

SALE

103 MAIN ST
103 Main St Ansonia, CT 06401



PROPERTY DESCRIPTION

Space Overview: 103 Main Street features a total of 3,100 square feet across three floors. The first floor offers 1,100 SF of fully finished professional office space, while the second and third floors are vanilla shells, each with 1,100 SF. These upper floors are ready for customization into residential units, professional offices, warehouse spaces, or versatile flex spaces, perfect for various service industries.

PROPERTY HIGHLIGHTS

- Charming historic building built in 1865
- 3,100 SF space divided into 3 units
- Zoned for Heavy Industrial (HI) use
- Ideal for office or office building investment
- Potential for mixed-use development
- Architectural charm and character
- Prime location in Ansonia area
- Versatile space for various business needs

OFFERING SUMMARY

Sale Price:	\$499,000
Number of Units:	3
Lot Size:	2,677 SF
Building Size:	3,100 SF

DEMOGRAPHICS	0.3 MILES	0.5 MILES	1 MILE
Total Households	601	1,955	5,615
Total Population	1,393	4,732	13,783
Average HH Income	\$86,450	\$85,497	\$86,844

Thomas Cavaliere
203 907 7800

John Izzo
860 929 8715



COLDWELL BANKER
COMMERCIAL
REALTY

103 Main Street, Ansonia, CT 06401

\$499,900



Active Office, Residential Income

Office, Residential Income	DOM / CDOM:	109 / 109
Listing ID : 24041824	County:	New Haven
Parcel Number: 1047104	Neighborhood:	N/A
	Complex Name:	
	Is also for Sale/Lease:	/

Overview

Price reduced by \$100K with a motivated Seller seeking qualified offers. 103 Main Street offers 3,100 square feet of versatile space across three floors. The first floor features 1,100 square feet of professional office space, recently updated and ready for immediate use. The second and third floors, each with 1,100 square feet, present an excellent opportunity for custom fit-out, with ceiling heights ranging from 14 to 18 feet, classic exposed brick, and large energy-efficient windows. Key Features: First Floor: Previously used by a local attorney for 30+ years, the first floor includes new mechanicals, fresh paint, new windows, and a private conference room, reception area, four perimeter offices, and two bathrooms. The space is easily divisible with a very efficient layout. Second & Third Floors: Both floors offer vanilla shell space, perfect for residential units, professional offices, or flex uses like light manufacturing. Flexible HI zoning allows for various potential uses. Location: Situated on a 0.06-acre site with ample on-street parking and a free municipal lot just a block away. The property is near Route 8, Route 15, and within 10 miles of I-95 and US Route 1, with easy access to Milford, New Haven, and Tweed New Haven Airport. Additional Highlights: Located across from the famed Uptown Restaurant on a revitalized Main Street. Don't miss this exceptional opportunity-act fast!

Structural/Parking Information

Year Built:	1865	Construction:	Brick, Concrete, Masonry
Number of Stories:	3	Roof:	EPDM Synthetic Rubber
Number of Units:	1	Foundation:	Block, Masonry
Number of Tenants:		Flooring:	
ADA Compliant/Handicap Features:	No/	Ceiling Height:	
SqFt/SqFt Source:	3,100/Public Records	# of Restrooms:	2
Space is Subdividable:	Yes	# of Loading Docks:	0
Covered Parking Space:	0	# of Overhead Doors:	0
Uncovered Parking Space:		Office SqFt:	900
Total Parking Spaces:		Retail SqFt:	
Parking Spaces per 1,000 SqFt:		Industrial SqFt:	
Garage/Parking Info:		Warehouse SqFt:	
Commercial Features:	Living Space Available	Residential SqFt:	2200
Exterior Features:	Sidewalk, Gutters, Doors - under 10 ft		

Building Information

Present Use:		Tax Year:	July 2024-June 2025
Potential Use:		Taxes:	\$3,774
Business Included:		Tax District Amount:	
Assessment:	\$	Gross Annual Income:	
Mil Rate:	26.49	Gross Annual Expense:	
		Net Operating Income:	

Units

Type Unit	# Unit	Full Baths	Part Baths	Avg Sqft	Avg Month Rent	# Vacant	Appliances Included
Office						1	
						1	
						1	

HOA

Home Owner's Assoc.:	No	Association Fee Provides:	
Association Amenities:		Special Assessments / Details:	/
Association Fee / Frequency:	/		

Utility Information

Heat Type/Fuel:	Hot Air/Natural Gas	Available Utilities:	Electric, Gas, Telephone, Cable Available
Cooling:	Central Air	Electric Voltage:	
Hot Water System:		Electric Amperage:	200
Water Service:	Public Water Connected	Electric Phases:	
Sewer Service:	Plus metered	# of Electrical Services:	
Sewage System:	Public Sewer Connected		
Annual Sewer Fee/Assessment:	\$185		

Lot & Location

Acres:	0.06	Lot Description:	Level Lot
Zoning:	HI	In Flood Zone:	
Location:	Highway Access, Downtown, Urban	Elevation Certificate:	
Road Frontage Description:	Municipal Street	Available Documents:	None
Road Frontage Feet Approx:	15		
Traffic Count:	6980		

Walk Score® : 81 Very Walkable - Most errands can be accomplished on foot

Listing Information

Directions: Main Street across from uptown Restaurant (formerly Crave)	Acceptable Financing:	
Sign: Yes	Date Available:	30 Days
	Potential Short Sale / Comments:	No /
	The following items are not included in this sale:	

Property Management

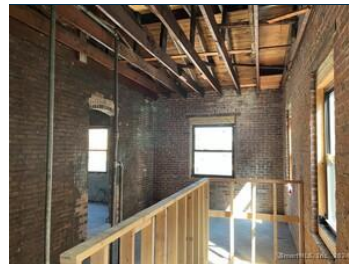
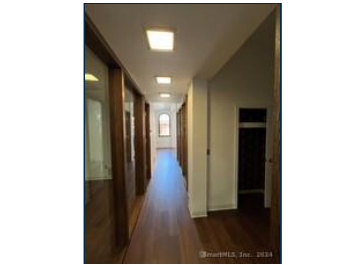
Property Management Type:	Property Manager:
Property Management Company:	Property Manager Phone/Email: /
Property Management Company Phone:	

Marketing History

List Price:	\$499,900	Entered in MLS:	08/26/2024
Previous List Price:	\$599,900	Listing Contract Date:	08/26/2024
Original List Price:	\$599,900	Listing Last Updated:	11/01/2024
Price Last Updated:	11/01/2024	Sale Financing:	
List Price as % of Assessed Value:	351%		

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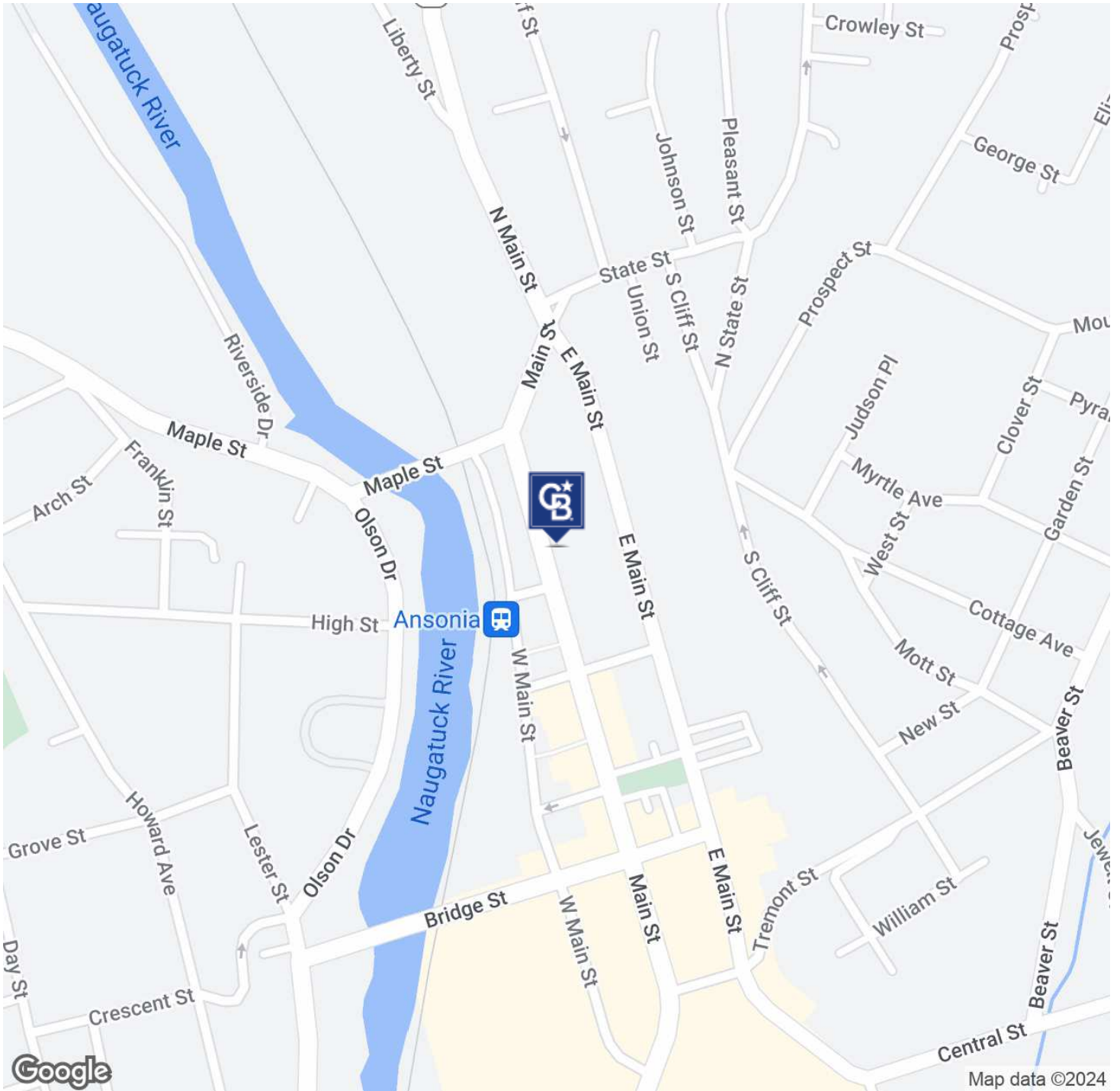
Prepared By: Tom Cavaliere Lic.#:REB.0110396 | Coldwell Banker Realty | 12/13/2024 01:45 PM



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203 907 7800

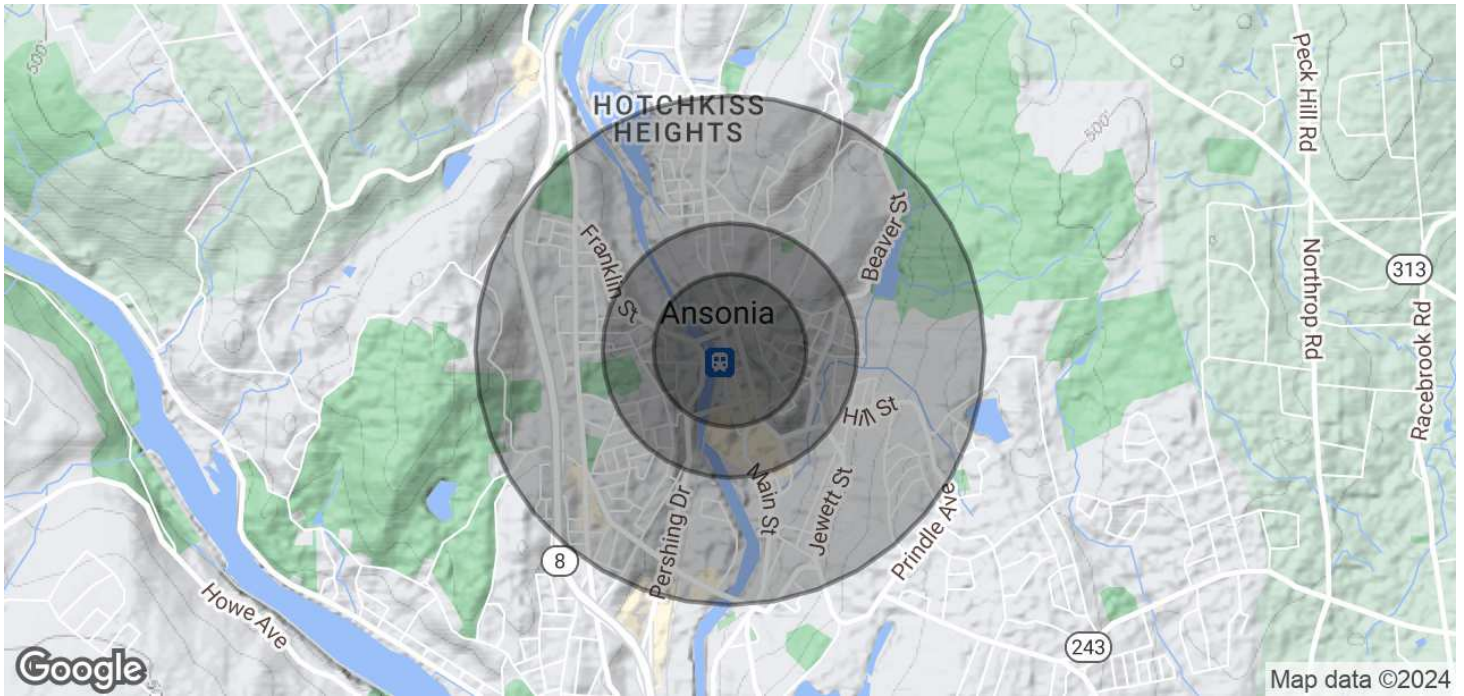
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POPULATION

