECTION REQUIREMENTS

1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
2. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
3. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

SAFETY NOTES

1. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
2. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION MAINTENANCE AND UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
3. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
4. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
5. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

| TESTING SCHEDULE GUIDE | | | | | |
|---|--|--------------------|------------------------|--|--|
| ITEM | TEST TYPE | TEST I.D. | REQUIREMENT | FREQUENCY | |
| Embankment | Maximum Density Optimum Moisture Field Density | AASHTO T180 | N/A | Per Soil Type | |
| | | ASTM D1557 | 95% of Maximum Density | One Per 2,500 S.F. Horizontally * Alternating Lifts (12 Inches) | |
| | | AASHTO T191, T204 | | | |
| Utility Trench Backfill Under Roadways and Structures | Maximum Density Optimum Moisture Field Density | AASHTO T180 | N/A | Per Soil Type | |
| | | ASTM D1557 | 95% of Maximum Density | One Per 2,500 S.F. Horizontally * Every 2' Vertically D2922 | |
| | | AASHTO T191, T204 | | | |
| Backfill of Structures | Maximum Density Optimum Moisture Field Density | AASHTO T180 | N/A | Per Soil Type | |
| | | ASTM D1557 | 95% of Maximum Density | Every 2' Vertically | |
| | | AASHTO T191, T204 | | | |
| Subgrade | Bearing Values | LBR - FLA. D.O.T. | LBR = 40 MIN. | One Per Soil Type Check Point LBR at 500 L.F. Horizontally One Per Soil Type | |
| | | AASHTO T180 | N/A | One Per 2,500 S.F. Horizontally | |
| | | ASTM D1557 | 98% of Maximum Density | | |
| Base | Bearing Values | LBR - FLA. D.O.T. | LBR = 100 MIN. | One Per Source or as Mtl. Change Check Point LBR at 500 L.F. Horizontally | |
| | | AASHTO T180 | N/A | One Per Source | |
| | | ASTM D1557 | 98% of Maximum Density | One Per 2,500 S.F. Horizontally | |
| Soil Cement Base Mix Design (To be used if separ. between SHMT & bottom of base is <1.5') | Maximum Density Optimum Moisture Field Density & Thickness | AASHTO T180 | N/A | One Per Source | |
| | | ASTM D1557 | 98% of Maximum Density | One Per 2,500 S.F. Horizontally | |
| | | AASHTO T191, T238 | | | |
| Asphaltic Concrete Materials Quality | Bitumen Content, Gradation Field Density | AASHTO T164 | Per Specifications | One Per Day | |
| | | ASTM D2172 | 95% of Lab Density | One Per 2,500 S.F. Horizontal | |
| | | ASTM 02950-81 | | | |
| Los Angeles Abrasion Thickness | AASHTO T96-77 ASTM C131-81 N/A | Per Specifications | One Per Source | | |
| | | Per Specifications | One Per 2,500 S.F. | | |
| | | | | | |

NOTES:

- * The Contractor shall not pave over soil cement base until a 30 day curing time has elapsed
- ** Maximum strength limits, as established by soils testing company, shall not be exceeded
- *** Should any of the information provided herein conflict with either the recommendations of the Geotechnical Engineer and the Geotechnical Report or the local agencies, then the aforementioned RECOMMENDATIONS will supersede this "TESTING SCHEDULE GUIDE"

ISSUED FOR:

REVIEW

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |
| | | | |

PROJECT NAME: MADISON RESIDENCES

PROJECT LOCATION: HILLSBOROUGH COUNTY, FLORIDA

SHEET NAME: 2

PREPARED FOR: MADISON TOWNHOMES LLC

PREPARED BY:

CERTIFICATE OF AUTHORIZATION No. 20000

2002 N. HIGHLAND AVENUE
TAMPA, FL 33609
Tel. 813-963-7000
Fax. 813-944-4999

SHEET

GLOBAL ENGINEERING ASSOCIATES

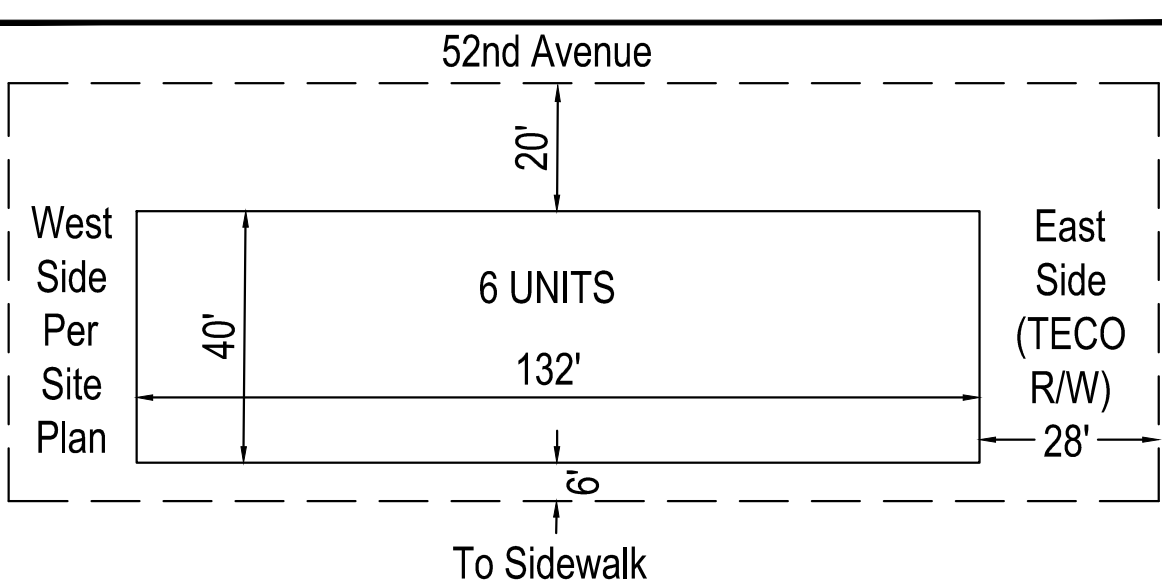
SITE NOTES:

- DEVELOPMENT SHALL PROCEED IN ACCORDANCE WITH THE STANDARDS OF THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE PALM RIVER COMMUNITY PLANNING AREA.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN AN OVERLAY DISTRICT.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A COASTAL HIGH HAZARD AREA, WELLSHEAD RESOURCE PROTECTION AREA, AND/OR SURFACE WATER RESOURCE PROTECTION AREA.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A POTABLE WATER WELLFIELD BUFFER PROTECTED AREA.
- THERE ARE NO DESIGNATED SCENIC ROADWAY CORRIDORS LOCATED WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE ARE NO EXISTING OR PROPOSED CULTURAL FACILITIES, RECORDED HISTORICAL OR ARCHAEOLOGICAL SITES, COMMUNITY RECREATION USES, OR PUBLIC FACILITIES LOCATED ON THE SUBJECT PARCEL OR WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
- EXISTING LOTS AND/OR BLOCKS AS PART OF THE LEGAL DESCRIPTION OF THE SUBJECT PROPERTY OR WITHIN 150 FEET OF THE PROJECT BOUNDARIES ARE AS SHOWN PER PLAT BOOK AND PAGE ON THE PROPOSED GENERAL DEVELOPMENT SITE PLAN.
- THERE ARE NO EXISTING RIGHTS-OF-WAY WITHIN THE PROJECT BOUNDARIES AS DEFINED IN SECTION 12 OF THE LDC.
- THERE ARE NO EXISTING OR PROPOSED EASEMENTS WITHIN THE PROJECT BOUNDARIES AND NO KNOWN EXISTING OR PROPOSED EASEMENTS WITHIN 150 FEET OF THE SUBJECT PROPERTY.
- THERE IS NO PROPOSED FLEX TO THE COMPREHENSIVE PLAN BOUNDARY.
- EXISTING STRUCTURES WITHIN SUBJECT PROPERTY BOUNDARIES ARE TO BE REMOVED.
- EXISTING STRUCTURES AND DRIVEWAY LOCATIONS ON THE PROPOSED GENERAL DEVELOPMENT SITE PLAN ARE APPROXIMATED AND ARE BASED ON MOST RECENT AERIAL PHOTOGRAPH INTERPRETATION. THERE ARE NO IDENTIFIED DRIVEWAYS EXISTING ON THE SUBJECT PROPERTY.
- PROJECT WILL BE DEVELOPED IN ONE OR MULTIPLE PHASES DEPENDING ON MARKET CONDITION.
- PROPOSED COMMON OPEN SPACES OR RECREATION AREAS ARE AS SHOWN ON THE PROPOSED GENERAL DEVELOPMENT SITE PLAN.
- THERE ARE NO PROPOSED OR EXISTING PUBLIC PARKS OR PUBLIC SCHOOL SITES ON THE SUBJECT PROPERTY.
- THERE ARE NO EXISTING WATER BODIES WITHIN THE PROJECT SITE. PROPOSED RETENTION AREAS ARE AS SHOWN ON THE PROPOSED GENERAL DEVELOPMENT SITE PLAN.
- RESIDENTIAL LOTS WILL BE DEVELOPED WITH SETBACKS AS DEPICTED ON SITE PLAN.
- NO OPTIONAL BUILDING ELEVATIONS OR ARCHITECTURAL RENDERINGS ARE PROPOSED TO BE SUBMITTED AS PART OF THIS PD REZONING APPLICATION.
- BUFFERING PROPOSED TO COMPLY WITH THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE (LDC). BUFFERING ALONG 52ND AVE SOUTH WILL CONSIST OF A 6 FOOT LANDSCAPE BUFFER ABUTTING PROPOSED SIDEWALK; A 6 FOOT WOODEN FENCE WILL BE PLACED ALONG THE SOUTHERN BOUNDARY OF THE LANDSCAPE STRIP. THE PROPOSED LANDSCAPE BUFFER WILL BE LOCATED WITHIN THE 20' AREA AS SHOWN ON THE SITE PLAN.
- THERE ARE NO KNOWN WETLANDS, NATURAL WATER BODIES/LAKES, CONSERVATION AREAS, PRESERVATION AREAS, UPLAND HABITATS AREAS, OR OTHER SUCH NATURAL PHYSICAL FEATURES ON THE SUBJECT SITE, OR WITHIN 150 FEET OF THE PROJECT BOUNDARIES OTHER THAN THOSE DEPICTED ON THE PROPOSED GENERAL DEVELOPMENT SITE PLAN.
- HEIGHT SHALL BE MEASURED PURSUANT TO SECTION 12.01 AND SECTION 6.08.01 OF THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE (LDC).
- ACCESS POINTS ARE PROPOSED AND SUBJECT TO HILLSBOROUGH COUNTY ACCESS MANAGEMENT STANDARDS. MAIN ENTRANCE ALIGNS WITH THAT OF PARCEL "A" APPROVED BY RZ 99-1401.
- PROPOSED PROJECT ROADS WILL BE PRIVATELY OWNED AND MAINTAINED. NO GATES ARE PROPOSED.
- FUTURE CROSS ACCESS WILL BE PROVIDED WITHIN PROJECT BOUNDARY. NO CROSS-ACCESS PROPOSED ALONG EASTERN BOUNDARY DUE TO TECO RIGHT-OF-WAY.
- PROPOSED PARKING AND/OR SERVICE AREAS WITHIN 200 FEET (INSIDE) THE PROJECT BOUNDARY ARE AS SHOWN ON THE PROPOSED GENERAL DEVELOPMENT SITE PLAN.
- THERE IS NO RIGHT-OF-WAY PROPOSED TO BE DEDICATED. THE EXACT AMOUNT OF RIGHT-OF-WAY TO BE DEDICATED TO HILLSBOROUGH COUNTY WILL BE DETERMINED BY COUNTY STAFF AFTER DETAILED REVIEW AND MEETINGS WITH THE DEVELOPER DURING THE REZONING PROCESS.
- THERE ARE NO MEDIANS ON THE ADJACENT ROADWAYS IMMEDIATELY ABUTTING THE SUBJECT PROPERTY.
- THERE ARE NO EXISTING OR PROPOSED TRAFFIC CONTROL DEVICES ON THE SUBJECT SITE OR WITHIN 150 FEET OF THE PROJECT BOUNDARIES.
- NO SIDEWALKS, BIKEWAYS AND TRANSIT STOPS EXIST ON OR ARE WITHIN 150 FEET OF THE PROJECT SITE. PROPOSED SIDEWALKS ARE SHOWN ON THE PROPOSED GENERAL DEVELOPMENT SITE PLAN.
- THE SUBJECT PROPERTY IS NOT SERVED BY PUBLIC TRANSIT SERVICE. THE LOCATION OF PUBLIC TRANSIT SERVICE FACILITY PROPOSED ON THIS PROJECT WILL BE COORDINATED WITH HARTLINE. THE DEVELOPER WILL PROVIDE FOR THE REQUIRED TRANSIT ACCESSORY PAD AND FACILITIES PER LDC CODE.
- PROJECT IS LOCATED WITHIN THE TAMPA SERVICE AREA FOR BOTH WATER AND WASTEWATER. A HILLSBOROUGH COUNTY 6" FORCE MAIN ABUTS THE EASTERN BOUNDARY OF THE SUBJECT PROPERTY AND MAY BE UTILIZED FOR WASTEWATER SERVICES IN THE EVENT THAT THE CITY OF TAMPA CANNOT PROVIDE THIS SERVICE. A VARIANCE TO THE EAST SIDE OF THE PROJECT IS INCLUDED IN THIS REQUEST TO ALLOW A 5' BUILDING SETBACK TO THE RETAIL STRUCTURE.
- THE PROPOSED LOCATION OF STRUCTURES IS CONCEPTUAL AND SUBJECT TO FINAL ENGINEERING AND DESIGN APPROVAL BY HILLSBOROUGH COUNTY.

