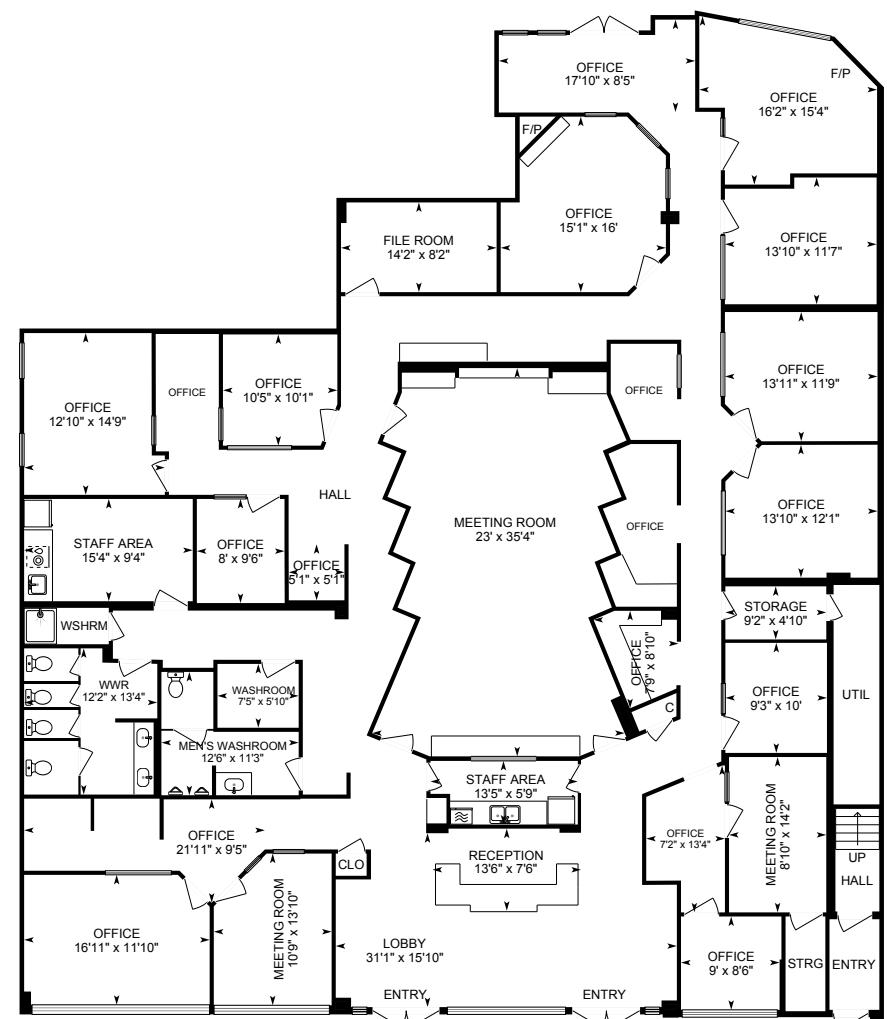
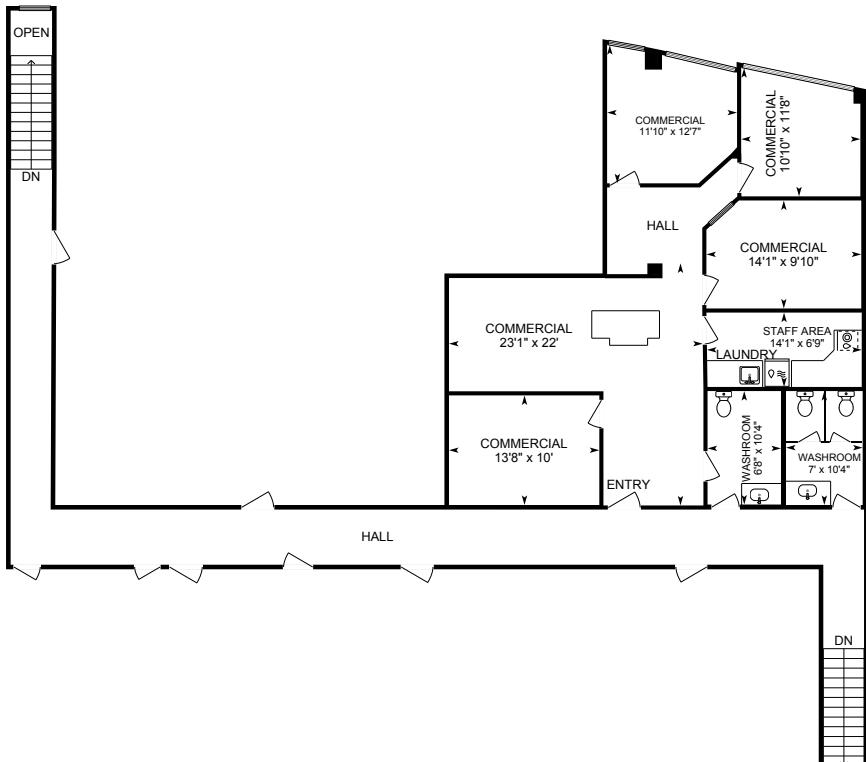


