

Main Building: Total Exterior Area Above Grade 8005.42 sq ft



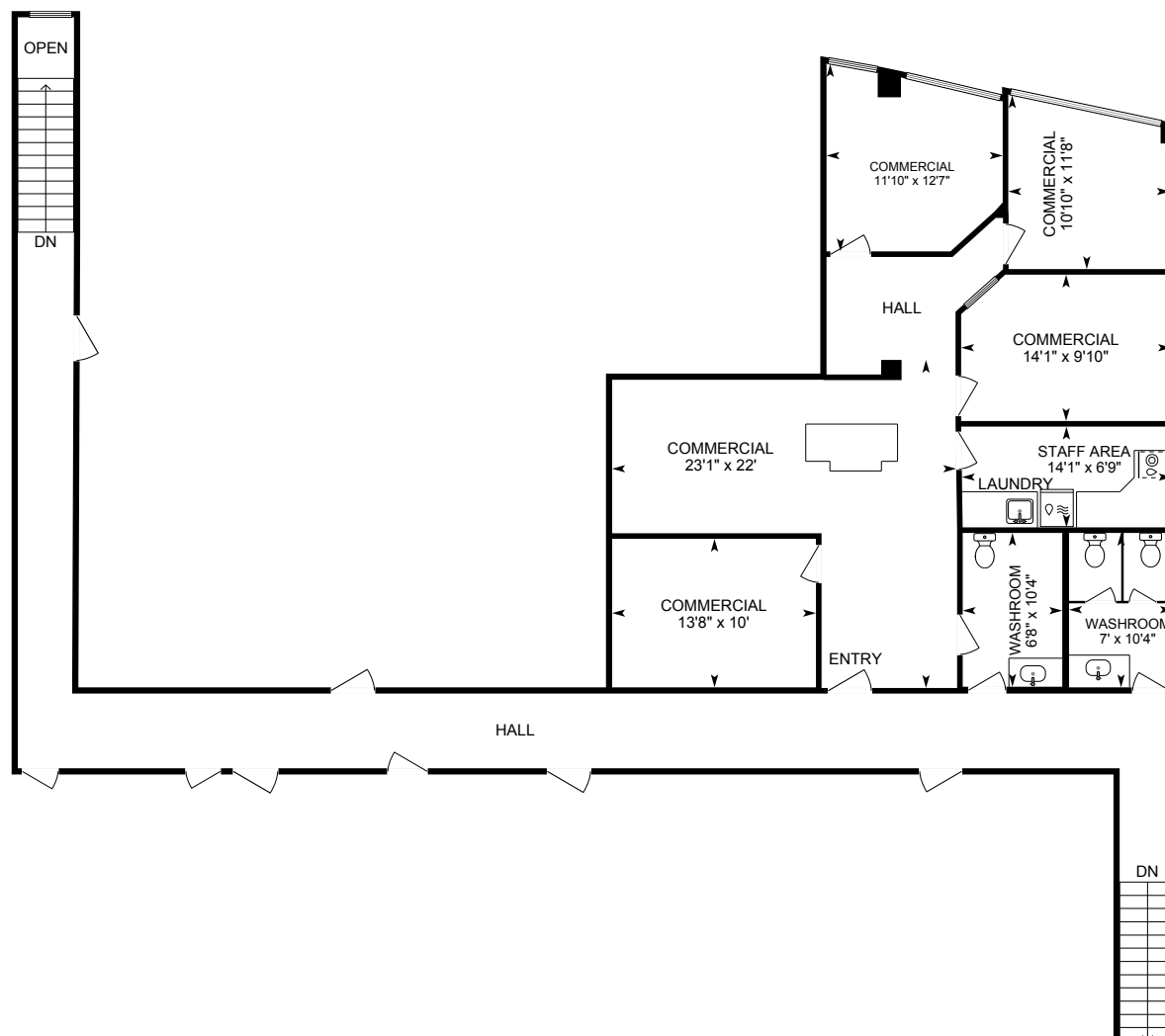
0 7 14
ft



PREPARED: 2025/10/17

33386 South Fraser Way, Abbotsford, BC

Upper Level Exterior Area 2000.07 sq ft
Interior Area 1845.17 sq ft
Excluded Area 15.48 sq ft



0 5 10
ft

PREPARED: 2025/10/17



33386 South Fraser Way, Abbotsford, BC

Lower Level Exterior Area 6005.35 sq ft
Interior Area 5864.69 sq ft



0 7 14
ft

PREPARED: 2025/10/17



33386 South Fraser Way, Abbotsford, BC

Property Details

Room Measurements

Only major rooms are listed. Some listed rooms may be excluded from total interior floor area (e.g. garage). Room dimensions are largest length and width; parts of room may be smaller. Room area is not always equal to product of length and width.