	0.3 MILES	0.5 MILES	1 MILE
Total Population	1,393	4,732	13,783
Average Age	39	39	40
Average Age (Male)	38	38	39
Average Age (Female)	41	40	41

HOUSEHOLDS & INCOME

	0.3 MILES	0.5 MILES	1 MILE
Total Households	601	1,955	5,615
# of Persons per HH	2.3	2.4	2.5
Average HH Income	\$86,450	\$85,497	\$86,844
Average House Value	\$277,433	\$296,683	\$297,819

Demographics data derived from AlphaMap

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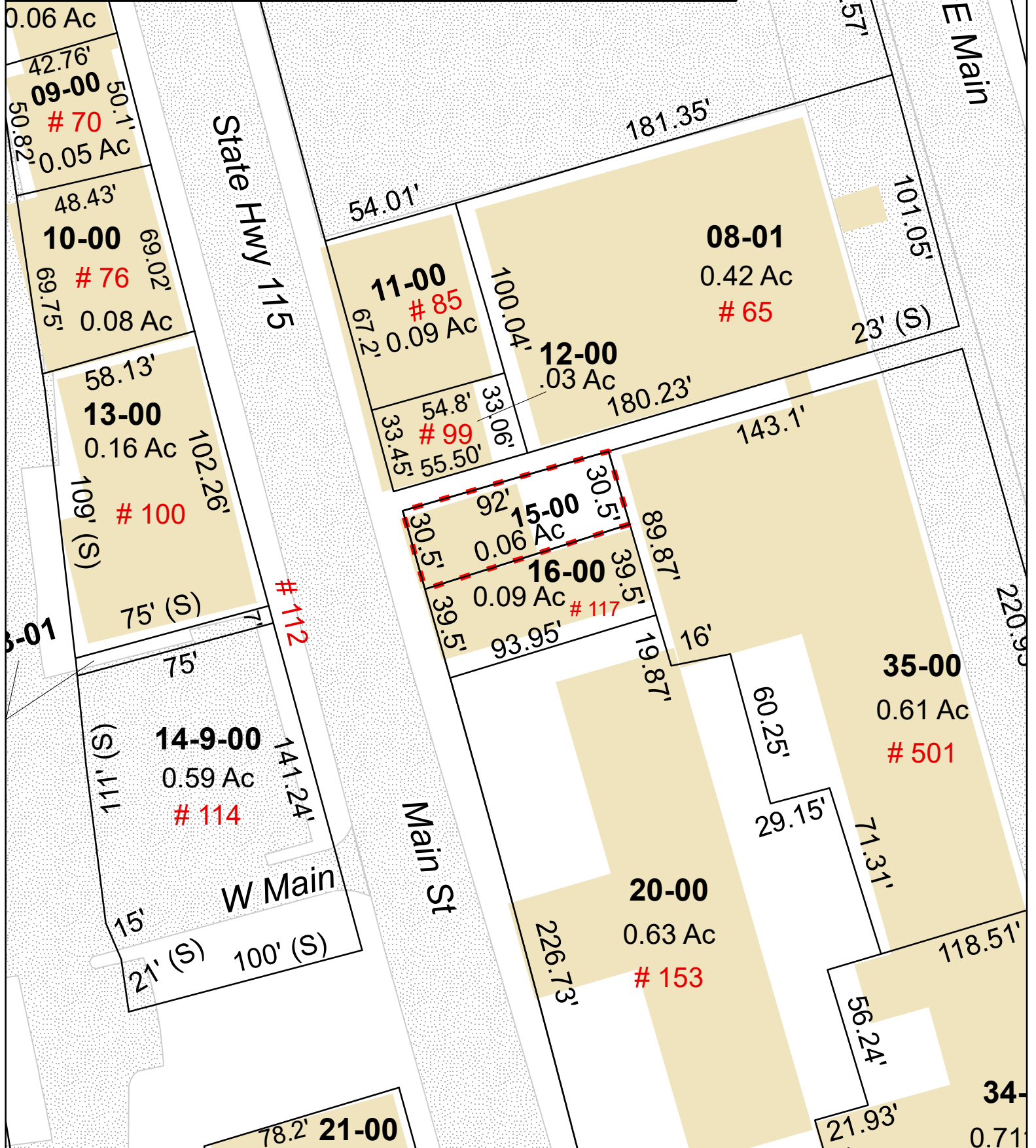
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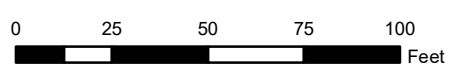
City of Ansonia, Connecticut- Parcel Map

Parcel: 044-0015-0000

Address: 103 MAIN ST



Approximate Scale: 1 inch = 50 feet



Map Produced: May 2024

Disclaimer: This map is for informational purposes only All information is subject to verification by any user. The City of Ansonia and its mapping contractors assume no legal responsibility for the information contained herein.

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REVISIONS:

DRAWING TITLE:

**EXISTING &
DEMO PLAN**

PROJECT ADDRESS:

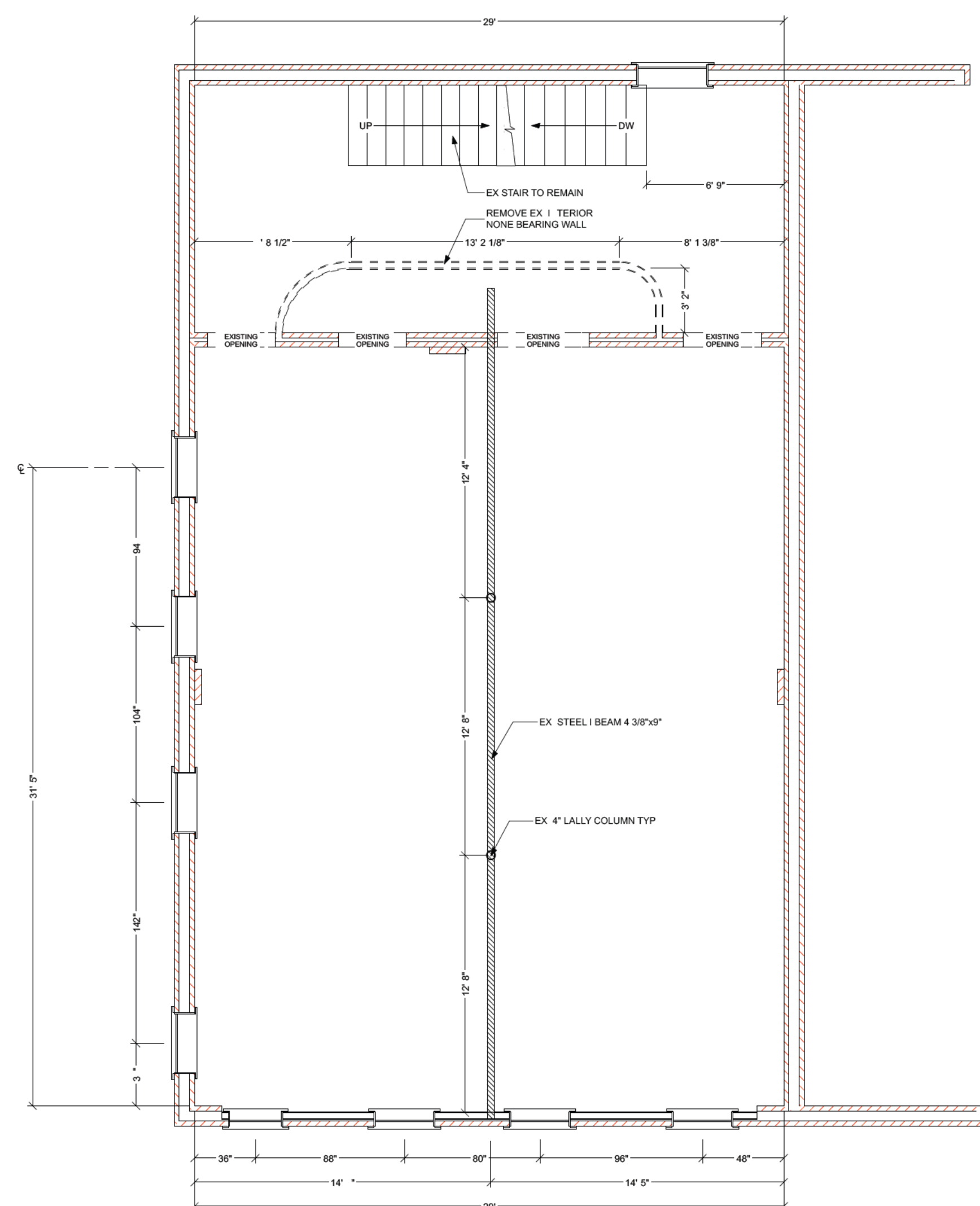
103 MAIN STREET
ANSONIA, CT

ASSESSORS MAP #
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ZONE:

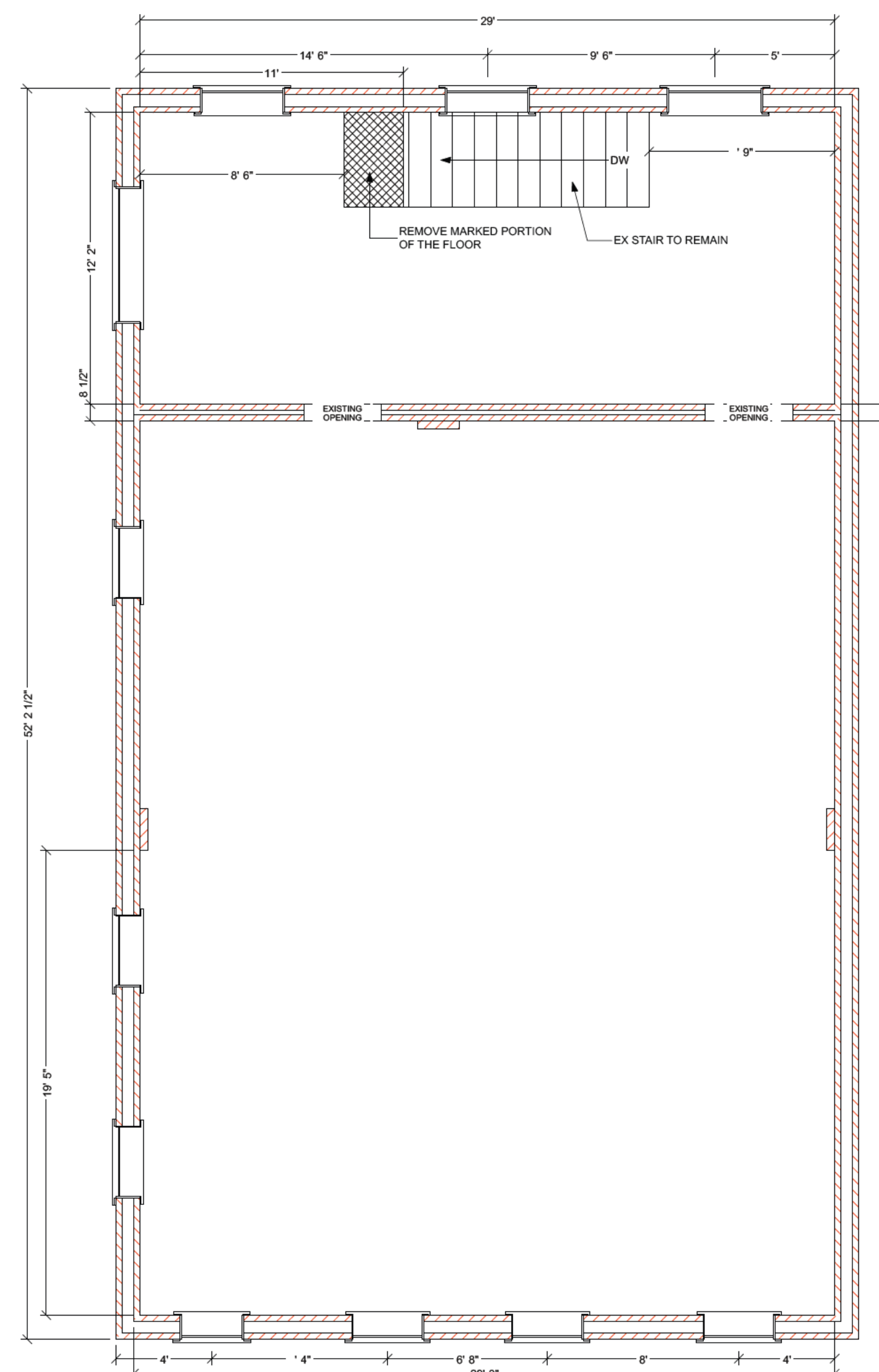
SCALE: AS NOTED
DATE: 01.08.24
JOB #02-24