# 33386 South Fraser Way, Abbotsford, BC

Main Building: Total Exterior Area Above Grade 8005.42 sq ft



**Upper Level**  
Exterior Area 2000.07 sq ft

0 7 14 ft

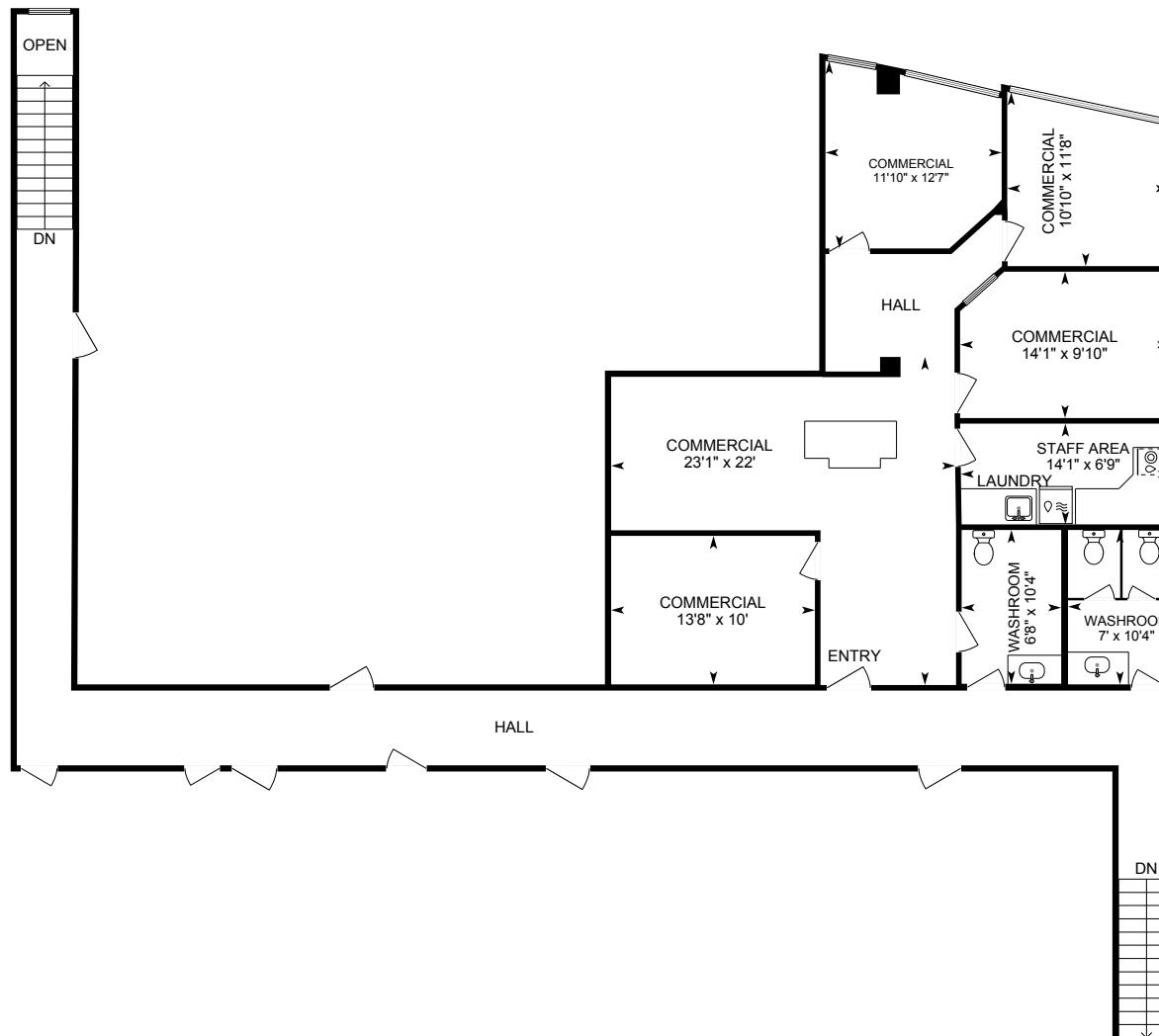
**Lower Level**  
Exterior Area 6005.35 sq ft

PREPARED: 2025/10/17

White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

# 33386 South Fraser Way, Abbotsford, BC

Upper Level    Exterior Area 2000.07 sq ft  
Interior Area 1845.17 sq ft  
Excluded Area 15.48 sq ft