Main Building

UPPER LEVEL

Commercial: 11'10" x 12'7"
Commercial: 10'10" x 11'8"
Commercial: 13'8" x 10'
Commercial: 14'1" x 9'10"
Commercial: 23'1" x 22'
Staff Area: 14'1" x 6'9"
Washroom: 6'8" x 10'4"
Washroom: 7' x 10'4"

LOWER LEVEL

File Room: 14'2" x 8'2"
Lobby: 31'1" x 15'10"
Meeting Room: 8'10" x 14'2"
Meeting Room: 10'9" x 13'10"
Meeting Room: 23' x 35'4"
Men's Washroom: 12'6" x 11'3"
Office: 9'3" x 10'
Office: 7'2" x 13'4"
Office: 15'1" x 16'
Office: 13'10" x 11'7"
Office: 16'2" x 15'4"
Office: 13'11" x 11'9"
Office: 13'10" x 12'1"
Office: 16'11" x 11'10"
Office: 10'5" x 10'1"
Office: 8' x 9'6"

Floor Area Information

Floor areas include footprint area of interior walls. All displayed floor areas are rounded to two decimal places. Total area is computed before rounding and may not equal to sum of displayed floor areas.

Main Building

UPPER LEVEL

Interior Area: 1845.17 sq ft
Excluded Area: 15.48 sq ft
Perimeter Wall Thickness: 5.0 in
Exterior Area: 2000.07 sq ft

LOWER LEVEL

Interior Area: 5864.69 sq ft
Perimeter Wall Thickness: 5.0 in
Exterior Area: 6005.35 sq ft

Total Above Grade Floor Area, Main Building

Interior Area: 7709.86 sq ft
Excluded Area: 15.48 sq ft
Exterior Area: 8005.42 sq ft

Issued for

No.	Date	Description
1.	2024-08-01	ISSUED FOR REVIEW
2.	2024-08-08	ISSUED FOR REVIEW
3.	2024-08-16	ISSUED FOR IFT
4.	2024-08-30	ADDENDUM #1
5.	2024-09-11	ISSUED FOR BP
6.	2024-10-30	ISSUED FOR CONSTRUCTION
7.	2025-03-14	RECORD DRAWING

No.	Date	Description
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Revisions

Stamp:

Project:

STRAITON ENGINEERING
2024 OFFICE RENOVATION

201,202,203 - 33388 SOUTH FRASER WAY, ABBOTSFORD, BC

Sheet Title:

POWER & DATA PLAN

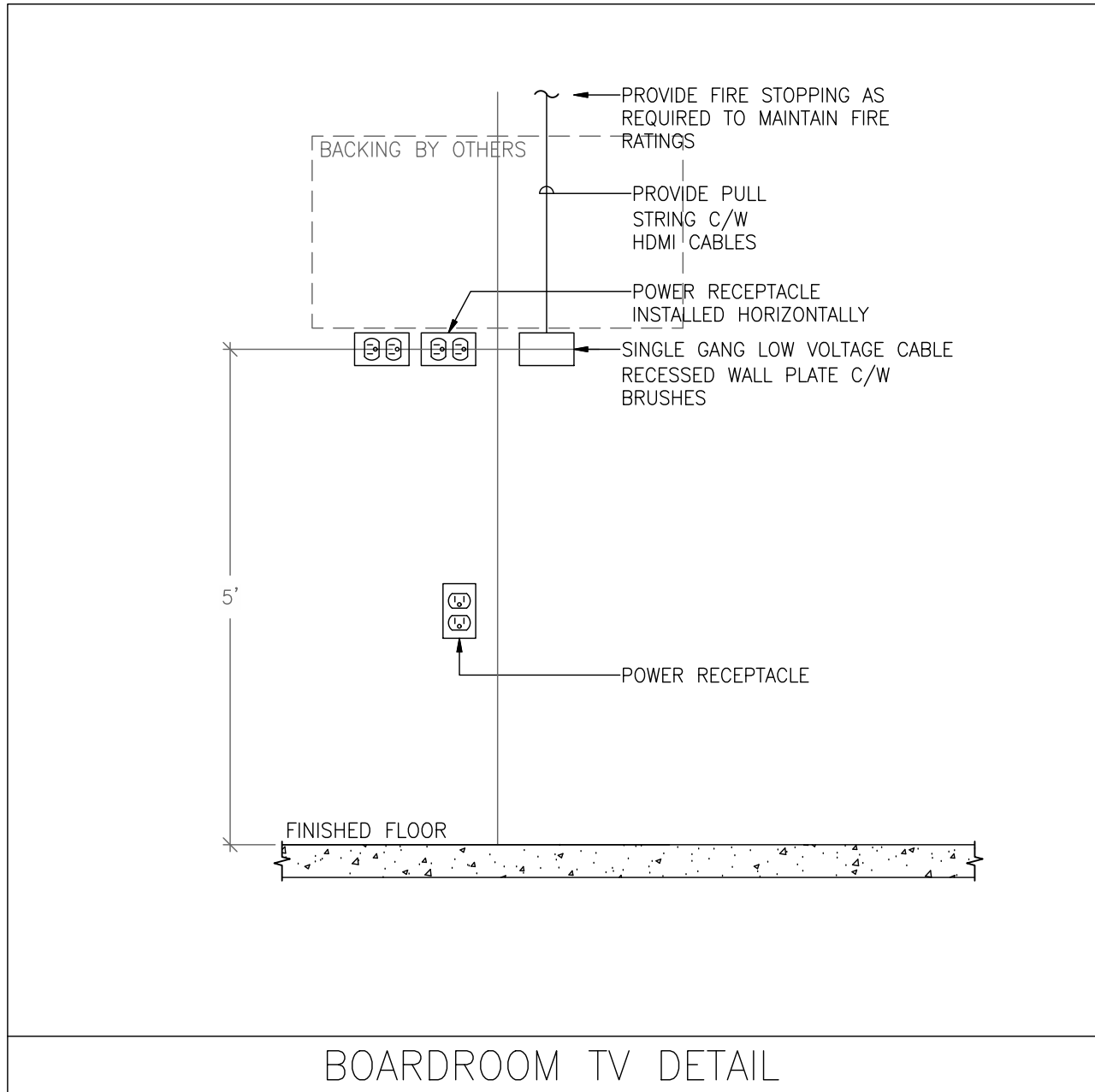
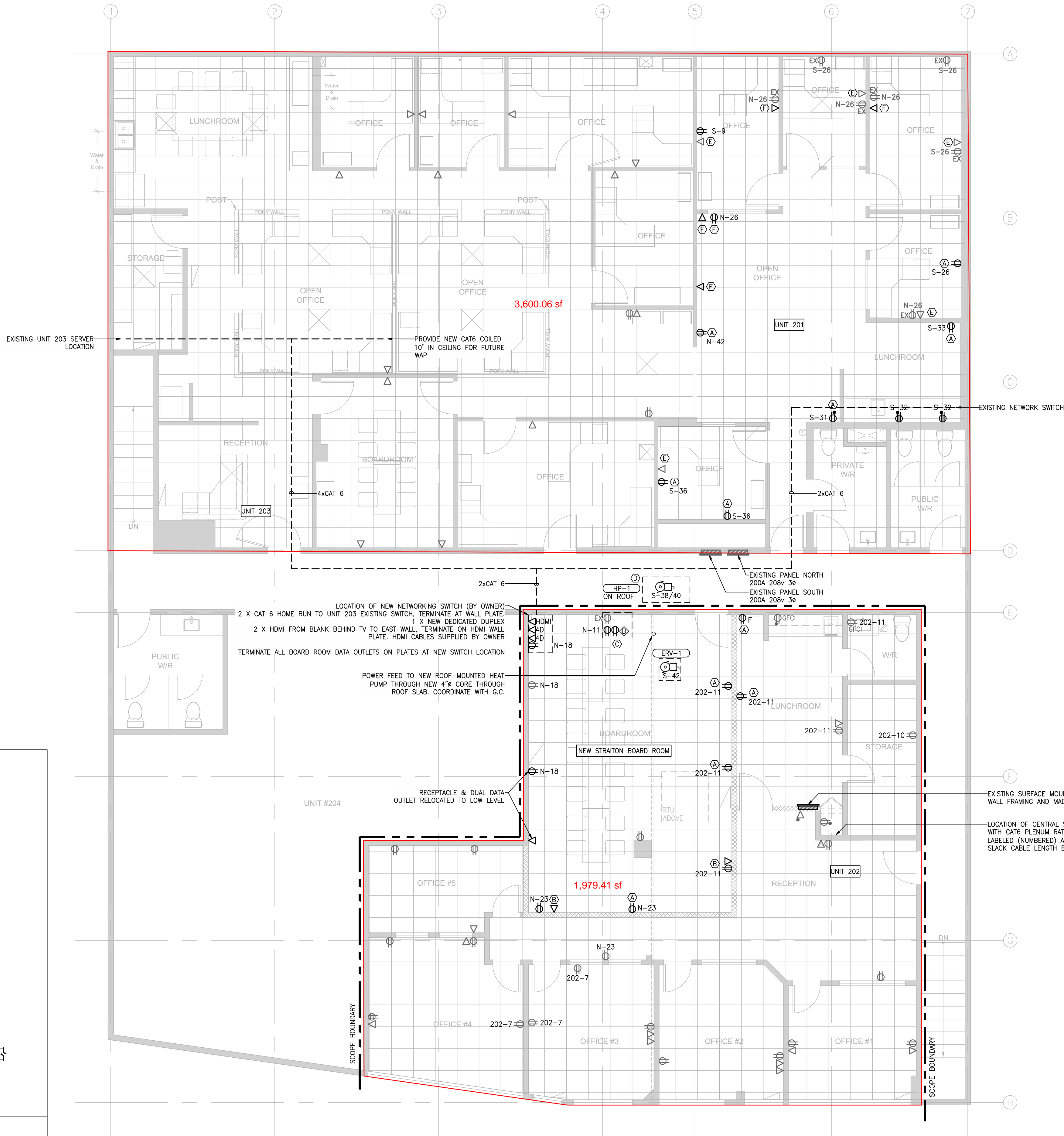
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Drawn: DJ Checked: MS Project No: 21001.01

