



**GENERAL NOTES:**

- 1. THE OWNER/APPLICANT FOR THIS PROJECT IS: 14C VALLEY VIEW LLC, 312 SOUTH SHERMAN AVENUE, SCRANTON, PA 18504, (631) 385-7273. CONTACT: MATTHEW OBEID | M0BEID@THESTEELSUPPLYCO.COM
2. THE PROJECT ENGINEER IS: KEYSTONE CIVIL GROUP, INC., 711 DAVIS STREET, SCRANTON, PA 18505, (570) 569-2199
3. SITE DATA: OWNER: LANDS OF 14C VALLEY VIEW LLC, PARCEL ID: 1260201001404, 2.66 ACRES
4. ZONING DATA: ZONING CLASSIFICATION: LI (LIGHT INDUSTRIAL). ZONING REQUIREMENT, REQUIRED, PROVIDED. MIN. LOT AREA, 43,560 SQ. FT., 115,870 SQ. FT. MIN. FRONT YARD, 25', 25'. MIN. REAR YARD, 30', 30'. MIN. SIDE 1, 30', 30'. MIN. SIDE 2, 30', 30'. MAX. IMPERVIOUS COVERAGE, 70%, 60%. MIN. WIDTH, 150', 520'. MAX. BUILDING HEIGHT, 50' (4 STORIES), 25' (2 STORIES). PARKING SPACE SIZE, 9'x18', 9'x18'. REQUIRED PARKING, 18 SPACES, 26 SPACES. 1.2 SPACES/EMPLOYEE @ 15 EMPLOYEES
5. THIS PROJECT PROPOSES A 25,900 SF WAREHOUSE BUILDING WITH ASSOCIATED PARKING, SITE, UTILITY, AND STORMWATER FACILITIES.
6. THE PURPOSE OF THESE PLANS ARE TO OBTAIN PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL, AND ARE NOT INTENDED FOR CONSTRUCTION.
7. PLANAMETRIC AND TOPOGRAPHICAL DATA PROVIDED DON JULIAN, P.L.S.
8. AS-BUILT SURVEY COMPLETED IN 2015 BY COLWELL-NAEGELE ASSOCIATES, INC.
9. HORIZONTAL DATUM: NAD83. VERTICAL DATUM: NAVD88.
10. CONTRACTOR SHALL PROTECT ALL BENCHMARKS (SURVEY CONTROL POINTS, EXISTING STRUCTURES, MONUMENTATION, ETC..) FROM DAMAGE OR DISPLACEMENT. CONTRACTOR TO RESTORE/REPLACE ALL DISTURBED BENCHMARKS.
11. THE SURVEYOR HAS MADE NO INVESTIGATIONS OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
12. THESE PLANS ARE ONE PART OF THE CONSTRUCTION DOCUMENTS. THE CONSTRUCTION DOCUMENTS INCLUDE: CONSTRUCTION PLANS, E&S PLANS, PCSM PLANS, HOP PLANS, NOTES, DETAILS, SECTIONS, PROFILES, FRONT END AND TECHNICAL SPECIFICATIONS, NPDES PERMIT DOCUMENTS, E&S NARRATIVES, PCSM NARRATIVES, PA DEP PERMIT DOCUMENTS, US ARMY CORP DOCUMENTS, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF ALL PARTS OF THE CONSTRUCTION DOCUMENTS AND COORDINATE ALL REQUIRED WORK.
13. THESE PLANS ARE SUBJECT TO ANY AND ALL RIGHT-OF-WAY, EASEMENTS AND COVENANTS OF RECORD.
14. THERE ARE NO EXISTING WETLANDS WITHIN THE PROJECT AREA BASED ON FIELD INVESTIGATION AND REVIEW OF NW MAPPING.
15. ACCORDING TO eMAP PA, THE PROJECT SITE DRAINS TO GRASSY ISLAND CREEK, A PART OF THE LACKAWANNA RIVER WATERSHED WHICH HAS A CURRENT ACT 167 PLAN. CHAPTER 93 DESIGNATION IS HIGH QUALITY - COLD WATER DISHS (HQ-CWF).
16. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATIONS OF OBSERVABLE SURFACE STRUCTURES AND RECORDS BY UTILITY USERS FOLLOWING A CALL TO PENNSYLVANIA ONE CALL SYSTEM SERIAL #2020589056. LOCATIONS AND DEPTHS ARE APPROXIMATE. KEYSTONE STRUCTURAL GROUP, INC. DOES NOT GUARANTEE THE ACCURACY OF UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS.
17. CONTRACTORS ARE REQUIRED TO CONTACT THE PENNSYLVANIA ONE-CALL SYSTEM (1-800) 272-1776 NOT LESS THAN 3 DAYS NOR MORE THAN 10 DAYS PRIOR TO BEGINNING ANY EXCAVATION OF DEMOLITION WORK, AND TO COMPLY WITH ALL OTHER REQUIRED PROCEDURES OF PENNSYLVANIA ACT 38, AS MOST CURRENTLY AMENDED. INFORMATION CONCERNING UTILITIES IS NOT INTENDED FOR CONSTRUCTION PURPOSES.
18. THE CONTRACTOR SHALL CONDUCT EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS NECESSARY. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OF UTILITY LINE LOCATIONS ARE DISCOVERED.
19. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE ENGINEER, CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE. ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL FINES, PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
20. IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT USE SCALED DIMENSIONS FOR CONSTRUCTION WITHOUT CONFIRMATION BY KEYSTONE STRUCTURAL GROUP, INC.. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE PROJECT SITE. KEYSTONE STRUCTURAL GROUP, INC. MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS
21. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
22. THE CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS AND REQUIREMENTS.
23. PUBLIC AND COMMON USE AREAS, INCLUDING ADA DESIGNATED PARKING AREAS, SIDEWALKS, AND BUILDING ACCESSSES SHALL COMPLY WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
24. NO EARTH MOVING ACTIVITIES MAY TAKE PLACE ON THIS SITE UNTIL AN EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN HAS BEEN APPROVED BY THE COUNTY CONSERVATION DISTRICT AND THE BOROUGH.
25. DEBRIS SHALL NOT BE BURIED ON SITE. ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS OR APPLICABLE CODES.
26. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES AT NO ADDITIONAL COSTS TO THE OWNER.
27. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE AND COORDINATE ALL INSPECTIONS WITH THE BOROUGH AND MUNICIPAL AUTHORITY. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 24 HOURS NOTICE AND TO COORDINATE WITH THE BOROUGH OR BOROUGH ENGINEER REGARDING ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.
28. ON-SITE STORAGE OF HAZARDOUS MATERIALS IS NOT PERMITTED DURING CONSTRUCTION. IF ON-SITE STORAGE IS NECESSARY, CONTRACTOR IS REQUIRED TO PREPARE AND SUBMIT A PPC PLAN TO THE COUNTY CONSERVATION DISTRICT.
29. CONTRACTOR SHALL SEPARATE STORED DIFFERING MATERIALS WITH DIVIDERS OR STOCKPILE APART TO PREVENT MIXING.
30. ALL CONSTRUCTION ACTIVITIES SHALL REMAIN CONFINED WITHIN THE AREA DESIGNATED THE "LIMIT OF DISTURBANCE" AS SHOWN ON THE EROSION AND SEDIMENT POLLUTION CONTROL PLANS.
31. BY APPROVAL OF THIS PLAN, THE BOROUGH HAS NEITHER CONFIRMED NOR DENIED THE EXISTENCE AND/OR EXTENT OF ANY WETLAND AREAS. ANY ENCROACHMENT INTO WETLAND AREAS SHALL BE SUBJECT TO THE JURISDICTION OF THE ARMY CORP OF ENGINEERS AND THE SAID ENCROACHMENT SHALL CONFORM TO THE RULES AND REGULATIONS OF THE JURISDICTIONAL AGENCIES.
32. CONTRACTOR SHALL PROTECT TREES, PLANT GROWTH AND FEATURES DESIGNATED TO REMAIN, AS FINAL LANDSCAPING.

- 33. CONTRACTOR IS RESPONSIBLE TO KEEP EXISTING ROADWAYS, PARKING AREAS AND LOCAL ROADS FREE OF CONSTRUCTION MATERIALS. ANY DIRT OR DEBRIS TRACKED ONTO SUCH AREAS MUST BE IMMEDIATELY REMOVED.
34. CONSTRUCTION VEHICLES, MATERIALS OR ACTIVITIES SHALL NOT INTERFERE WITH PUBLIC ACCESS EXCEPT WHERE SHOWN ON THE PLANS. CONTROL VEHICULAR PARKING TO PREVENT INTERFERENCE WITH PUBLIC TRAFFIC AND PARKING, ACCESS BY EMERGENCY VEHICLES AND OWNER'S OPERATIONS.
35. IN THE EVENT THAT ROCK IS ENCOUNTERED WITHIN AN EXCAVATION CONTRACTOR SHALL CONTACT THE OWNER FOR VERIFICATION AND REMOVE ROCK TO 12" BELOW TARGET ELEVATION AND BACKFILL WITH APPROVED MATERIAL.
36. ANY ITEMS NOT SPECIFICALLY MENTIONED THAT ARE REQUIRED TO MAKE THE WORK COMPLETE AND OPERATIONAL SHALL BE INCLUDED BY THE CONTRACTOR. THIS INCLUDES WOOD BLOCKING, CAULKING, SEALING AND FLASHING. CONTRACTOR TO FOLLOW MFG'S INSTALLATION PROCEDURES AND STANDARD INDUSTRY PRACTICES.
37. STORMWATER MANAGEMENT BASINS & CONVEYANCE SYSTEMS SHALL BE OWNED, MANAGED, AND MAINTAINED BY THE PROPERTY OWNER. THE BOROUGH WILL RETAIN THE RIGHTS TO ENTER AND INSPECT STORMWATER MANAGEMENT FACILITIES TO ENSURE PROPER MAINTENANCE.
38. THE CONTRACTOR SHALL REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND PROPOSED STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION.
39. CONTRACTOR SHALL COMPILE AND SUBMIT AS-BUILT SURVEY PLANS FOR ALL STORM AND UTILITY FACILITIES PRIOR TO THE RELEASE OF THE FINANCIAL SECURITIES FOR SUCH FACILITIES.
40. THIS PROJECT WILL REQUIRE APPROVAL FROM THE FOLLOWING ENTITIES:

ISSUING ENTITY: PERMITS REQUIRED: LACKAWANNA COUNTY EROSION AND SEDIMENTATION CONTROL PLAN CONSERVATION DISTRICT PA DEP NPDES INDIVIDUAL PERMIT LACKAWANNA COUNTY REGIONAL PLANNING COMMISSION LAND DEVELOPMENT

- 41. ALL DRIVEWAYS SHALL BE BUILT IN ACCORDANCE WITH THE JESSUP BOROUGH AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS.
42. ALL PROPOSED SIGNS, EXCEPT FOR THE REQUIRED TRAFFIC CONTROL/REGULATORY SIGNS MUST COMPLY WITH THE APPLICABLE SECTIONS OF THE ZONING ORDINANCE. SIGN DETAILS SHALL BE SUBMITTED TO THE BOROUGH CONCURRENTLY WITH THE BUILDING PLANS. A SEPARATE SIGN PERMIT APPLICATION SHALL BE SUBMITTED TO THE JESSUP BOROUGH AS REQUIRED.
43. THE DEVELOPER SHALL ENSURE THAT THE REQUIRED EROSION AND SEDIMENTATION CONTROLS WILL BE IMPLEMENTED IN ACCORDANCE WITH PA CODE, TITLE 25, CHAPTER 102-EROSION AND SEDIMENT CONTROL.
44. UPON THE APPROVAL OF THE FINAL PLAN, THE DEVELOPER SHALL WITHIN 90 DAYS OF SUCH FINAL APPROVAL, OR 90 DAYS AFTER THE DATE OF AN APPROVED PLAN SIGNED BY THE BOROUGH PRESIDENT, FOLLOWING COMPLETION CONDITIONS IMPOSED FOR SUCH APPROVAL, WHICHEVER IS LATER, RECORD SUCH PLAN IN THE OFFICE OF LACKAWANNA COUNTY RECORDER OF DEEDS, AND FORTHWITH FILE WITH THE BOROUGH A RECORDER'S CERTIFICATE THAT THE APPROVED APPLICATION HAS BEEN RECORDED, WITH THE DEED BOOK AND PAGE NUMBERS INDICATED AND TWO COPIES OF THE APPLICATION AS RECORDED.
45. AFTER COMPLETION OF REQUIRED IMPROVEMENTS, AN AS-BUILT PLAN SHALL BE SUBMITTED BY THE DEVELOPER TO THE BOROUGH.

**GENERAL UTILITIES NOTES:**

- 1. ALL NEW UTILITIES/SERVICES, INCLUDING TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND WITH THE EXCEPTION OF THE NEW OVERHEAD ELECTRICAL SERVICE. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
2. THE LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, REMOVAL OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINT CONFLICTS SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
3. ALL UTILITY EXTENSIONS FROM THE BUILDING BY OTHER TRADES SHALL BE CONNECTED TO THE CONTINUATION UTILITY LINES ON THE SITE. THE GENERAL CONTRACTOR SHALL MAKE THE CONNECTIONS AT A POINT 5' FROM THE BUILDING WALL WHERE OTHER TRADES HAVE ENDED THEIR WORK. THE CONTRACTOR SHALL COORDINATE SCHEDULING OF THESE CONNECTIONS WITH OTHER TRADES TO ASSURE THE SYSTEM IS COMPLETE WHEN FLOW WILL BEGIN IN THE LINES.
4. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT, PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE NOT TO REMAIN. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
6. EXISTING VALVES, RIMS, GRATES, CLEANOUTS AND LIDS SHALL BE FIELD RESET TO PROPOSED GRADE.
7. STRUCTURE LOCATION (STATION) AND PIPE LENGTHS ARE MEASURED FROM THE CENTER OF STRUCTURE.
8. WHENEVER POSSIBLE, SEWER MAINS SHOULD BE LAID AT LEAST 10" HORIZONTAL FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCATION CONDITIONS PREVENT A LATERAL SEPARATION OF 10", A SEWER MAY BE LAID CLOSER THAN 10" TO A WATER MAIN IF: 8.1. IT IS LAID IN A SEPARATE TRENCH 8.2. IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH. 8.3. IN EITHER CASE, THE ELEVATION OF THE TOP OF THE SEWER IS AT LEAST 18" BELOW THE BOTTOM (INVERT) OF THE WATER MAIN.
9. WHENEVER SEWERS MUST CROSS WATER MAINS OR UTILITIES, A MINIMUM OF 18" OF VERTICAL CLEARANCE MUST BE MAINTAINED, IF NOT ATTAINABLE, A 6" CONCRETE ENCASEMENT MUST BE PROVIDED. DUCTILE IRON PIPE MUST BE UTILIZED AT CROSSINGS WITH CONCRETE ENCASEMENTS. THIS PIPE MUST CONSISTENTLY BE DUCTILE IRON PIPE BETWEEN THE TWO MANHOLES OF THE AFFECTED AREA.
10. THE MINIMUM DISTANCE BETWEEN THE PLACEMENT OF TREES TO LIGHT POLES AND UTILITY SERVICE LINES SHALL BE 10 FEET.
11. ALL SANITARY AND STORM SEWERS WITH A SLOPE LESS THAN 1.0% ARE TO BE CONSTRUCTED USING A LASER BEAN DEVICE TO ASSURE PROPER LINE AND GRADE, UNLESS OTHERWISE DIRECTED.
12. ALL EXISTING UTILITY LINES TO BE ABANDONED SHALL EITHER BE REMOVED OR FILLED WITH SAND/SMALL STONE AND ADEQUATELY CAPPED/PLUGGED.
13. DEPTHS OF EXISTING UTILITIES IN PORTIONS OF THE SITE ARE UNKNOWN. WHERE EXISTING UTILITIES ARE TO REMAIN AND ARE FOUND TO HAVE INADEQUATE GROUND COVER AFTER FINAL PROPOSED GRADES HAVE BEEN ESTABLISHED, THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND PRIOR TO FURTHER CONSTRUCTION ACTIVITIES IN THE AREA OF SAID CONFLICT
14. ALL STORM SEWER SYSTEMS ARE TO BE OWNED AND MAINTAINED BY JESSUP BOROUGH. BASIN SHALL BE OWNED AND MAINTAINED BY JESSUP BOROUGH WITH PERMISSION TO THE BOROUGH TO ENTER AND PERFORM EMERGENCY MAINTENANCE IF REQUIRED. SHOULD THE BOROUGH BE REQUIRED TO ENTER THE SITE AND PERFORM EMERGENCY REPAIRS TO THE ON-SITE STORMWATER FACILITIES, THE BOROUGH SHALL BE COMPENSATED FOR THE WORK.
15. WATER SERVICE PROVIDED BY PENNSYLVANIA AMERICAN WATER COMPANY.

**GENERAL SITE NOTES:**

- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS, SPECIFICATIONS, AND REFERENCED DOCUMENTS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS AND DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS, SPECIFICATIONS AND REFERENCED DOCUMENTS IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
2. LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVEGROUND INSPECTION AND MARK OUT OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL AND VERTICAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED, PURSUANT TO REQUIREMENTS OF THE PENNSYLVANIA LEGISLATIVE ACT NUMBER 287 OF 1974, AS AMENDED BY ACT 121 OF 2008, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. PA LAW REQUIRES THREE WORKING DAYS NOTICE FOR CONSTRUCTION PHASE, CALL THE PA ONE CALL SYSTEM AT 1-800-242-1776. SERIAL NO. 2025189056 WAS PLACED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE PA ONE CALL SYSTEM BEFORE BEGINNING ANY EXCAVATION WORK.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
4. THIS PLAN SHALL NOT BE USED FOR BUILDING STAKEOUT PURPOSES. PROPOSED BUILDING LOCATION AS DEPICTED IS WITHIN ACCEPTABLE TOLERANCES FOR SITE WORK ONLY. PLEASE REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR EXACT BUILDING PLACEMENT.
5. THE BUILDING FOOTPRINTS DEPICTED HEREON HAVE BEEN TRANSPPOSED FROM ARCHITECTURAL PLANS. FINAL BUILDING DIMENSIONS MAY VARY BUT SHALL ULTIMATELY CONFORM TO ALL APPLICABLE ZONING SETBACKS, IMPERVIOUS SURFACE COVERAGE RATIOS, ETC. UNLESS OTHERWISE NOTED. FINAL BUILDING FOOTPRINTS WHICH SUBSTANTIALLY VARY FROM THE FOOTPRINTS HEREON SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO REQUESTING A BUILDING PERMIT.
6. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH PENNDOT SPECIFICATION "PUBLICATION FORM 408", LATEST EDITION AND WITH THE BOROUGH STANDARDS WHERE APPLICABLE. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH BOROUGH STANDARDS AND SPECIFICATIONS.
7. THE PROPOSED BUILDING SHALL BE SERVICED BY PUBLIC WATER AND AN ON-LOT SEPTIC SYSTEM.
8. ALL BOROUGH PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
9. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS AND COMPLETE ALL WORK INDICATED OR IMPLIED ON THE PROJECT PLANS AND/OR SPECIFICATIONS THAT ARE NOT EXISTING ON THE PROJECT SITE AND THAT ARE NOT SPECIFICALLY NOTED AS "FUTURE" OR "NOT IN CONTRACT (NIC)", "BY OTHERS", OR "BY OTHER CONTRACTORS".
10. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IN WRITING IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER EXISTING SITE FEATURES.
11. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATION, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
12. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
14. THE CONTRACTOR IS TO EXERCISE CARE WHEN PERFORMING WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES AND FACILITIES THAT ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT TO REMAIN, AND PROVIDE A SAFE WORK AREA.
15. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO EXISTING ITEMS DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALK, ETC AS A RESULT OF THEIR WORK. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO PROVIDE DOCUMENTATION OF THE CONDITION OF EXISTING ITEMS TO THE OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO CONSTRUCTION START.
16. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS AND REFERENCE DOCUMENTS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
17. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD IN WRITING WHEN A CONFLICT IS IDENTIFIED.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF TRAFFIC AND JOB SAFETY.
19. ALL UTILITIES DAMAGED OR DESTROYED SHALL BE BROUGHT TO THE ATTENTION OF THE SPECIFIC UTILITY. ALL COST INCURRED TO FIX OR REPLACE THE UTILITY SHALL BE BORNE BY THE CONTRACTOR.
20. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR IN THE FIELD.
21. THE CONTRACTOR SHALL MAINTAIN INGRESS AND EGRESS AT ALL TIMES TO THE JOB SITE.
22. THE PLAN IS SUBJECT TO ANY AND ALL RIGHTS-OF-WAY, EASEMENTS AND COVENANTS OF RECORD.
23. IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT USE SCALED DIMENSIONS FOR CONSTRUCTION WITHOUT CONFIRMATION BY DESIGN ENGINEER. THE DESIGN ENGINEER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
24. ANY EXCESS EXCAVATION AT THE END OF THE JOB SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER AT NO ADDITIONAL COST TO THE OWNER.

LEGEND table with columns: EXISTING, DESCRIPTION, PROPOSED. Includes symbols for contours, property lines, right-of-way, setback lines, inlets, storm pipes, utility poles, electric lines, gas lines, cleanouts, water services, valves, hydrants, guidrails, chainlink fences, buildings, tree lines, soil lines, silt socks, slope protection, inlet protection, and limit of disturbance.

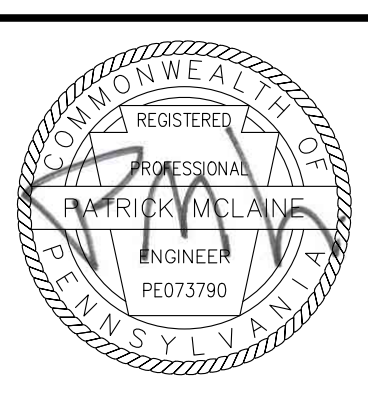
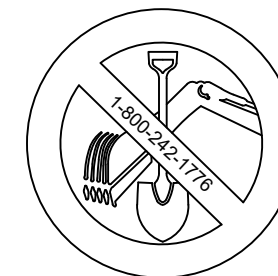


Table with columns: DATE, SUBMITTAL, and rows for revision dates: 8/11/2025, 9/15/2025, 9/29/2025, 12/12/2025.

JESSUP STEEL SUPPLY LOT 14C VALLEY VIEW BUSINESS PARK JESSUP BOROUGH, LACKAWANNA COUNTY, PA GENERAL NOTES & LEGEND

**UTILITY CONTACT LIST**

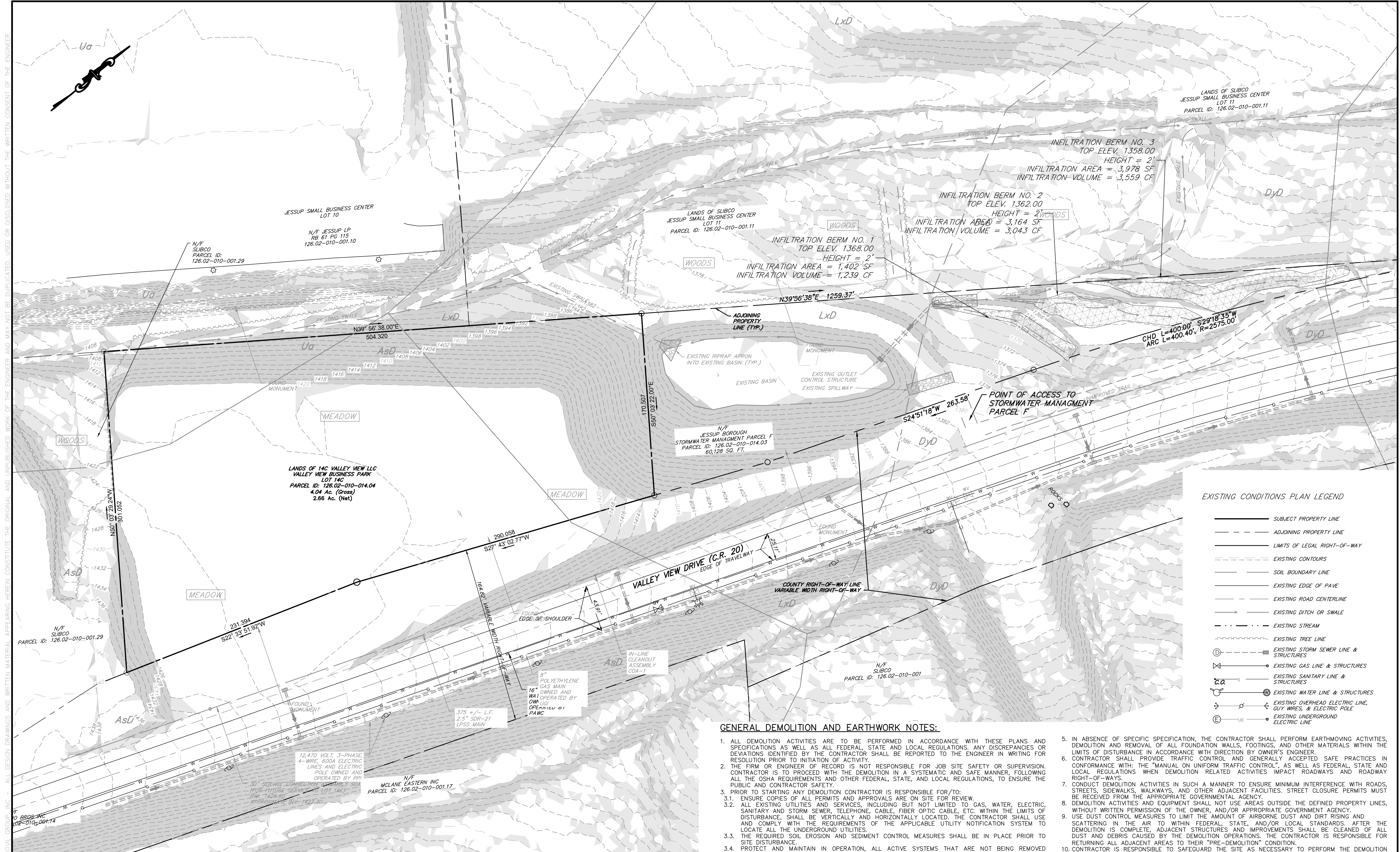
- COMPANY: UGI UTILITIES INC, 1 UGI DR, WILKES BARRE, PA. 18711, CONTACT: AMANDA NIXON, EMAIL: anixon@ugi.com, PHONE: 570-829-8874
COMPANY: JESSUP BOROUGH OF, 395 LANE ST, JESSUP, PA. 18434, CONTACT: THOMAS WASCURA, EMAIL: twascura@jessupborough.org, PHONE: 570-489-0411
COMPANY: PENNSYLVANIA AMERICAN WATER, 2699 STAFFORD AVE, SCRANTON, PA. 18505, CONTACT: LISA ABDO, EMAIL: LISABDO@AMWATER.COM, PHONE: 570-969-7501


PENNSYLVANIA ONE CALL SYSTEM, INC. DIAL 8-1-1 BEFORE YOU DIG. PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL 1-800-242-1776. PAISystem Inc. SERIAL # 20251890596

Table with columns: PROJECT NO. (5069.00925), DATE ISSUED (07/21/2025), DRAWN BY (DSS), CHECKED BY (PM), SCALE (AS NOTED), SHEET (2 OF 16).

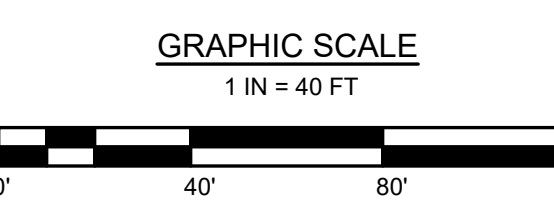
SHEET NO. C0.2

© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



**SOIL DESCRIPTIONS:**  
 AsD - ARNOT-ROCK OUTCROP COMPLEX, 8 TO 25 PERCENT SLOPES  
 LxD - LORDSTOWN CHANNERY SILT LOAM, 8 TO 25 PERCENT SLOPES  
 Ua - UDORTHEM'S STRIP MINE

**RECEIVING WATERSHED AND CHAPTER 93 DESIGNATION**  
 WATERSHED: GRASSY ISLAND CREEK | HIGH QUALITY - COLD WATER FISHES (HQ-CWF)



SLOPE TABLE				
NUMBER	MIN. SLOPE	MAX. SLOPE	COLOR	AREA (AC.)
1	15.00%	25.00%		17.8
2	25.00%	100.00%		32.6

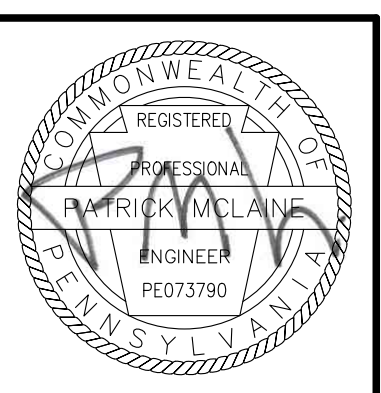
**EXISTING CONDITIONS PLAN LEGEND**

	SUBJECT PROPERTY LINE
	ADJOINING PROPERTY LINE
	LIMITS OF LEGAL RIGHT-OF-WAY
	EXISTING CONTOURS
	SOIL BOUNDARY LINE
	EXISTING EDGE OF PAVE
	EXISTING ROAD CENTERLINE
	EXISTING DITCH OR SWALE
	EXISTING STREAM
	EXISTING TREE LINE
	EXISTING STORM SEWER LINE & STRUCTURES
	EXISTING GAS LINE & STRUCTURES
	EXISTING SANITARY LINE & STRUCTURES
	EXISTING WATER LINE & STRUCTURES
	EXISTING OVERHEAD ELECTRIC LINE, CUY WRES, & ELECTRIC POLE
	EXISTING UNDERGROUND ELECTRIC LINE

**GENERAL DEMOLITION AND EARTHWORK NOTES:**

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS IDENTIFIED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF ACTIVITY.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS AND OTHER FEDERAL, STATE, AND LOCAL REGULATIONS, TO ENSURE THE PUBLIC AND CONTRACTOR SAFETY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
  - ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
  - LOCATE ALL THE UNDERGROUND UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
  - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING DEMOLITION ACTIVITIES. THERE SHALL BE NO DISRUPTION TO EXISTING UTILITIES DURING CONSTRUCTION.
  - FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND RELOCATION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATE WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT OF THE AFFECTED PARTIES.
  - A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE MEANS AND METHODS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES AND ANY OTHER IMPROVEMENTS TO REMAIN ON OR OFF SITE.
- IN ABSENCE OF SPECIFIC SPECIFICATION, THE CONTRACTOR SHALL PERFORM EARTHMOVING ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S ENGINEER.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND ROADWAY RIGHT-OF-WAYS.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIR SHALL RESTORE THE ITEM TO PRE-DEMOLITION CONDITION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNUSABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
- THE CONTRACTOR SHALL COORDINATE SERVICE SHUTOFF AND DISCONNECT/REMOVAL PROCEDURES WITH EACH RESPECTIVE UTILITY COMPANY FOR THE EXISTING UTILITIES SHOWN TO BE REMOVED.
- THE DEMOLITION PLAN IS NOT INTENDED TO SHOW EROSION CONTROL MEASURES. FOR SUCH GUIDELINES AND DETAILS, SEE THE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.

© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

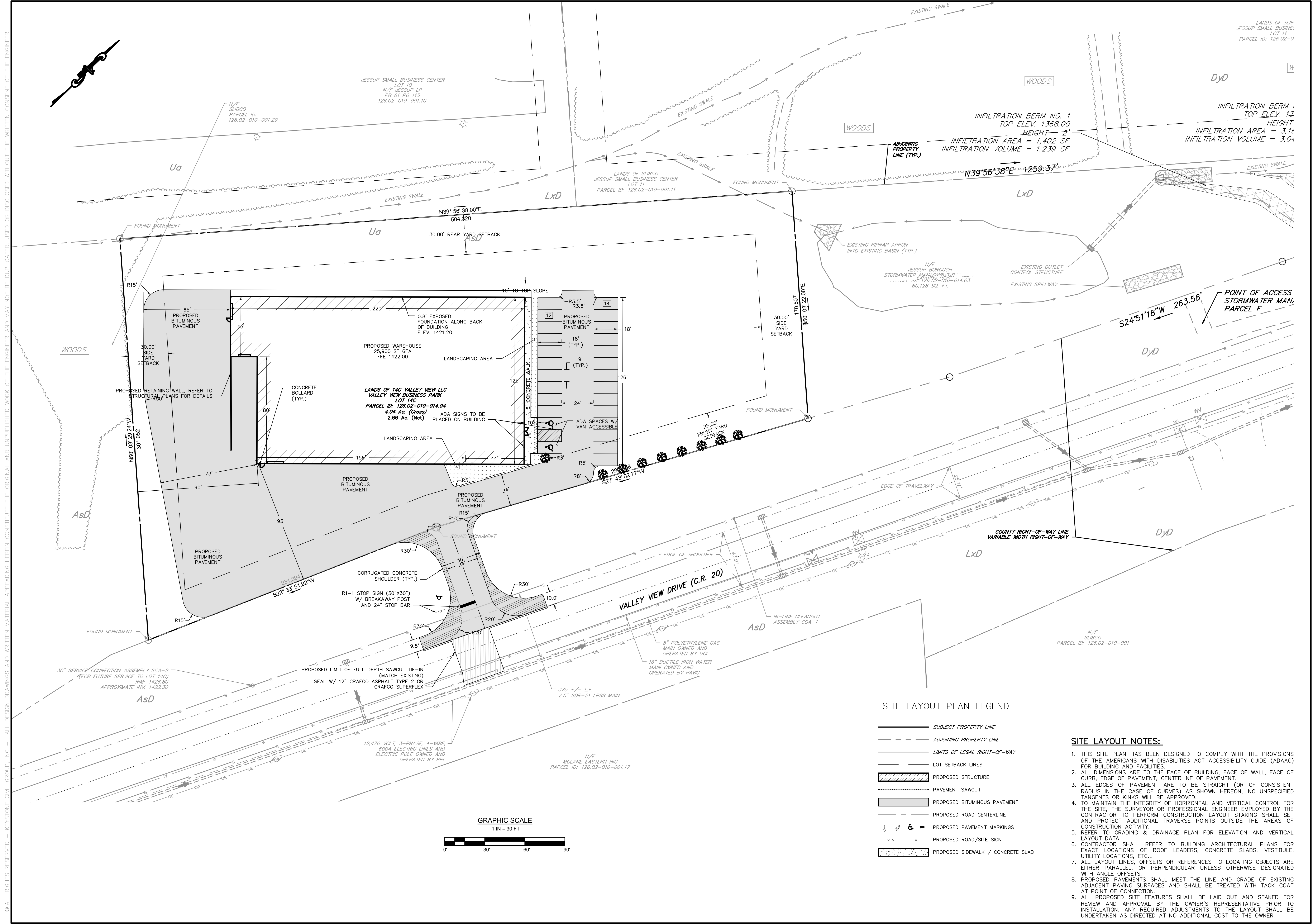


NO.	SUBMITTAL DESCRIPTION	DATE:
1	REVISED PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISED PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/2/2025	9/15/2025
3	REVISED PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISED PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

**JESSUP STEEL SUPPLY**  
**LOT 14C VALLEY VIEW BUSINESS PARK**  
**JESSUP BOROUGH, LACKAWANNA COUNTY, PA**  
**EXISTING CONDITIONS PLAN**

PROJECT NO: 5069.00925  
 DATE ISSUED: 07/21/2025  
 DRAWN BY: DSS  
 CHECKED BY: PM  
 SCALE: AS NOTED  
 SHEET 3 OF 16

**C1.1**



LANDS OF SLIB  
JESSUP SMALL BUSINESS  
LOT 11  
PARCEL ID: 126.02-0

JESSUP SMALL BUSINESS CENTER  
LOT 10  
N/F JESSUP LP  
RB 61 PG 115  
126.02-010-001.10

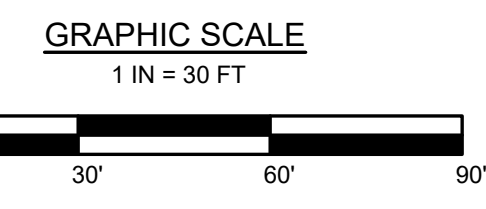
LANDS OF SLIBCO  
JESSUP SMALL BUSINESS CENTER  
LOT 11  
PARCEL ID: 126.02-010-001.11

LANDS OF 14C VALLEY VIEW LLC  
VALLEY VIEW BUSINESS PARK  
LOT 14C  
PARCEL ID: 126.02-010-014.04  
4.04 Ac. (Gross)  
2.66 Ac. (Net)

N/F JESSUP BOROUGH  
STORMWATER HANDLING BASIN  
LOT 11  
PARCEL ID: 126.02-010-014.03  
60,128 SQ. FT.

N/F SLIBCO  
PARCEL ID: 126.02-010-001

N/F MCLANE EASTERN INC.  
PARCEL ID: 126.02-010-001.17



SITE LAYOUT PLAN LEGEND

- SUBJECT PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- LIMITS OF LEGAL RIGHT-OF-WAY
- LOT SETBACK LINES
- ▨ PROPOSED STRUCTURE
- ▨ PROPOSED PAVEMENT SAWCUT
- ▨ PROPOSED BITUMINOUS PAVEMENT
- PROPOSED ROAD CENTERLINE
- ⬇️ ⬆️ ⬇️ PROPOSED PAVEMENT MARKINGS
- ⬇️ ⬆️ PROPOSED ROAD/SITE SIGN
- ▨ PROPOSED SIDEWALK / CONCRETE SLAB

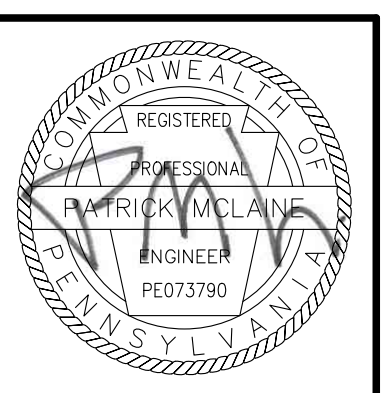
SITE LAYOUT NOTES:

1. THIS SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDE (ADAAG) FOR BUILDING AND FACILITIES.
2. ALL DIMENSIONS ARE TO THE FACE OF BUILDING, FACE OF WALL, FACE OF CURB, EDGE OF PAVEMENT, CENTERLINE OF PAVEMENT.
3. ALL EDGES OF PAVEMENT ARE TO BE STRAIGHT (OR OF CONSISTENT RADIUS IN THE CASE OF CURVES) AS SHOWN HEREON; NO UNSPECIFIED TANGENTS OR KINKS WILL BE APPROVED.
4. TO MAINTAIN THE INTEGRITY OF HORIZONTAL AND VERTICAL CONTROL FOR THE SITE, THE SURVEYOR OR PROFESSIONAL ENGINEER EMPLOYED BY THE CONTRACTOR TO PERFORM CONSTRUCTION LAYOUT STAKING SHALL SET AND PROTECT ADDITIONAL TRAVERSE POINTS OUTSIDE THE AREAS OF CONSTRUCTION ACTIVITY.
5. REFER TO GRADING & DRAINAGE PLAN FOR ELEVATION AND VERTICAL LAYOUT DATA.
6. CONTRACTOR SHALL REFER TO BUILDING ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ROOF LEADERS, CONCRETE SLABS, VESTIBULE, UTILITY LOCATIONS, ETC...
7. ALL LAYOUT LINES, OFFSETS OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL, OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSETS.
8. PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVING SURFACES AND SHALL BE TREATED WITH TACK COAT AT POINT OF CONNECTION.
9. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS DIRECTED AT NO ADDITIONAL COST TO THE OWNER.

© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

**CIVIL STRUCTURAL ENGINEERS**

KEYSTONE CIVIL GROUP, INC.  
711 DAVIS ST.  
SCARLETON, PA 18605  
TEL: (717) 670-6669  
WWW.KSJEENGINEERS.COM



NO.	SUBMITTAL DESCRIPTION	DATE
1	REVISED PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISED PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/2/2025	9/15/2025
3	REVISED PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISED PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

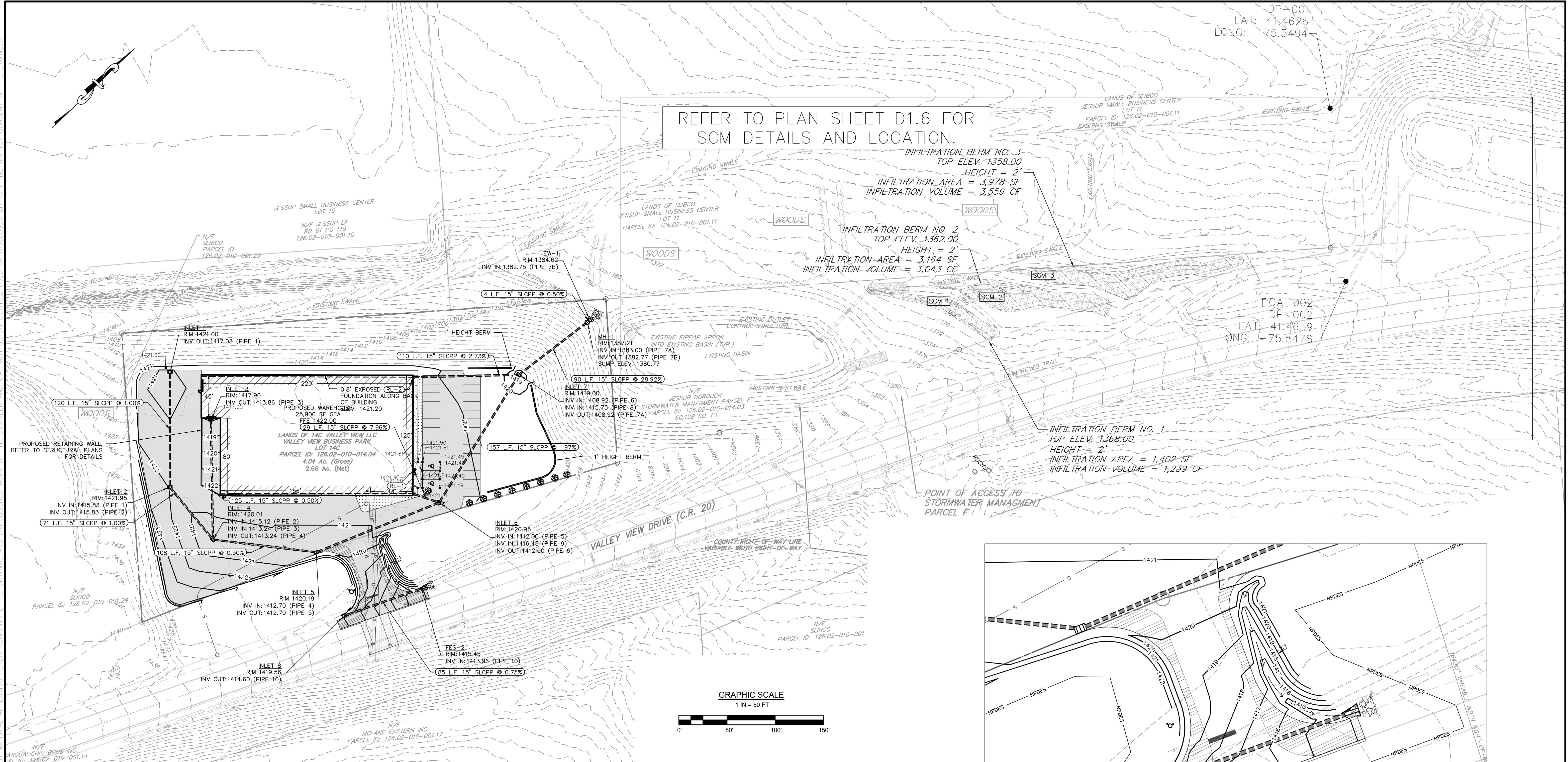
**JESSUP STEEL SUPPLY**  
**LOT 14C VALLEY VIEW BUSINESS PARK**  
**JESSUP BOROUGH, LACKAWANNA COUNTY, PA**

**SITE LAYOUT PLAN**

PROJECT NO:	5069.00925
DATE ISSUED:	07/21/2025
DRAWN BY:	DSS
CHECKED BY:	PM
SCALE:	AS SHOWN
SHEET NO.	SHEET 4 OF 16

**C2.1**

© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



DP-001  
LAT: 41.4626  
LONG: -75.5494

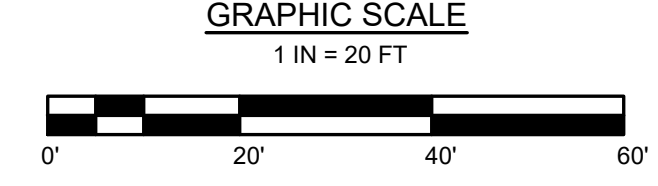
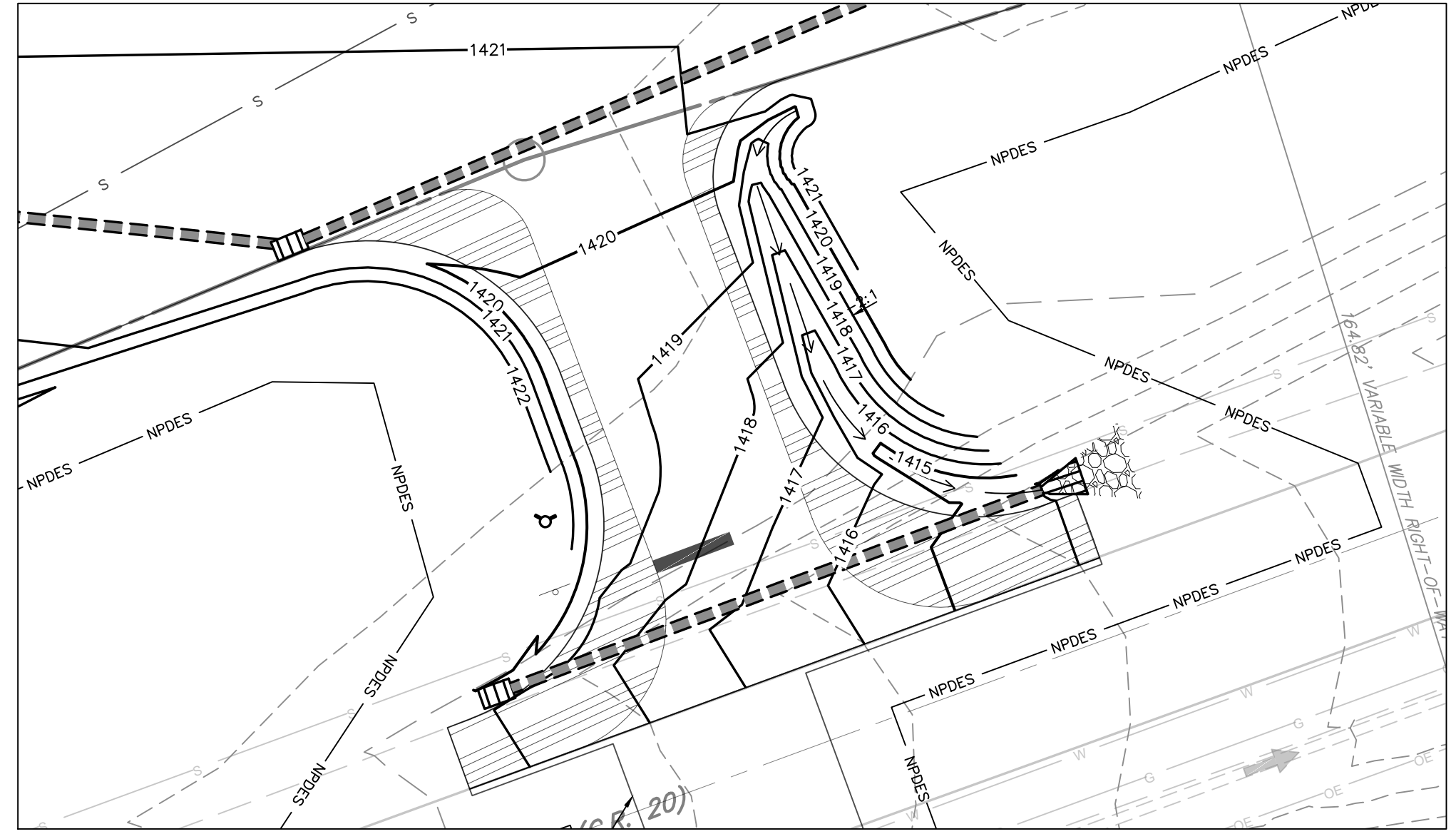
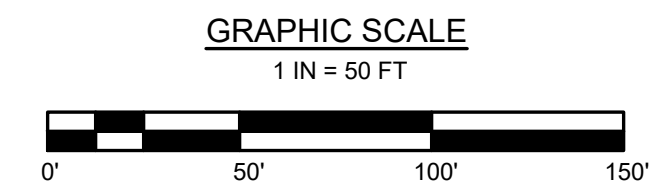
POA-002  
DP-002  
LAT: 41.4639  
LONG: -75.5478

REFER TO PLAN SHEET D1.6 FOR  
SCM DETAILS AND LOCATION.

INFILTRATION BERM NO. 3  
TOP ELEV. 1358.00  
HEIGHT = 2'  
INFILTRATION AREA = 3,978 SF  
INFILTRATION VOLUME = 3,559 CF

INFILTRATION BERM NO. 2  
TOP ELEV. 1362.00  
HEIGHT = 2'  
INFILTRATION AREA = 3,164 SF  
INFILTRATION VOLUME = 3,043 CF

INFILTRATION BERM NO. 1  
TOP ELEV. 1368.00  
HEIGHT = 2'  
INFILTRATION AREA = 1,402 SF  
INFILTRATION VOLUME = 1,239 CF



- GRADING NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BOROUGH AND PENNDOT PUBLICATION 408, LATEST EDITION.
  - STORM SEWER PIPES SHALL ENTER THE SIDES OF THE INLET BOXES AND SHALL NOT ENCRUCH INTO BOX CORNERS. MODIFIED (EXPANDED) INLET BOXES SHALL BE USED WHERE NECESSARY.
  - THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHOULD NOT BE LESS THAN 1%.
  - PAVEMENT SHALL BE SAWCUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
  - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE/RECORD PLAN WILL SUPERSEDE IN ALL CASES. THE ENGINEER OF RECORD MUST BE IMMEDIATELY NOTIFIED IN WRITING OF ANY CONFLICTS.
  - THE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS (INCLUDING PADEP, ETC) FOR ALL OFFSITE HAUL AND/OR BORROW SITES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
  - EXISTING INLETS AND STORM SEWER SHOWN FILLED WITH DEBRIS SHALL BE CLEANED AND FLUSHED. NEW INLETS AND PIPES SHALL BE CHECKED FOR SILT/DEBRIS AFTER CONSTRUCTION AND FLUSHED/CLEANED IF NECESSARY.
  - ALL STORMWATER FACILITIES AND CONSTRUCTION PROCEDURES SHALL CONFORM TO THE PENNDOT STANDARDS AND MANUFACTURER SPECIFICATIONS WHEN APPLICABLE.
  - DEPTHS OF EXISTING UTILITIES IN PORTIONS OF THE SITE ARE UNKNOWN. WHERE EXISTING UTILITIES ARE TO REMAIN AND ARE FOUND TO HAVE INADEQUATE COVER AFTER FINAL PROPOSED GRADES HAVE BEEN ESTABLISHED, THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND PRIOR TO FURTHER CONSTRUCTION ACTIVITIES IN THE AREA OF SAID CONFLICT.
  - ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 287. LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THE DRAWINGS HAVE BEEN DEVELOPED FROM INFORMATION MADE AVAILABLE. COMPLETENESS AND ACCURACY OF LOCATION AND DEPTH OF UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR IS TO VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES BEFORE THE START OF WORK. UTILIZE HAND EXCAVATION AS REQUIRED. WORK IS ALSO TO BE DONE IN ACCORDANCE WITH THE UTILITY COMPANIES WHOSE FACILITIES ARE IN THE PROXIMITY OF THE WORK. OTHER UTILITIES MAY BE REQUIREMENTS OF PENNSYLVANIA ACT 38 (1991). THE CONTRACTOR SHALL CONTRACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 DAYS PRIOR TO EXCAVATION.
  - CONTRACTORS SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
  - CONTRACTORS SHALL VERIFY ALL DIMENSIONS, INVERTS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. VARIATIONS BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY, PROCEDURES, MEANS AND METHODS, SEQUENCING, AND COORDINATION.
  - ALL WORK SHALL BE PERFORMED BY QUALIFIED, EXPERIENCED PERSONNEL.
  - CONTRACTOR SHALL NOTIFY THE OWNER OF PREEXISTING CONDITIONS OF DETEIORATION IN AREAS OF WORK THAT ARE UNCOVERED OR EXPOSED DURING THE WORK.
  - FIELD CHANGES REQUIRE PRIOR ENGINEERING REVIEW AND WRITTEN CONFIRMATION.
  - CONTRACTOR SHALL PROVIDE LAYOUT, LINE AND GRADE UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL PROVIDE TEMPORARY DEWATERING OF EXCAVATIONS THROUGHOUT THE DURATION OF CONTRACT AT NO ADDITIONAL COST.
  - REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THEN BEST SUBGRADE MATERIAL ONSITE. SURFACE OF SUBGRADE AFTER COMPACT ON SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS SECTION.
  - CONTRACTOR TO PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING DUMP TRUCKS AND CONCRETE TRUCKS.
  - REFER TO THE SITE LAYOUT/RECORD PLAN FOR ADDITIONAL NOTES.

- PLACEMENT OF FILL NOTES:**
- BACKFILLING TO THE SUBGRADE ELEVATION, SHALL BE DONE IN LAYERS OF SIX (6) TO EIGHT (8) INCHES AND EACH LAYER SHALL BE THOROUGHLY TAMPED BY AN APPROVED MECHANICAL TAMPER TO A MINIMUM DENSITY OF 95% AT OPTIMUM MOISTURE AS DETERMINED BY ASTM D-698 OR AASHTO T-99 WITH SUITABLE BACKFILL MATERIAL. BACKFILLING OR TAMPING WITH TRENCHING MACHINES IS PROHIBITED.
  - THE FILL MATERIAL SHALL CONTAIN THE PROPER MOISTURE CONTENT TO OBTAIN THE REQUIRED COMPACTION. WETTING OR DRYING OF THE MATERIAL OR ANY OTHER MANIPULATION SHALL BE REQUIRED TO SECURE UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER. IF THE MATERIAL IS TOO WET TO PERMIT PROPER COMPACTION, ALL WORK ON PORTIONS THUS AFFECTED SHALL BE DELAYED UNTIL THE WET MATERIAL HAS EITHER DRIED TO THE MOISTURE CONTENT OR HAS BEEN REMOVED. A LAYER OF FILL SHALL NOT BE ADDED UNTIL THE PREVIOUS LAYER HAS ATTAINED THE REQUIRED PERCENT COMPACTION.
  - SUITABLE BACKFILL MATERIAL IS MATERIAL CONTAINING NO DEBRIS, ORGANIC MATTER, FROZEN MATERIAL OR LARGE ROCKS OR STONES WITH A DIAMETER OF GREATER THAN ONE-HALF THE THICKNESS OF THE COMPACTED LAYERS BEING PLACED. IN ADDITION, BACKFILL MATERIAL SHALL NOT CONTAIN VEGETATION, MASSES OF ROOTS, INDIVIDUAL ROOTS, CINDERS, ASHES, REFUSE, BOULDERS AND ANY OTHER MATERIAL WHICH IN THE OPINION OF THE ENGINEER, IS UNSUITABLE.

- MINIMIZE TOTAL DISTURBED AREA-GRADING:**
- THE SITE CONFIGURATION WAS DONE TO PROVIDE A TIGHT LIMIT OF DISTURBANCE TO REDUCE THE FOOTPRINT OF EXISTING VEGETATION REMOVAL AND ADDITIONAL SITE GRADING. TO MAINTAIN THIS STATUS THE FOLLOWING REQUIREMENTS MUST BE MAINTAINED:
- AREA SHALL NOT BE SUBJECT TO GRADING OR MOVEMENT OF EXISTING SOILS.
  - EXISTING NATIVE VEGETATION IN A HEALTHY CONDITION MAY NOT BE REMOVED.
  - INVASIVE NON-NATIVE VEGETATION MAY BE REMOVED.
  - PRUNING OR OTHER REQUIRED MAINTENANCE OF VEGETATION IS PERMITTED. ADDITIONAL PLANTING IS PERMITTED.
  - AREA SHALL BE PROTECTED BY HAVING THE LIMITS OF DISTURBANCE CLEARLY SHOWN ON ALL CONSTRUCTION DRAWINGS AND DELINEATED IN THE FIELD.

**TOTAL DISTURBED AREA = 2.24 ACRES**

**TOTAL NPDES BOUNDARY = 2.94 ACRES**

**RECEIVING WATERSHED AND CHAPTER 93 DESIGNATION**

GRASSY ISLAND CREEK  
HIGH QUALITY - COLD WATER FISHES (HQ-CWF)

**STORMWATER EASEMENT**

DEVELOPER HEREBY GRANTS AND CONVEYS TO JESSUP BOROUGH OR OTHER APPROPRIATE GOVERNMENT AUTHORITY HAVING JURISDICTION FOR WATERSHED PROTECTION, A NON-EXCLUSIVE BLANKET EASEMENT OVER AND UPON THOSE PORTIONS OF THE PROPERTY NECESSARY TO COMPLETE THE CONSTRUCTION OF, INSPECT, OR TO MAINTAIN, THE STORMWATER CONTROL STRUCTURE IN THE EVENT THE DEVELOPER FOR ANY REASON FAILS TO COMPLETE OR MAINTAIN THE STORMWATER CONTROL STRUCTURE AS REQUIRED HEREUNDER. THIS EASEMENT SHALL EXPIRE UPON THE REMOVAL OF THE STORMWATER CONTROL STRUCTURE IN ACCORDANCE WITH APPLICABLE LAW, THE PERMIT AND APPROVED PLANS AND THE INSPECTION AND APPROVAL OF THE SAME BY THE STORMWATER ADMINISTRATOR, TO HAVE AND TO HOLD THE FOREGOING RIGHTS AND EASEMENTS UNTO JESSUP BOROUGH OR OTHER APPROPRIATE GOVERNMENTAL AUTHORITY HAVING JURISDICTION FOR WATERSHED PROTECTION, SAID EASEMENT TO RUN WITH THE PROPERTY AND BIND THE DEVELOPER, ITS SUCCESSORS AND ASSIGNS.