0 5 10 ft

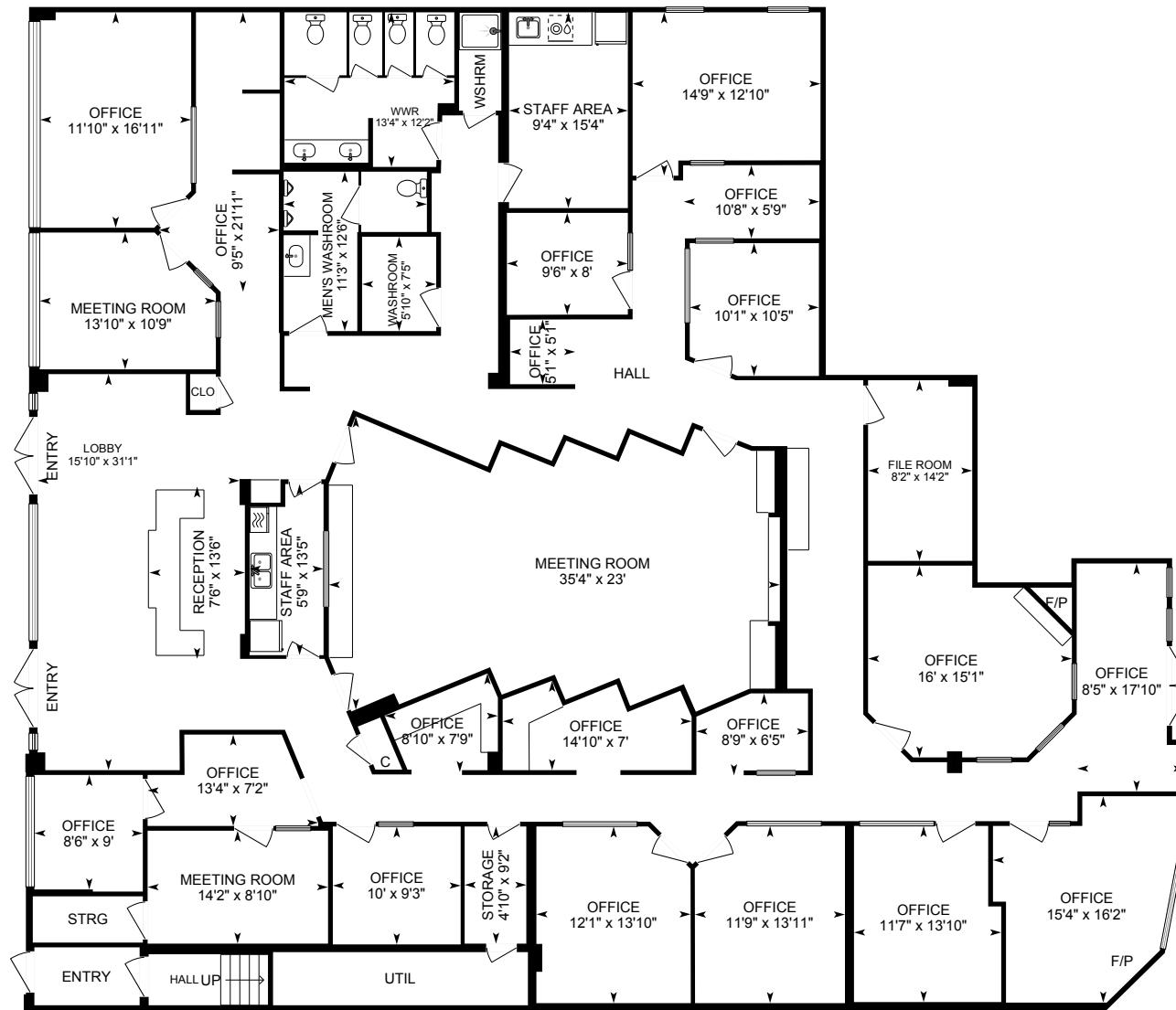
PREPARED: 2025/10/17

White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

# 33386 South Fraser Way, Abbotsford, BC

Lower Level Exterior Area 6005.35 sq ft

Interior Area 5864.69 sq ft



0 7 14 ft

PREPARED: 2025/10/17

White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

# 33386 South Fraser Way, Abbotsford, BC

## Property Details

### Room Measurements

Only major rooms are listed. Some listed rooms may be excluded from total interior floor area (e.g. garage). Room dimensions are largest length and width; parts of room may be smaller. Room area is not always equal to product of length and width.

#### Main Building

##### UPPER LEVEL

Commercial: 11'10" x 12'7"  
Commercial: 10'10" x 11'8"  
Commercial: 13'8" x 10'  
Commercial: 14'1" x 9'10"  
Commercial: 23'1" x 22'  
Staff Area: 14'1" x 6'9"  
Washroom: 6'8" x 10'4"  
Washroom: 7' x 10'4"

##### LOWER LEVEL

File Room: 14'2" x 8'2"  
Lobby: 31'1" x 15'10"  
Meeting Room: 8'10" x 14'2"  
Meeting Room: 10'9" x 13'10"  
Meeting Room: 23' x 35'4"  
Men's Washroom: 12'6" x 11'3"  
Office: 9'3" x 10'  
Office: 7'2" x 13'4"  
Office: 15'1" x 16'  
Office: 13'10" x 11'7"  
Office: 16'2" x 15'4"  
Office: 13'11" x 11'9"  
Office: 13'10" x 12'1"  
Office: 16'11" x 11'10"  
Office: 10'5" x 10'1"  
Office: 8' x 9'6"

### Floor Area Information

Floor areas include footprint area of interior walls. All displayed floor areas are rounded to two decimal places. Total area is computed before rounding and may not equal to sum of displayed floor areas.

#### Main Building

##### UPPER LEVEL

Interior Area: 1845.17 sq ft  
Excluded Area: 15.48 sq ft  
Perimeter Wall Thickness: 5.0 in  
Exterior Area: 2000.07 sq ft

##### LOWER LEVEL

Interior Area: 5864.69 sq ft  
Perimeter Wall Thickness: 5.0 in  
Exterior Area: 6005.35 sq ft

### Total Above Grade Floor Area, Main Building

Interior Area: 7709.86 sq ft  
Excluded Area: 15.48 sq ft  
Exterior Area: 8005.42 sq ft

No.	Date	Description
<b>Revisions</b>		
Stamp:		