SITE LEGEND

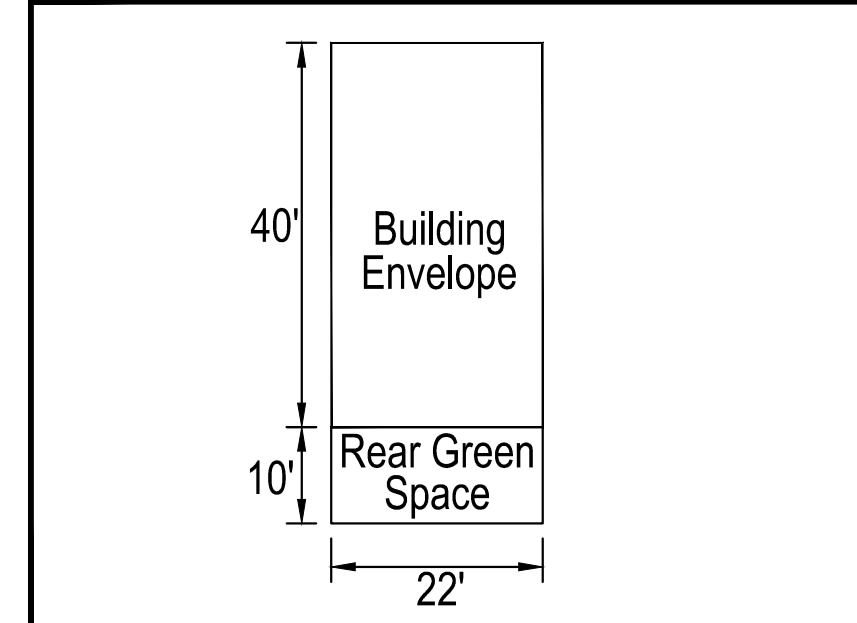
- HANDICAP PARKING
- PROPOSED DRAINAGE INLET
- PROPOSED CURB
- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- RIGHT-OF-WAY
- EXISTING EDGE OF PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED PERVIOUS PAVEMENT
- PROPOSED SIDEWALK PUBLIC EASEMENT
- TYP TYPICAL
- HC HANDICAP
- 10 10 PARKING SPACES
- 15 LOT NUMBER
- S/W SIDEWALK
- R5' 5' RADIUS
- LF LINEAR FEET
- SF SQUARE FEET