**GRADING & PCSM PLAN LEGEND**

- SUBJECT PROPERTY LINE
- ADJOINING PROPERTY LINE
- LIMITS OF LEGAL RIGHT-OF-WAY
- EXISTING CONTOURS
- SOIL BOUNDARY LINE
- PROPOSED CONTOURS
- PROPOSED STORM SEWER & STRUCTURES
- PROPOSED RIPRAP APRON

**CIVIL STRUCTURAL ENGINEERS**

KEYSTONE CIVIL GROUP, INC.  
711 DAVIS ST.  
SCARLETON, PA 18605  
WWW.KSPENGINEERS.COM



NO.	SUBMITTAL DESCRIPTION	DATE:
1	REVISED PER LCDD ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISED PER LCDD ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/2/2025	9/5/2025
3	REVISED PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISED PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

**JESSUP STEEL SUPPLY**  
**LOT 14C VALLEY VIEW BUSINESS PARK**  
**JESSUP BOROUGH, LACKAWANNA COUNTY, PA**

**GRADING & PCSM PLAN**

PROJECT NO:  
**5069.00925**

DATE ISSUED:  
**07/21/2025**

DRAWN BY:  
**DSS**

CHECKED BY:  
**PM**

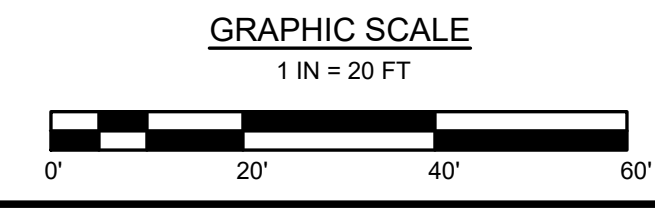
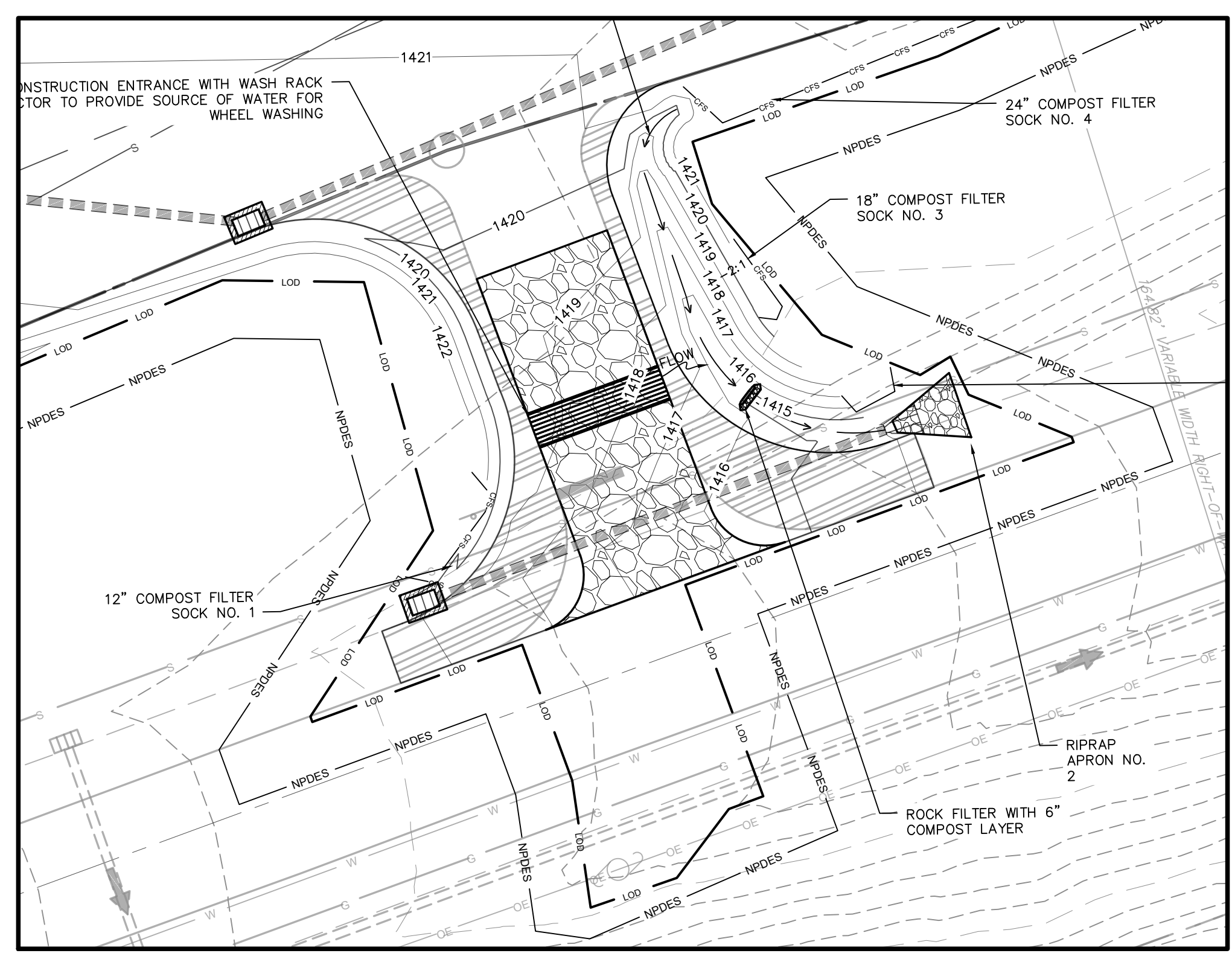
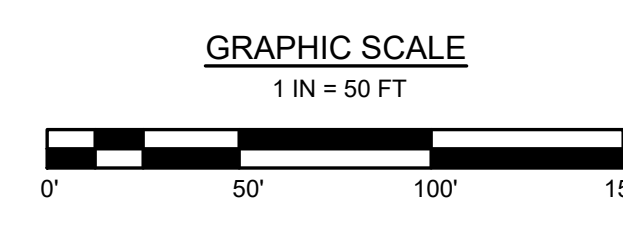
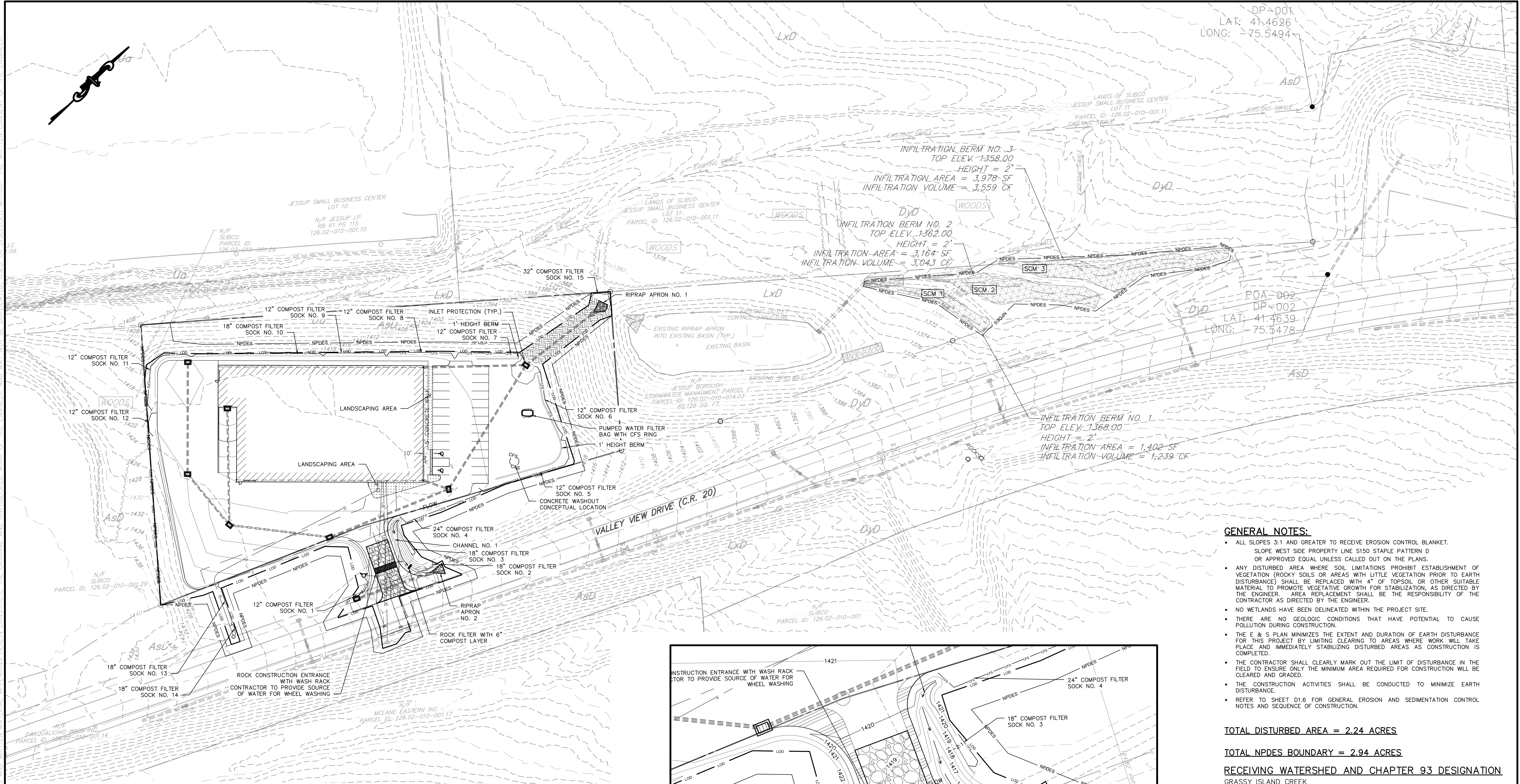
SCALE:  
**AS NOTED**

SHEET 5 OF 16

**C3.1**

© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

DP-001  
LAT: 41.4626  
LONG: -75.5494



POA-002  
DP-002  
LAT: 41.4639  
LONG: -75.5478

**GENERAL NOTES:**

- ALL SLOPES 3:1 AND GREATER TO RECEIVE EROSION CONTROL BLANKET. SLOPE WEST SIDE PROPERTY LINE S150 STAPLE PATTERN D OR APPROVED EQUAL UNLESS CALLED OUT ON THE PLANS.
- ANY DISTURBED AREA WHERE SOIL LIMITATIONS PROHIBIT ESTABLISHMENT OF VEGETATION (ROCKY SOILS OR AREAS WITH LITTLE VEGETATION PRIOR TO EARTH DISTURBANCE) SHALL BE REPLACED WITH 4" OF TOPSOIL OR OTHER SUITABLE MATERIAL TO PROMOTE VEGETATIVE GROWTH FOR STABILIZATION, AS DIRECTED BY THE ENGINEER. AREA REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
- NO WETLANDS HAVE BEEN DELINEATED WITHIN THE PROJECT SITE.
- THERE ARE NO GEOLOGIC CONDITIONS THAT HAVE POTENTIAL TO CAUSE POLLUTION DURING CONSTRUCTION.
- THE E & S PLAN MINIMIZES THE EXTENT AND DURATION OF EARTH DISTURBANCE FOR THIS PROJECT BY LIMITING CLEARING TO AREAS WHERE WORK WILL TAKE PLACE AND IMMEDIATELY STABILIZING DISTURBED AREAS AS CONSTRUCTION IS COMPLETED.
- THE CONTRACTOR SHALL CLEARLY MARK OUT THE LIMIT OF DISTURBANCE IN THE FIELD TO ENSURE ONLY THE MINIMUM AREA REQUIRED FOR CONSTRUCTION WILL BE CLEARED AND GRADED.
- THE CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED TO MINIMIZE EARTH DISTURBANCE.
- REFER TO SHEET D1.6 FOR GENERAL EROSION AND SEDIMENTATION CONTROL NOTES AND SEQUENCE OF CONSTRUCTION.

**TOTAL DISTURBED AREA = 2.24 ACRES**

**TOTAL NPDES BOUNDARY = 2.94 ACRES**

**RECEIVING WATERSHED AND CHAPTER 93 DESIGNATION**  
GRASSY ISLAND CREEK  
HIGH QUALITY - COLD WATER FISHES (HQ-CWF)

**SOIL DESCRIPTIONS:**

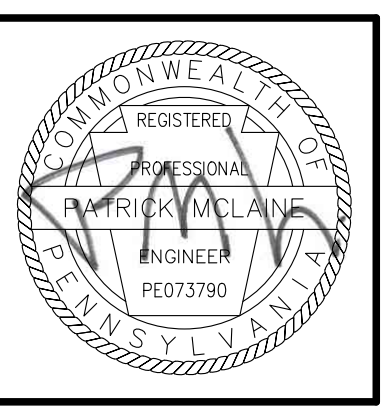
- AsD - ARNOT-ROCK OUTCROP COMPLEX, 8 TO 25 PERCENT SLOPES
- LxD - LORDSTOWN CHANNERY SILT LOAM, 8 TO 25 PERCENT SLOPES
- Ug - UDORTHENTS STRIP MINE

**E&S LEGEND:**

- LIMIT OF DISTURBANCE ——— NPDES/LOD ———
- EXISTING CONTOUR ——— 850 ———
- PROPOSED CONTOUR ——— 850 ———
- INLET PROTECTION [Symbol]
- ROCK CONSTRUCTION ENTRANCE [Symbol]
- COMPOST FILTER SOCK — CFS — CFS — CFS —
- EROSION CONTROL MATTING [Symbol]

**CIVIL STRUCTURAL ENGINEERS**

KEYSTONE CIVIL GROUP, INC.  
711 DAVIS ST.  
SCARLETON, PA 18605  
WWW.KSGENGINEERS.COM



NO.	SUBMITTAL DESCRIPTION	DATE:
1	REVISED PER LCSD ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISED PER LCSD ADMIN INCOMPLETENESS COMMENTS RECEIVED 8/12/2025	9/5/2025
3	REVISED PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISED PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

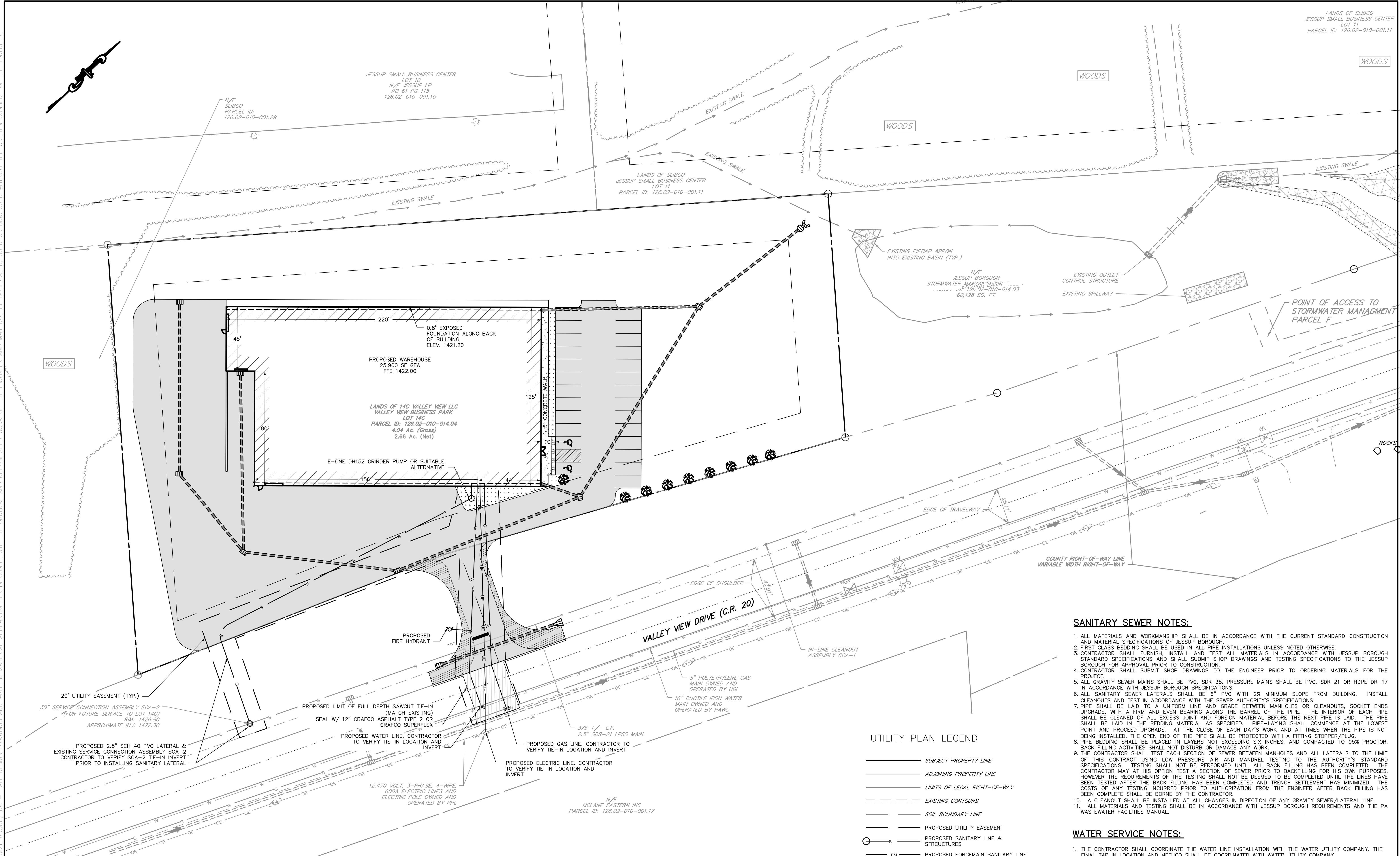
**JESSUP STEEL SUPPLY**  
**LOT 14C VALLEY VIEW BUSINESS PARK**  
**JESSUP BOROUGH, LACKAWANNA COUNTY, PA**

**E&S PLAN**

PROJECT NO.	5069.00925
DATE ISSUED:	07/21/2025
DRAWN BY:	DSS
CHECKED BY:	PM
SCALE:	AS NOTED
SHEET 6 OF 16	

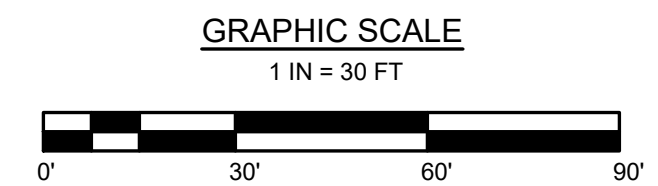
C4.1

© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



**SITE LIGHTING NOTE:**

- ALL EXTERIOR SITE LIGHTING SHALL CONSIST OF BUILDING-MOUNTED FIXTURES ONLY. NO POLE-MOUNTED OR GROUND-MOUNTED SITE LIGHTING IS PLANNED.
- ALL BUILDING MOUNTED FIXTURES WILL ADHERE TO JESSUP BOROUGH ORDINANCE REQUIREMENTS.



**UTILITY PLAN LEGEND**

- SUBJECT PROPERTY LINE
- ADJOINING PROPERTY LINE
- LIMITS OF LEGAL RIGHT-OF-WAY
- - - EXISTING CONTOURS
- SOIL BOUNDARY LINE
- PROPOSED UTILITY EASEMENT
- PROPOSED SANITARY LINE & STRUCTURES
- FM — PROPOSED FORCEMAIN SANITARY LINE
- W — PROPOSED WATER LINE & STRUCTURES
- UE — PROPOSED UNDERGROUND ELECTRIC LINE
- G — PROPOSED GAS LINE

**SANITARY SEWER NOTES:**

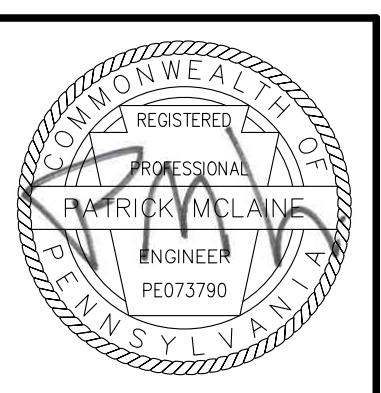
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS OF JESSUP BOROUGH.
- FIRST CLASS BEDDING SHALL BE USED IN ALL PIPE INSTALLATIONS UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FURNISH, INSTALL AND TEST ALL MATERIALS IN ACCORDANCE WITH JESSUP BOROUGH STANDARD SPECIFICATIONS AND SHALL SUBMIT SHOP DRAWINGS AND TESTING SPECIFICATIONS TO THE JESSUP BOROUGH FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER PRIOR TO ORDERING MATERIALS FOR THE PROJECT.
- ALL GRAVITY SEWER MAINS SHALL BE PVC, SDR 35, PRESSURE MAINS SHALL BE PVC, SDR 21 OR HDPE DR-17 IN ACCORDANCE WITH JESSUP BOROUGH SPECIFICATIONS.
- ALL SANITARY SEWER LATERALS SHALL BE 6" PVC WITH 2% MINIMUM SLOPE FROM BUILDING. INSTALL CLEANOUTS AND TEST IN ACCORDANCE WITH THE SEWER AUTHORITY'S SPECIFICATIONS.
- PIPE SHALL BE LAID TO A UNIFORM LINE AND GRADE BETWEEN MANHOLES OR CLEANOUTS, SOCKET ENDS UPGRADABLE WITH A FIRM AND EVEN BEARING ALONG THE BARREL OF THE PIPE. THE INTERIOR OF EACH PIPE SHALL BE CLEANED OF ALL EXCESS JOINT AND FOREIGN MATERIAL BEFORE THE NEXT PIPE IS LAID. THE PIPE SHALL BE LAID IN THE BEDDING MATERIAL AS SPECIFIED. PIPE-LAYING SHALL COMMENCE AT THE LOWEST POINT AND PROCEED UPWARD. AT THE CLOSE OF EACH DAY'S WORK AND AT TIMES WHEN THE PIPE IS NOT BEING INSTALLED, THE OPEN END OF THE PIPE SHALL BE PROTECTED WITH A FITTING STOPPER/PLUG.
- PIPE BEDDING SHALL BE PLACED IN LAYERS NOT EXCEEDING SIX INCHES, AND COMPACTED TO 95% PROCTOR. BACK FILLING ACTIVITIES SHALL NOT DISTURB OR DAMAGE ANY WORK.
- THE CONTRACTOR SHALL TEST EACH SECTION OF SEWER BETWEEN MANHOLES AND ALL LATERALS TO THE LIMIT OF THIS CONTRACT USING LOW PRESSURE AIR AND MANDREL TESTING TO THE AUTHORITY'S STANDARD SPECIFICATIONS. TESTING SHALL NOT BE PERFORMED UNTIL ALL BACK FILLING HAS BEEN COMPLETED. THE CONTRACTOR MAY AT HIS OPTION TEST A SECTION OF SEWER PRIOR TO BACKFILLING FOR HIS OWN PURPOSES, HOWEVER THE REQUIREMENTS OF THE TESTING SHALL NOT BE DEEMED TO BE COMPLETED UNTIL THE LINES HAVE BEEN TESTED AFTER THE BACK FILLING HAS BEEN COMPLETED AND TRENCH SETTLEMENT HAS MINIMIZED. THE COSTS OF ANY TESTING INCURRED PRIOR TO AUTHORIZATION FROM THE ENGINEER AFTER BACK FILLING HAS BEEN COMPLETE SHALL BE BORNE BY THE CONTRACTOR.
- A CLEANOUT SHALL BE INSTALLED AT ALL CHANGES IN DIRECTION OF ANY GRAVITY SEWER/LATERAL LINE.
- ALL MATERIALS AND TESTING SHALL BE IN ACCORDANCE WITH JESSUP BOROUGH REQUIREMENTS AND THE PA WASTEWATER FACILITIES MANUAL.

**WATER SERVICE NOTES:**

- THE CONTRACTOR SHALL COORDINATE THE WATER LINE INSTALLATION WITH THE WATER UTILITY COMPANY. THE FINAL TAP IN LOCATION AND METHOD SHALL BE COORDINATED WITH WATER UTILITY COMPANY.
- ALL WORK RELATING TO THE INSTALLATION OF THE WATER SERVICE LINES SHALL BE PERFORMED IN ACCORDANCE WITH THE UTILITY COMPANY'S CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS FOR THE CONSTRUCTION OF WATER MAINS AND APPURTENANCES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER PRIOR TO ORDERING MATERIALS FOR THE PROJECT.
- THRUST BLOCKING SHALL BE UTILIZED AT ANY CHANGE OF DIRECTION (HORIZONTAL OR VERTICAL), INCLUDING ALL WYES/TEES FOR LATERAL PIPING.
- THE CONTRACTOR SHALL PRESSURE TEST ALL WATER MAINS AND APPURTENANCES IN ACCORDANCE WITH AWWA STANDARDS (LATEST EDITION).
- THE CONTRACTOR SHALL DISINFECT AND FLUSH ALL WATER MAINS AND APPURTENANCES IN ACCORDANCE WITH AWWA STANDARDS (LATEST EDITION).
- ALL MATERIALS AND CONSTRUCTION PRACTICES FOR THE INSTALLATION OF WATER MAINS AND APPURTENANCES SHALL CONFORM TO THE MOST RECENT AWWA STANDARDS AND PADEP PUBLIC WATER SUPPLY STANDARDS.
- ALL WATER MAINS AND SERVICE LATERALS SHALL HAVE A MINIMUM OF 4 FEET OF COVER.
- ALL NEW FIRE HYDRANTS SHALL MEET THE SPECIAL THREAD DIMENSIONS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND APPROVED BY THE FIRE CHIEF.
- PLASTIC SHEETS SHALL BE PLACED BETWEEN CONCRETE AND PIPE/FITTINGS FOR THRUST BLOCKS, VALVES AND HYDRANT ENCASUREMENTS.

**CIVIL STRUCTURAL ENGINEERS**

KEYSTONE CIVIL GROUP, INC.  
711 DAVIS ST.  
SCARLETON, PA 18605  
WWW.KSJEENGINEERS.COM



NO.	SUBMITTAL DESCRIPTION	DATE
1	REVISED PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISED PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/2/2025	9/15/2025
3	REVISED PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISED PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

**JESSUP STEEL SUPPLY**  
**LOT 14C VALLEY VIEW BUSINESS PARK**  
**JESSUP BOROUGH, LACKAWANNA COUNTY, PA**

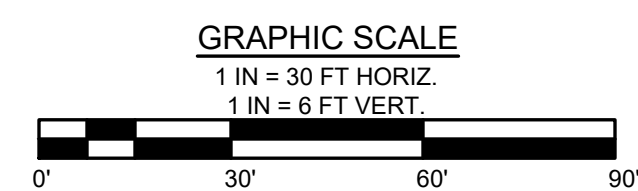
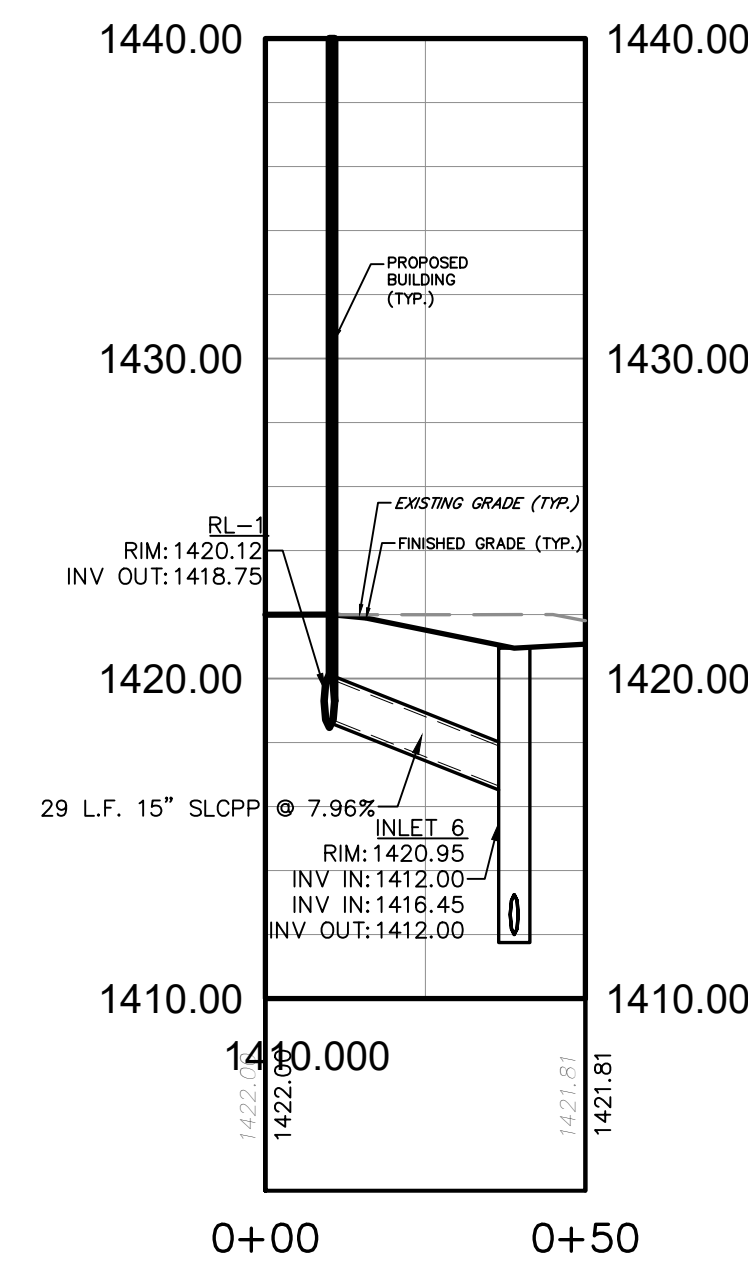
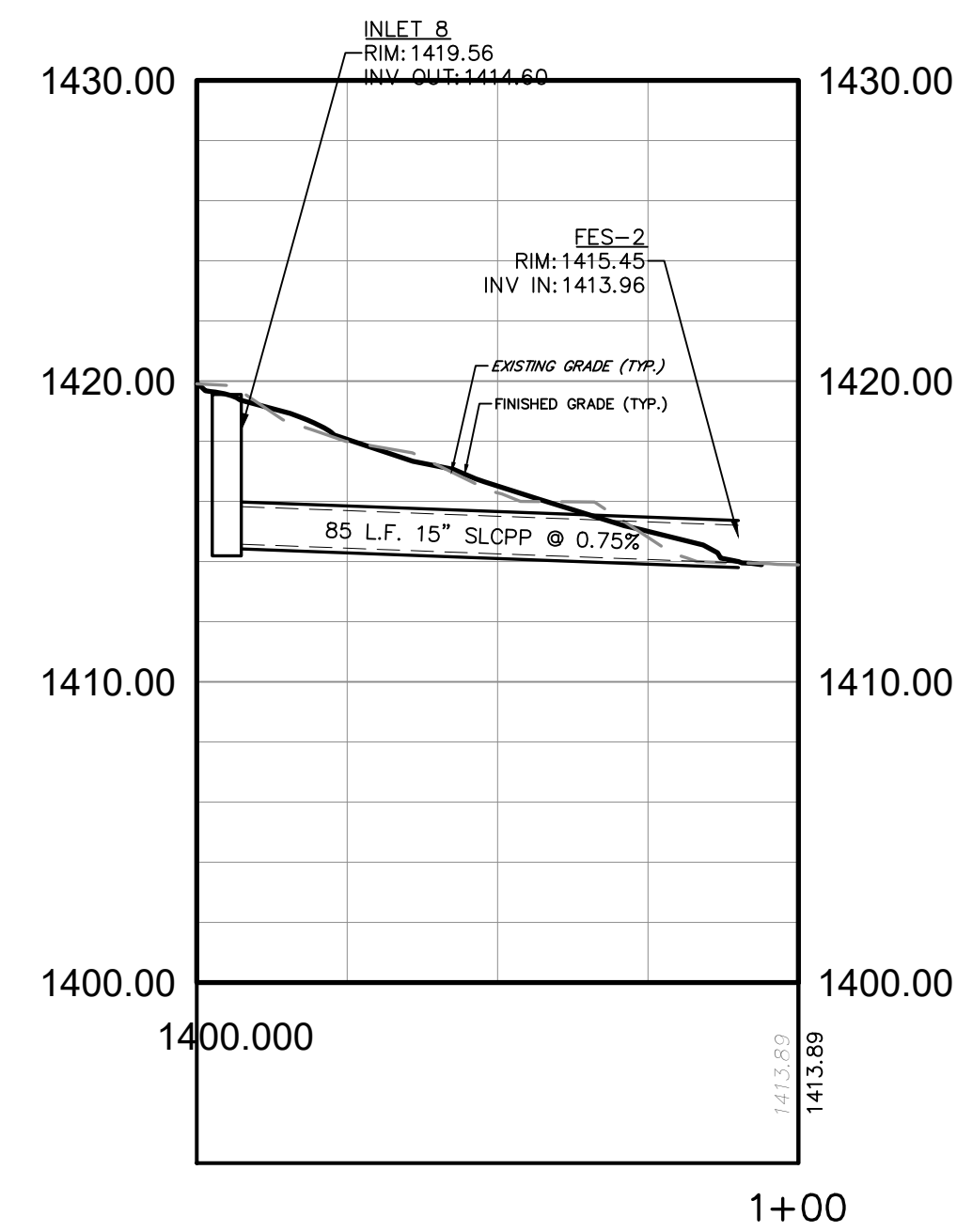
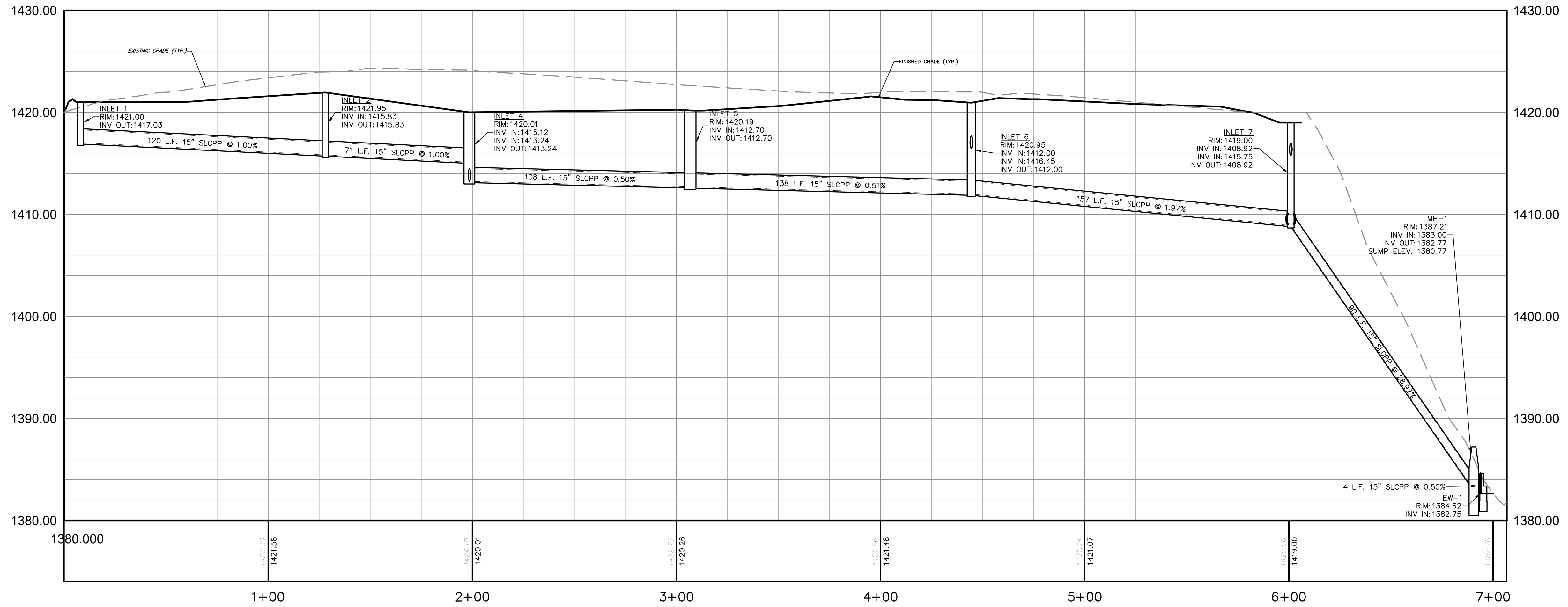
**UTILITY PLAN**