Date: 2024-10-30 Scale: 3/16" = 1'-0"

Drawing No.

E-3

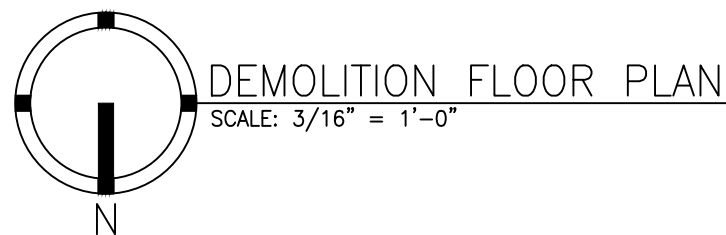


- GENERAL NOTES**
- EXISTING CIRCUITS TO BE REUSED WHERE POSSIBLE.
 - ALL CIRCUITS UTILIZED FOR THIS RENOVATION TO BE CLEARLY IDENTIFIED ON PANEL DIRECTORY. ALL OUTLET AND JUNCTION BOXES TO BE CLEARLY LABELED WITH SOURCE PANEL AND CIRCUIT.
 - ALL CABLING WITHIN CEILING SPACE TO BE FT6 RATED FOR USE IN RETURN AIR PLENUM.

- DRAWING KEYNOTES**
- (A) PROVIDE NEW DUPLEX RECEPTACLE.
 - (B) PROVIDE NEW DUAL DATA OUTLET & DUPLEX RECEPTACLE. RUN DATA FOR NEW BOARD ROOM BACK TO SOUTH EAST CORNER TO NEW SWITCH LOCATION.
 - (C) REFER TO BOARDROOM TV DETAIL.
 - (D) PROVIDE UV RATED FLEXIBLE CONDUIT TO NEW HP-1 ON ROOF. PROVIDE DRIP LOOP IN CONDUCTOR AND GOOSENECK FOR ROOF PENETRATION.
 - (E) CONTRACTOR TO REMOVE EXISTING DATA WIRING AND REPLACE WITH NEW DUAL DATA AT OUTLET LOCATION.
 - (F) PROVIDE NEW DUAL DATA OUTLET.
 - (G) RELOCATE EXISTING OUTLET TO NEW LOCATION. REPLACE DEVICE WITH NEW DECORA STYLE.