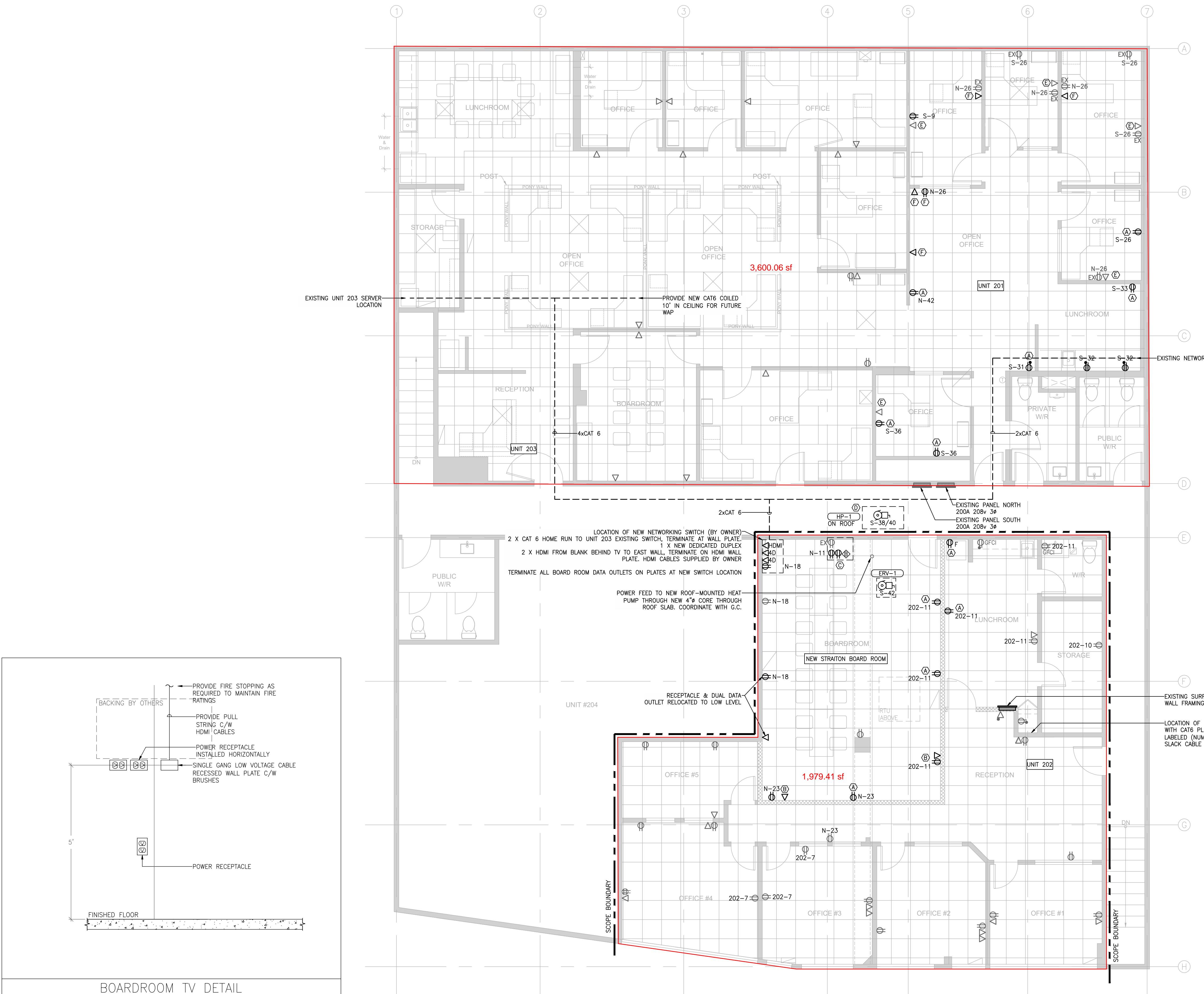
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Project:

# STRAITON ENGINEERING 2024 OFFICE RENOVATION

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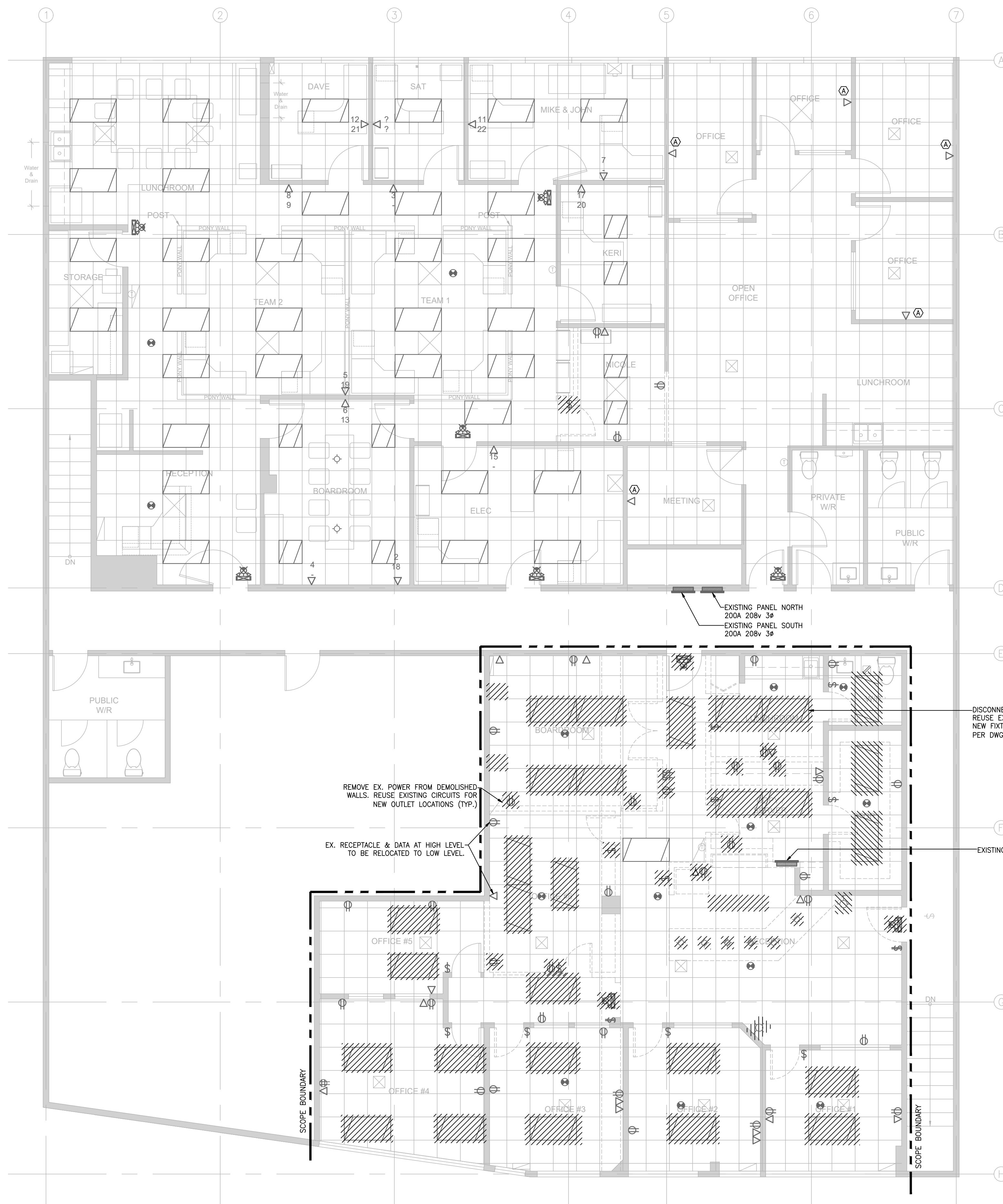
# POWER & DATA PLAN