PROJECT NO.	5069.00925
DATE ISSUED:	07/21/2025
DRAWN BY:	DSS
CHECKED BY:	PM
SCALE:	AS NOTED

SHEET 7 OF 16

**C5.1**

© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



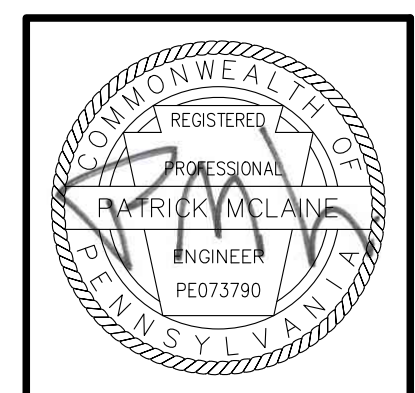
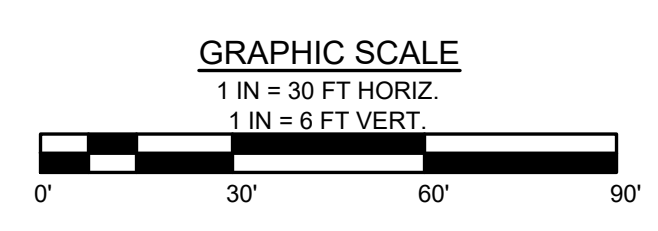
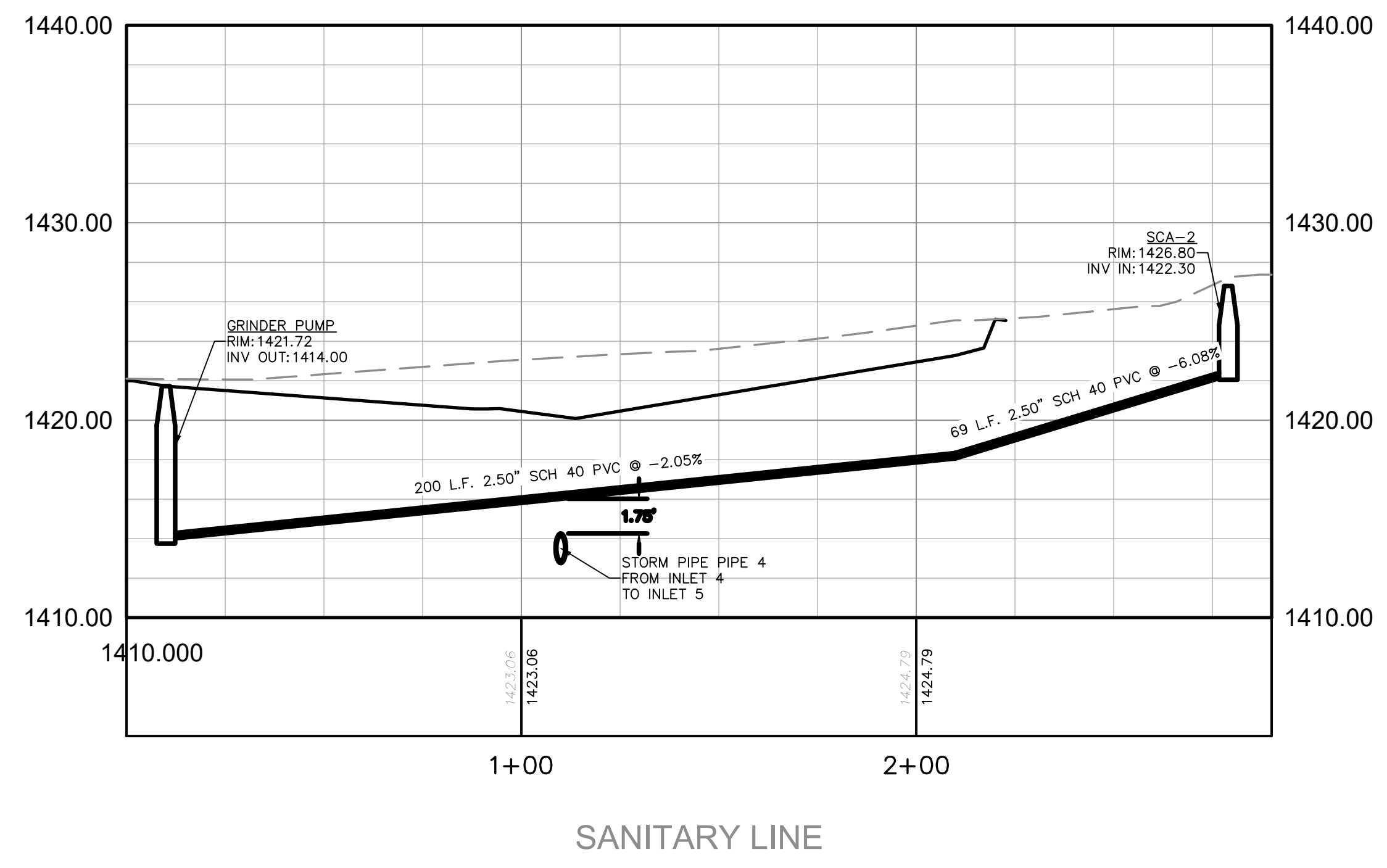
NO.	SUBMITTAL DESCRIPTION	DATE
1	REVISED PER LCD ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISED PER LCD ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/2/2025	9/15/2025
3	REVISED PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISED PER PA DEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

**JESSUP STEEL SUPPLY**  
 LOT 14C VALLEY VIEW BUSINESS PARK  
 JESSUP BOROUGH, LACKAWANNA COUNTY, PA  
**STORM PIPE PROFILES**

PROJECT NO. 5069.00925
DATE ISSUED: 07/21/2025
DRAWN BY: DSS
CHECKED BY: PM
SCALE: AS NOTED

SHEET 8 OF 16

**C6.1**



SUBMITTAL	
NO.	DATE
1	8/11/2025
2	9/15/2025
3	9/29/2025
4	12/12/2025

**JESSUP STEEL SUPPLY**  
 LOT 14C VALLEY VIEW BUSINESS PARK  
 JESSUP BOROUGH, LACKAWANNA COUNTY, PA

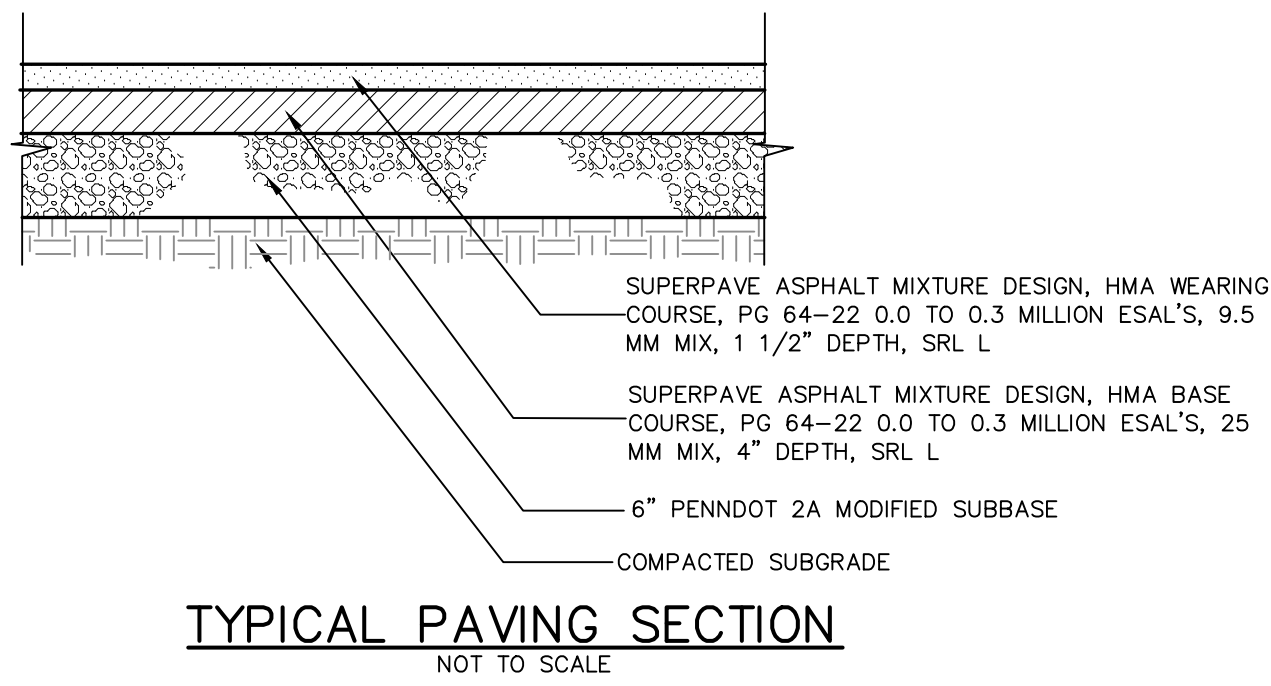
**SANITARY PIPE PROFILE**

PROJECT NO. 5069.00925
DATE ISSUED: 07/21/2025
DRAWN BY: DSS
CHECKED BY: PM
SCALE: AS NOTED

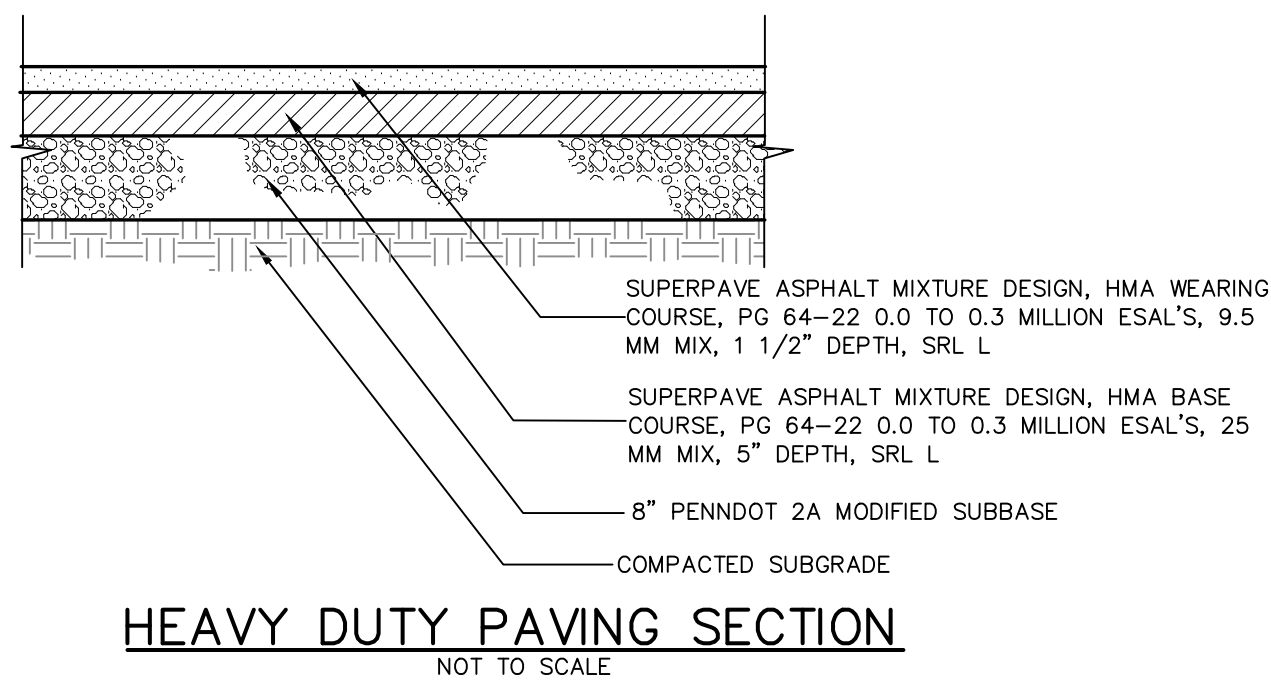
SHEET NO.  
**C6.2**



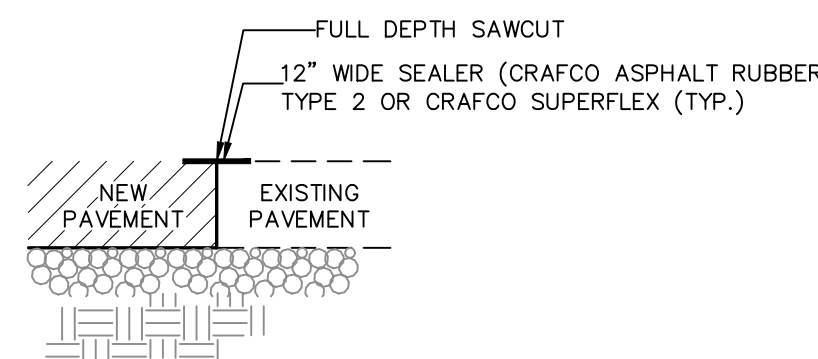
© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



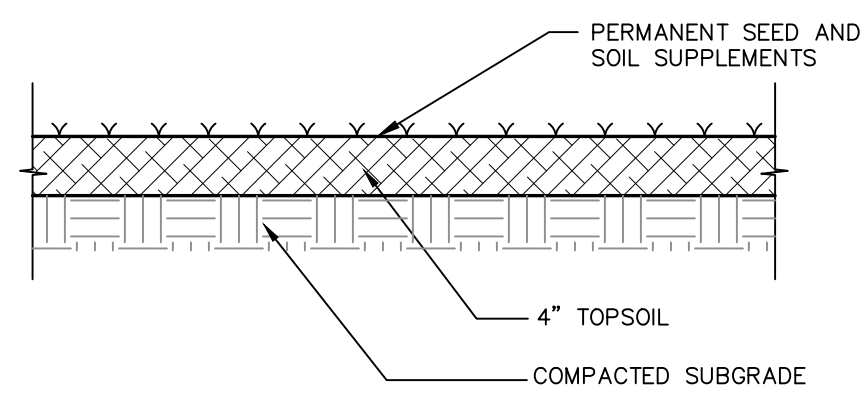
**TYPICAL PAVING SECTION**  
NOT TO SCALE



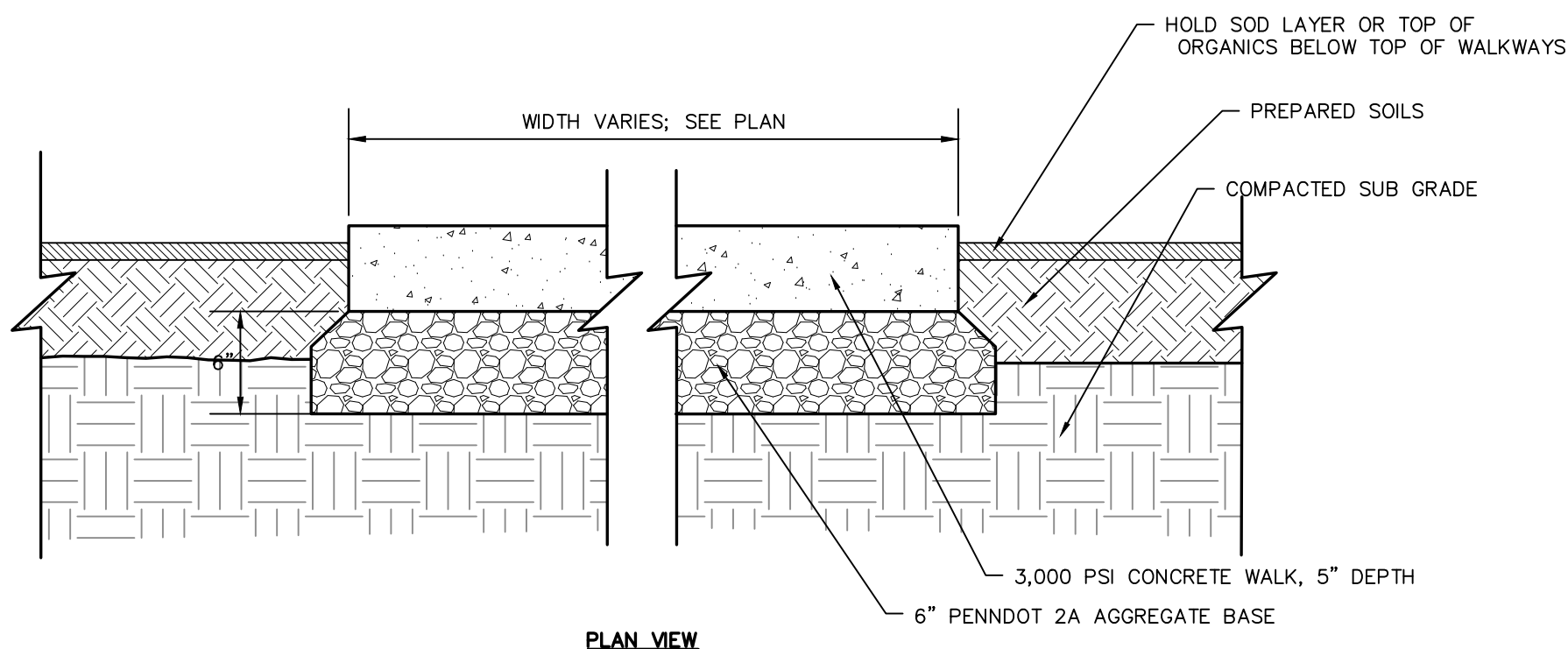
**HEAVY DUTY PAVING SECTION**  
NOT TO SCALE



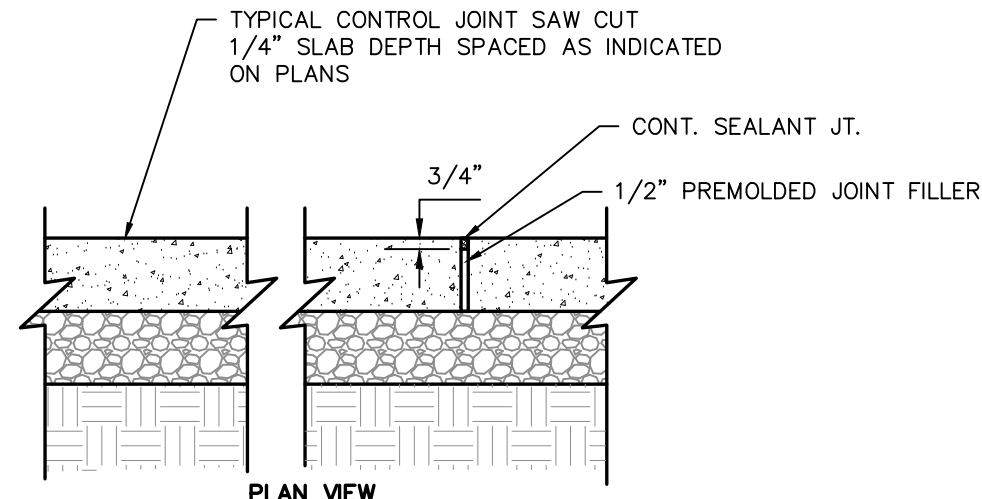
**PAVEMENT SAWCUT DETAIL**  
NOT TO SCALE



**GRASS AREA RESTORATION DETAIL**  
NOT TO SCALE

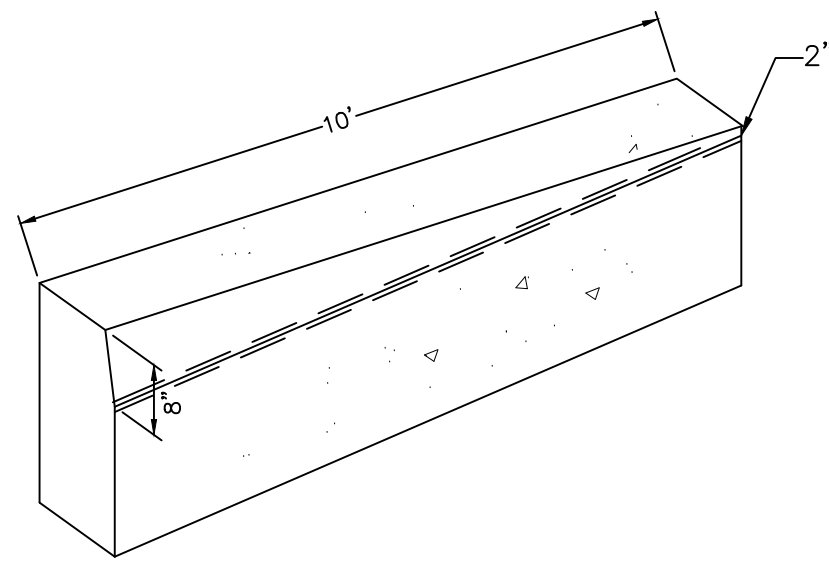


**TYPICAL CONCRETE WALK**  
NOT TO SCALE

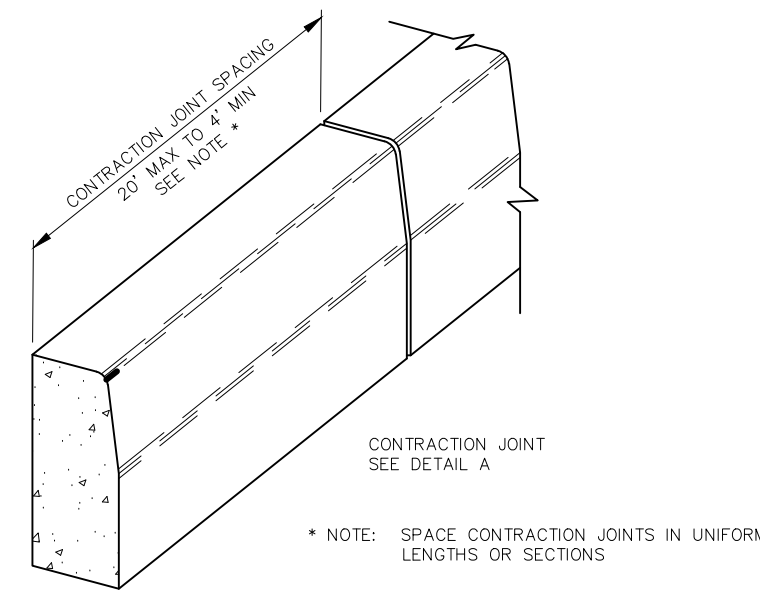


**PLAN VIEW**  
 • EXPANSION JOINTS SHALL BE PLACED EVERY 200 S.F. OF CONCRETE AREA OR EVERY 25 FT OF WALK  
 • CONTRACTOR TO CONFORM WITH LATEST PENNDOT 408 SPECIFICATIONS

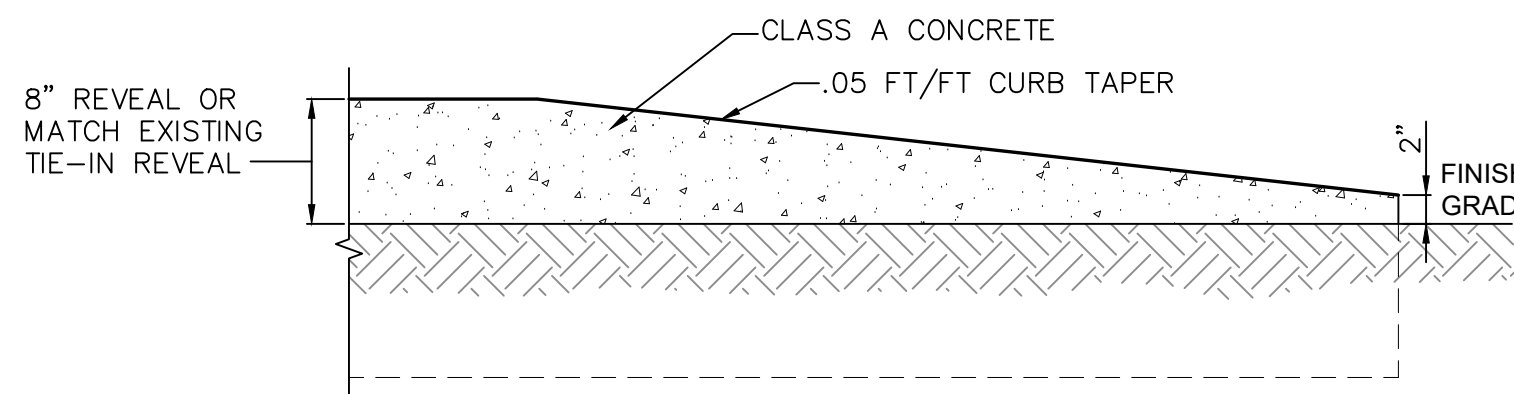
**TYP. CONCRETE CONTROL & EXPANSION JOINT**  
NOT TO SCALE