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7.	2025-03-14	RECORD DRAWING



DEMOLITION FLOOR PLAN

SCALE: 3/16" = 1'-0"

DRAWING KEYNOTES

(A) CONTRACTOR TO REMOVE EXISTING DATA WIRING AND REPLACE WITH NEW DUAL DATA AT OUTLET LOCATION.

DRAWING NOTES

- REMOVE EXISTING POWER FROM WITHIN DEMOLISHED WALLS, RE-USE EXISTING CIRCUITS WHERE POSSIBLE.
- ALL LIGHTING IS ASSUMED TO BE 120V. RE-USE ALL EXISTING LIGHTING CIRCUITS FOR NEW LIGHTING LAYOUTS.

No. Date Description

Revisions

Stamp:

Project:

STRAITON ENGINEERING
2024 OFFICE RENOVATION

201,202,203 - 33386 SOUTH FRASER WAY, ABBOTSFORD, BC

Sheet Title:

DEMOLITION FLOOR PLAN

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Drawn: DJ Checked: MS Project No: 21001.01

Date: 2024-10-30 Scale: 3/16" = 1'-0"

Drawing No:

E-2

33386 South Fraser Way, Abbotsford, BC

Property Details

Room Measurements

Office: 9' x 8'6"
Office: 12'10" x 14'9"
Office: 6'5" x 8'9"
Office: 5'9" x 10'8"
Office: 7' x 14'10"
Office: 7'9" x 8'10"
Office: 21'11" x 9'5"
Office: 5'1" x 5'1"
Office: 17'10" x 8'5"
Reception: 13'6" x 7'6"
Staff Area: 13'5" x 5'9"
Staff Area: 15'4" x 9'4"
Storage: 9'2" x 4'10"
Washroom: 7'5" x 5'10"
Wshrm: 7'9" x 3'4"
Wwr: 12'2" x 13'4"

Floor Area Information

33386 South Fraser Way, Abbotsford, BC

iGUIDE Method of Measurement

Definitions

Interior Area is a per floor calculation, made by measuring to the inside surface of the exterior walls. The footprint of all interior walls and staircases is typically included.

Excluded Area is a sum of the area of all rooms (measured to the inside surface of room walls) that are excluded from the Interior Area for a floor and the footprint of corresponding walls. Prescribed area exclusions can vary from region to region. Examples of exclusions are spaces open to below, garages, cold cellars, crawl and reduced height spaces.

Exterior Wall Footprint is the sum of the estimated area of the perimeter wall segments bounding both Interior and Excluded Areas.

Exterior Area is a per floor calculation, made by measuring to the outside surface of the exterior walls and is represented by the sum of the Interior Area and the Exterior Wall Footprint.

Grade is the ground level at the perimeter of the exterior finished surface of a house. A floor is considered to be above grade if its floor level is everywhere above grade.

Total Interior Area is the sum of all Interior Areas.

Total Excluded Area is the sum of all Excluded Areas.

Total Exterior Area is the sum of all Exterior Areas.

Finished Area is a per floor calculation made by adding all enclosed areas in a house that are suitable for year-round use based upon their location, embodying walls, floors, and ceilings and which are similar to the rest of the house. Footprint of walls is attributed to finished area only when the walls are bounding finished areas.

Unfinished Area is a per floor calculation made by adding all enclosed areas that do not meet the criteria for Finished Area. Exceptions are outdoor and non-walkable areas, for example porches or areas open to below. Footprint of walls is attributed to unfinished area only when the walls are exclusively bounding unfinished areas.

Notes

For exterior walls that are adjacent to the outside of the property, where typically only the interior side has measurement data, an estimation of the exterior wall thickness (as directly measured at the property) is used to calculate its footprint. Considerations are not made for varying wall thickness along the perimeter.

Disclaimer

All dimensions and floor areas must be considered approximate and are subject to independent verification.

PDF Floor Plans

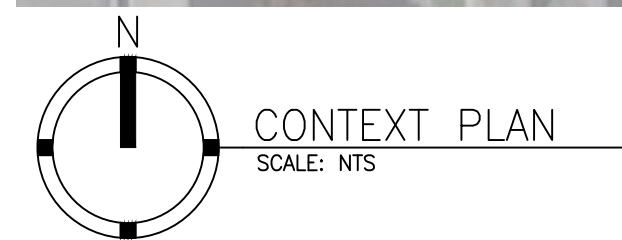
A. RECA RMS 2024: Color is used to indicate all included areas. Excluded and not reported areas are shown in white. Walls are always shown in black.