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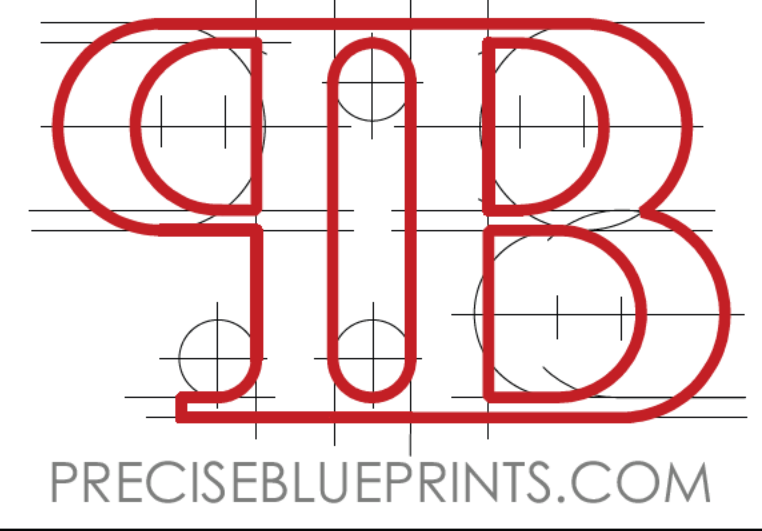
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① DEMO 2ND FLOOR PLAN
SCALE: 1"= 3/16"



② DEMO 3RD FLOOR PLAN
SCALE: 1"= 3/16"



GENERAL STRUCTURAL NOTES

- POST(S) ABOVE BEARING ON HEADERS OR BEAMS BELOW SHALL HAVE A "BC" POST BASE, TYPICAL.
- ALL HARDWARE SPECIFIED AS SIMPSON STRONG TIE.
- FOR SLOPED AND SCREWED CONNECTIONS USE LSU/ LSSU/LSSUI FACE MOUNT HANGERS.
- ALL POSTS SHALL BE SUPPORTED DOWN TO BEARING STRUCTURE TYPICAL POST OF EQUAL STRENGTH.
- PROVIDE MIN. (2) 2X10 HEADER WITH SPACER IN BETWEEN OF RIGID INSULATION U.N.O. AT ALL NEW WINDOWS/DOORS
- PROVIDE POSTS UNDER ALL VALLEY RAFTER ENDS, HEADERS, AND RIDGES.
- ALL LVLS TO BE UPSET/FLUSH WITH FINISHED CEILING U.N.O. OR IN WALL CAVITY.
- USE SIMPSON HEAVY DUTY HANGERS AT ALL FLUSH LVL BEAM CONNECTIONS.
- ALL CONNECTORS IN PRESSURE TREATED WOOD SHALL BE G185 HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- POSTS SUPPORTING BEAMS FROM MORE THAN ONE DIRECTION: PROVIDE SIMPSON CC CAP.
- ALL FRAMING LUMBER SHALL BE GRADE-STAMPED DOUGLAS FIR-LARCH STRUCTURAL GRADE NO. 2 OR BETTER.
- ALL LVLS SHALL BE 1 3/4" WIDE, MINIMUM 1.8 E, U.N.O.
- ALL SHEATHING TO BE APA RATED, EXPOSURE 1 OR ZIP PANELS AS NOTED.
- ALL SUBFLOORING TO BE APA RATED PLYTANIUM STURD-I-FLOOR EXPOSURE 1 3/4" MINIMUM THICKNESS. ALL EDGES OF PLYWOOD TO BE SET ON SOLID BLOCKING. GLUE AND SCREW PLYWOOD SUBFLOOR TO FLOOR JOISTS.
- SEE DETAILS ON SHEET S-1 FOR STRUCTURAL CONNECTION DETAILS. CONTRACTOR TO PROVIDE CONNECTIONS AS SHOWN ON SHEET S-1 U.N.O
- PROVIDE BLOCKING AT PERIMETER OF ROOF SHEATHING PANEL EDGES PER CODE.
- PROVIDE RIDGE TENSION STRAPS AND UPLIFT ANCHORS AT EACH RAFTER.
- PROVIDE UPLIFT CONNECTOR AT EVERY RIDGE BEAM TO POST CONNECTION.
- PROVIDE CUSTOM HANGAR AT ALL MULTIPLE LVL TO FLITCH PLATE CONNECTIONS. PROVIDE DESIGNER WITH SHOP DRAWING PRIOR TO FABRICATION OF FLITCH PLATE.
- ROOF SHEATHING ATTACHMENT SHALL BE 8d COMMON NAILS OR 10d BOX NAILS AT 6" O.C. AT EDGE SUPPORT OF PANELS AND 12" O.C. AT INTERMEDIATE SUPPORTS EXCEPT AT PERIMETER ZONES (4 FEET OF PERIMETER EDGE OF THE ROOF, INCLUDING 4 FEET ON EACH SIDE OF THE ROOF PEAK OR HIP), IN WHICH CASE NAILS SHALL BE AT 6" O.C. AT INTERMEDIATE SUPPORTS.
- WALL SHEATHING ATTACHMENT SHALL BE 8d COMMON NAILS OR 10d BOX NAILS AT 6" O.C. AT EDGE SUPPORT OF PANELS AND 12" O.C. AT INTERMEDIATE SUPPORTS. ALL WALL SHEATHING SEAMS TO BE FULLY BLOCKED
- PROVIDE 1/2" DIA. HOT-DIPPED GALVANIZED ANCHOR BOLTS CONNECTING SILL PLATES TO MASONRY OR CONCRETE FOUNDATION WALLS. EMBED ANCHOR BOLTS MIN. 7" INTO CONCRETE OR FULLY GROUTED CMU. PROVIDE SIMPSON BP 1/2-3 BEARING PLATES. ANCHOR BOLTS SHALL BE LOCATED AT 6'-0" O.C. MAX AND WITHIN 12" OF CORNERS. EACH SILL PLATE SHALL HAVE MIN. TWO ANCHORS.

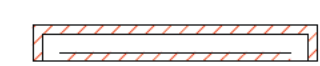

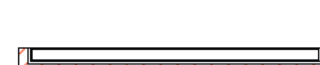
GENERAL FLOOR PLAN NOTES

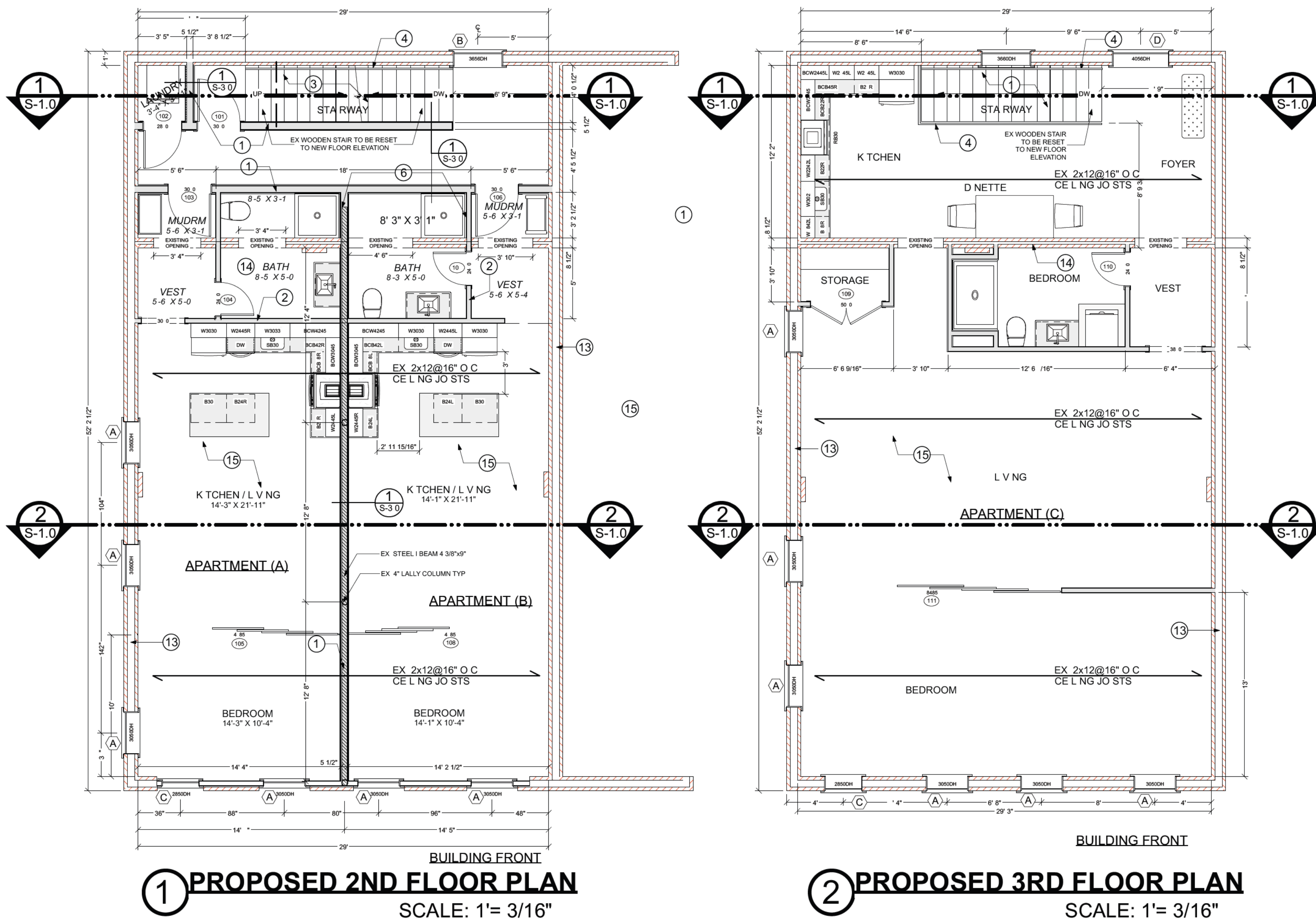
- SEE BUILDING SECTIONS, WALL SECTIONS, AND DETAILS FOR BUILDING THERMAL INSULATION AND VAPOR BARRIER REQUIREMENTS.
- INSULATE ALL WATER SUPPLY AND DRAINAGE PIPING IN WALLS AND CEILINGS WITH NEOPRENE TO PREVENT CONDENSATION AND FOR SOUNDPROOFING.
- ALL DOORS, WINDOWS, AND CASED OPENINGS SHALL HAVE CASINGS- CONFIRM FINAL CASING FINISH WITH ELEVATIONS
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED PER CODE.
- COORDINATE ALL FLOOR FRAMING MEMBERS AND LAYOUT WITH MANUFACTURERS STANDARD SPECS AND DETAILS. ALL LVL BEAMS SHALL BE ANCHORED AND ATTACHED AS PER MANUFACTURER RECOMMENDED METHODS.
- DOUBLE ALL FRAMING MEMBERS UNDER PARALLEL PARTITIONS, TYP.
- PROVIDE SOLID BLOCKING IN FLOOR FRAMING UNDER ALL APPLIANCES, BUILT INS, KITCHEN ISLAND, BATH FIXTURES AND ALL COUNTERTOP LOCATIONS.
- ALL FIXTURES AND FINISHES TO BE VERIFIED BY DESIGNER AND OWNER
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE DONE ON A FULL "DESIGN BUILD" BASIS AND PROVIDED PER CODE AND AS INDICATED ON DRAWINGS.
- SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS INCLUDING WIND RESISTANCE REQUIREMENTS, HURRICANE CLIPS, TIES, STRAPS, HOLD DOWNS, ETC.
- INSTALL APPLIANCES AND PLUMBING FIXTURES AS INDICATED ON PLANS INCLUDING ASSOCIATED PLUMBING AND ELECTRICAL REQUIREMENTS. SEE ALLOWANCES FOR FURNISHING ITEMS.
- PROVIDE CUSTOM CABINETS AND MILLWORK AS INDICATED IN PLAN. SEE ALLOWANCES FOR FURNISHING ITEMS.
- PROVIDE STONE COUNTERTOP WHERE COUNTERTOPS ARE INDICATED. SEE ALLOWANCES.