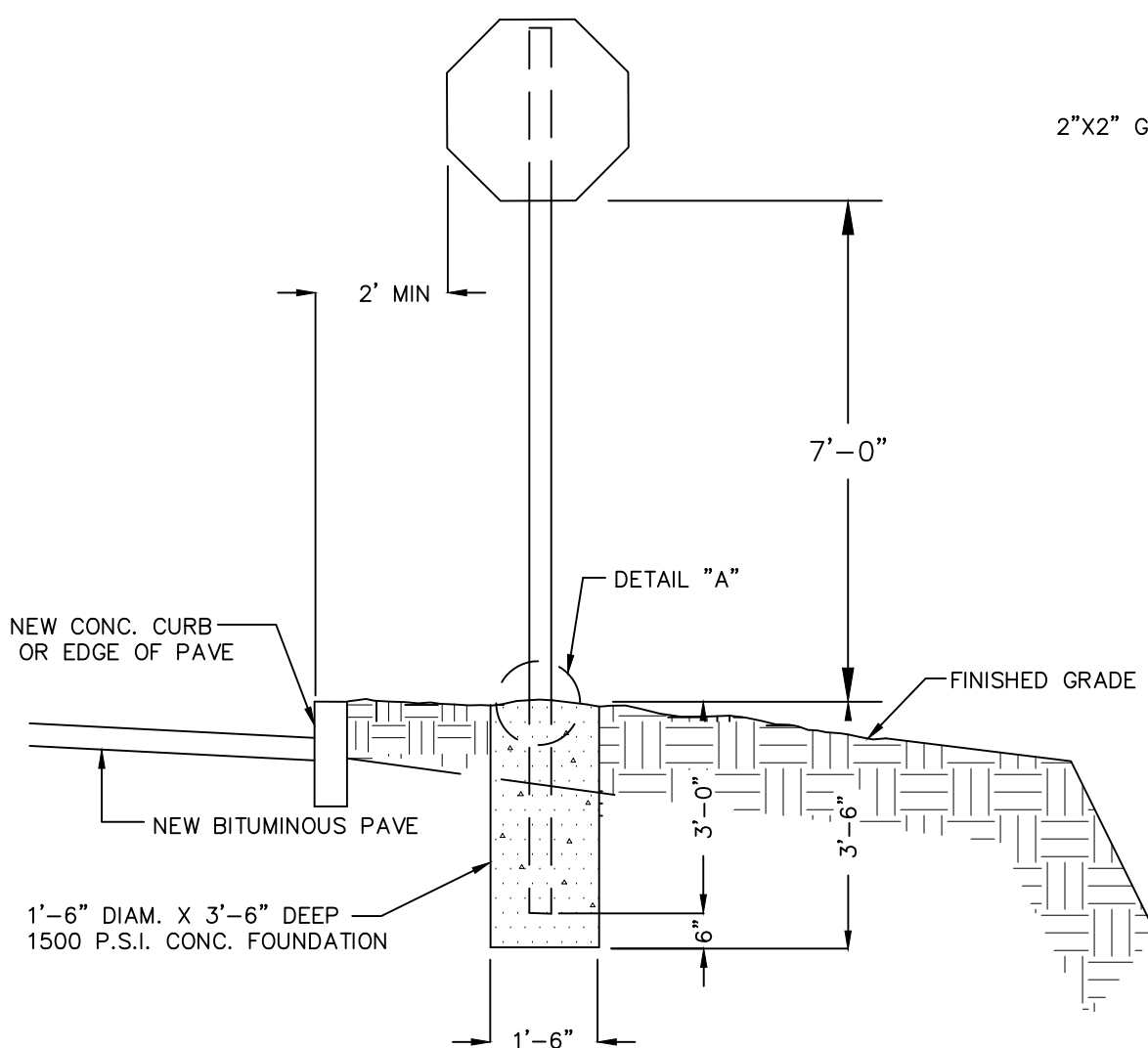
**END TREATMENT FOR PROPOSED CONCRETE CURB**  
NOT TO SCALE



**PLAIN CONCRETE CURB**  
NOT TO SCALE



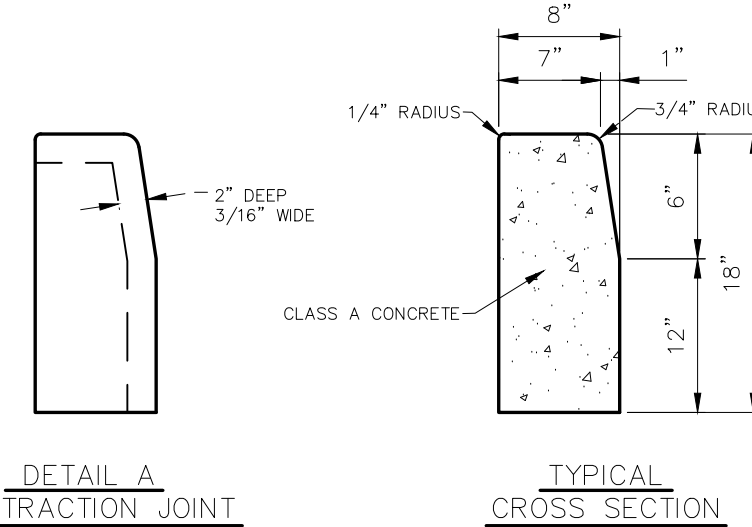
**CURB TAPER DETAIL**  
NOT TO SCALE



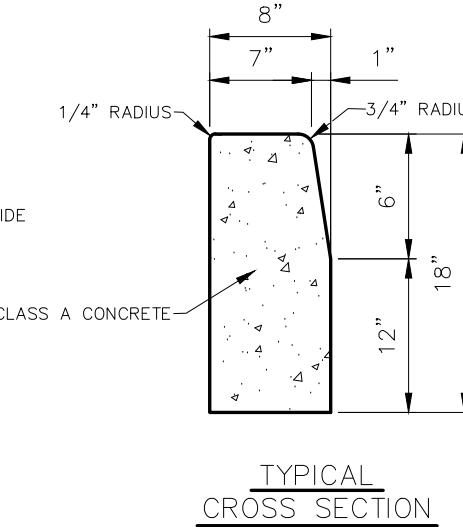
**TYPICAL TRAFFIC SIGN DETAIL**  
NOT TO SCALE



**ACCESSIBLE PARKING STALL STRIPING DETAIL**  
NOT TO SCALE



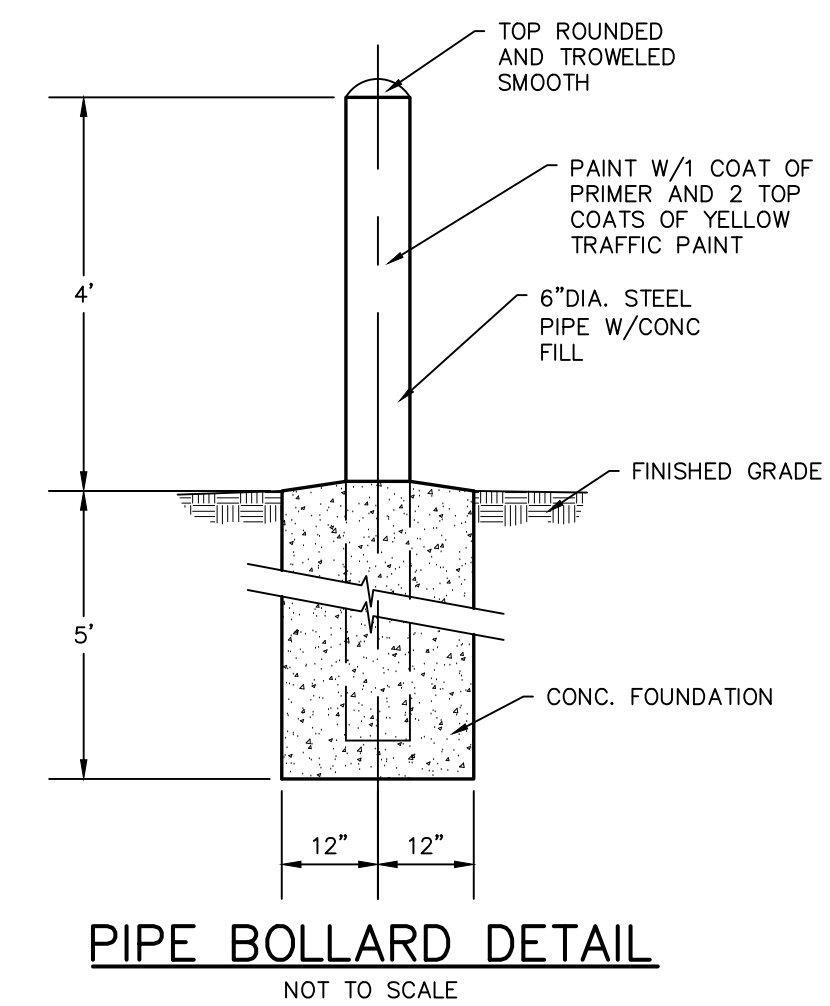
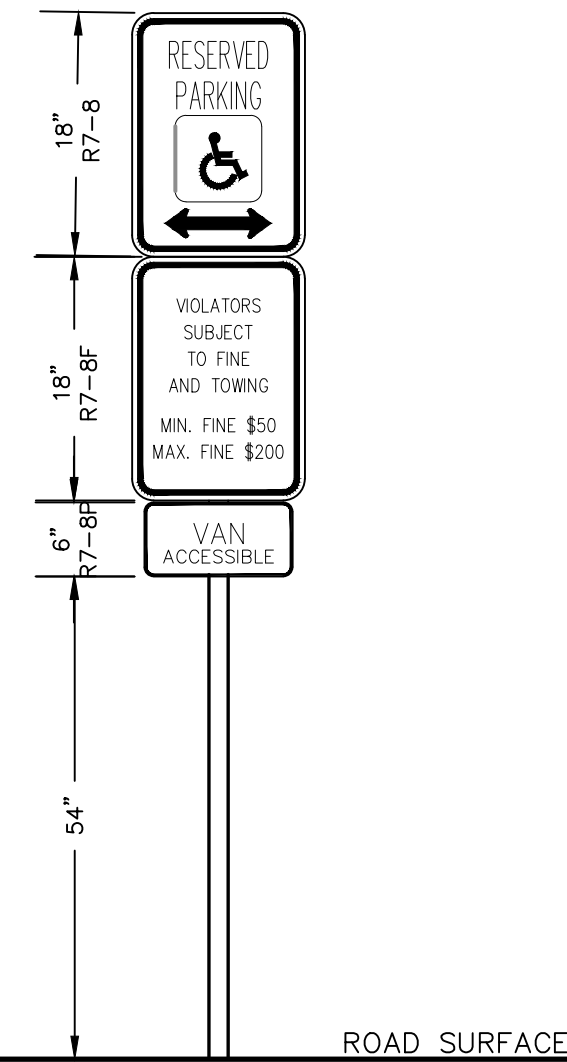
**DETAIL A CONTRACTION JOINT**



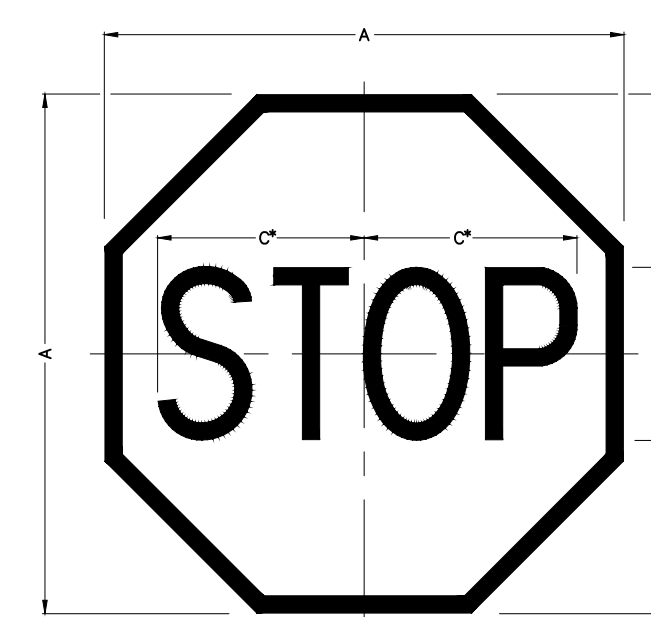
**TYPICAL CROSS SECTION**

**NOTE:**  
REFER TO PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 236 HANDBOOK OF APPROVED SIGNS FOR ADDITIONAL INFORMATION.

**HANDICAP PARKING SIGN MOUNTING DETAIL**  
NOT TO SCALE



**PIPE BOLLARD DETAIL**  
NOT TO SCALE

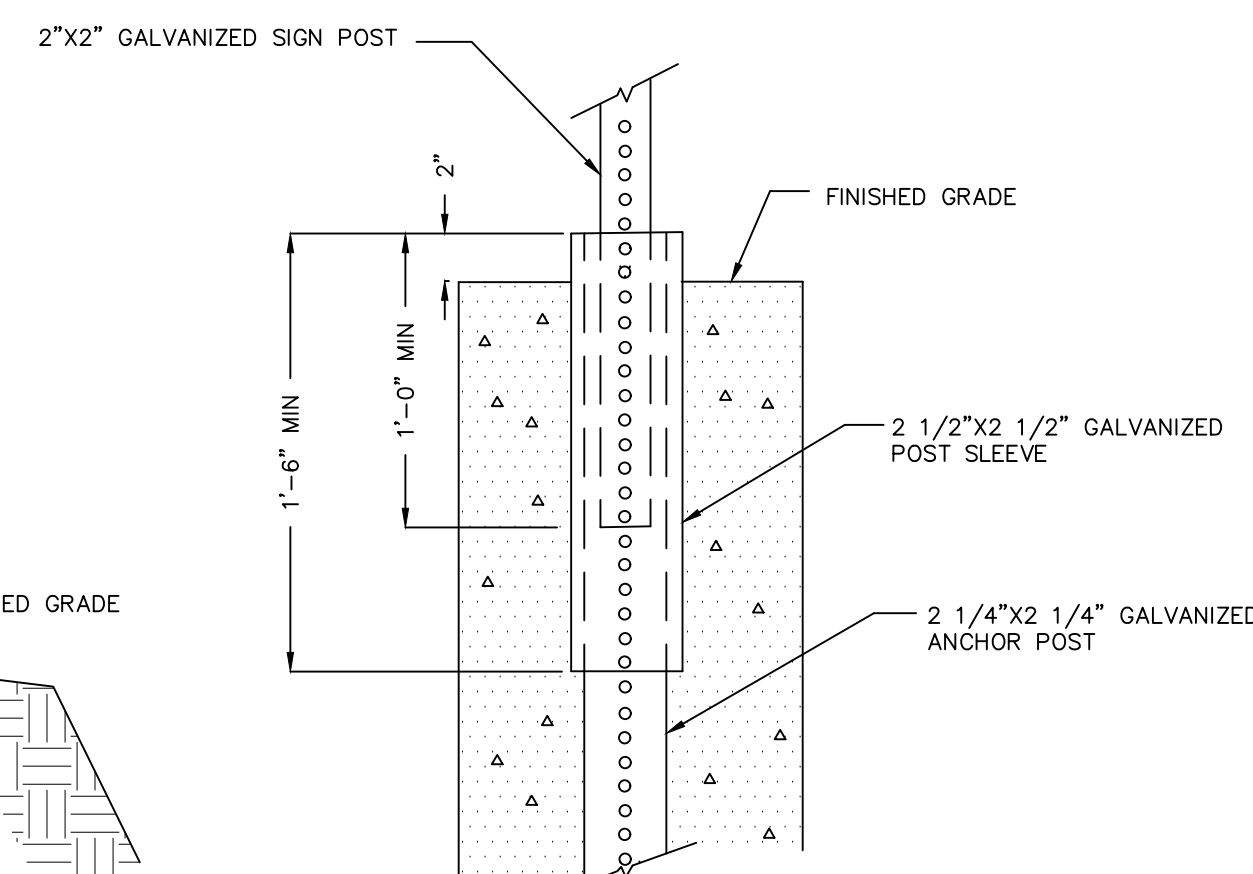


COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)  
BACKGROUND RED (REFLECTORIZED)

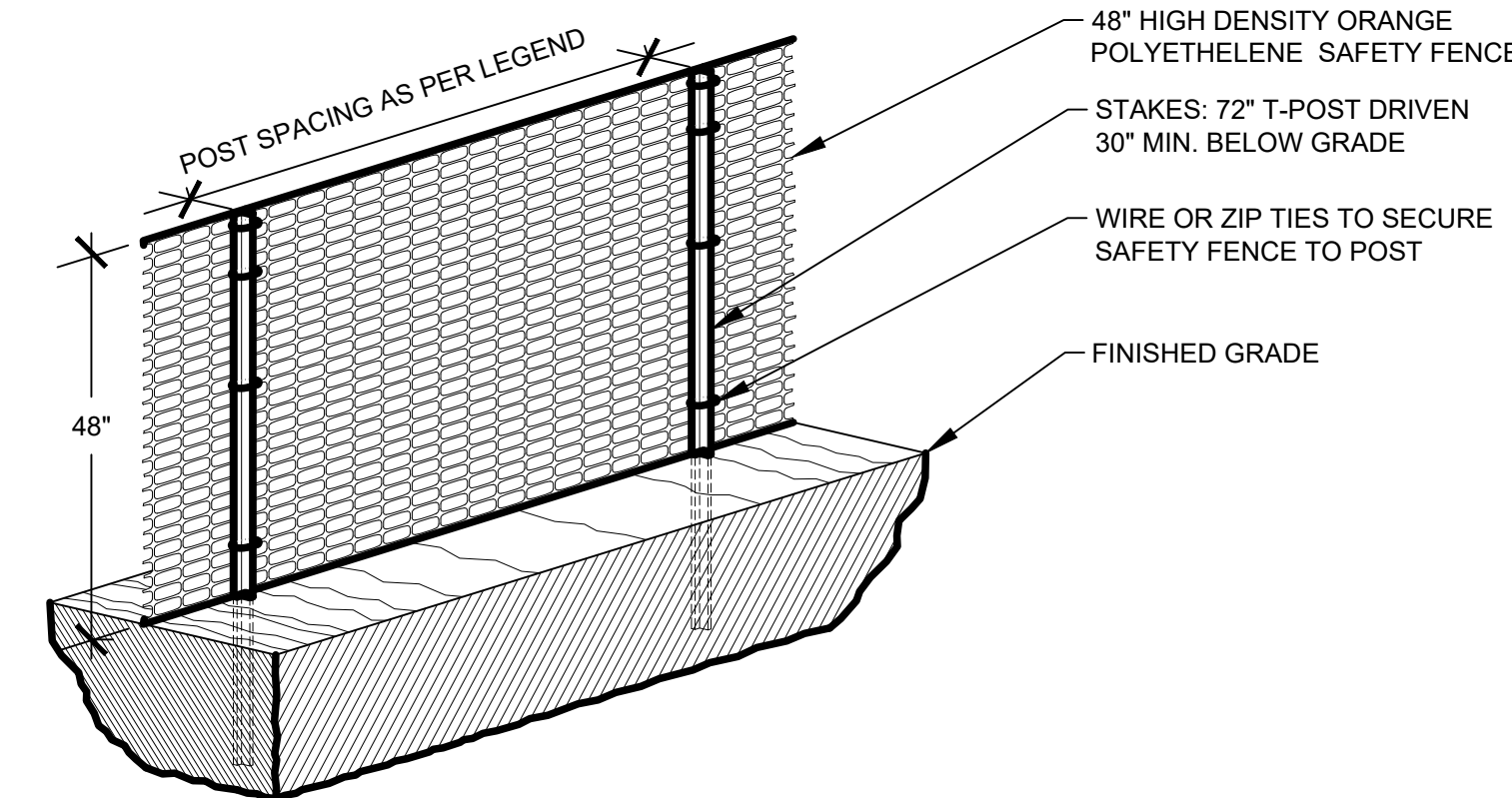
SIGN SIZE	DIMENSIONS			SERIES	BOR-DER	BLANK STUD
	A	B	C			
24 x 24	24	8	10	C	1/2"	B1-24
30 x 30	30	10	12 1/2	C	1/2"	B1-30
36 x 36	36	12	15	C	1/2"	B1-36
48 x 48	48	16	20	C	1 1/2"	B1-48

\* REDUCE SPACING BY 40%

**"STOP" (R1-1) SIGN DETAIL**  
NOT TO SCALE



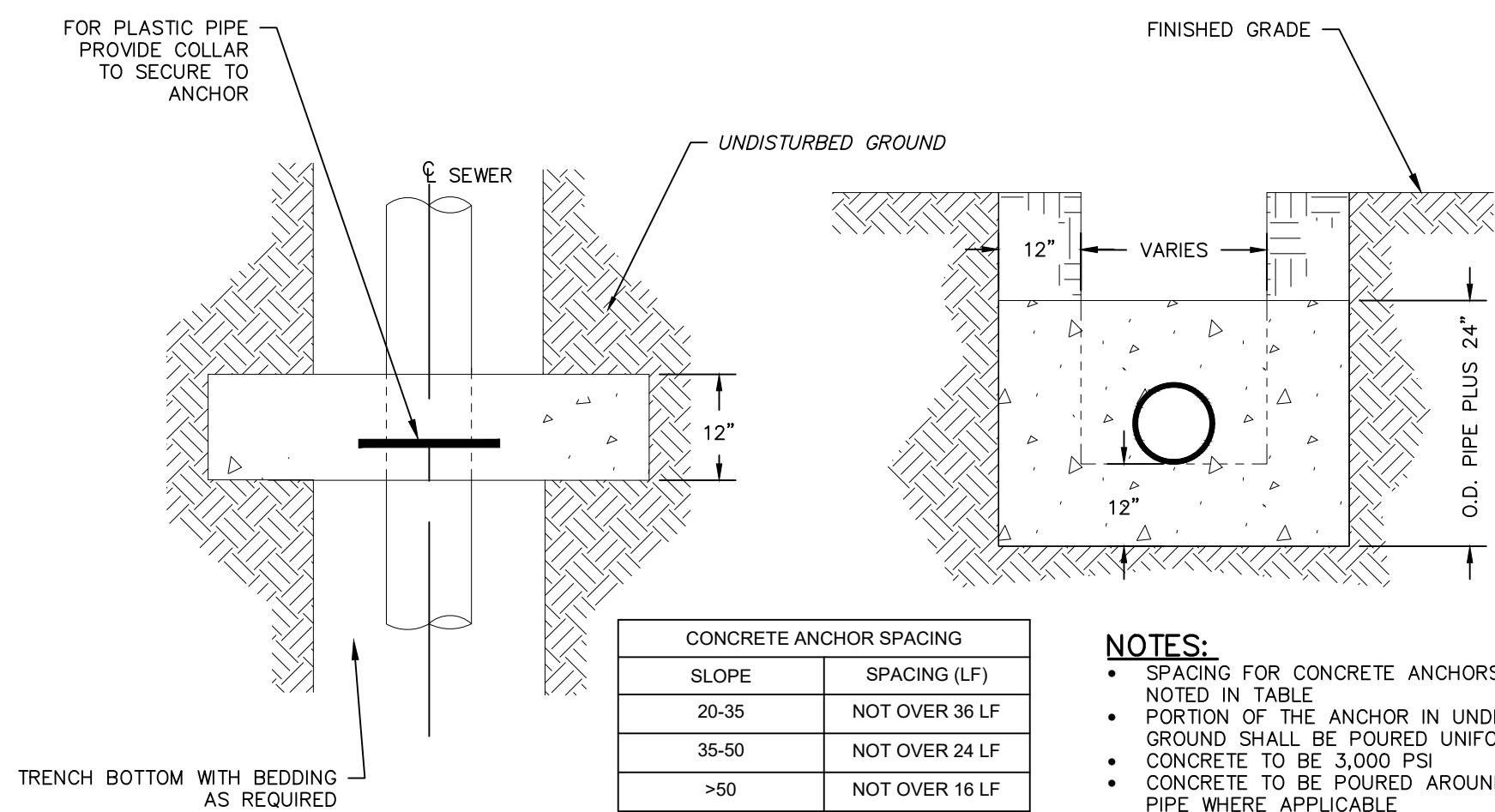
**DETAIL \"A\" BREAKAWAY POST DETAIL**  
NOT TO SCALE



**PROTECTIVE CONSTRUCTION FENCE**  
NOT TO SCALE

NO.	SUBMITTAL DESCRIPTION	DATE:
1	REVISED PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISED PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/2/2025	9/15/2025
3	REVISED PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISED PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

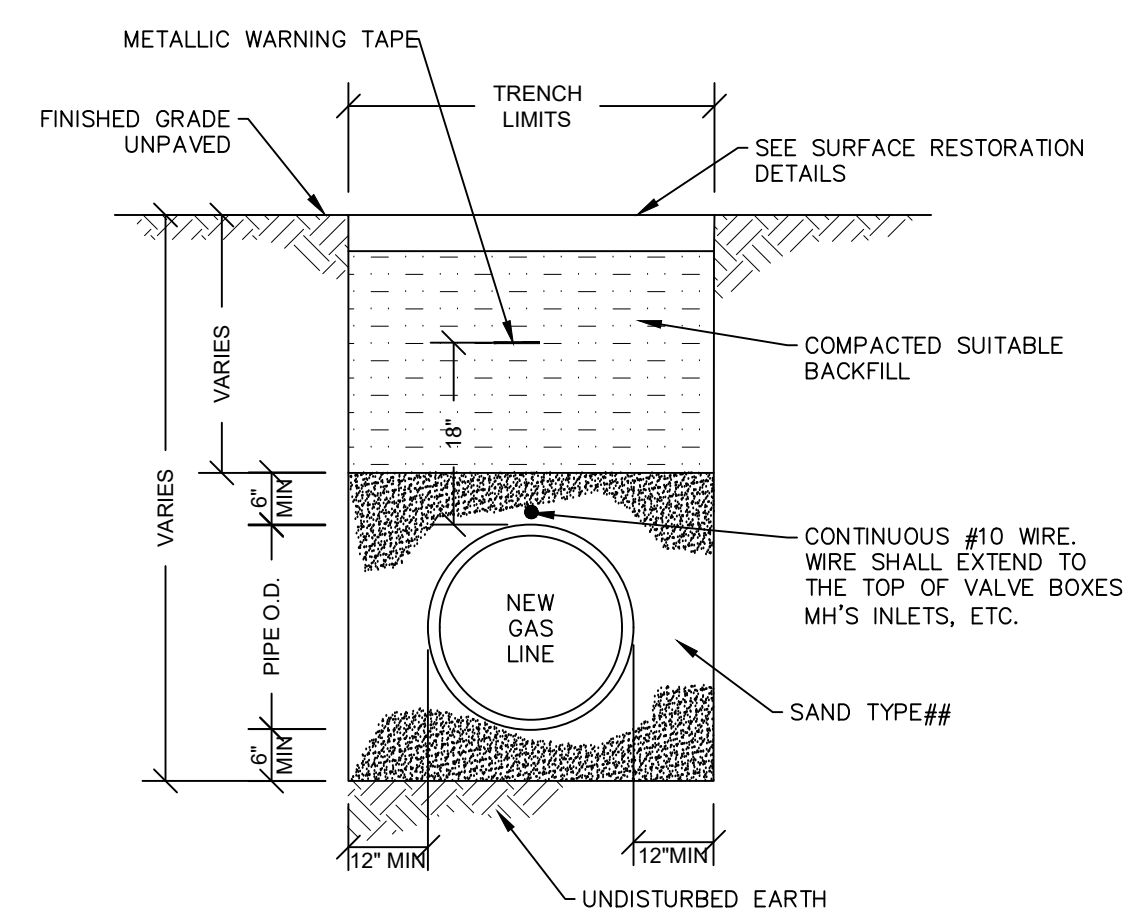
© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



CONCRETE ANCHOR SPACING	
SLOPE	SPACING (LF)
20-35	NOT OVER 36 LF
35-50	NOT OVER 24 LF
>50	NOT OVER 16 LF

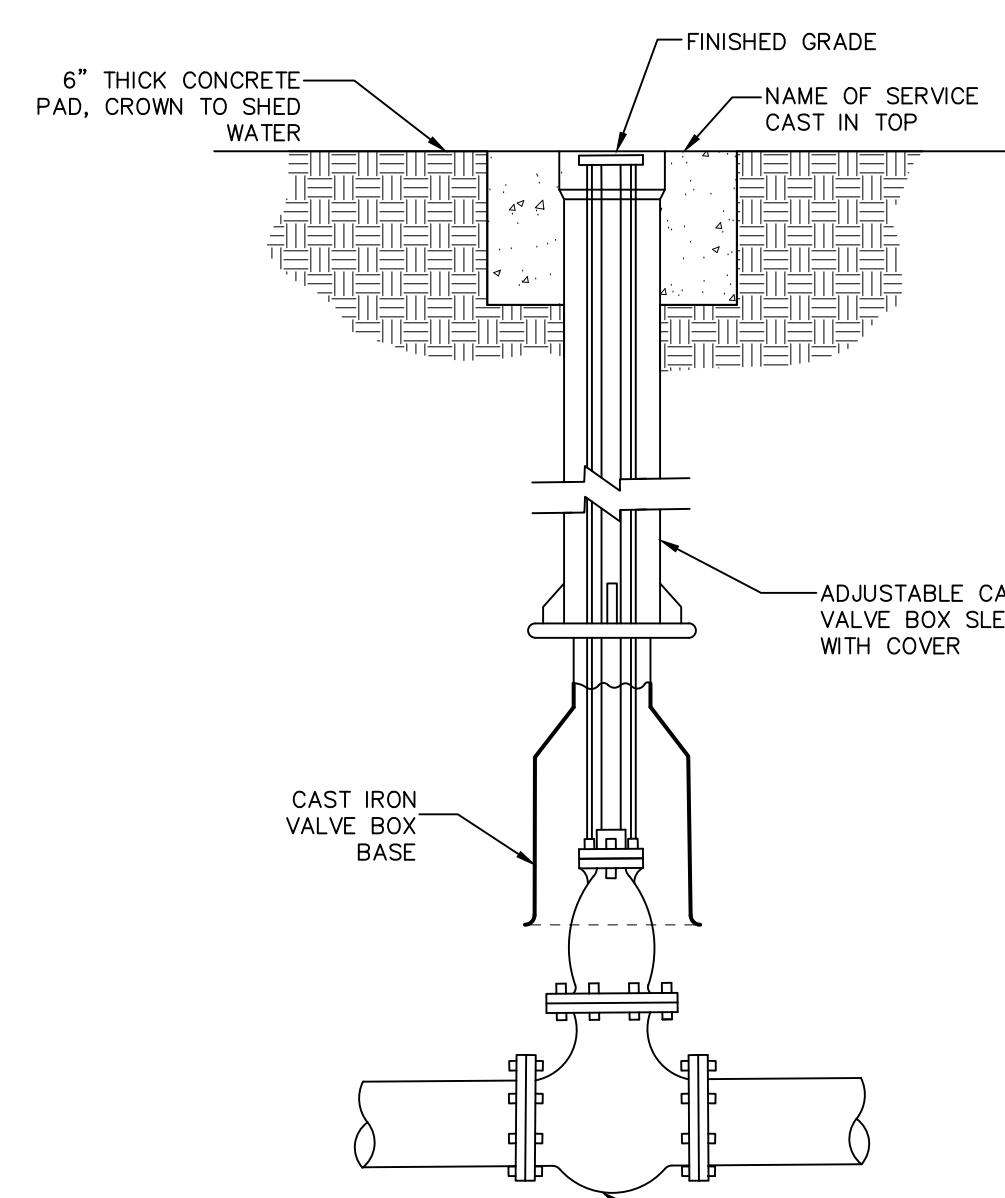
- NOTES:**
- SPACING FOR CONCRETE ANCHORS SHALL BE AS NOTED IN TABLE
  - PORTION OF THE ANCHOR IN UNDISTURBED GROUND SHALL BE POURED UNIFORMLY
  - CONCRETE TO BE 3,000 PSI
  - CONCRETE TO BE POURED AROUND BELL OF PIPE WHERE APPLICABLE

**CONCRETE ANCHOR BLOCK FOR PIPES ON STEEP SLOPE**  
NOT TO SCALE

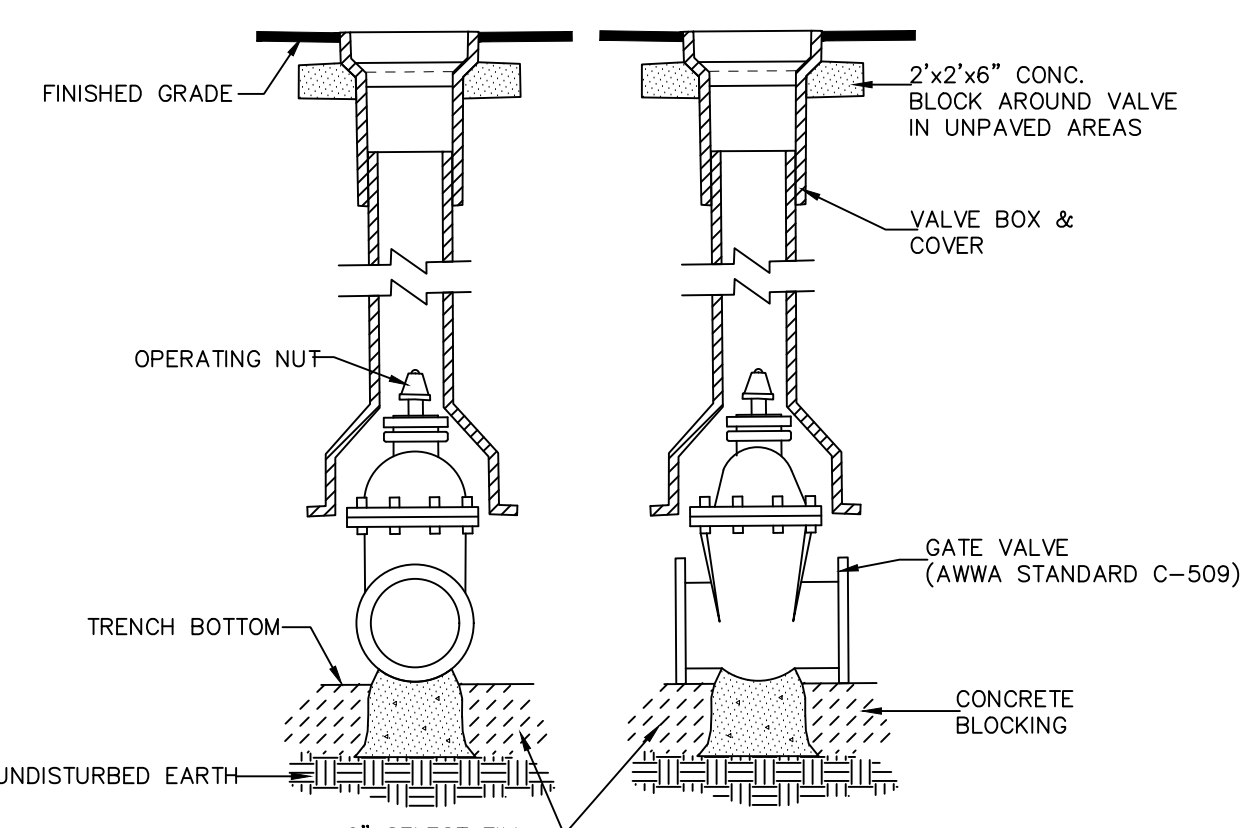


- NOTES:**
- PROVIDE A MINIMUM COVER OF 4 FEET FOR ALL NEW WATERLINES.