B. ANSI Z765 2021: Color is used to indicate all finished areas. Unfinished and not reported areas are shown in white. Walls are always shown in black.

More Information About the Standards



A. RECA RMS 2024: <https://www.reca.ca/licensees-learners/tools-resources/residential-measurement-standard>








B. ANSI Z765 2021: <https://www.homeinnovation.com/z765>






LEGAL DESCRIPTION
LOT 6 PLAN NWP5620 DISTRICT LOT 48 SECTION 21 TOWNSHIP 16 LAND DISTRICT 2 LAND DISTRICT 36

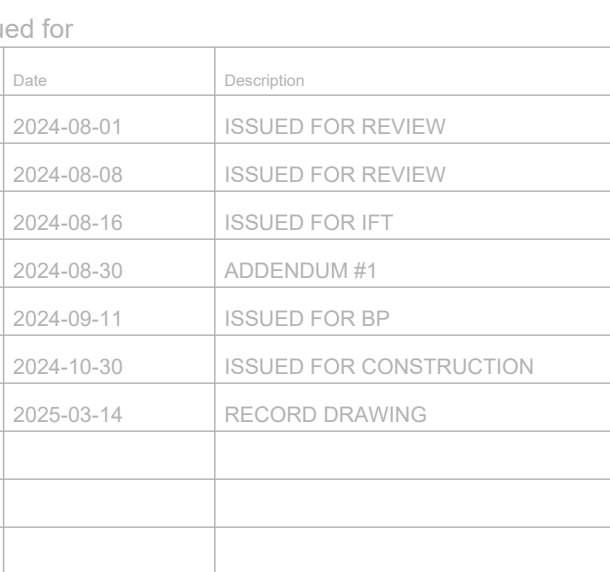
SYMBOL SCHEDULE	
POWER	

COMMUNICATION	
	DUAL DATA OUTLET
	TELEPHONE OUTLET
	COMBINED DATA/TELEPHONE OUTLET

LIGHTING	
	SINGLE POLE LINE VOLTAGE SWITCH
	2 WAY LINE VOLTAGE SWITCH
	DIMMER SWITCH
	RECESSED FIXTURE
	RECESSED 2x2 FIXTURE
	RECESSED 2x4 FIXTURE
	SUSPENDED 1x4 FIXTURE

ANNOTATION	
	EQUIPMENT TAG
	KEYNOTE
	REVISION

DRAWING ABBREVIATIONS	
<u>POWER/DATA DEVICES & CONTROLS</u>	
B	BLANK JUNCTION BOX; PROVIDE BLANK COVER PLATE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
<u>LIGHTING/LIGHTING CONTROLS</u>	
D	DIMMER SWITCH
<u>APPLIANCES</u>	
F	REFRIGERATOR; CIRCUIT SHALL BE DEDICATED



STRAITON ENGINEERING
2024 OFFICE RENOVATION

1,202,203 - 33389 SOUTH FRASER WAY, ABBOTSFORD, BC

Title:

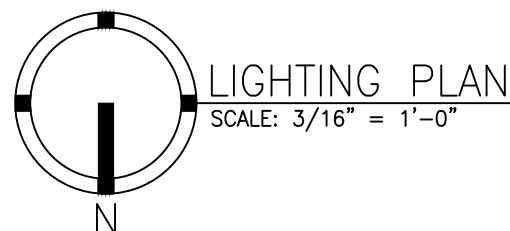
COVER SHEET

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Checked: MS	Project No.: 21001.01
4-10-30	Scale: NTS