CONSTRUCTION PLAN NOTES

- NEW OVER ONE HOUR FIRE INTERIOR WALL CONSTRUCTION:** ONE LAYER 5/8" [15.9 MM] SHEETROCK® GYPSUM PANEL (UL TYPE SCX), 1/2" [12.7 MM] RESILIENT CHANNEL, 25 GA. (0.018"), 24" [610 MM] O.C., 2" X 4" [38 X 89 MM] WOOD STUDS, 16" [406 MM] O.C., 3-1/2" [89 MM] FIBERGLASS INSULATION, ONE LAYER 5/8" [15.9 MM] SHEETROCK® GYPSUM PANEL (UL TYPE SCX)
- BATHROOM / LAUNDRY WALL CONSTRUCTION:** 2X4 WOOD STUDS AT 16" O.C. UNLESS DIMENSIONED AS 2X6 WITH 1/2" PAINTED MOISTURE RESISTANT GYP. BD. ON WET SIDE OF WALL AND 1/2" PAINTED GYP. BD. ON OPPOSITE SIDE. PROVIDE 3" ROXUL SAFEN'SOUND INSULATION FOR ACOUSTIC SEPARATION. PROVIDE CEMENT BOARD WHERE BACKING TILE.
- WOOD STAIRS:** 1" WHITE OAK TREADS AND 3/4" PAINTED RISERS. STAIR TO MEET CODE REQUIREMENTS. MAINTAIN MIN. 6'-8" HEAD CLEARANCE. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO BUILDING STAIRS. MIN. WIDTH OF STAIR = 36"; MAX RISER HEIGHT = 8 1/4"; MIN. TREAD DEPTH = 9". PROVIDE NOSING BETWEEN 3/4" AND 1 1/4". LANDINGS FOR STAIRS SHALL MATCH WIDTH OF STAIRS (36" MIN.).
- INTERIOR HANDRAIL/GUARDRAIL:** 2 1/4" WOOD HANDRAIL AND/OR GUARDRAIL WITH BANISTERS AND NEWEL POSTS. HANDRAILS AND GUARDRAILS SHALL MEET THE CODE REQUIREMENTS. HANDRAIL TO BE 1 1/2" OFF WALL SURFACE, TYP. T/RAIL TO BE +36" ABOVE TREAD NOSING. SEE INTERIOR DETAIL PACKAGE FOR FINAL RAIL DESIGN.
- CASED OPENING:** MATCH ADJACENT DOOR HEIGHTS OR WINDOW HEIGHTS. SEE INTERIOR ELEVATIONS
- SHOWER WALLS:** FULL HEIGHT TILE OVER SCHLUTER KERDI WATERPROOFING MEMBRANE ON 1/2" CEMENT BACKER BOARD.
- SHOWER BASE:** SITE BUILT USING SCHLUTER KERDI SYSTEM. TILE FLOOR ON UNMODIFIED PORTLAND CEMENT THIN-SET MORTAR OVER KERDI BONDED WATERPROOF MEMBRANE ON SLOPED PORTLAND CEMENT MORTAR BED ON 1/2" HARDIBACKER (OR EQUAL) BOARD BASE ON FLOOR. PROVIDE CURB WITH FULL MEMBRANE OVER CURB. PROVIDE KERDI-DRAIN FLOOR DRAIN AND PLUMBING REQUIRED FOR SHOWER.
- GLASS ENCLOSURE:** 1/2" TEMPERED FRAMELESS STARPHIRE GLASS DOOR & ENCLOSURE. PROVIDE VENTING PANEL AT STEAM SHOWERS.
- STONE SADDLE:** PROVIDED BY OWNER, INSTALLED BY G.C.
- APPLIANCE WATER LINE:** PROVIDE TO REFRIGERATOR & FREEZER FOR ICE AND WATER MAKERS, WASHER & DRYER. PROVIDE ELECTRICAL, GAS (IF REQUIRED), AND PLUMBING HOOK-UP AND INSTALL APPLIANCES. PROVIDE WATERPROOF SHOWER TYPE BASE WITH TILE FINISH AND HOSE TO WASTE OUTLET. PROVIDE SMOOTH METAL DUCT DRYER VENT TO EXTERIOR. PROVIDE BRAIDED STAINLESS STEEL SUPPLY LINES WITH AUTOMATIC SHUT-OFF VALVES.
- FROST FREE HOSE BIBB:** PROVIDE PLUMBING AND SHUT-OFF VALVES AS REQUIRED. COORDINATE FINAL LOCATIONS WITH OWNER.
- EXISTING EXTERIOR WALL:** 12" BRICK
- EXISTING EXTERIOR WALL:** 8 1/2" BRICK
- OVER HOUR FIRE RATED FLOOR SYSTEM:** ENGINEERED HARDWOOD, 3/4" USG LEVELROCK® BRAND 2500 SERIES UNDERLAYMENT, 1/8" USG LEVELROCK® BRAND SAM-N12™ SOUND ATTENUATION MAT, 3/4" SUBFLOOR
- 11-7/8" WOOD I-JOISTS, SPACED 24" O.C., ROOKWOOL INSULATION , 25 GA. RESILIENT CHANNELS SPACED 16" O.C. (SOUND TESTED WITH RC DELUXE®), TWO LAYERS 5/8" USG SHEETROCK® BRAND ECOSMART PANELS FIRECODE® X (UL TYPE ULIX™)

LEGEND:

-  EX. EXTERIOR 12" BRICK WALL
-  NEW INTERIOR WALL
-  EX. EXTERIOR WOOD WALL WITH BRICK VAINER



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REVISIONS:

DRAWING TITLE:
1ST & 2ND FLOOR PLAN

OWNER:
[REDACTED]

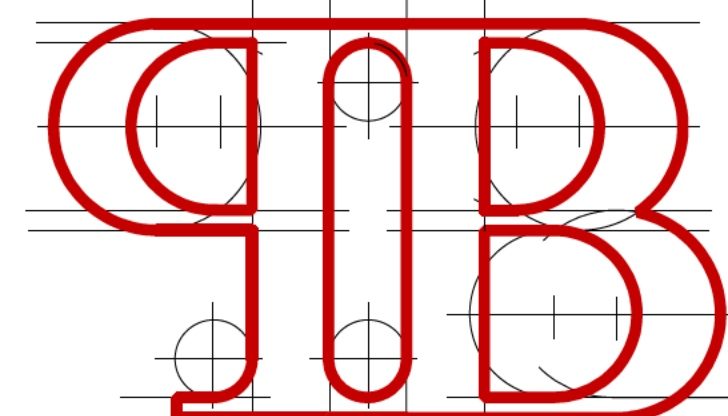
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ANSONIA, CT

ASSESSORS MAP #
PARCEL:
ZONE:

SCALE: AS NOTED
DATE: 01.08.24
JOB #02-24

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REVISIONS:

DRAWING TITLE:

SECTIONS & DETAILS

OWNER:

[Redacted Owner Information]

PROJECT ADDRESS:

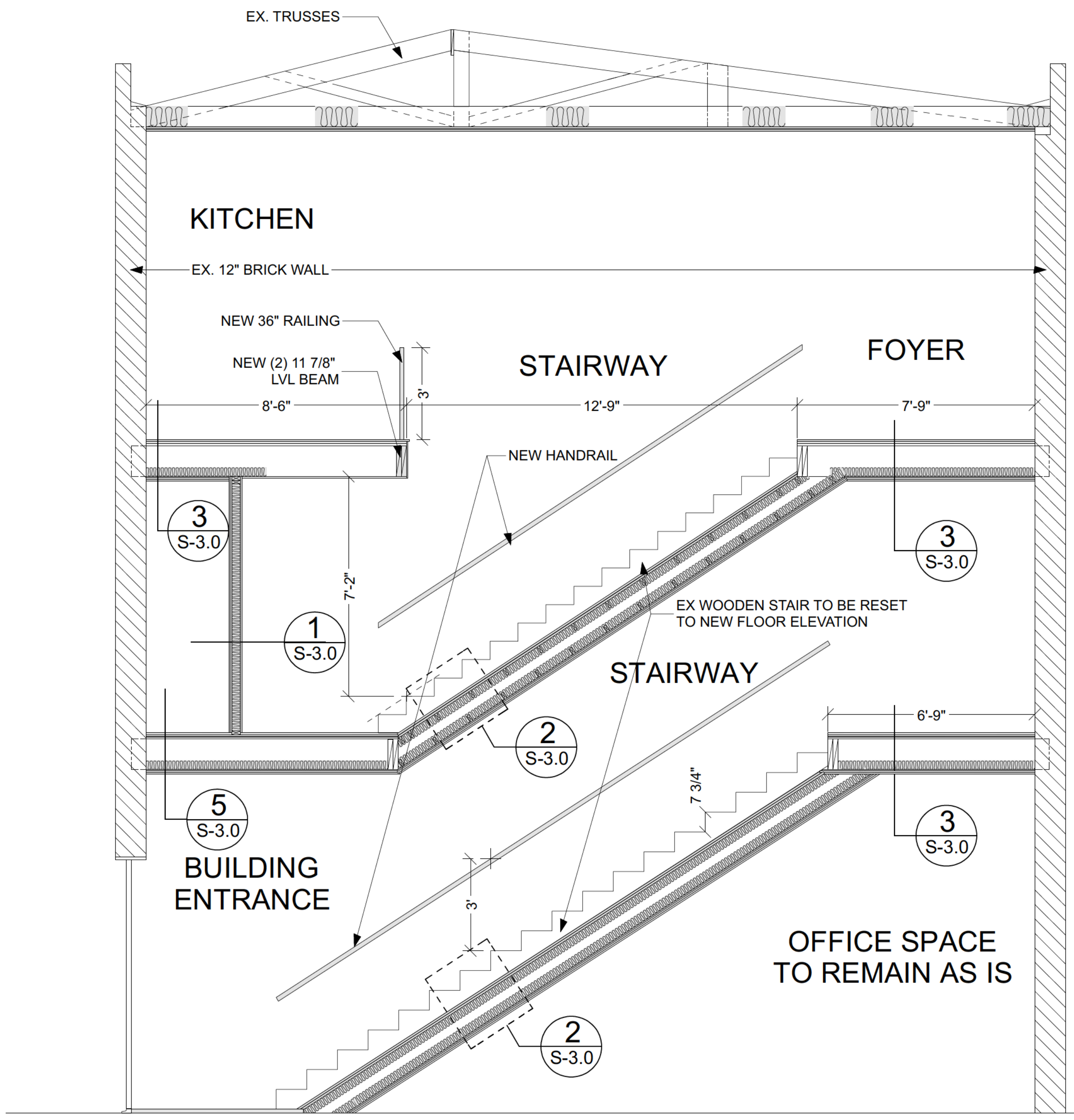
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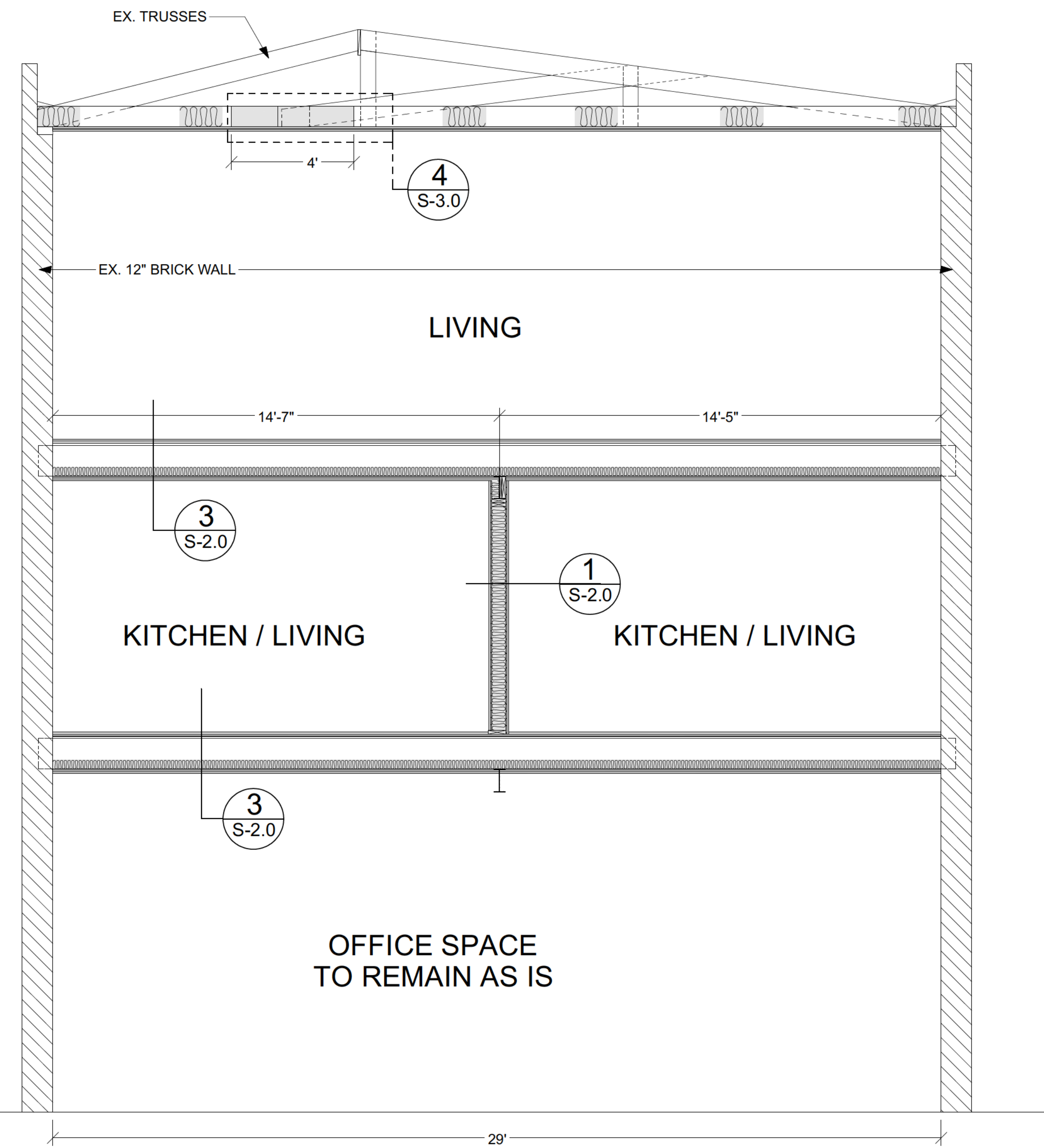
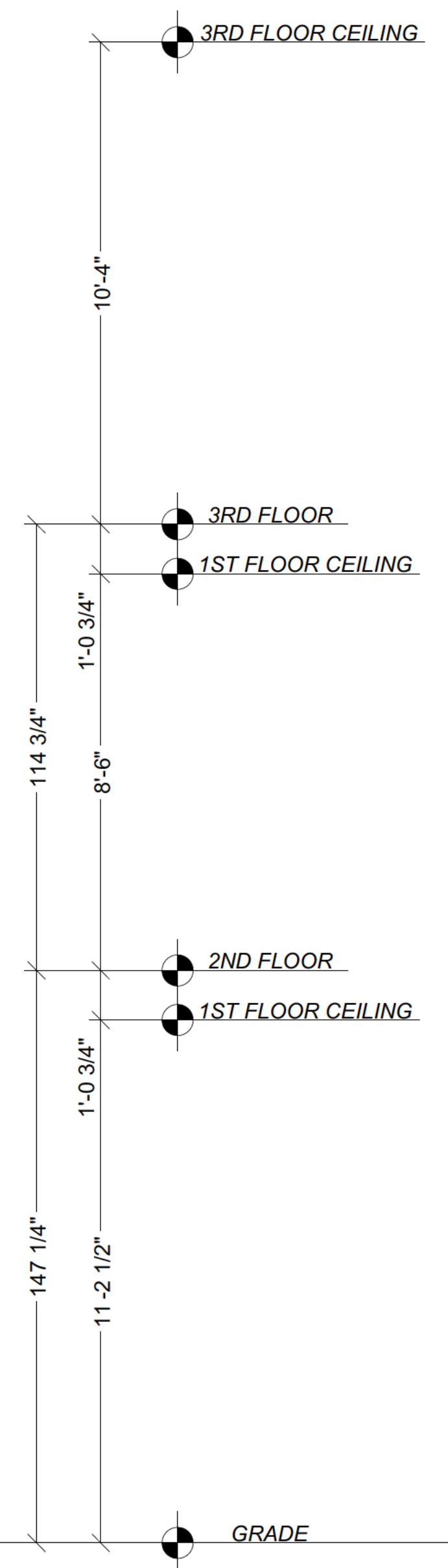
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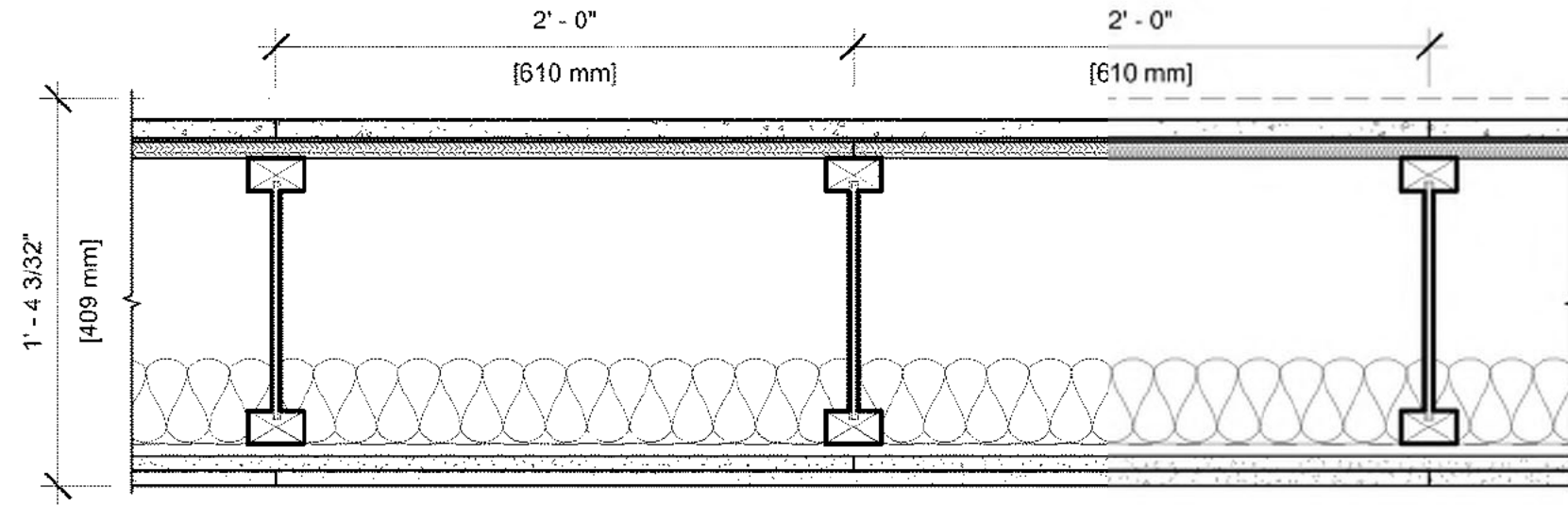
1 SECTION
SCALE: 1" = 3/8"



2 SECTION
SCALE: 1" = 3/8"

UL DESIGN NO. L570 2

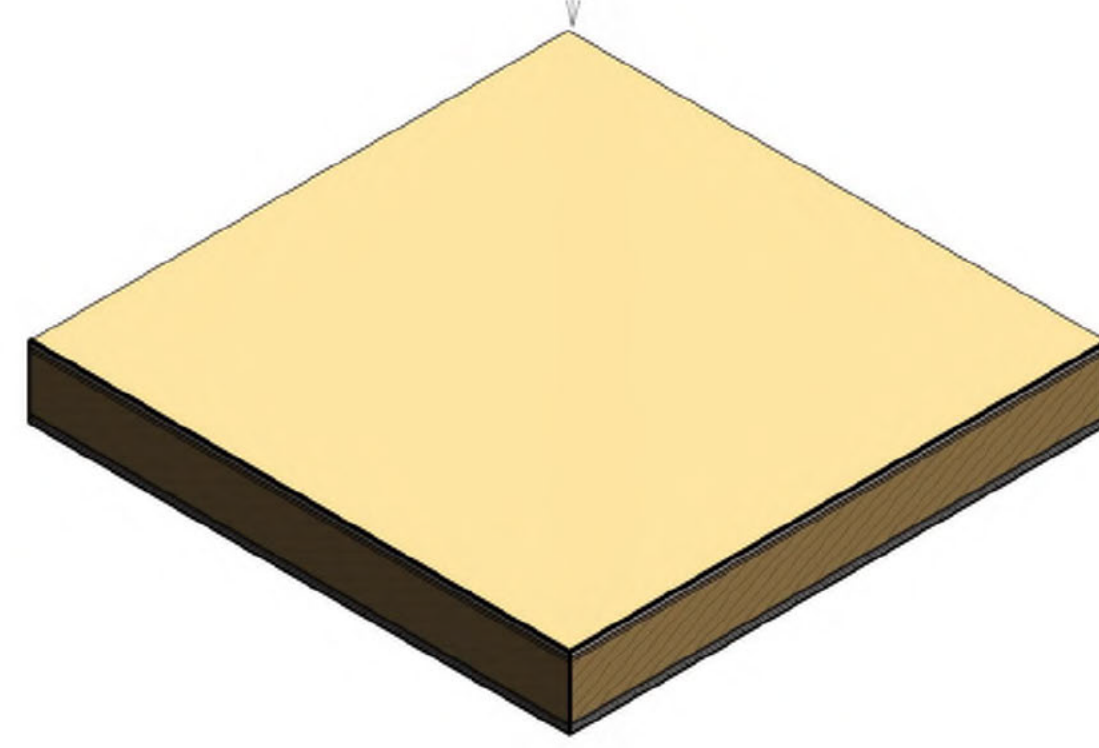
FIRE RATING: 1 HOUR
STC: 59
SOUND TEST: H5048.04
SYSTEM THICKNESS: 1'-4 3/32"
IIC: SOUND TEST: 57
H5048.04



ASSEMBLY OPTIONS:

- FINISH FLOORING: ENGINEERED HARDWOOD (BY OTHERS)
FLOOR TOPPING MIXTURE: 3/4" USG LEVELROCK® BRAND 2500 SERIES UNDERLAYMENT
FLOOR MAT: 1/8" USG LEVELROCK® BRAND SAM-N12™ SOLND ATTENUATION MAT
SUBFLOORING: 23/32" PLYWOOD PANEL
STRUCTURAL WOOD MEMBERS: 11-7/8" WOOD I-JOISTS, SPACED 24" O.C.
INSULATION: 3-1/2" UNFACED GLASS FIBER
RESILIENT CHANNELS: 25 GA. RESILIENT CHANNELS SPACED 16" O.C. (SOUND TESTED WITH RC DELUXE®)
GYPSUM BOARD: TWO LAYERS 5/8" USG SHEETROCK® BRAND ECOSMART PANELS FIRECODE® X (UL TYPE ULX™)

Revit Sytem Family
(Copy & Paste into your Revit Project)



NOTES:
FOR THE MOST UP-TO-DATE INFORMATION OR ASSEMBLY OPTIONS, REFER TO THE UL FIRE RESISTANCE DIRECTORY.
REFER TO THE UL FIRE RESISTANCE DIRECTORY FOR INFORMATION REGARDING PRODUCT ORIENTATION AND FASTENING REQUIREMENTS.