POWER & DATA PLAN

SCALE:  $3/16"$  =  $1'-0"$

# POWER & DATA PLAN



DEMOLITION FLOOR PLAN  
SCALE: 3/16" = 1'-0"  
N

DRAWING KEYNOTES	
①	CONTRACTOR TO REMOVE EXISTING DATA WIRING AND REPLACE WITH NEW DUAL DATA AT OUTLET LOCATION.
DRAWING NOTES	
1. REMOVE EXISTING POWER FROM WITHIN DEMOLISHED WALLS. RE-USE EXISTING CIRCUITS WHERE POSSIBLE. 2. ALL LIGHTING IS ASSUMED TO BE 120V. RE-USE ALL EXISTING LIGHTING CIRCUITS FOR NEW LIGHTING LAYOUTS.	

Issued for		
No.	Date	Description
1.	2024-08-01	ISSUED FOR REVIEW
2.	2024-08-08	ISSUED FOR REVIEW
3.	2024-08-16	ISSUED FOR IFT
4.	2024-08-30	ADDENDUM #1
5.	2024-09-11	ISSUED FOR BP
6.	2024-10-30	ISSUED FOR CONSTRUCTION
7.	2025-03-14	RECORD DRAWING

No.	Date	Description
Revisions		
Stamp:		
Project:		

STRAITON ENGINEERING  
2024 OFFICE RENOVATION  
201,202,203 - 33389 SOUTH FRASER WAY, ABBOTSFORD, BC  
Sheet Title:

Drawn:	Checked:	Project No.:
DJ	MS	21001.01
Date:		
2024-10-30		
Scale:		
3/16" = 1'-0"		
Drawing No.:		

# 33386 South Fraser Way, Abbotsford, BC

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## Property Details

### Room Measurements

Office: 9' x 8'6"  
Office: 12'10" x 14'9"  
Office: 6'5" x 8'9"  
Office: 5'9" x 10'8"  
Office: 7' x 14'10"  
Office: 7'9" x 8'10"  
Office: 21'11" x 9'5"  
Office: 5'1" x 5'1"  
Office: 17'10" x 8'5"  
Reception: 13'6" x 7'6"  
Staff Area: 13'5" x 5'9"  
Staff Area: 15'4" x 9'4"  
Storage: 9'2" x 4'10"  
Washroom: 7'5" x 5'10"  
Wshrm: 7'9" x 3'4"  
Wwr: 12'2" x 13'4"

### Floor Area Information

# 33386 South Fraser Way, Abbotsford, BC

## iGUIDE Method of Measurement

### Definitions

**Interior Area** is a per floor calculation, made by measuring to the inside surface of the exterior walls. The footprint of all interior walls and staircases is typically included.

**Excluded Area** is a sum of the area of all rooms (measured to the inside surface of room walls) that are excluded from the Interior Area for a floor and the footprint of corresponding walls. Prescribed area exclusions can vary from region to region. Examples of exclusions are spaces open to below, garages, cold cellars, crawl and reduced height spaces.

**Exterior Wall Footprint** is the sum of the estimated area of the perimeter wall segments bounding both Interior and Excluded Areas.

**Exterior Area** is a per floor calculation, made by measuring to the outside surface of the exterior walls and is represented by the sum of the Interior Area and the Exterior Wall Footprint.

**Grade** is the ground level at the perimeter of the exterior finished surface of a house. A floor is considered to be above grade if its floor level is everywhere above grade.

**Total Interior Area** is the sum of all Interior Areas.

**Total Excluded Area** is the sum of all Excluded Areas.

**Total Exterior Area** is the sum of all Exterior Areas.

**Finished Area** is a per floor calculation made by adding all enclosed areas in a house that are suitable for year-round use based upon their location, embodying walls, floors, and ceilings and which are similar to the rest of the house. Footprint of walls is attributed to finished area only when the walls are bounding finished areas.

**Unfinished Area** is a per floor calculation made by adding all enclosed areas that do not meet the criteria for Finished Area. Exceptions are outdoor and non-walkable areas, for example porches or areas open to below. Footprint of walls is attributed to unfinished area only when the walls are exclusively bounding unfinished areas.