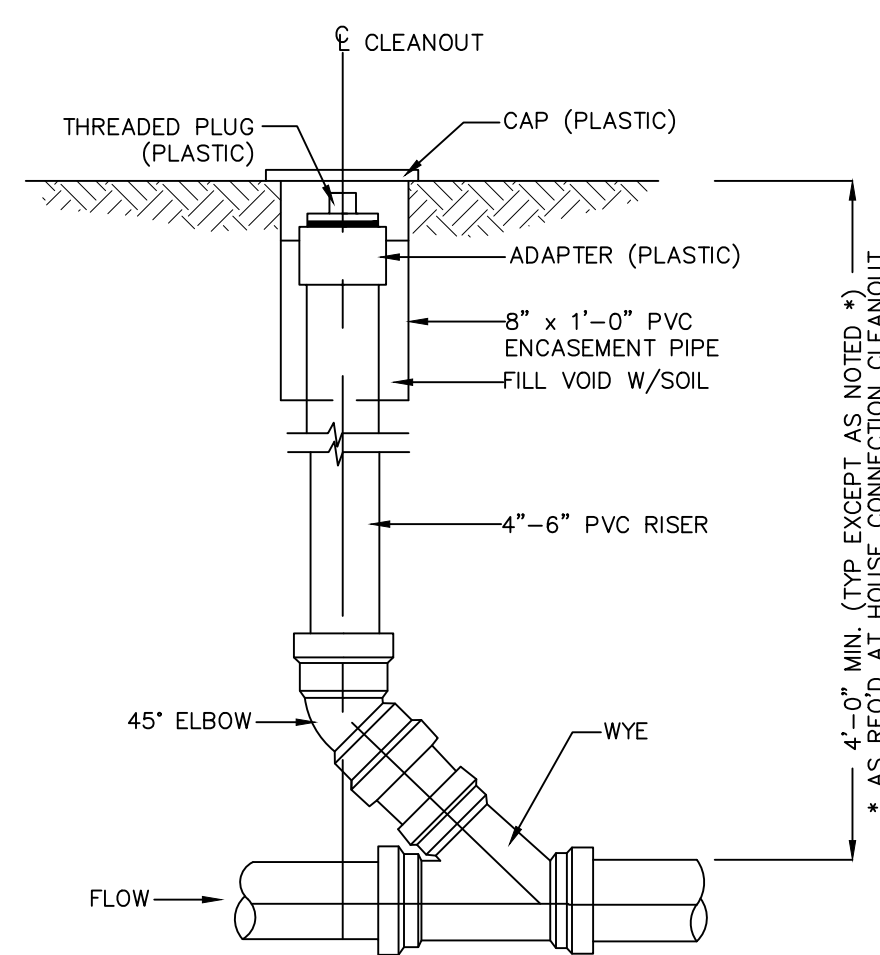
**GAS LINE TRENCH BEDDING AND BACKFILL**  
NOT TO SCALE



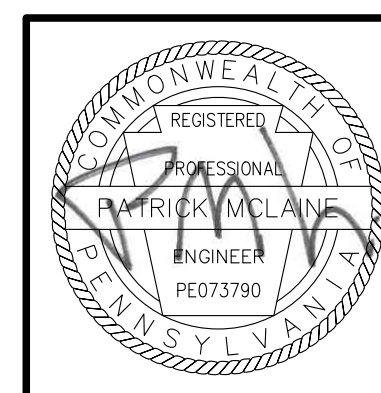
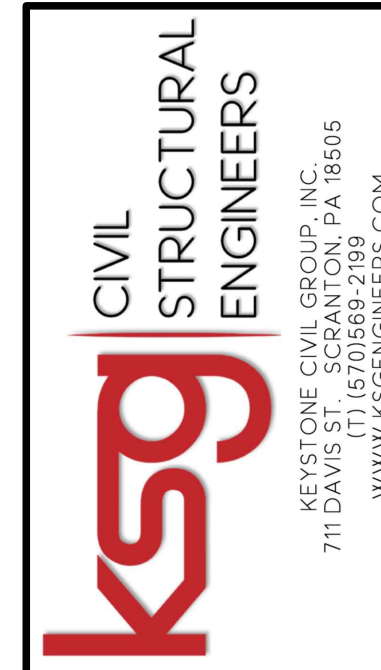
**VALVE BOX DETAIL**  
NOT TO SCALE



**VALVE DETAIL**  
NOT TO SCALE



**IN-LINE CLEANOUT DETAIL**  
NOT TO SCALE



NO.	SUBMITTAL DESCRIPTION	DATE
1	REVISOR PER LCSD ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISOR PER LCSD ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/2/2025	9/15/2025
3	REVISOR PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISOR PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

**JESSUP STEEL SUPPLY**  
**LOT 14C VALLEY VIEW BUSINESS PARK**  
**JESSUP BOROUGH, LACKAWANNA COUNTY, PA**

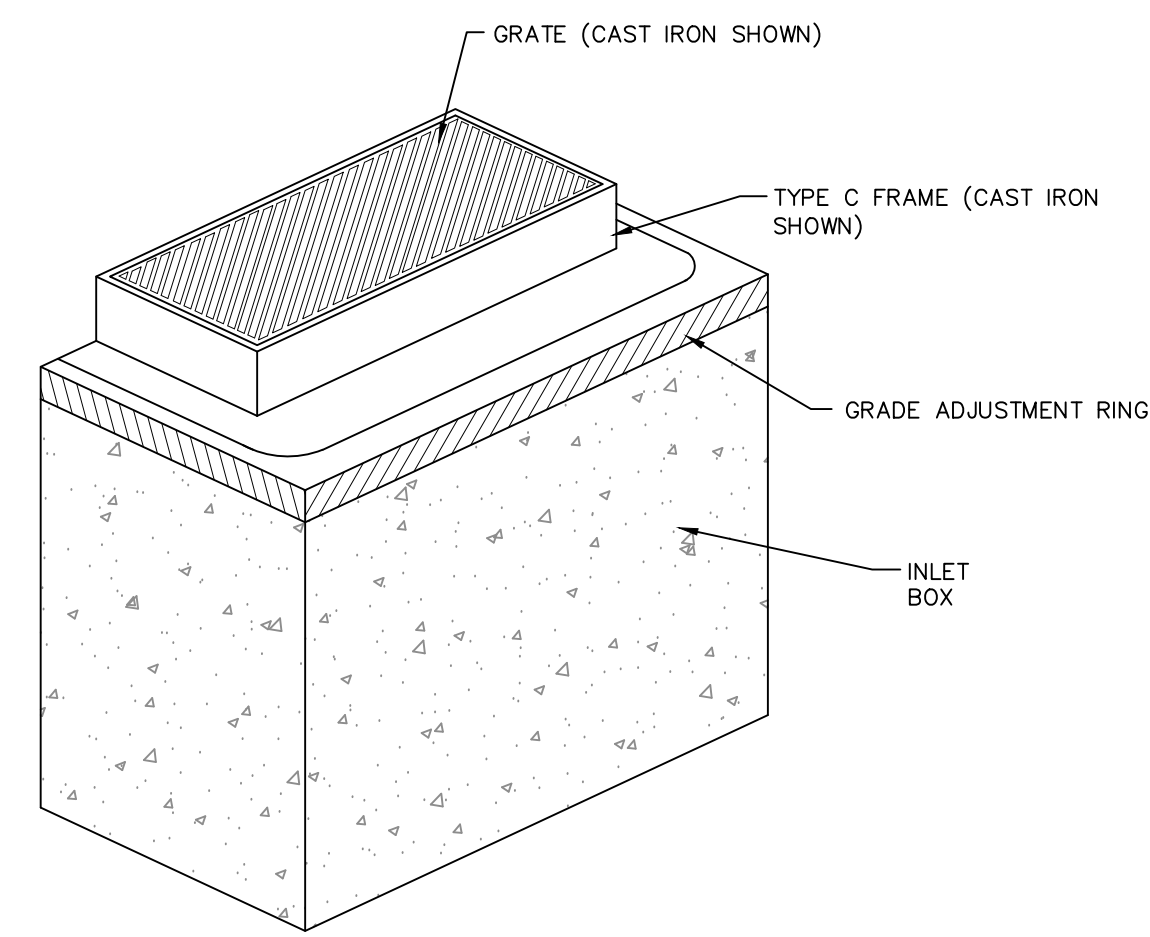
**SITE DETAILS**

PROJECT NO:	5069.00925
DATE ISSUED:	07/21/2025
DRAWN BY:	DSS
CHECKED BY:	PM
SCALE:	AS NOTED

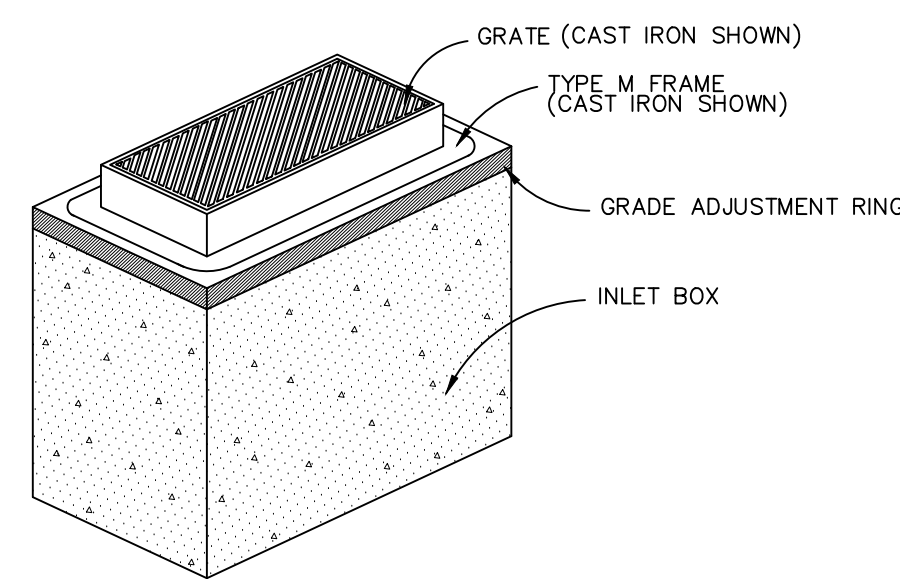
SHEET 12 OF 16

**D1.2**

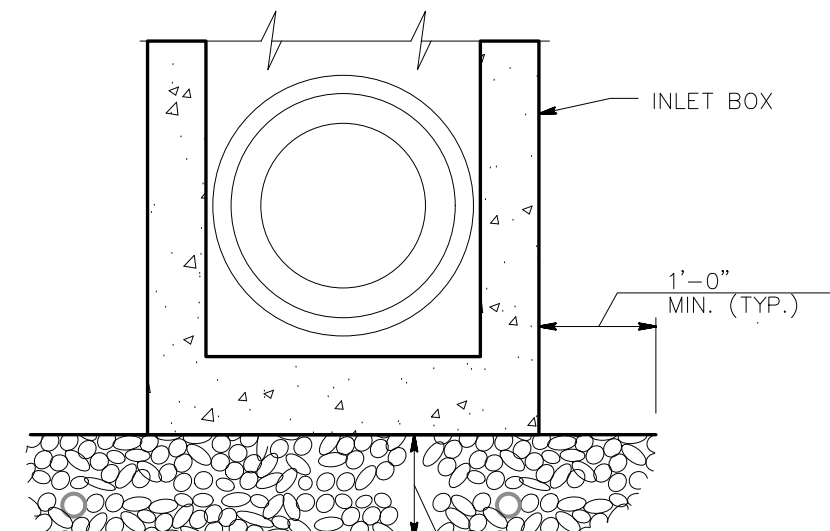
© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



**INLET BOX WITH TYPE C FRAME (RC-46)**  
NOT TO SCALE



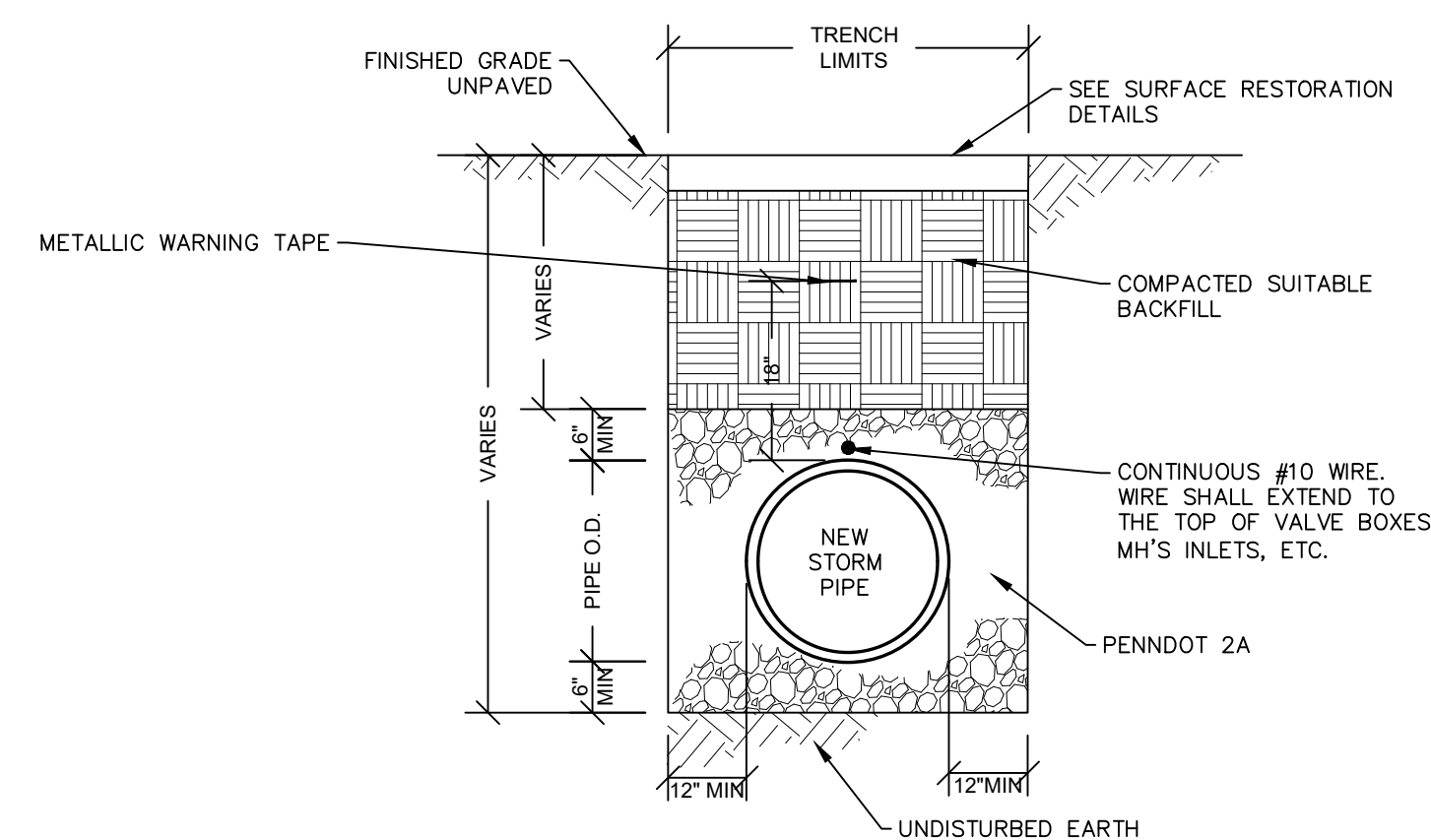
**TYPE M INLET DETAIL (RC-46)**  
NOT TO SCALE



COST OF PENNDOT 2A MODIFIED COARSE AGGREGATE IS INCIDENTAL TO THE INLET BOX.

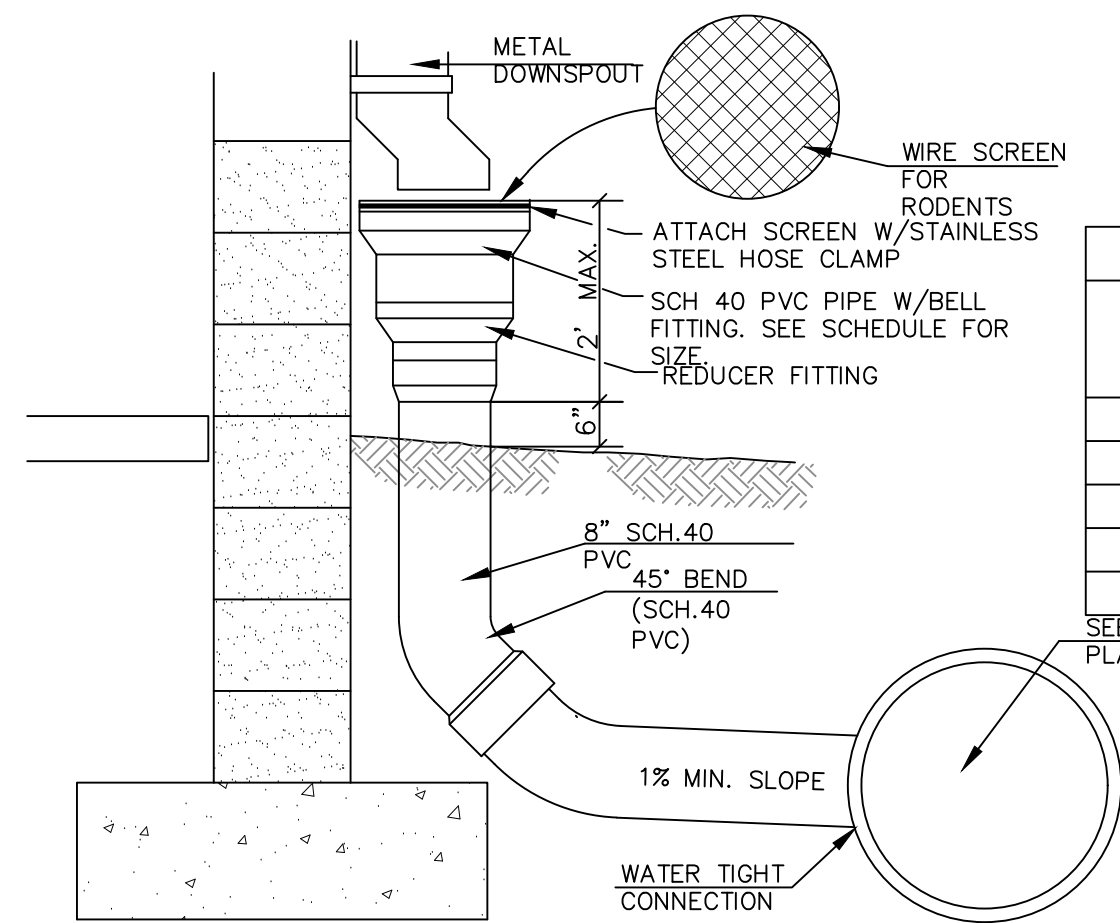
- ALL STORMWATER INLETS OVER FOUR FEET IN DEPTH SHALL HAVE LADDER RUNGS
- PROVIDE INLET IN ACCORDANCE WITH PENNDOT RC-46M LATEST EDITION.
- INLET BOX SHALL BE PLACED ON COMPACTED PENNDOT 2A PLACED IN 4" LIFTS
- BACKFILL MATERIAL AROUND STRUCTURE SHALL BE PLACED IN 6" LOOSE, UNIFORM LIFTS AND COMPACTED TO REQUIRED DENSITY BY MEANS OF MECHANICAL TAMPER
- PLACE CONCRETE BOTTOM OF THE INLET TO CREASE A FLOW CHANNEL TOWARD OUTLET PIPE
- THE VOIDS BETWEEN THE PIPE AND INLET BOX SHALL BE SEALED WITH MORTAR OR WATERTIGHT RUBBER FLEXIBLE CONNECTOR.

**INLET BOX SUBBASE PREPARATION DETAIL**  
NOT TO SCALE



- NOTES:
- PROVIDE A MINIMUM COVER OF 4 FEET FOR ALL NEW WATERLINES.

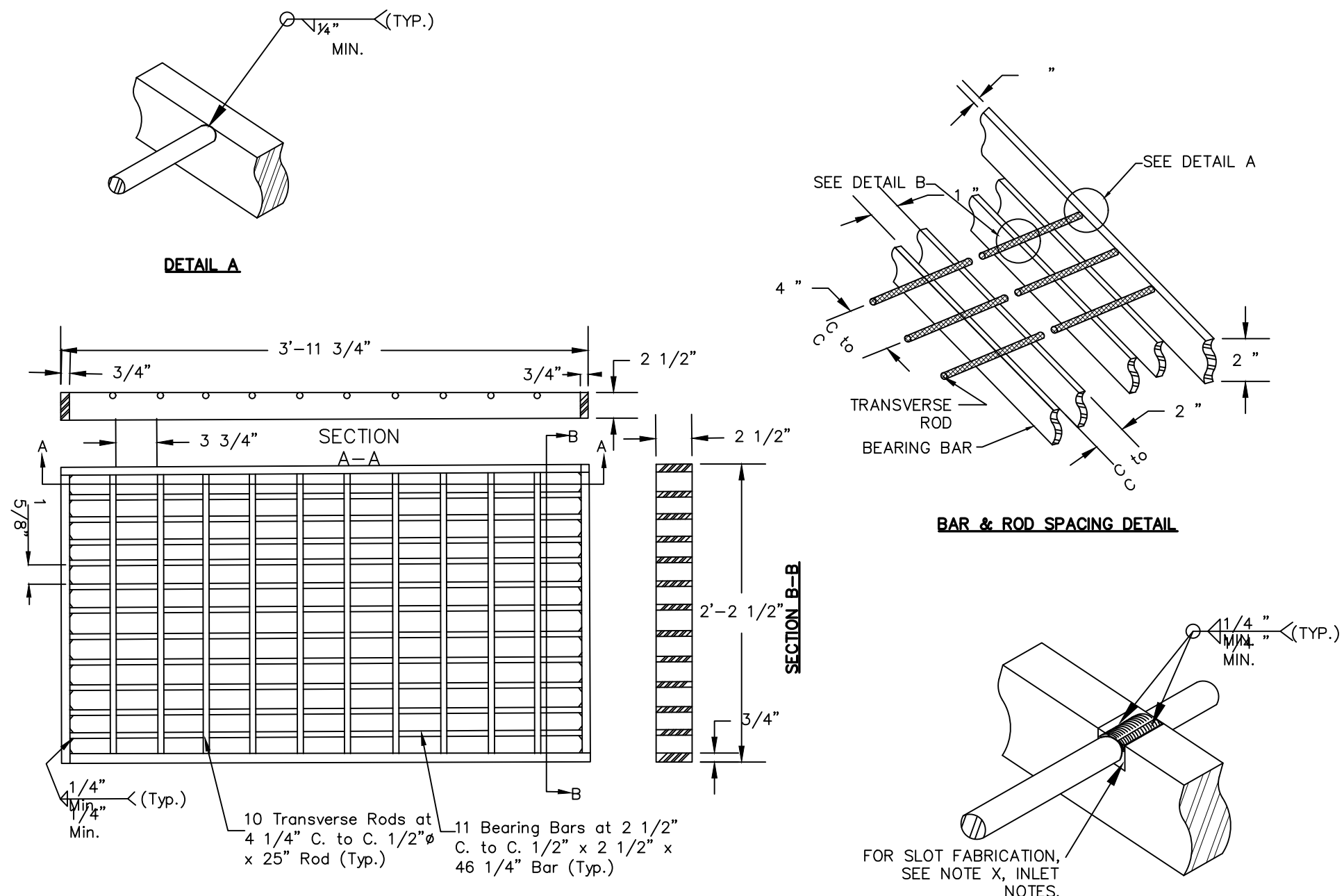
**STORM PIPE TRENCH BEDDING AND BACKFILL**  
NOT TO SCALE



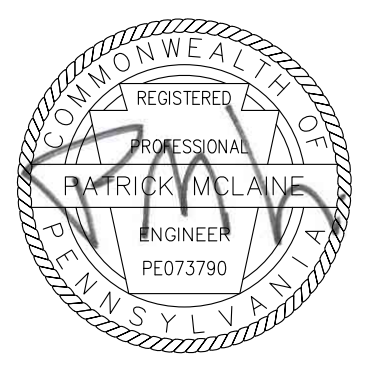
SCHEDULE	
DOWNSPOUT	PVC PIPE
8" x 8"	12" DIA
10" x 10"	15" DIA
12" x 12"	18" DIA
4" x 6"	12" DIA
9" x 9"	15" DIA

- NOTES :
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
  2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC TO ANY OTHER PIPE TYPE.
  3. THE DOWNSPOUT COLLECTOR SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE DOWNSPOUT.

**DOWNSPOUT COLLECTOR**  
NOT TO SCALE



**STRUCTURAL STEEL BICYCLE SAFE INLET GRATE**  
NOT TO SCALE



NO.	SUBMITTAL DESCRIPTION	DATE
1	REVISOR PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISOR PER LCED ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/7/2025	9/15/2025
3	REVISOR PER JESSUP BOROUGH LD COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISOR PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

**JESSUP STEEL SUPPLY**  
LOT 14C VALLEY VIEW BUSINESS PARK  
JESSUP BOROUGH, LACKAWANNA COUNTY, PA

**SITE DETAILS**

PROJECT NO:	5069.00925
DATE ISSUED:	07/21/2025
DRAWN BY:	DSS
CHECKED BY:	PM
SCALE:	AS NOTED

SHEET 13 OF 16

**D1.3**

© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

TOPSOIL APPLICATION:

- 1. PRIOR TO INITIATING PERMANENT STABILIZATION PROCEDURES, THE DISTURBED AREAS SHOULD BE PROPERLY PREPARED AND COVERED WITH TOPSOIL AS FOLLOWS:
2. GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN THE SLOPE.
3. TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES, AND A MINIMUM OF 2 INCHES OF FILL ON OUTSLOPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SEEDING OR SOILING OR SEEDING CAN PRODUCE A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS.
4. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION. COMPACTED SOIL SHOULD BE SCARIFIED TO 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.
5. SUITABLE TOPSOIL CONSISTS OF ACCEPTABLE FRIABLE LOAM THAT IS REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, ROOTS, WEEDS, OTHER OBJECTIONABLE VEGETATION, STONES, OTHER FOREIGN MATERIAL LARGER THAN 2 INCHES IN ANY DIMENSION, LITTER, AND/OR OTHER MATERIAL UNSUITABLE OR HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE CONTAINED NOT LESS THAN 2.0% OR MORE THAN 10.0% ORGANIC MATTER. TOPSOIL SHALL MEET THE FOLLOWING GRADING ANALYSIS:
5.1. 2" Sieve - Minimum 100% Passing
5.2. No. 4 Sieve - Minimum 75% Passing
5.3. No. 10 Sieve - Minimum 60% Passing

TEMPORARY SEEDING SPECIFICATIONS:
SPECIES: PADDOT FORMULA E
% PURE LIVE SEED: 85%
APPLICATION RATE: 50 LBS/ACRES
AGRICULTURAL LIMING RATE: 1 TON/ACRE
MULCH:HAY
MULCHING RATE: 3 TONS/ACRE
10-10-10 FERTILIZER 500LBS/ACRE

PERMANENT SEEDING SPECIFICATIONS:
SPECIES: PA DOT FORMULA B (SLOPES 3:1 OR FLATTER)
% PURE LIVE SEED: SEE TABLE A
APPLICATION RATE: SEE TABLE A
AGRICULTURAL LIMING RATE: 6 TON/ACRE
MULCH: STRAW
MULCHING RATE: 3 TONS/ACRE
10-20-20 FERTILIZER: 1,000 LBS/ACRE
SEEDING SEASON DATES: 3/15 TO 6/1

PERMANENT-STEP SLOPE SEEDING SPECIFICATIONS:
SPECIES: PA DOT FORMULA D (SLOPES GREATER THAN 3:1)
% PURE LIVE SEED: SEE TABLE A
APPLICATION RATE: SEE TABLE A
AGRICULTURAL LIMING RATE: 6 TON/ACRE
MULCH: STRAW
MULCHING RATE: 3 TONS/ACRE
10-20-20 FERTILIZER 1,000 LBS/ACRE
SEEDING SEASON DATES: 3/15 TO 6/1

Table A: Formula and Species, % by Weight, Minimum %, Max. %, Seeding Rate. Includes formulas B through W with various species like Perennial Ryegrass, Creeping Red Fescue, Annual Ryegrass, etc.