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L570 System 2

ISSUE RECORD:
Revision Date: 0 5,24,20

SHEET INFORMATION:
FC-WJ-1-06



Product Submittal Sheet
09.22.16 (Non-Structural Metal Framing)

RC-2 ProPlus™ Resilient Channel (RCDE)
Heavy-duty double-leg resilient channel

Made of 22mil steel to provide a stiffer resilient channel (RC-2 ProPlus) is one of the most effective, low-cost methods of improving sound transmission loss through wood and steel frame partitions and ceilings.

RC-2 ProPlus heavy-duty double leg resilient channel is typically used for ceiling applications with multiple layers of gypsum board. Resilient channel should be installed perpendicular to the framing members. Channel is pre-punched for screw attachments to wood or steel framing members.

Product Data & Ordering Information:

Table with columns: Material, Coating, Thickness, Dimensions, Stock lengths, Packaging weight.

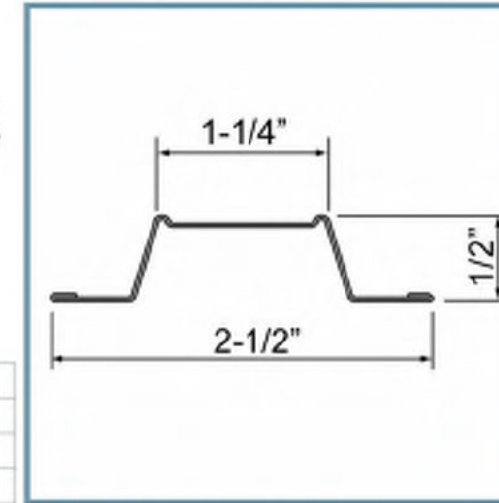
Code Approvals & Performance Standards

- ASTM A924 Standard Specification for General Requirements for Steel Sheet, Metallic - Coated by the Hot-Dip Process
ASTM A1003 Standard Specification for Steel Sheet, Carbon, Metallic- and Nonmetallic-Coated for Cold-Formed Framing Members
ASTM C645 Standard Specification for Nonstructural Steel Framing Members
ASTM C754 Standard Specification for Installation of Steel Framing Members to Receive Screw-Attached Gypsum Panel Products
SDS For ASTM A1003 Steel Framing Products For Interior Framing, Exterior Framing and Clips/Accessories

Related Accessories:

- RC-1 ProPlus™ single-leg resilient channel

- Sustainability Credits For more details and LEED letters contact Technical Services at 888-437-3244 or visit clarkdietrich.com/LEED.
LEED v4.1 MR Credit: Environmental Product Declarations: EPD (1 point) - Sourcing of Raw Materials (up to 2 points) - Material Ingredients (1 point) - Construction and Demolition Waste Management (up to 2 points)
LEED v4 MR Credit: Building Product Disclosure and Optimization: EPD (1 point) - Sourcing of Raw Materials (1 point) - Material Ingredients (1 point) - Construction and Demolition Waste Management (up to 2 points) - Innovation Credit (up to 2 points).



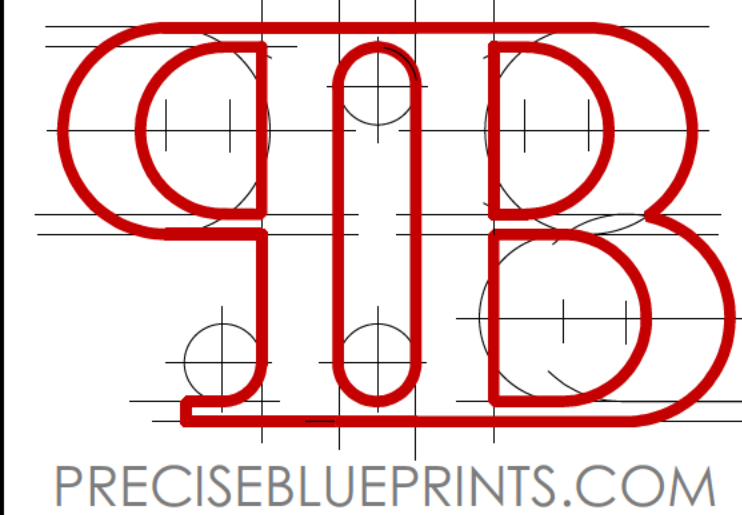
- Reduces sound transmissions
Pre-punched for screws



1
S-2.0

CEILING

RC-2 ProPlus™ Resilient Channel (RCDE) The technical content of this literature is effective 12/15/23 and supersedes all previous information.



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ASSESSORS MAP #
PARCEL:
ZONE:

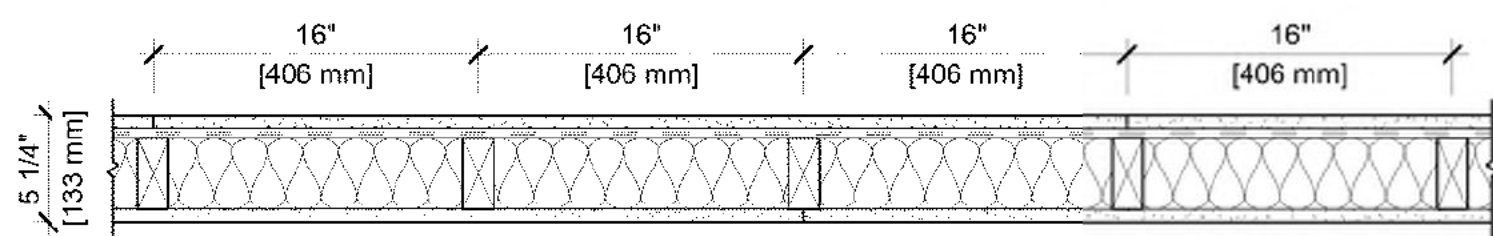
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S-2.0

DESIGN NO. UL U305

FIRE RATING: 1 HOUR
STC RATING: 48
SOUND TEST: RAL-TL11-083
SYSTEM THICKNESS: 5-1/4" (133 MM)
LOCATION: INTERIOR
FRAMING TYPE: WOOD STUD (LOAD-BEARING)



ASSEMBLY REQUIREMENTS:

- GYPSUM PANELS: ONE LAYER 5/8" [15.9 MM] SHEETROCK® GYPSUM PANEL (UL TYPE SCX)
RESILIENT CHANNEL: 1/2" [12.7 MM] RESILIENT CHANNEL, 25 GA. (0.018"), 24" [610 MM] O.C.
WOOD STUDS: 2" X 4" [50 X 89 MM] WOOD STUDS, 16" [406 MM] O.C.
INSULATION: 3-1/2" [89 MM] FIBERGLASS INSULATION
GYPSUM PANELS: ONE LAYER 5/8" [15.9 MM] SHEETROCK® GYPSUM PANEL (UL TYPE SCX)



GENERAL WALL NOTES:

- 1. REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
2. FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
3. WHERE DESIGN NO. INDICATES 'PER', THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
4. STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
5. STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
6. PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
7. FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
8. FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
9. WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
10. SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATINGS.



DISCLAIMER: THE USG PRODUCT INFORMATION CONTAINED HEREIN ARE INTENDED FOR USE AS PRODUCT REFERENCE MATERIAL BY ARCHITECTS, ENGINEERS, AND OTHER DESIGN PROFESSIONALS...

UL U305

ISSUE RECORD:
Revision Date: 10/05/2021 11:54:40 AM

SHEET INFORMATION:
W-P-1-08



Product Submittal Sheet
09.22.16 (Non-Structural Metal Framing)

RC-1 ProPlus™ Resilient Channel (RCUR Heavy)
Heavy-duty single-leg resilient channel

Made of 22mil steel to provide a stiffer resilient channel (RC-1 ProPlus) is one of the most effective, low-cost methods of improving sound transmission loss through wood and steel frame partitions, it is used as a cross-lurring member for resilient attachment of gypsum. Knurled face makes wallboard application easier.

Resilient channel should be installed perpendicular to the framing members with the attachment flange of the RC-1 ProPlus installed along the bottom edge. Channel is pre-punched for screw attachments to wood or steel framing members. Nails are not recommended for attaching RC-1 ProPlus heavy-duty resilient channel to framing members.

Product Data & Ordering Information:

Table with columns: Material, Coating, Thickness, Dimensions, Stock lengths, Packaging weight.

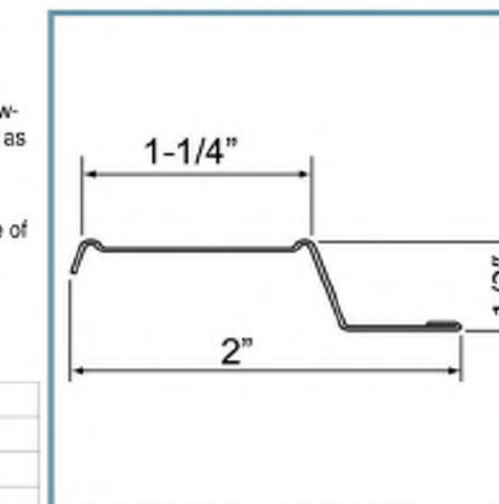
Code Approvals & Performance Standards

- ASTM A924 Standard Specification for General Requirements for Steel Sheet, Metallic - Coated by the Hot-Dip Process
ASTM A1003 Standard Specification for Steel Sheet, Carbon, Metallic- and Nonmetallic-Coated for Cold-Formed Framing Members
ASTM C645 Standard Specification for Nonstructural Steel Framing Members
ASTM C754 Standard Specification for Installation of Steel Framing Members to Receive Screw-Attached Gypsum Panel Products
UL File Number R19331 Full list of ProSTUD, Spazzer, Resilient Channel, Sound Clip and Barrier Mesh UL design assemblies
SDS For ASTM A1003 Steel Framing Products For Interior Framing, Exterior Framing and Clips/Accessories

Related Accessories:

- RC-2 ProPlus™ double-leg resilient channel

- Sustainability Credits For more details and LEED letters contact Technical Services at 888-437-3244 or visit clarkdietrich.com/LEED.
LEED v4.1 MR Credit: Environmental Product Declarations: EPD (1 point) - Sourcing of Raw Materials (up to 2 points) - Material Ingredients (1 point) - Construction and Demolition Waste Management (up to 2 points)
LEED v4 MR Credit: Building Product Disclosure and Optimization: EPD (1 point) - Sourcing of Raw Materials (1 point) - Material Ingredients (1 point) - Construction and Demolition Waste Management (up to 2 points) - Innovation Credit (up to 2 points).



- Reduces sound transmissions
Pre-punched for screws



2
S-2.0

WALL

RC-1 ProPlus™ Resilient Channel (RCUR Heavy) The technical content of this literature is effective 12/15/23 and supersedes all previous information.