### Notes

For exterior walls that are adjacent to the outside of the property, where typically only the interior side has measurement data, an estimation of the exterior wall thickness (as directly measured at the property) is used to calculate its footprint. Considerations are not made for varying wall thickness along the perimeter.

### Disclaimer

All dimensions and floor areas must be considered approximate and are subject to independent verification.

### PDF Floor Plans

**A. RECA RMS 2024:** Color is used to indicate all included areas. Excluded and not reported areas are shown in white. Walls are always shown in black.

**B. ANSI Z765 2021:** Color is used to indicate all finished areas. Unfinished and not reported areas are shown in white. Walls are always shown in black.

### More Information About the Standards

**A. RECA RMS 2024:** <https://www.reca.ca/licensees-learners/tools-resources/residential-measurement-standard>

**B. ANSI Z765 2021:** <https://www.homeinnovation.com/z765>

## CIVIC ADDRESS

202, 203 - 33389 SOUTH FRASER WAY,  
ABBOTSFORD, BC

## LEGAL DESCRIPTION

LOT 6 PLAN NWP5620 DISTRICT LOT 48 SECTION 21 TOWNSHIP 16  
LAND DISTRICT 2 LAND DISTRICT 36

## DRAWING LIST

NUMBER	TITLE	SCALE
E-1	COVER SHEET	NTS
E-2	DEMOLITION PLAN	3/16" = 1'-0"
E-3	POWER PLAN	3/16" = 1'-0"
E-4	LIGHTING PLAN	3/16" = 1'-0"
E-5	SCHEDULES	NTS

## Issued for

No.	Date	Description
1.	2024-08-01	ISSUED FOR REVIEW
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4.	2024-08-30	ADDENDUM #1
5.	2024-09-11	ISSUED FOR BP
6.	2024-10-30	ISSUED FOR CONSTRUCTION
7.	2025-03-14	RECORD DRAWING

## SYMBOL SCHEDULE

POWER		DUPLEX RECEPTACLE (5-15R) DUPLEX T-SLOT RECEPTACLE (5-20R) RECEPTACLE MOUNTED 6" ABOVE BACKSPLASH THERMOSTAT JUNCTION BOX MOTOR
COMMUNICATION		DUAL DATA OUTLET TELEPHONE OUTLET COMBINED DATA/TELEPHONE OUTLET
FIRE ALARM		SMOKE DETECTOR
LIGHTING		SINGLE POLE LINE VOLTAGE SWITCH 2 WAY LINE VOLTAGE SWITCH DIMMER SWITCH RECESSED FIXTURE RECESSED 2x2 FIXTURE RECESSED 2x4 FIXTURE SUSPENDED 1x4 FIXTURE
EMERGENCY LIGHTING		EXIT SIGN - CEILING MOUNT EXIT SIGN - WALL MOUNT BATTERY PACK BATTERY PACK WITH REMOTE HEADS BATTERY PACK WITH REMOTE HEADS AND EXIT SIGN
ANNOTATION		EQUIPMENT TAG KEYNOTE REVISION

## DRAWING ABBREVIATIONS

POWER/DATA DEVICES & CONTROLS	
B	BLANK JUNCTION BOX, PROVIDE BLANK COVER PLATE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
LIGHTING/LIGHTING CONTROLS	
D	DIMMER SWITCH
APPLIANCES	
F	REFRIGERATOR; CIRCUIT SHALL BE DEDICATED