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Issued for

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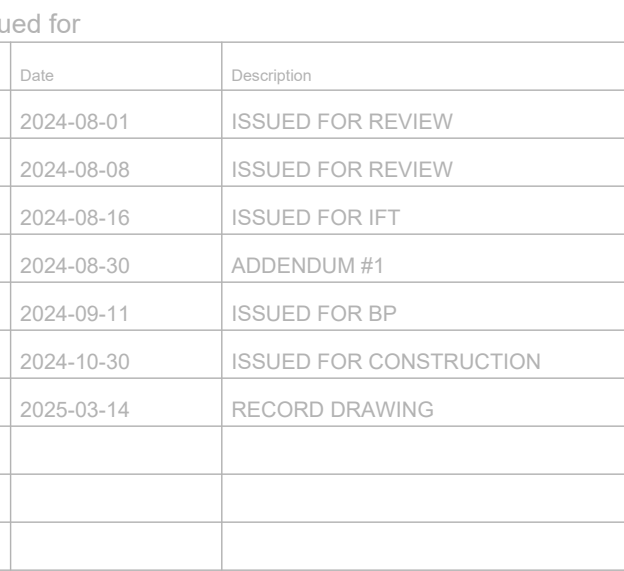
GENERAL NOTES		
1. EXISTING EXIT SIGN AND GENERAL LIGHTING CIRCUITS TO BE USED FOR NEW LIGHT FIXTURES THROUGHOUT. ALL LIGHTS ARE FED FROM EXISTING CORRIDOR PANELS.		
2. ALL CIRCUITS UTILIZED FOR THIS RENOVATION TO BE CLEARLY IDENTIFIED ON PANEL DIRECTORY.		
3. ALL LIGHT FIXTURES AND CABLING IN CEILING SPACE TO BE FT6 PLENUM RATED.		
DRAWING KEYNOTES		
Ⓐ EXISTING SWITCHES TO REMAIN		
Ⓑ PROVIDE BLANK COVER PLATE OF EXISTING EXIT/EM LIGHT LOCATION FOR FUTURE INSTALLATION. EXISTING WIRES TO BE MADE SAFE.		

STRAITON ENGINEERING
2024 OFFICE RENOVATION

201,202,203 - 33386 SOUTH FRASER WAY, ABBOTSFORD, BC
Sheet Title:

LIGHTING PLAN

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Drawn: DJ	Checked: MS	Project No.: 21001.01
Date: 2024-10-30	Scale: 3/16" = 1'-0"	
Drawing No.		



Voltage: 120/208V - 3Ø	Notes: 1. Labeling for maximum continuous load is required in accordance with 2018 CEC Rule 2-100 2. Panels shall be provided with a minimum of 2 spare 15A 1pole breakers 3. Each panel and branch circuit must comply with Voltage drop requirements in accordance with 2018 CEC Rule 8-102 4. Aluminum wiring is acceptable for panel feeds over 100A unless otherwise indicated; refer to CEC Table 4 for sizing
Wires: 4 W/ire	
Main Breaker: n/a	
A.I.C Rating:	
Mounting: Flush	
Aluminum Feeder Allowed? n/a	

Voltage: 120/208V - 3Ø Wires: 4 Wire Main Breaker: n/a A.I.C Rating: Mounting: Flush Aluminum Feeder Allowed? n/a	Notes: <ol style="list-style-type: none"> 1. Labeling for maximum continuous load is required in accordance with 2018 CEC Rule 2-100 2. Each panel and branch circuit must comply with Voltage drop requirements in accordance with 2018 CEC Rule 8-102
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Voltage: 120/208V - 3Ø	Notes: 1. Labeling for maximum continuous load is required in accordance with 2018 CEC Rule 2-100 2. Panels shall be provided with a minimum of 2 spare 15A 1pole breakers 3. Each panel and branch circuit must comply with Voltage drop requirements in accordance with 2018 CEC Rule 8-102 4. Aluminum wiring is acceptable for panel feeds over 100A unless otherwise indicated; refer to CEC Table 4 for sizing
Wires: 4 Wire	
Main Breaker: n/a	
A.I.C Rating: Refer to SLD	
Mounting: Flush	
Aluminum Feeder Allowed? No	

REMARKS
MAN - MANUAL STARTER
CONT - CONTINUOUS OPERATION
SWITCH - WIRED TO WALL SWITCH/STARTER
VAR - VARIABLE SPEED WALL CONTROL
TSTAT - CONTROLLED BY THERMOSTAT
PKG - INTEGRAL STARTER PACKAGED WITH UNIT
SIMPL - SIMPLEX OPERATION
L/L - LEAD/LAG OPERATION
D/S - DUTY/STANDBY OPERATION
N.C. - NO CHANGE

01,202,203 - 33389 SOUTH FRASER WAY, ABBOTSFORD, BC

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