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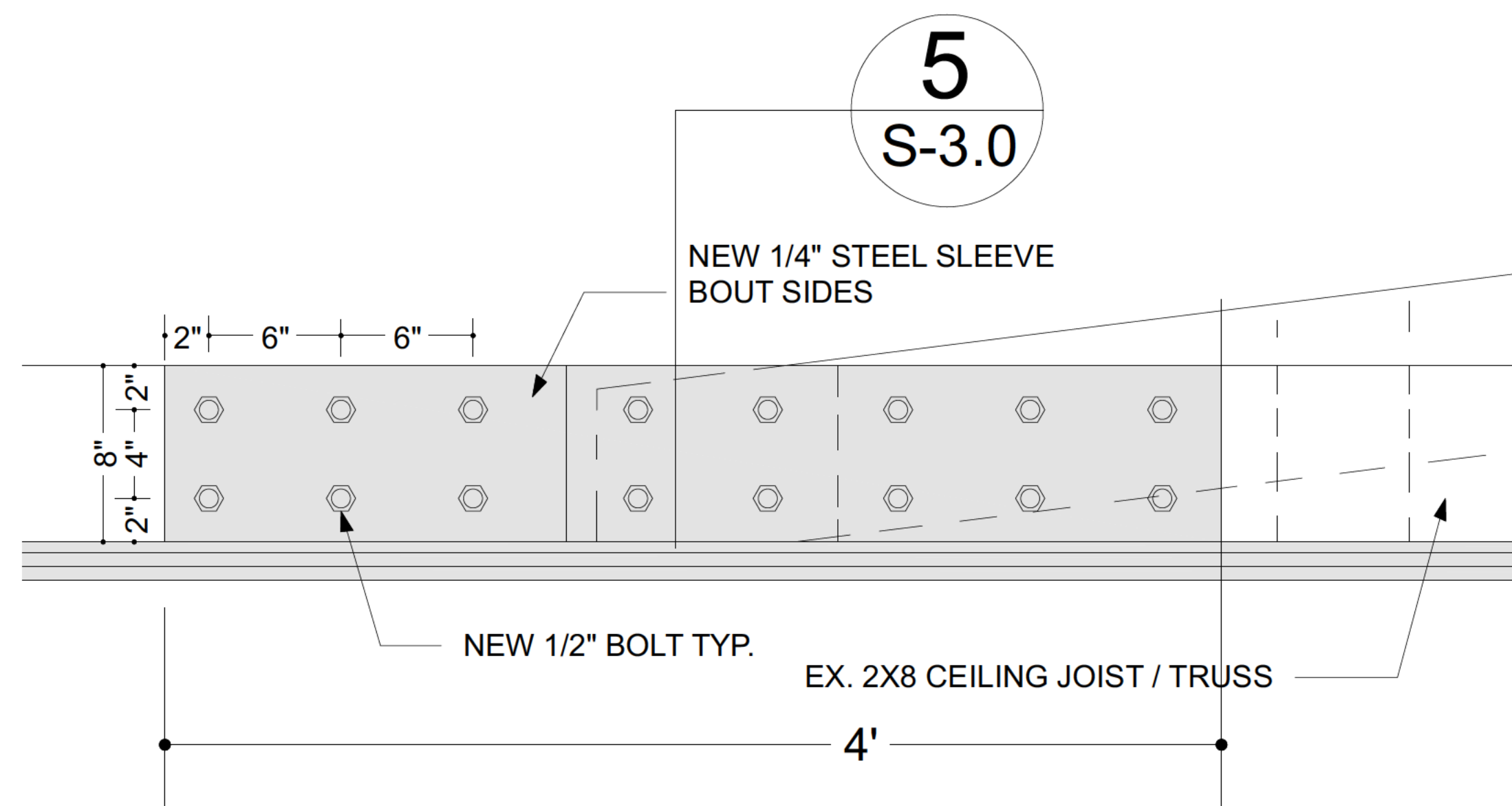
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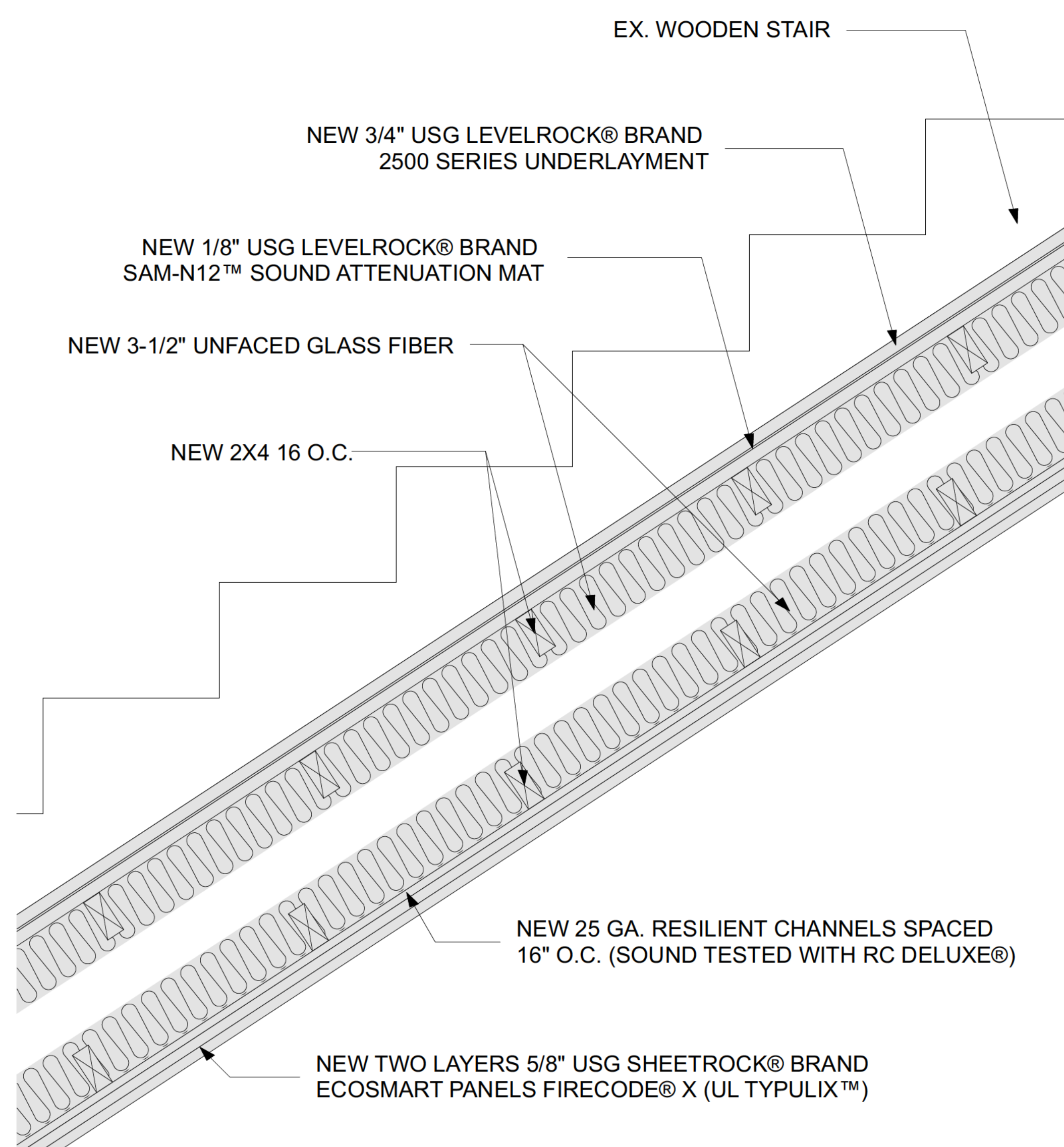
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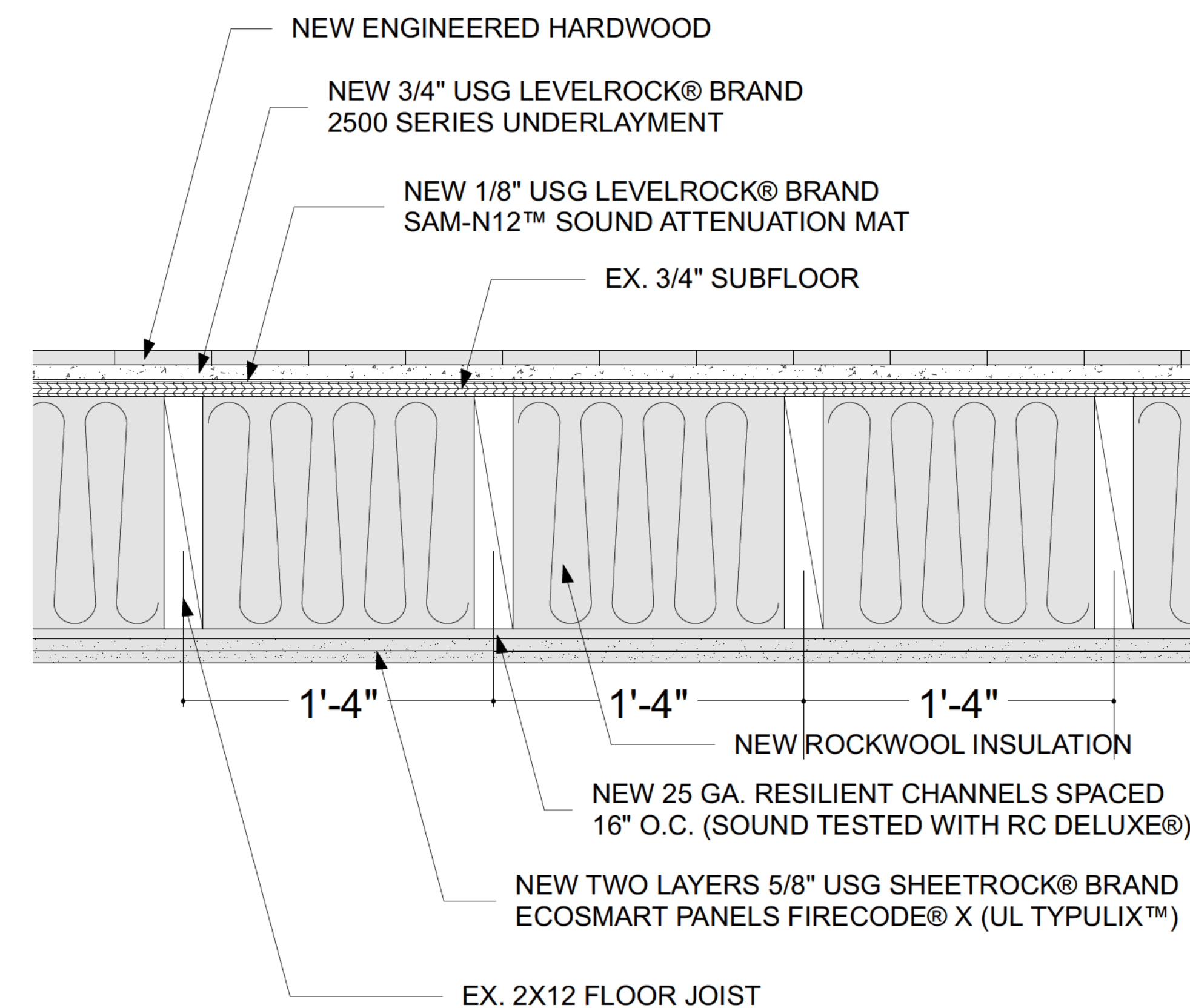
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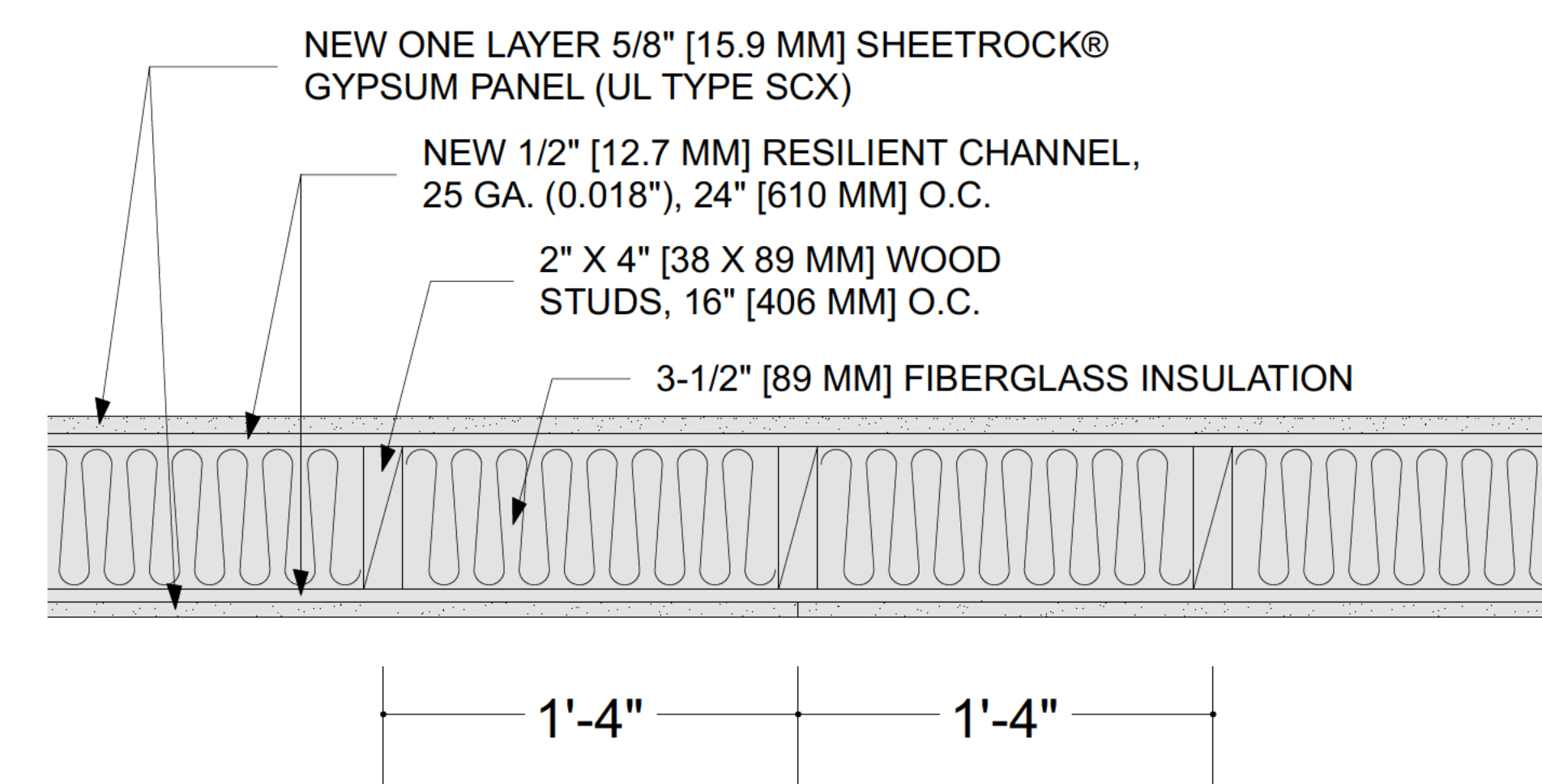
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DETAIL