No. Date Description

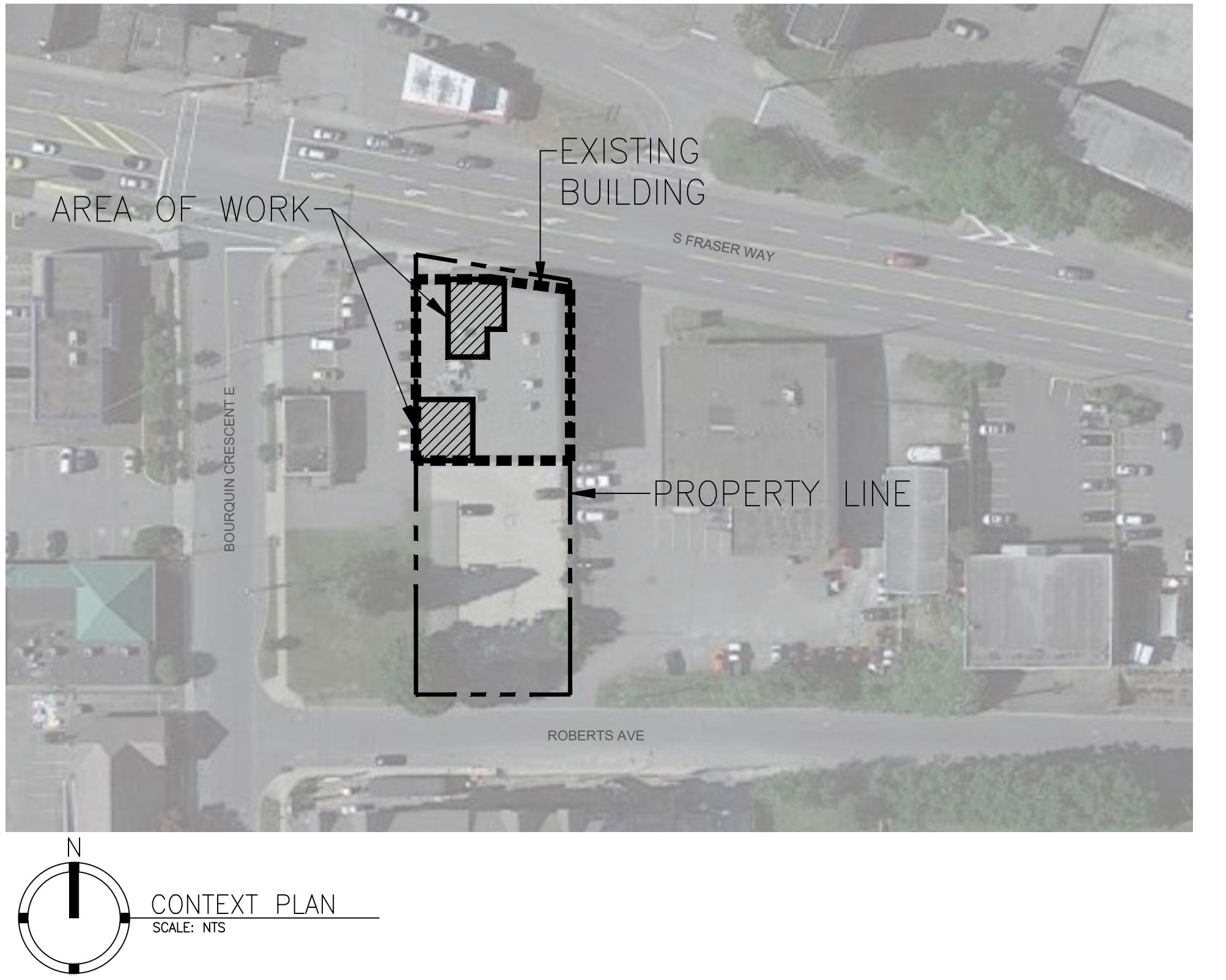
Revisions

Stamp:

Project:

STRAITON ENGINEERING  
2024 OFFICE RENOVATION201,202,203 - 33389 SOUTH FRASER WAY, ABBOTSFORD, BC  
Sheet Title:

## COVER SHEET

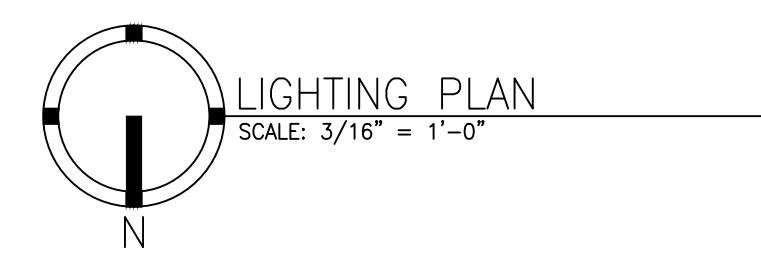
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this specific project only. This drawing shall not be used otherwise without express  
written consent from Straiton Engineering. Do not scale drawings.Drawn: DJ Date: 2024-10-30 Scale: NTS  
Checked: MS  
Project No.: 21001.01  
Drawing No.

Issued for		
No.	Date	Description
1.	2024-08-01	ISSUED FOR REVIEW
2.	2024-08-08	ISSUED FOR REVIEW
3.	2024-08-16	ISSUED FOR IFT
4.	2024-08-30	ADDENDUM #1
5.	2024-09-11	ISSUED FOR BP
6.	2024-10-30	ISSUED FOR CONSTRUCTION
7.	2025-03-14	RECORD DRAWING

No.	Date	Description
Revisions		
Stamp:		

Project:	STRAITON ENGINEERING 2024 OFFICE RENOVATION	
201.202.203 - 33389 SOUTH FRASER WAY, ABBOTSFORD, BC		Sheet Title:

LIGHTING PLAN		
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Drawn:	Checked:	Project No.:
DJ	MS	21001.01
Date:	2024-10-30	Scale: 3/16" = 1'-0"
Drawing No.:		



GENERAL NOTES		
1.	EXISTING EXIT SIGN AND GENERAL LIGHTING CIRCUITS TO BE USED FOR NEW LIGHT FIXTURES THROUGHOUT. ALL LIGHTS ARE FED FROM EXISTING CORRIDOR PANELS.	
2.	ALL CIRCUITS UTILIZED FOR THIS RENOVATION TO BE CLEARLY IDENTIFIED ON PANEL DIRECTORY.	
3.	ALL LIGHT FIXTURES AND CABLING IN CEILING SPACE TO BE FT6 PLENUM RATED.	

DRAWING KEYNOTES		
Ⓐ	EXISTING SWITCHES TO REMAIN	
Ⓑ	PROVIDE BLANK COVER PLATE OF EXISTING EXIT/EM LIGHT LOCATION FOR FUTURE INSTALLATION. EXISTING WIRES TO BE MADE SAFE.	