BUILDING SETBACKS FOR NORTHERN TOWNHOMES* NTS

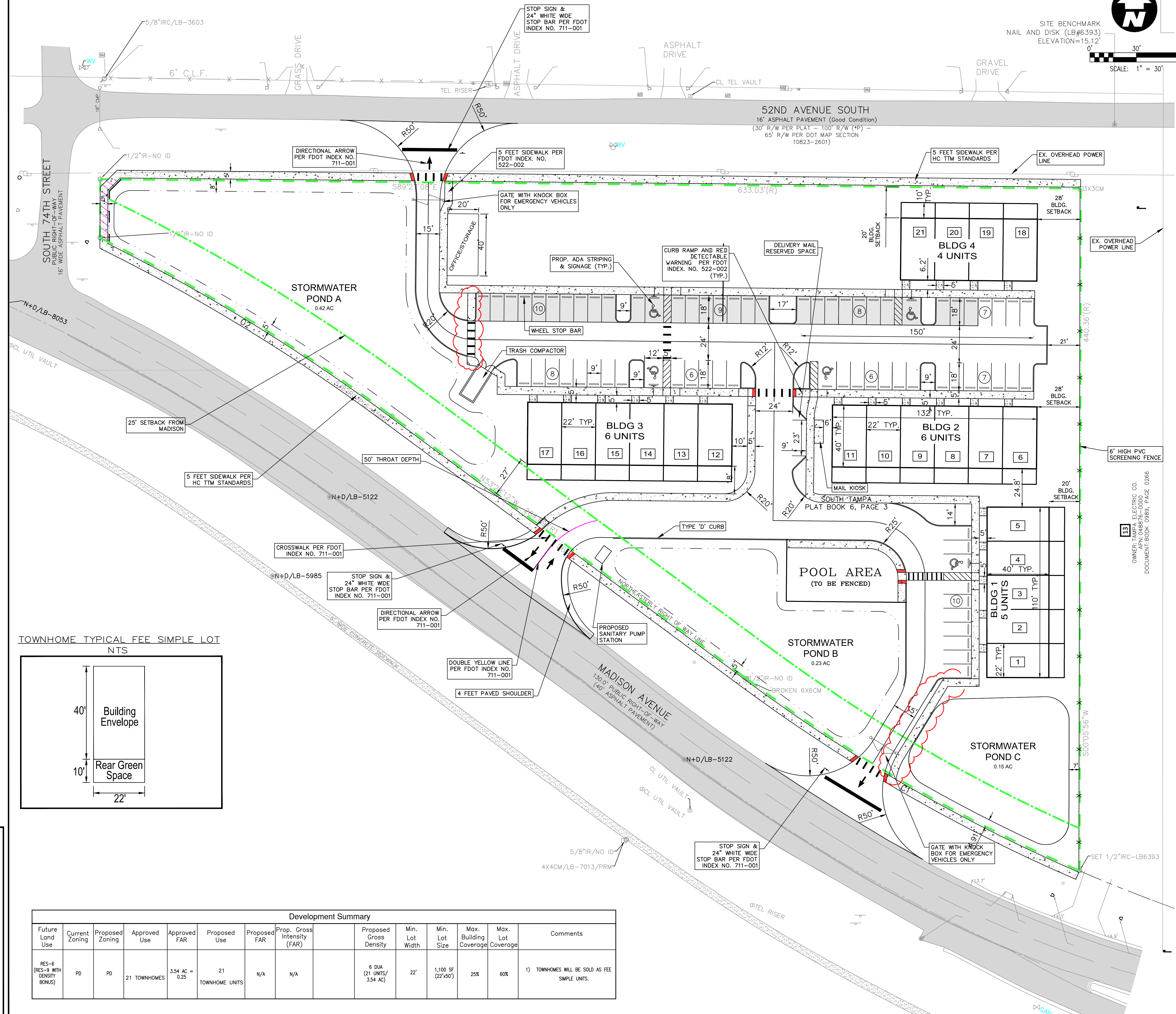


* All other Building Setbacks per Site Plan

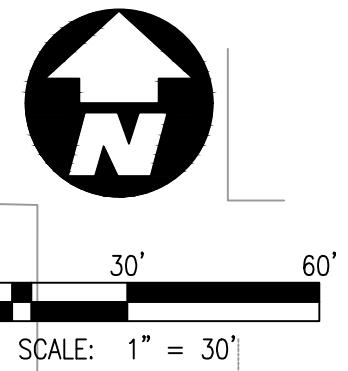
TOWNHOME TYPICAL FEE SIMPLE LOT NTS



| Future Land Use | Current Zoning | Proposed Zoning | Approved Use | Approved FAR | Proposed Use | Proposed FAR | Prop. Gross Intensity (FAR) | Proposed Gross Density | Min. Lot Width | Min. Lot Size | Max. Building Coverage | Max. Lot Coverage | Comments |
|----------------------------------|----------------|-----------------|--------------|----------------|-------------------|--------------|-----------------------------|---------------------------|----------------|--------------------|------------------------|-------------------|--|
| RES-6 (RES-9 WITH DENSITY BONUS) | PD | PD | 21 TOWNHOMES | 3.54 AC = 0.25 | 21 TOWNHOME UNITS | N/A | N/A | 6 DIA (21 UNITS/ 3.54 AC) | 22' | 1,100 SF (22'x50') | 25% | 60% | 1) TOWNHOMES WILL BE SOLD AS FEE SIMPLE UNITS. |



OWNER: TAMPA ELECTRIC CO.
 ATTORNEY: PAGE 0266
 DOCUMENT: 0989, PAGE 0266



ISSUED FOR: **REVIEW**

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |

PROJECT NAME: **MADISON RESIDENCES**

PROJECT LOCATION: **HILLSBOROUGH COUNTY, FLORIDA**

SHEET NAME: **PRELIMINARY SITE PLAN**

PREPARED FOR: **MADISON TOWNHOMES LLC**

PREPARED BY: **GEOGRAPHIC ENGINEERING ASSOCIATES**

2002 N. HIGHLAND AVENUE
 TAMPA, FL 33609
 Tel. 813-963-0006
 Fax. 813-944-4999

GEOGRAPHIC ENGINEERING ASSOCIATES

CERTIFICATE OF AUTHORIZATION No. 1898

SHEET **3**