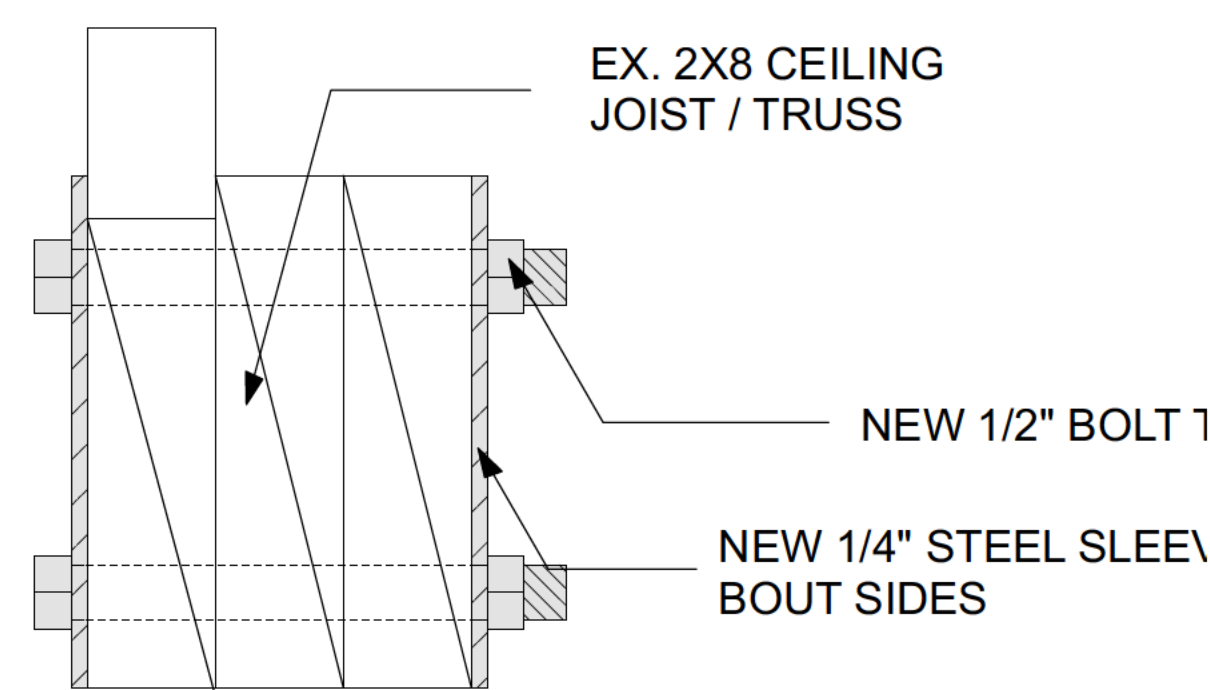
2
S-3.0
DETAIL



3
S-3.0
SECTION



1
S-3.0
SECTION



5
S-3.0
SECTION

DOOR SCHEDULE

TAG#	SIZE	SWING	TYPE	MATERIAL	NOTES
FIRST & SECOND FLOOR					
101	30"x84"	LH	SINGLE HANG / INTERIOR	STEEL	2.0
102	30"x84"	RH	SINGLE HANG / INTERIOR	STEEL	2.0
103	30"x84"	LH	SINGLE HANG / INTERIOR	STEEL	2.0
104	28"x84"	RH	SINGLE HANG / INTERIOR	MDF	
105			BY OTHERS	GLASS	
106	30"x84"	RH	SINGLE HANG / INTERIOR	STEEL	2.0
107	28"x84"	RH	SINGLE HANG / INTERIOR	MDF	
108			BY OTHERS	GLASS	
109	50"x84"		DOUBLE HANG / INTERIOR	MDF	
110	28"x84"	RH	SINGLE HANG / INTERIOR	MDF	
111			BY OTHERS	GLASS	

DOOR SCHEDULE NOTES - APPLY TO ALL DOORS U.N.O.:

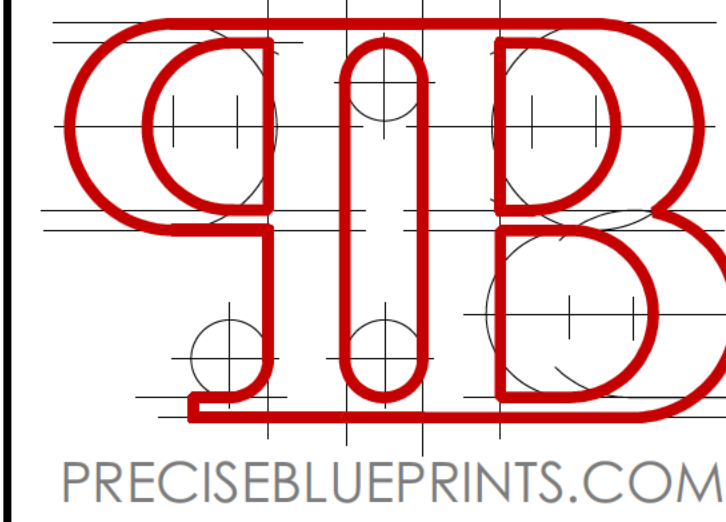
- DOORS BRAND TO BE DETERMINED. QUANTITIES AND SIZES LISTED ARE FOR PRICING ONLY. VERIFY FINAL QUANTITIES AND SIZES WITH PLANS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO ORDERING.
- SEE ALLOWANCES FOR DOOR HARDWARE. FINAL HARDWARE FINISH T.B.D.
- PROVIDE TEMPERED UNITS WHERE REQUIRED BY CODE.
- PROVIDE DETAILED SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY DESIGNER PRIOR TO ORDERING DOORS.**
- SEE ELEVATIONS AND PLANS FOR ALL DOOR DESIGNATIONS. DOORS ARE DENOTED IN PLAN UNLESS NOT VISIBLE IN PLAN IN WHICH CASE THEY ARE KEYED ON THE ELEVATION.
- DOORS SHALL MEET ENERGY STAR GUIDELINES FOR EXTERIOR NORTHERN ZONE.
- ALL EXTERIOR FRENCH DOORS SHALL BE FULLY OPERABLE WITH ONE ACTIVE AND ONE INACTIVE LEAF, U.N.O.
- EXTERIOR DOORS SHALL HAVE CPVC EXTERIOR CASINGS.
- EXTERIOR DOORS SHALL HAVE COPPER PAN FLASHINGS.
- EXTERIOR DOORS SHALL HAVE WEATHERSTRIPPING AND MAHOGANY SILLS.
- EXTERIOR PATIO DOORS SHALL HAVE WOOD SCREENS BY DOOR MANUFACTURER

WINDOW SCHEDULE NOTES - APPLY TO ALL WINDOWS U.N.O.:

- WINDOWS BRAND TO BE DETERMINED. LOW E ARGON INSULATED GLASS,
 - ALL CASEMENT TYPE WINDOWS SHALL BE PUSH-OUT CASEMENTS. ALL DUAL SASH CASEMENTS SHALL BE FRENCH PUSH-OUT TYPE WITH NO DIVIDING MULLION.
 - OPERATING WINDOWS TO INCLUDE INVISIBLE STYLE INSECT SCREENS. CASEMENT WINDOWS SHALL BE PROVIDED WITH ROLL DOWN SCREENS.
 - QUANTITIES AND SIZES LISTED ARE FOR PRICING ONLY. VERIFY FINAL QUANTITIES AND SIZES WITH PLANS AND ELEVATIONS AND EXISTING CONDITIONS PRIOR TO ORDERING.
 - PROVIDE TEMPERED UNITS WHERE REQUIRED BY CODE AND WHERE DESIGNATED ON EXTERIOR ELEVATIONS BY THIS 'T' SYMBOL OR IN PLAN.
 - PROVIDE DETAILED SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY DESIGNER PRIOR TO ORDERING WINDOWS.
 - SEE ELEVATIONS AND PLANS FOR ALL WINDOW DESIGNATIONS. WINDOWS ARE DENOTED IN PLAN UNLESS NOT VISIBLE IN PLAN IN WHICH CASE THEY ARE KEYED ON THE ELEVATION.
 - WINDOWS SHALL MEET ENERGY STAR GUIDELINES FOR NORTHERN ZONE.
 - ALL WINDOWS SHALL HAVE CPVC CASINGS AND CPVC HISTORIC SUBSILLS.
- ALL WINDOWS SHALL HAVE COPPER PAN FLASHING.

WINDOW SCHEDULE

TAG#	SIZE	TYPE	MATERIAL		NOTES
			IN	OUT	
A	36"x60"	DOUBLE HANG	WOOD	VINYL CLAD	
B	42"x66"	DOUBLE HANG	WOOD	VINYL CLAD	
C	32"x60"	DOUBLE HANG	WOOD	VINYL CLAD	
D	48"x66"	TRIPLE CASEMENT	WOOD	VINYL CLAD	



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WINDOW & DOOR SCHEDULE

OWNER:
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PROJECT ADDRESS:
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ASSESSORS MAP #
 PARCEL:
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NOTES:	
1.0	PROVIDE POCKET DOOR HARDWARE
2.0	1 HOUR FIRE RATED DOOR WITH SELF CLOSING HINGES
3.0	PROVIDE SLIDING BARN DOOR HARDWARE
4.0	BALCONY DOOR WITH CREMONE BOLT
5.0	TEMPERED WINDOW

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ELECTRIC PLAN

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PROJECT ADDRESS:

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E-1.0

SMOKE ALARM NOTES

1. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED PER BUILDING CODE AND NFPA 72.
2. ALL SMOKE ALARMS AND HEAT DETECTORS TO BE HARD-WIRED WITH BATTERY BACKUP AND INTERCONNECTED. SMOKE DETECTORS REQUIRED INSIDE ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS AND ON EVERY LEVEL. PROVIDE NEW INTERCONNECTED ALARMS IN EXISTING AREAS IF NONE EXIST.

CARBON MONOXIDE DETECTORS

1. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE AND NFPA 720.

GENERAL ELECTRICAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO PROVIDE A LIGHTING SYSTEM WHICH IS COMPLETE AND OPERATIONAL INCLUDING ALL MATERIALS AND EQUIPMENT NECESSARY TO ACCOMPLISH THIS INTENT. SUBSTITUTIONS TO SPECIFIED LIGHTING AND CONTROL EQUIPMENT SHALL NOT BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL BY THE DESIGNER.
2. APPLICABLE REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE (NEC) AND STATE AND LOCAL CODES SHALL GOVERN AND DETERMINE THE MINIMUM STANDARD OF WORK. IN THE EVENT OF CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE CODE.
3. EXCEPT WHERE SPECIFICALLY NOTED, CONTRACTOR SHALL INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4. ELECTRICAL CONTRACTOR SHALL PROVIDE NEW SERVICE UPGRADE TO ACCOMMODATE DESIGN IF EXISTING SERVICE IS NOT SUFFICIENT TO ACHIEVE DESIGN.
5. ELECTRICAL CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL LIGHTING EQUIPMENT WITH THE GENERAL CONTRACTOR AND ANY APPLICABLE SUB-CONTRACTOR (I.E. FRAMING, MECHANICAL, CABINETS, ETC.) PRIOR TO ROUGH-IN.

ALL FIXTURE LOCATIONS TO BE VERIFIED AFTER ROUGH-IN INSTALLATION, PRIOR TO DRYWALL, BY DESIGNER AND OWNER. IT IS THE

LEGEND:

SMOKE DETECTOR

CARBON-MONOXIDE DETECTOR

REASSESSED LIGHT

FLASH CEILING LIGHT