Level 2 - North										
Project Name: Straiton Engineering Office Reno			Feeder: Refer to Single Line Diagram			Bus Rating: 200 Amp				
Project No: 2100.01			Fed From: Refer to Single Line Diagram			# of Circuits: 42				
Description		Circuit Breaker			Circuit Breaker			Description		
Amps	Pole	Trip	CKT	Phase	Ckt	Trip	Pole	Amps		
Air Conditioner					80%	1	A	2	80%	
<to be confirmed>	50	3	80%	3	B	4	80%	3		Air Conditioner
<to be confirmed>					80%	5	C	6	80%	<to be confirmed>
<to be confirmed>	15	1	80%	7	A	8	80%	1	15	<to be confirmed>
<to be confirmed>	15	1	80%	9	B	10	80%	1	15	<to be confirmed>
<to be confirmed>	15	1	80%	11	C	12	80%	1	15	<to be confirmed>
<to be confirmed>	15	1	80%	13	A	14	80%	1	15	<to be confirmed>
<to be confirmed>	15	1	80%	15	B	16	80%	1	15	<to be confirmed>
<to be confirmed>	15	1	80%	17	C	18	80%	1	15	<to be confirmed>
<to be confirmed>	15	1	80%	19	A	20	80%	1	15	<to be confirmed>
<to be confirmed>	15	1	80%	21	B	22	80%	1	15	<to be confirmed>
<to be confirmed>	15	1	80%	23	C	24	80%			Unit 203 & 205 Lights
<to be confirmed>					80%	25	A	26	80%	Unit 203 & 205 Lights
blank					80%	27	B	28	80%	<to be confirmed>
Unit 204 Sub Panel	60	1	80%	33	B	34	80%	1	15	Unit 203 North Office Receptacles (Elec Team)
					80%	35	C	36	80%	Unit 205 Dishwasher
Unit 205 Counter Receptacles	15	1	80%	37	A	38	80%	1	20	Unit 205 Fridge
Unit 205 Counter Receptacles	15	1	80%	39	B	40	80%	1	15	Unit 205 Microwave
Unit 205 Coffee Receptacles	15	1	80%	41	C	42	80%	1	15	Unit 203 Receptacles
Voltage: 120/208V - 3Ø		Notes:								
Wires: 4 Wire		1. Labeling for maximum continuous load is required in accordance with 2018 CEC Rule 2-100								
Main Breaker: n/a		2. Panels shall be provided with a minimum of 2 spare 15A 1pole breakers								
A.I.C Rating:		3. Each panel and branch circuit must comply with Voltage drop requirements in accordance with 2018 CEC Rule 8-102								
Mounting: Flush		4. Aluminum wiring is acceptable for panel feeds over 100A unless otherwise indicated; refer to CEC Table 4 for sizing								
Aluminum Feeder Allowed? n/a										

Level 2 - South										
Project Name: Straiton Engineering Office Reno			Feeder: Refer to Single Line Diagram			Bus Rating: 200 Amp				
Project No: 2100.01			Fed From: Refer to Single Line Diagram			# of Circuits: 42				
Description		Circuit Breaker			Circuit Breaker			Description		
Amps	Pole	Trip	CKT	Phase	Ckt	Trip	Pole	Amps		
Air Conditioner					80%	1	A	2	80%	
<to be confirmed>	205 RTU	50	3	80%	3	B	4	80%	3	Air Conditioner
<to be confirmed>					80%	5	C	6	80%	<to be confirmed>
<to be confirmed>					80%	7	A	8	80%	
<to be confirmed>					80%	9	B	10	80%	Air Conditioner
Unit 205 Lunch Room Ex. Fan					80%	11	C	12	80%	<to be confirmed>
<to be confirmed>					80%	13	A	14	80%	Unit 205 Receptacles
<to be confirmed>					80%	15	B	16	80%	Unit 205 Reception Desk Receptacles
<to be confirmed>					80%	17	C	18	80%	<to be confirmed>
<to be confirmed>					80%	19	A	20	80%	Unit 203 South Office Receptacles
<to be confirmed>					80%	21	B	22	80%	Unit 203 & 205 Lights
<to be confirmed>					80%	23	C	24	80%	Unit 203 & 205 Lights
<to be confirmed>					80%	25	A	26	80%	Unit 203 Receptacles
<to be confirmed>					80%	27	B	28	80%	Unit 203 North Office Receptacles (Elec Team)
<to be confirmed>					80%	29	C	30	80%	Unit 202 Sub Panel
<to be confirmed>					80%	31	A	32	80%	<to be confirmed>
Unit 204 Sub Panel	60	1	80%	33	B	34	80%	1	15	Unit 203 North Office Receptacles (Elec Team)
					80%	35	C	36	80%	Unit 205 Dishwasher
Unit 205 Counter Receptacles	15	1	80%	37	A	38	80%	1	20	Unit 205 Fridge
Unit 205 Counter Receptacles	15	1	80%	39	B	40	80%	1	15	Unit 205 Microwave
Unit 205 Coffee Receptacles	15	1	80%	41	C	42	80%	1	15	Unit 203 Receptacles
Voltage: 120/208V - 3Ø		Notes:								
Wires: 4 Wire		1. Labeling for maximum continuous load is required in accordance with 2018 CEC Rule 2-100								
Main Breaker: n/a		2. Each panel and branch circuit must comply with Voltage drop requirements in accordance with 2018 CEC Rule 8-102								
A.I.C Rating:		3. Aluminum wiring is acceptable for panel feeds over 100A unless otherwise indicated; refer to CEC Table 4 for sizing								
Mounting: Flush		4. Labeling for maximum continuous load is required in accordance with 2018 CEC Rule 2-100								
Aluminum Feeder Allowed? n/a										

Unit 202 Sub-Panel										
Project Name: Straiton Engineering Office Reno			Feeder: Refer to Single Line Diagram			Bus Rating: 100 Amp				
Project No: 2100.01			Fed From: Level 2 - South Panel			# of Circuits: 30				
Description		Circuit Breaker			Circuit Breaker			Description		
Amps	Pole	Trip	CKT	Phase	Ckt	Trip	Pole	Amps		
Server Plug					80%	1	A	2	80%	
Microwave	15	1	80%	5	C	6	80%			
Office Plugs	15	1	80%	7	A	8				