NOTE: MULCH RATE FOR INTERIM AND FINAL SEEDING SHALL BE 3 TONS PER ACRE.
+ Including hardseed and normal seedlings

Table: NATIVE SPECIES SEEDING CHART. Columns: Formula and Species, % by Weight, Seeding Rate. Lists various native species like Little Bluestem, Sideoats Grama, Virginia Wildrye, etc.

NATIVE SPECIES SEEDING SPECIFICATIONS
SPECIES: UPLAND & MEADOW SITE SEED MIXTURE
APPLICATION RATE: SEE TABLE
LIMING RATE: 6 TONS/ACRE
MULCH: STRAW
MULCHING RATE: 3 TONS/ACRE
10-20-20 FERTILIZER: 1,000 LB/ACRES
SEEDING SEASON DATES: 3/15 TO 6/1 OR 8/1 TO 10/15

SEQUENCE OF CONSTRUCTION GENERAL NOTES:

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE OF CONSTRUCTION ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. UPON THE COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED, AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES; THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARED, AND THE CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT (800) 242-1776 AND THE LACKAWANNA COUNTY CONSERVATION DISTRICT AT (570) 382-3086.

- NOTES:
• ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE PROJECT SITE THROUGH A ROCK CONSTRUCTION ENTRANCE.
• UTILIZE CLEARED VEGETATION TO STABILIZE SITE DISTURBANCE AS DESIRED. MULCH VEGETATION AND SPREAD AS NEEDED. REMOVE ALL EXCESS MATERIAL OFF SITE AND DISPOSE OF PROPERLY.
• STORMWATER FACILITIES SHOULD BE INSTALLED STARTING AT THE OUTLET AREAS AND PROGRESS UPSTREAM, INSTALLING SCMS AND LININGS AS WORK PROGRESSES.
• REFER TO TRENCH EXCAVATION NOTES FOR ALL TRENCHING OPERATIONS.
• A PUMPED WATER FILTER BAG SHALL BE UTILIZED TO Dewater EXCAVATIONS AS NEEDED.
• UPON TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITY, OR A COMPLETION OF A STAGE WHERE CESSATION OF AN ACTIVITY WILL EXCEED 4 DAYS, THE SITE SHALL BE STABILIZED WITH THE TEMPORARY SEED, MULCH AND SOIL SUPPLEMENTS INDICATED ON THE PLANS.
• ALL STOCKPILE MATERIAL SHALL BE PLACED IN DESIGNATED STOCKPILE LOCATIONS AS INDICATED ON PLAN DRAWINGS.
• STOCKPILE ALL SUITABLE MATERIAL FOR REUSE WITHIN AN APPROVED STOCKPILE LOCATION AND Haul ALL UNSUITABLE MATERIAL OFF-SITE TO AN APPROVED DISPOSAL LOCATION.
• A LICENSED PROFESSIONAL OR THEIR DESIGNEE MUST BE PRESENT AT THE SITE DURING INSTALLATION OF PCSM PLAN MEASURED IDENTIFIED ON THE PCSM PLANS AS 'CRITICAL STAGE' ITEMS.

SEQUENCE OF CONSTRUCTION:

- 1. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES; THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARED, AND A REPRESENTATIVE FROM LACKAWANNA COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
2. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES OR EXPANDING INTO AN AREA UNMARKED, PA ONE CALL SYSTEM SHALL BE NOTIFIED AT 1 800 242 1776.
3. INSTALL TRAFFIC CONTROLS IN ACCORDANCE WITH PENNDOT PUB. 213, MOST-RECENT EDITION. MAINTAIN TRAFFIC CONTROL THROUGH DURATION OF CONSTRUCTION ACTIVITIES WITHIN ROADWAY.
4. THE CONTRACTOR SHALL CLEARLY MARK OUT THE LIMIT OF DISTURBANCE IN THE FIELD TO ENSURE ONLY THE MINIMUM AREA REQUIRED FOR CONSTRUCTION WILL BE CLEARED AND GRADED.
5. INSTALL THE ROCK CONSTRUCTION ENTRANCE WITH WASH RACK AT THE LOCATION SHOWN ON PLAN AND IN ACCORDANCE WITH THE ROCK CONSTRUCTION ENTRANCE DETAIL.
6. CLEAR AND GRUB FOR INSTALLATION OF COMPOST FILTER SOCKS NO. 1 THROUGH NO. 15. INSTALL ALL COMPOST FILTER SOCKS.
7. INSTALL CHANNEL NO. 1 WITH ASSOCIATED ROCK FILTER AND RIPRAP NO. 2.
8. ONCE PERIMETER CONTROLS ARE INSTALLED, STRIP ENTIRE LIMIT OF DISTURBANCE AND STOCKPILE TOPSOIL. PROTECT STOCKPILE(S) WITH COMPOST FILTER SOCK PERIMETER CONTROLS AND TEMPORARY SEEDING.
9. INSTALL CONCRETE WASHOUT AREA AND PUMPED WATER FILTER BAG. MAINTAIN PER MANUFACTURER GUIDANCE AND E&S DETAILS.
10. ROUGH GRADE PROJECT AREA ACCORDING TO APPROVED GRADING PLANS.
11. WORKING DOWNSTREAM TO UPSTREAM INSTALL STORM INLETS AND PIPING, BEGINNING AT STORM STRUCTURE. INLET TO INLET 1, AS EACH PROPOSED INLET IS INSTALLED, INLET FILTER BAGS SHALL BE INSTALLED PER DETAIL TO PROTECT NEW INLETS. INSTALL PIPING PER PIPE INSTALLATION AND TRENCH EXCAVATION NOTES BELOW. EXCESS MATERIAL GENERATED SHALL BE STOCKPILED ONSITE AND INCORPORATED INTO BULK EXCAVATION.
12. PROVIDE SLOPE PROTECTION MATTING ON ALL DISTURBED AREAS WITH SLOPES 3H:1V OR GREATER.
13. SAWCUT LIMIT OF PROPOSED FULL DEPTH ROADWAY EXCAVATION FOR UTILITY CONNECTION.
14. LOCATE AND BEGIN INSTALLATION OF UTILITIES. UTILITIES ARE TO BE CAPPED AT BUILDING FOUNDATION UNTIL CONSTRUCTION OF BUILDING.
15. BEGIN INSTALLATION OF BUILDING IN ACCORDANCE WITH ARCHITECTURE PLANS. CONNECT UTILITIES TO BUILDING. INSTALL/CONNECT ALL ROCK LEADERS TO STORM CONVEYANCE SYSTEM AS SHOWN ON PLANS.
16. BEGIN PROPOSED DRIVEWAY ENTRANCE ON TO VALLEY VIEW DRIVE. AS FINISHED GRADES ARE MET STABILIZE WITH SUBBASE.
17. REMOVE ROCK CONSTRUCTION ENTRANCES. INSTALL SUBBASE OF PROPOSED ROADWAYS.
18. INSTALL ASPHALT BASE COURSE, TOP COURSE, PAVEMENT MARKINGS AND CONCRETE SIDEWALK.

THE NEXT STEP IS A CRITICAL STAGE IN WHICH THE DESIGN ENGINEER SHALL BE ON-SITE TO OVERSEE

- 19. BEGIN PCSM WORK ACCORDING TO THE SCM SEQUENCING FOUND ON PLAN SHEET D1.6. ALL SCM WORK IS TO BE DONE WITHOUT DISTURBANCE TO THE EXISTING FEATURES. NO HEAVY EQUIPMENT SHALL BE UTILIZED OR TRACKED ANYWHERE OUTSIDE OF THE LIMIT OF DISTURBANCE.
20. STABILIZE DISTURBED AREAS WITH SEED, LIME, FERTILIZER, AND MULCH AS INDICATED ON PLANS. PROVIDED SPECIFIED PROTECTIVE MATTING WHEN ON AREAS 3H:1V OR GREATER.
21. INSTALL ALL LANDSCAPING, SEED AND MULCH ALL REMAINING GRASSED AREAS WITH A MEADOW NATIVE SPECIES MIX.
21. UPON FINAL GRADING AND STABILIZATION OF UPSLOPE AREAS, REMOVE TEMPORARY CONTROLS AND CONSTRUCTION WASHOUT AREA. CONSTRUCT AND INSTALL COMPOST FILTER SOCKS. STOCKPILE ALL DISTURBED AREAS SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

PROTECTION OF INFILTRATION BERMS

- 1. COMPACTION OF THE INFILTRATION BERM AREA SHALL BE AVOIDED AND MINIMIZED DURING CONSTRUCTION.
2. NO HEAVY MACHINERY SHALL BE USED TO PLACE PLUG PLANTINGS WITHIN THE INFILTRATION BERMS. HOLES FOR PLUG PLANTING MUST BE INDIVIDUALLY DUG OUT TO KEEP DISTURBANCE AT A MINIMUM.
3. SEE PLAN SHEET D1.6 FOR MORE SPECIFIC INSTRUCTION FOR INFILTRATION BERM/SCM WORK.

PIPE INSTALLATION

- 1. CLEAR AND GRUB THE NECESSARY AREA FOR TRENCHING. REMOVE CLEARED AND GRUBBED MATERIAL OFF SITE TO APPROVED FACILITY.
2. BEGIN TRENCHING FOR SEWER INSTALLATION. REMOVE EXCAVATED MATERIAL FROM SITE OR STOCKPILE IN LOCATION SHOWN ON PLANS.
3. PLACE BEDDING MATERIAL AND INSTALL PIPE THEN BACKFILL PER DETAILS. SEE TRENCH EXCAVATION NOTES BELOW. COMPLETE INSTALLATION. PIPE AND STABILIZATION OF ALL REMAINING DISTURBED AREA AT THE END OF EACH WORK DAY.
4. IMMEDIATELY STABILIZE AREA AT THE END OF EACH WORK DAY WITH THE REQUIRED SEED, SOIL SUPPLEMENTS AND MULCH AS INDICATED ON PLANS. AREAS WITH SLOPES GREATER THAN 3H:1V SHALL BE STABILIZED WITH EROSION CONTROL MATTING.
5. REMOVE TEMPORARY CONTROLS ASSOCIATED WITH PIPE INSTALLATION, WHEN SITE STABILIZATION HAS BEEN ACHIEVED. SITE SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A MINIMUM UNIFORM 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS

TRENCH EXCAVATION NOTES

- 1. LIMIT THE LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME TO THE AMOUNT OF PIPE THAT CAN BE INSTALLED AND BACKFILLED IN ONE WORKING DAY.
2. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN UTILITY INSTALLATION CEASES AT THE END OF THE WORKDAY.
3. ALL EXCAVATED MATERIAL SHALL BE STOCKPILED A MINIMUM OF THREE (3) FEET AWAY FROM THE EXCAVATED TRENCH.
4. EXCAVATED MATERIAL SHOULD BE INCORPORATED AS FILL, OR REMOVED FROM SITE TO AN APPROVED DISPOSAL LOCATION.
5. BACKFILL AND STABILIZE TRENCHES AT THE END OF EACH WORK DAY. STABILIZE WITH SUB-BASE MATERIAL IN PAVEMENT AREAS, AND WITH SEED AND MULCH IN VEGETATED AREAS.
6. MAINTAIN PUMPED WATER FILTER BAG ON-SITE TO Dewater TRENCHES AS NECESSARY. FILTER BAGS MUST DISCHARGE TO AN INLET, OR TO A WELL VEGETATED AREA AT A GRADE OF LESS THAN 5%.

E&S SCM INSPECTION AND MAINTENANCE

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ANY AND ALL INTERIM MEASURES AS REQUIRED TO PREVENT EROSION.
2. ANY EXPOSED GRADED AREAS IN WHICH WORK HAS CEASED FOR A PERIOD OF FOUR (4) DAYS OR MORE SHALL BE SEEDED WITH TEMPORARY SEEDING AND MULCH.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL DEVICES UNTIL COMPLETION OF THE PROJECT AND THE PERMANENT STABILIZATION OF DISTURBED AREAS.
4. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT AT LEAST ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. SCM SPECIFIC MAINTENANCE AND REPAIR SPECIFICATIONS ARE PROVIDED IN THE NOTES ON THE PLANS ACCOMPANYING THEIR CONSTRUCTION DETAILS.
5. THE CONTRACTOR SHALL CLEAN AND REMOVE SEDIMENT CONTROL DEVICES WHEN IT BECOMES ONE-THIRD FULL OR TO OTHERWISE SPECIFIED IN THE PLAN DETAILS. THE SEDIMENT REMOVED SHALL BE BURIED OR DISPOSED OF IN LANDSCAPED AREAS, AREAS TO BE VEGETATED, STOCKPILES, OR DISPOSED OF IN A LANDFILL AS WASTE.
6. THE CONTRACTOR IS REQUIRED TO KEEP WRITTEN LOGS OF ALL E & S SCM INSPECTION AND MAINTENANCE ACTIVITIES.
7. IF EROSION AND SEDIMENT CONTROL SCMS FAIL TO PERFORM AS EXPECTED, REPLACEMENT SCMS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
8. THE CONTRACTOR SHALL IMMEDIATELY STABILIZE ANY DISTURBANCES WHICH MAY OCCUR AS PART OF SEDIMENT REMOVAL AND SCM MAINTENANCE.

ENVIRONMENTAL DUE DILIGENCE AND CLEAN FILL

- 1. THE CONTRACTOR IS RESPONSIBLE FOR IMPORTING (OR EXPORTING, AS APPROPRIATE) CLEAN FILL TO OR FROM THE PROJECT SITE. ALL FILL MATERIALS MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 258-2182-773.
2. "CLEAN FILL" IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE)
3. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE:
4. FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1a AND FP-1b FOUND IN THE DEPARTMENTS POLICY "MANAGEMENT OF FILL".
5. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULT OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL AND MUST BE KEPT ON SITE AND MADE AVAILABLE UPON REQUEST OF THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. FAILURE TO PRODUCE THE FORM UPON REQUEST MAY RESULT IN REVOKING SUSCEPTIBILITY OF YOUR PERMIT COVERAGE. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE:

- 1. INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PEROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST AND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL" MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
2. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SITE(S) RECEIVING SPOIL SOILS MATERIAL FROM THIS SITE HAS AN ACTIVE NPDES PERMIT OR E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT, AS APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE PERMITS/PLAN APPROVALS IF NONE EXIST.

E&S SCM

APPROVED BY THE LOCAL CONSERVATION DISTRICT, AS APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE PERMITS/PLAN APPROVALS IF NONE EXIST.

RECYCLING OR DISPOSAL OF WASTE MATERIALS

THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE AND BUILDING MATERIAL OR WASTES AT THE SITE. SEDIMENT REMOVED FROM SCM'S SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

MAINTENANCE REQUIREMENTS

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT SCMS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL SCMS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, REMULCHING, AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL SCMS FAIL TO PERFORM AS EXPECTED, REPLACEMENT SCMS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. MAINTENANCE OF EROSION AND SEDIMENTATION SCMS, WHEN APPLICABLE, CAN BE FOUND ACCOMPANYING THE CONSTRUCTION DETAILS FOR THAT DEVICE. E&S SCM DETAILS CAN BE FOUND ON THE E&S PLAN DRAWINGS.

RECYCLING OR DISPOSAL OF MATERIALS:

SEDIMENT REMOVED FROM SCMS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S POLICY OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE. EXAMPLES OF CONSTRUCTION WASTES FROM THIS PROJECT MAY INCLUDE THE FOLLOWING: CONCRETE WASH WATER EXCESS SOIL MATERIAL PLASTIC ORANGE SAFETY FENCE REMNANT PIECES OF PIPING SCRAPS OF GEOTEXTILE AND EROSION CONTROL BLANKETS WOODEN STAKES

MAINTENANCE PROGRAM:

THE CONTRACTOR IS REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT CONTROL MEASURES AND FACILITIES INDICATED ON THE APPROVED PLAN SET, INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING, CLEANING, AND MAINTAINING ALL CONTROL FACILITIES THROUGHOUT CONSTRUCTION. EROSION AND SEDIMENT POLLUTION CONTROL FEATURES SHALL BE APPLIED TO SECTIONS SUCH AS MATERIAL STORAGE AREAS UNFORESEEN PRIOR TO CONSTRUCTION. PERMANENT EROSION CONTROL FACILITIES WILL BE MAINTAINED BY THE OWNER.

THE TEMPORARY FACILITIES FOR EROSION AND SEDIMENT POLLUTION CONTROL SHALL BE INSPECTED A MINIMUM OF ONCE A WEEK AND AFTER EVERY RAINFALL EVENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF COMPOST SOCKS ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF ROCK FILTERS ACCUMULATIONS REACH 3/4 CAPACITY OF CONCRETE WASHOUT ANY COMPOST SOCK SECTION THAT HAS BEEN UNDERMINED OR OVERTOPPED MUST BE IMMEDIATELY REPLACED. AS CONSTRUCTION PROGRESSES AND DISTURBED AREAS HAVE BEEN STABILIZED, TEMPORARY EROSION CONTROL STRUCTURES ARE TO BE CLEANED AND REMOVED.

THE CONTRACTOR IS REQUIRED TO COMPLETE WRITTEN DOCUMENTATION OF INSPECTION AND REPAIR OR REPLACEMENT OF BMPS BY THE CONTRACTOR. A LOG SHOWING DATES THAT E & S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.

PPC PLAN:

IF THE CONTRACTOR INTENDS ON STORING, USING OR TRANSPORTING WASTE MATERIALS, FUELS OR CHEMICALS ON OR FROM PROJECT SITES DURING CONSTRUCTION A PPC PLAN MUST BE PREPARED BY THE CONTRACTOR AND MADE AVAILABLE ON SITE AT ALL TIMES.

STANDARD E&S PLAN NOTES:

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARED, THE PCSM PLAN PREPARED, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 10 FEET. STOCKPILES SHALL BE PROTECTED BY A 3' HIGH FENCE.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. EXAMPLE OF WASTE MATERIAL INCLUDE BUT IS NOT LIMITED TO:
10.1. EXCESS SOIL MATERIAL
10.2. CONCRETE WASH WATER
10.3. PLASTIC ORANGE SAFETY FENCE
10.4. REMNANT PIECES OF PIPING
10.5. SCRAPS OF GEOTEXTILE
10.6. WOODEN STAKES
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. VEHICLES AND EQUIPMENT MAY NEVER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
16. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
18. ALL SEDIMENT REMOVED FROM BMPS MUST BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE DISPOSED TO A MINIMUM DEPTH OF 3 TO 5 INCHES --- 6 TO 12 INCHES ON COMPACTED SOILS --- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. INTEND TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH SATISFACTORY FILLS.
23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPLETE BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVE WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVE WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
28. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
32. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
33. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
34. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
35. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
36. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS.

SOIL DESCRIPTIONS:

ASD - ARNOT-ROCK OUTCROP COMPLEX, 8 TO 25 PERCENT SLOPES
Lx - LORDSTOWN CHANNERY SILT LOAM, 8 TO 25 PERCENT SLOPES
Ud - UDDORTHENS STRIP MINE

SOIL RESOLUTIONS:

- CUTBANKS/CAVE: STABILIZE DISTURBED AREAS WITH SEED, MULCH AND SOIL SUPPLEMENTS ON SLOPES 3:1 OR GREATER PROVIDE SLOPE MATTING.
• CORROSIVE TO STEEL: STEEL BURIED IN CONSTRUCTION INCLUDES REBAR WHICH WILL BE ENCASED IN CONCRETE.
• CORROSIVE TO CONCRETE: SOIL WITH HIGH SULPHATE CONTENT IS CORROSIVE TO CONCRETE. USE SULPHATE-RESISTANT BLAST-FURNACE CEMENT. COAT CONCRETE WITH BITUMEN OR USE PRECAST CONCRETE STRUCTURES WHEN CONCRETE IS BURIED.
• DROUGHTY: PROVIDE PROPER SOIL SUPPLEMENTS TO PROMOTE VEGETATIVE GROWTH.
• HYDRIC/HYDRIC INCLUSIONS: AERATE SOIL FOR VEGETATIVE GROWTH.
• SLOW PERCOLATION: AVOID COMPACTION WITHIN INFILTRATION AREAS.
• FROST ACTION: LIMIT CONSTRUCTION TO NON-OBSSTRUCTIVE MEASURES DURING WINTER MONTHS.

Table: SOIL LIMITATIONS. Columns: SOIL, CUTBANKS CAVE, CORROSIVE TO CONCRETE/STEEL, DROUGHTY, HYDRIC, SLOW PERCOLATION, FROST ACTION. Rows: ASD, Lx, Ud.

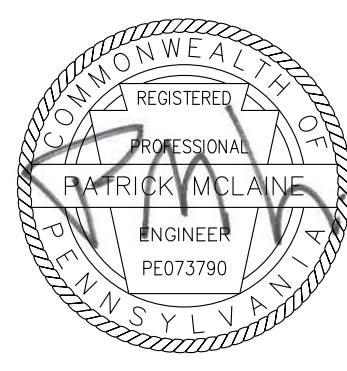


Table: SUBMITTAL. Columns: NO., DATE, DESCRIPTION. Lists revision dates and descriptions for permit completion.

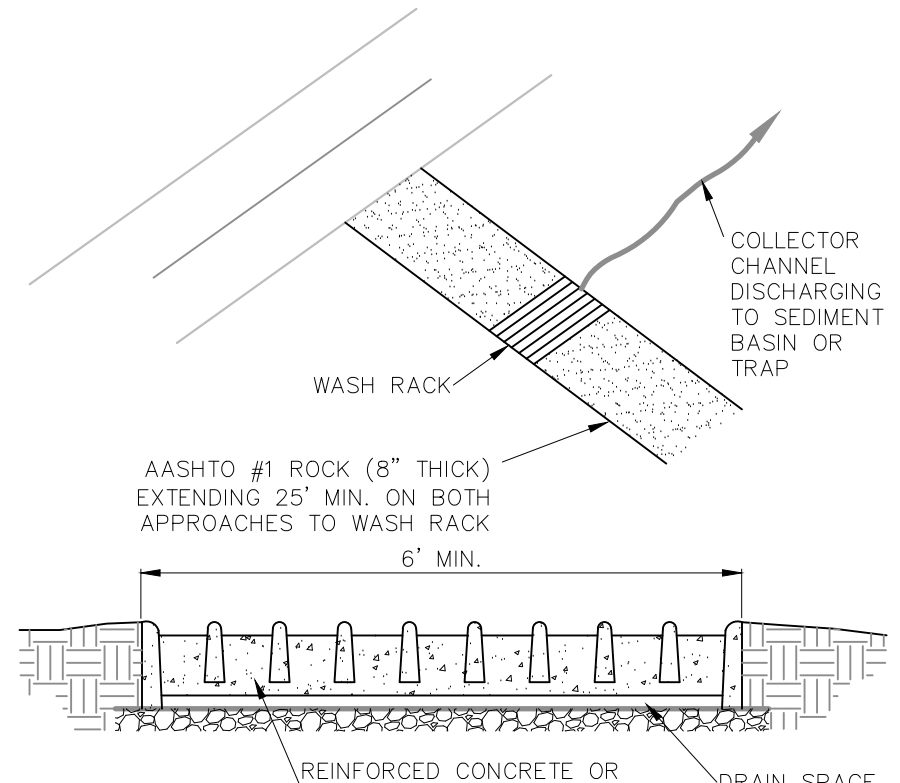
JESSUP STEEL SUPPLY
LOT 14C VALLEY VIEW BUSINESS PARK
JESSUP BOROUGH, LACKAWANNA COUNTY, PA
E&S & PCSM NOTES

PROJECT NO. 5069.00925
DATE ISSUED: 07/21/2025
DRAWN BY: DSS
CHECKED BY: PM
SCALE: AS NOTED

SHEET 14 OF 16

D1.4

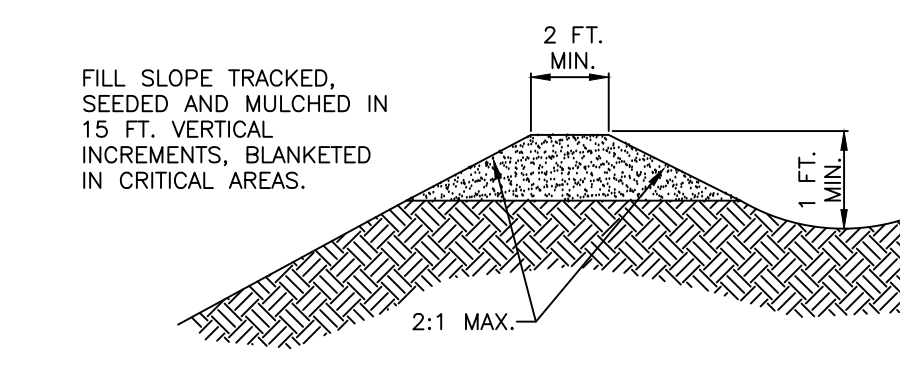
© ALL RIGHTS RESERVED - KEYSTONE CIVIL GROUP, INC. - ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



**NOTES:**  
 WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.  
 WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.  
 A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.

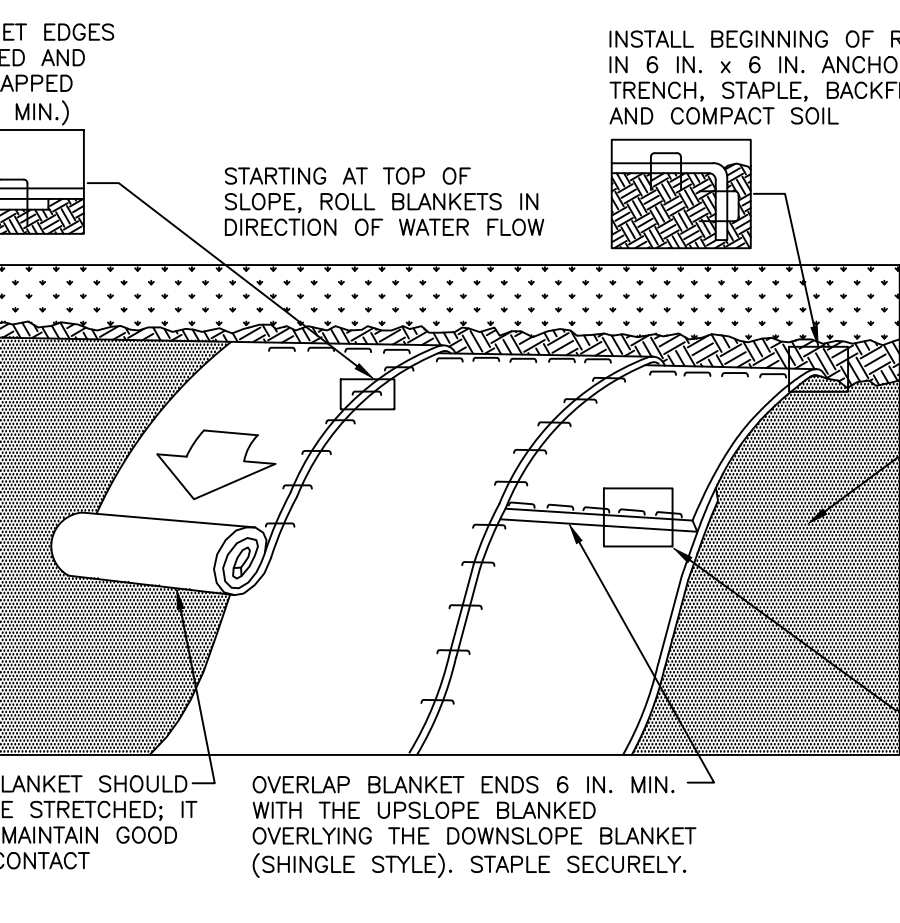
**MAINTENANCE:** ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-2  
 ROCK CONSTRUCTION ACCESS WITH WASH RACK**  
 NOT TO SCALE



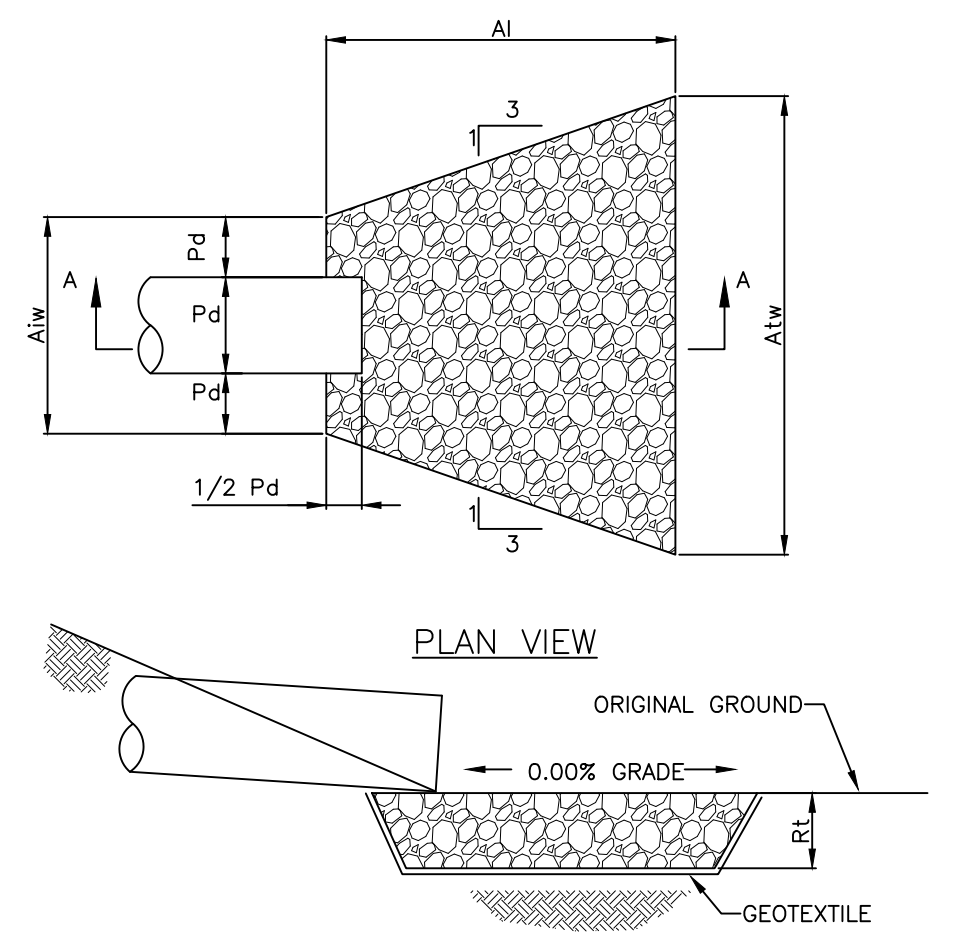
**NOTES:**  
 1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.  
 2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.  
 3. EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST 1/2 DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

**STANDARD CONSTRUCTION DETAIL #9-2  
 RIPRAP APRON AT PIPE OUTLET**  
 NOT TO SCALE



**NOTES:**  
 1. TEMPORARY BERMS SHALL BE PLACED, MAINTAINED, AND ADJUSTED CONTINUOUSLY UNTIL 90% VEGETATIVE GROWTH IS ESTABLISHED ON THE EXTERIOR SLOPES WITH PERMANENT STORM DRAINAGE FACILITIES FUNCTIONING.  
 2. BERMS SHALL OUTLET TO SLOPE PIPES, CHANNELS, OR OTHER APPROVED MEANS OF CONVEYING RUNOFF TO A SEDIMENT TRAP, SEDIMENT BASIN, OR COLLECTOR CHANNEL.  
 3. IF APPLICABLE, CHANNEL BEHIND BERM SHALL HAVE POSITIVE GRADE TO OUTLET AND AN APPROPRIATE PROTECTIVE LINING.  
 4. BERM SHALL BE ADEQUATELY COMPACTED TO PREVENT FAILURE.  
 5. AN ACCEPTABLE ALTERNATIVE TO TOP-OF-SLOPE BERM IS TO CONTINUOUSLY GRADE THE TOP OF FILL TO DIRECT RUNOFF AWAY FROM THE FILLSLOPE TO A COLLECTOR CHANNEL, SEDIMENT TRAP, OR SEDIMENT BASIN.

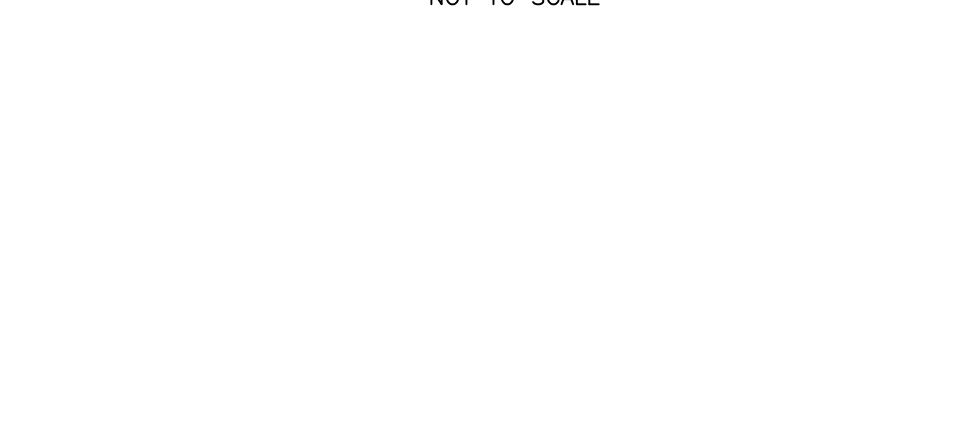
**STANDARD CONSTRUCTION DETAIL #11-1  
 EROSION CONTROL BLANKET INSTALLATION**  
 NOT TO SCALE



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP SIZE R- (IN)	THICK. Rt (IN)	LENGTH Ai (FT)	INITIAL WIDTH AiW (FT)	TERMINAL WIDTH AiW (FT)
1	15	4	18	8	4	12
2	15	3	9	8	4	12

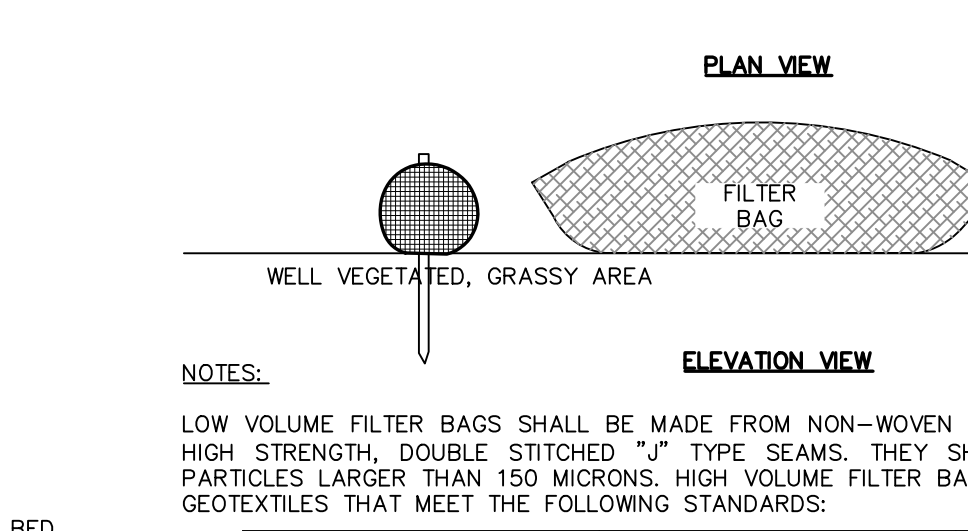
**NOTES:**  
 1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.  
 2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.  
 3. EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST 1/2 DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

**STANDARD CONSTRUCTION DETAIL #1-1  
 SAND BAG INLET PROTECTION - TYPE C INLET**  
 NOT TO SCALE



**NOTES:**  
 1. SAND BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.  
 2. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

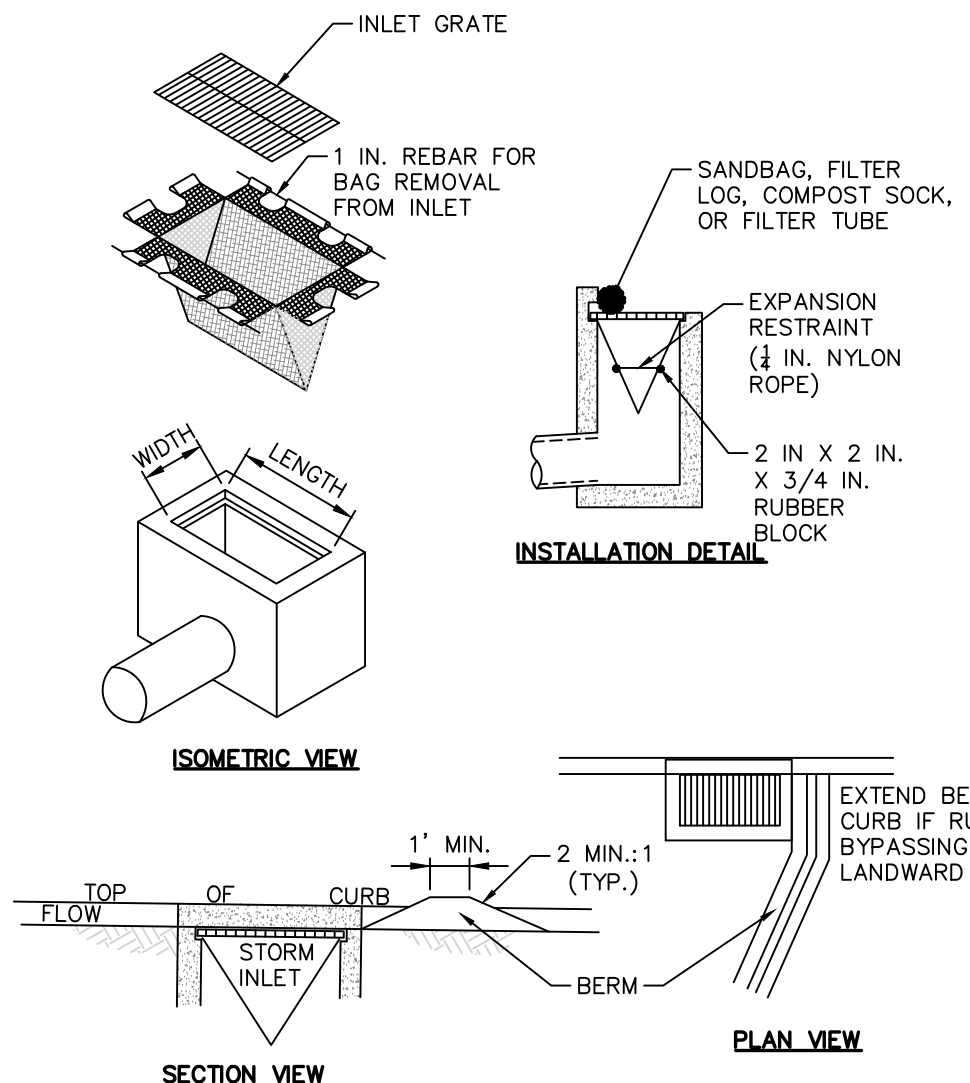
**STANDARD CONSTRUCTION DETAIL #4-15  
 FILTER BAG INLET PROTECTION - TYPE C INLET**  
 NOT TO SCALE



PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4852	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ACS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.  
 BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SOLE STEEPNESS.  
 NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HD OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.  
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.  
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.  
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16  
 PUMPED WATER FILTER BAG**  
 NOT TO SCALE



**NOTES:**  
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
 ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.  
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

**INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.**

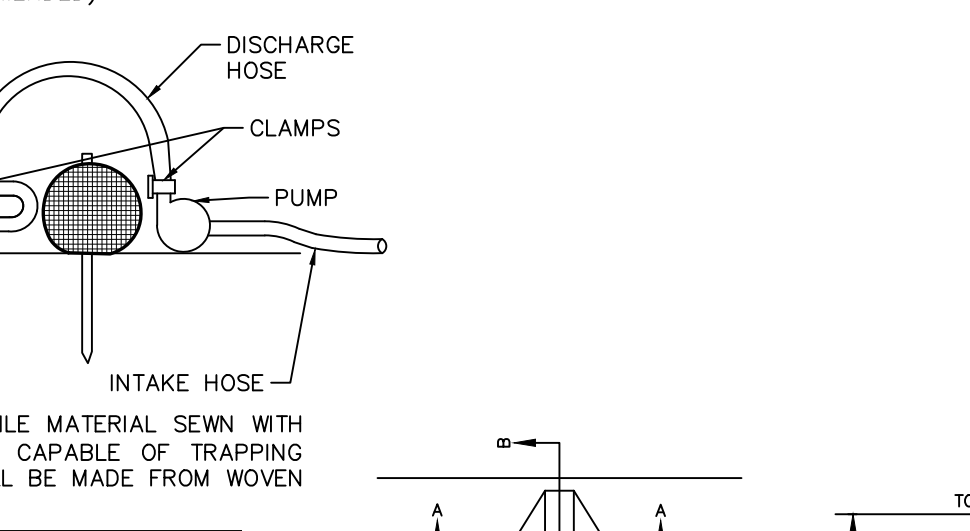
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-15  
 FILTER BAG INLET PROTECTION - TYPE C INLET**  
 NOT TO SCALE



**NOTES:**  
 1. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTERS.  
 2. IMMEDIATELY UPON STABILIZATION OF EACH CHANNEL, REMOVE ACCUMULATED SEDIMENT, REMOVE ROCK FILTER, AND STABILIZE DISTURBED AREAS.

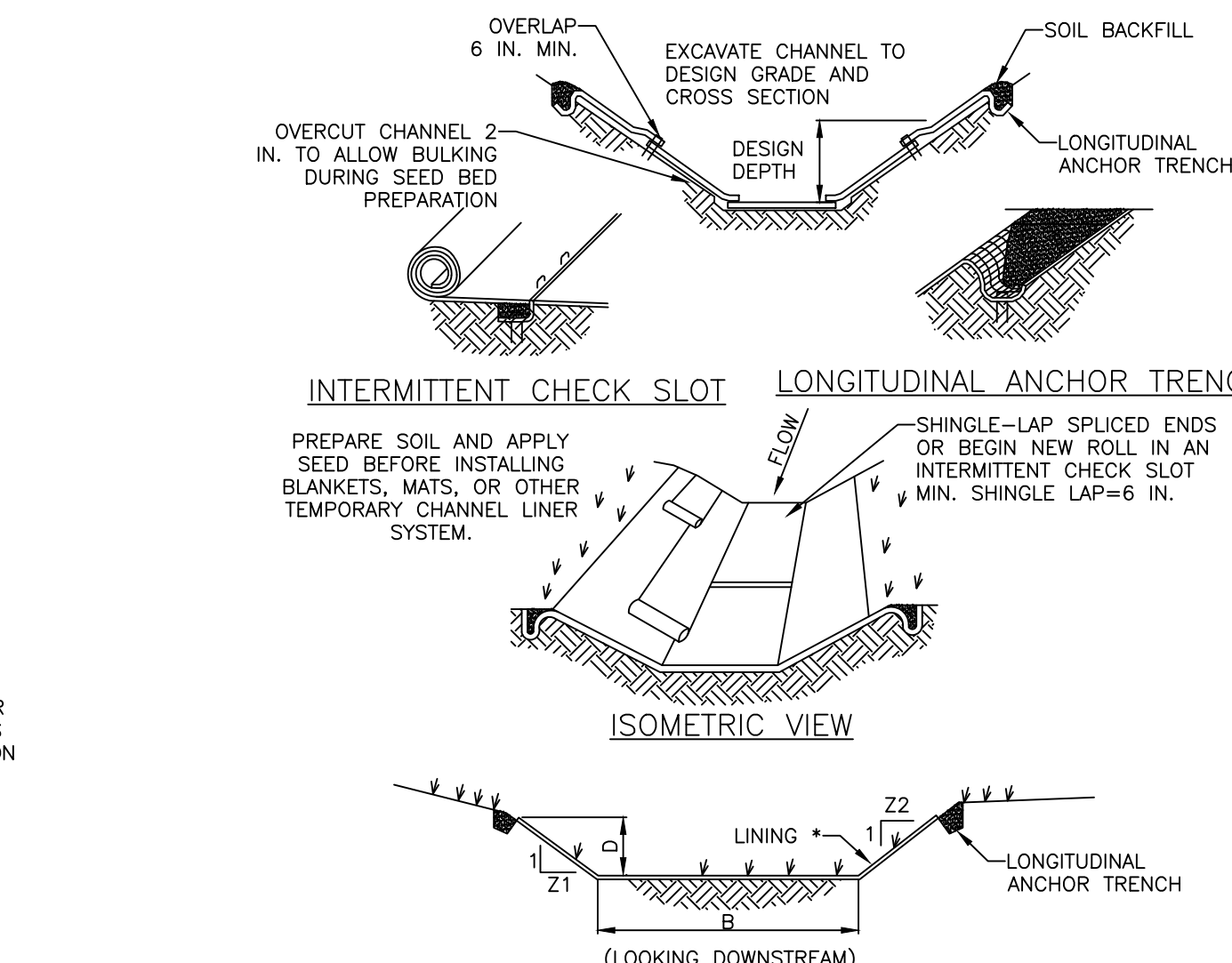
**STANDARD CONSTRUCTION DETAIL #4-14  
 ROCK FILTER**  
 NOT TO SCALE



ROCK FILTER NO.	LOCATION	D (FT)	RIPRAP SIZE (R-)
1	CHANNEL 1	2	3

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.  
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.  
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTO-DEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.  
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1  
 COMPOST FILTER SOCK**  
 NOT TO SCALE



**NOTES:**  
 1. ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.  
 2. CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION.  
 3. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.  
 4. NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

CHANNEL NO.	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING *
1	2	1	10	2	2	SC250

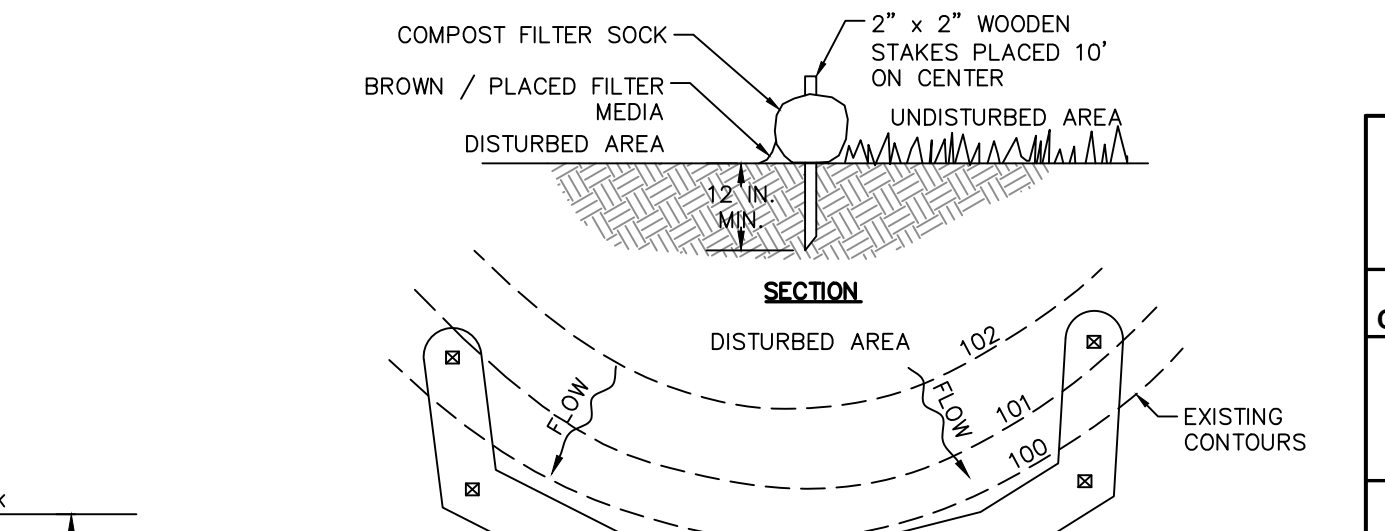
\* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION

**STANDARD CONSTRUCTION DETAIL #6-1  
 VEGETATED CHANNEL**  
 NOT TO SCALE



**NOTES:**  
 1. ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.  
 2. CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION.  
 3. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.  
 4. NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

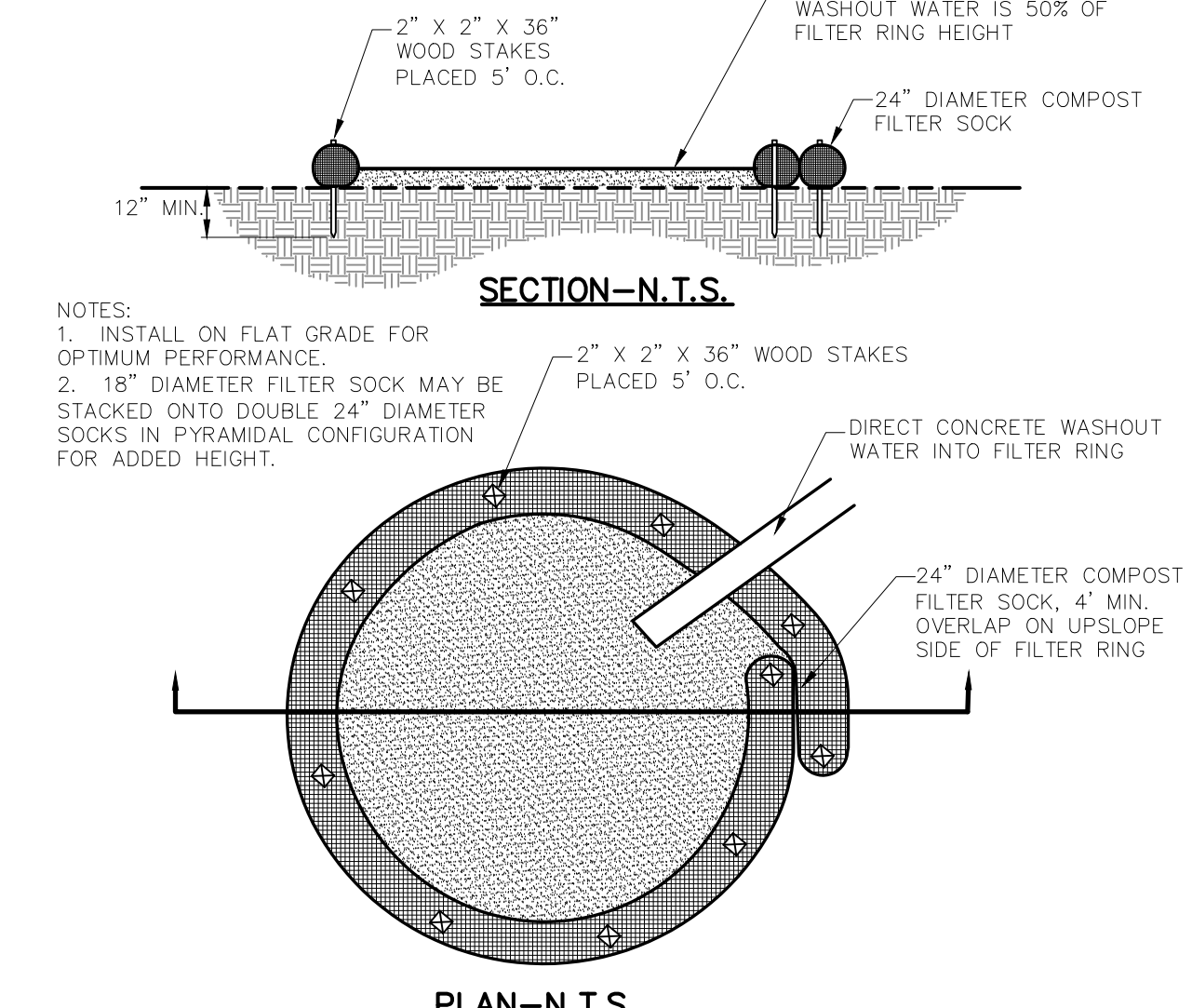
**STANDARD CONSTRUCTION DETAIL #4-1  
 COMPOST FILTER SOCK**  
 NOT TO SCALE



MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
<b>MATERIAL CHARACTERISTICS</b>	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
<b>SOCK DIAMETERS</b>	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
<b>MESH OPENING</b>	3/8"	3/8"	3/8"	3/8"	1/8"
<b>TENSILE STRENGTH</b>		26 PSI	26 PSI	44 PSI	202 PSI
<b>ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)</b>	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
<b>MINIMUM FUNCTIONAL LONGEVITY</b>	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

**TABLE 4.1  
 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS**

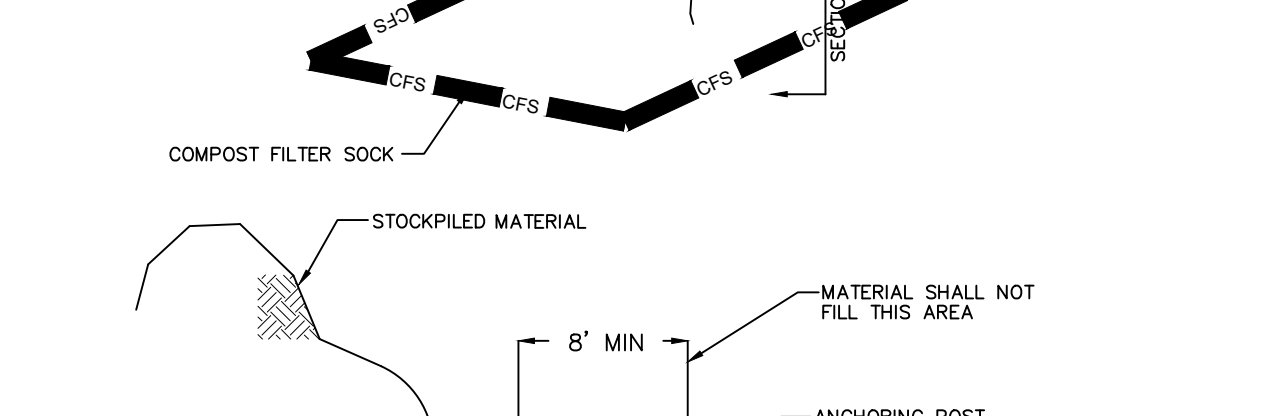
**STANDARD CONSTRUCTION DETAIL #4-1  
 COMPOST FILTER SOCK**  
 NOT TO SCALE



**NOTES:**  
 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.  
 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

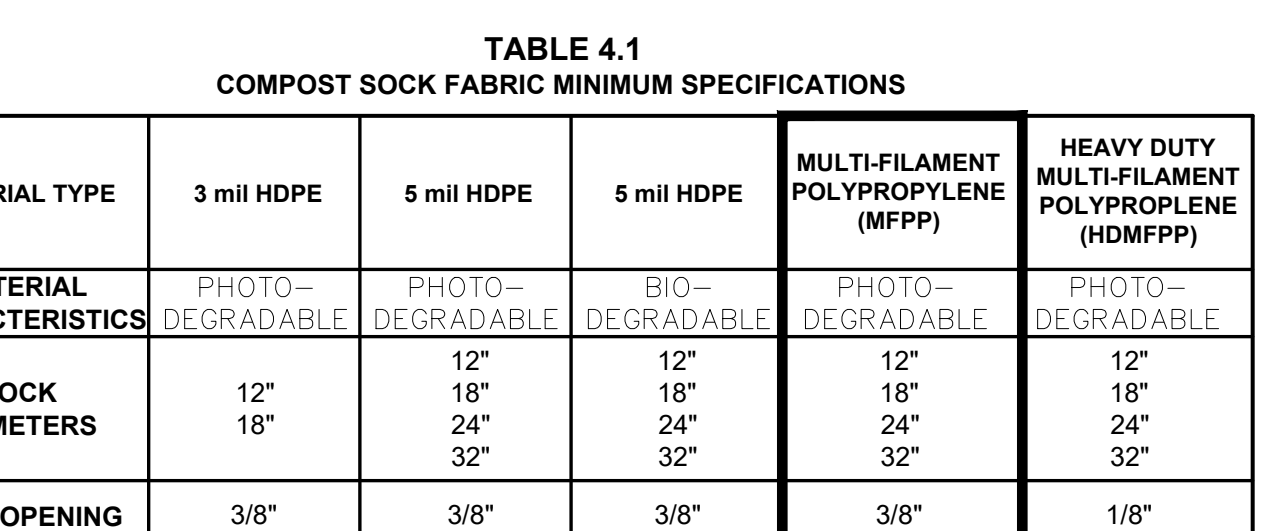
A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.  
 MAINTENANCE:  
 ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.  
 ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.  
 PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

**STANDARD CONSTRUCTION DETAIL #4-1  
 COMPOST FILTER SOCK WASHOUT**  
 NOT TO SCALE



**NOTES:**  
 1. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTERS.  
 2. IMMEDIATELY UPON STABILIZATION OF EACH CHANNEL, REMOVE ACCUMULATED SEDIMENT, REMOVE ROCK FILTER, AND STABILIZE DISTURBED AREAS.

**STANDARD CONSTRUCTION DETAIL #4-1  
 COMPOST FILTER SOCK**  
 NOT TO SCALE



ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
<b>ORGANIC PORTION</b>	FIBROUS AND ELONGATED
<b>pH</b>	5.5 - 8.5
<b>MOISTURE CONTENT</b>	30% - 60%
<b>PARTICLE SIZE</b>	30%-50% PASS THROUGH 3/8" SCREEN
<b>SOLUBLE SALT CONCENTRATION</b>	5.0 dS/m (mmhos/cm) MAXIMUM

**TABLE 4.2  
 COMPOST STANDARDS**

**STANDARD CONSTRUCTION DETAIL #4-1  
 COMPOST FILTER SOCK**  
 NOT TO SCALE

**CIVIL STRUCTURAL ENGINEERS**  
**KS9**  
 KEYSTONE CIVIL GROUP, INC.  
 711 DAVIS ST. SCARLETON, PA 15085  
 (717) 670-6669-2189  
 WWW.KS9ENGINEERS.COM

NO.	SUBMITTAL DESCRIPTION	DATE
1	REVISED PER LCDD ADMIN INCOMPLETENESS COMMENTS RECEIVED 7/30/2025	8/11/2025
2	REVISED PER LCDD ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/2/2025	9/15/2025
3	REVISED PER LCDD ADMIN INCOMPLETENESS COMMENTS RECEIVED 9/15/2025	9/29/2025
4	REVISED PER PADEP NPDES TECHNICAL COMMENTS RECEIVED 12/03/2025	12/12/2025

**JESSUP STEEL SUPPLY**  
**LOT 14C VALLEY VIEW BUSINESS PARK**  
**JESSUP BOROUGH, LACKAWANNA COUNTY, PA**  
**E&S DETAILS**

PROJECT NO: 5069.00925  
 DATE ISSUED: 07/21/2025  
 DRAWN BY: DSS  
 CHECKED BY: PM  
 SCALE: AS NOTED  
 SHEET 15 OF 16  
**D1.5**

