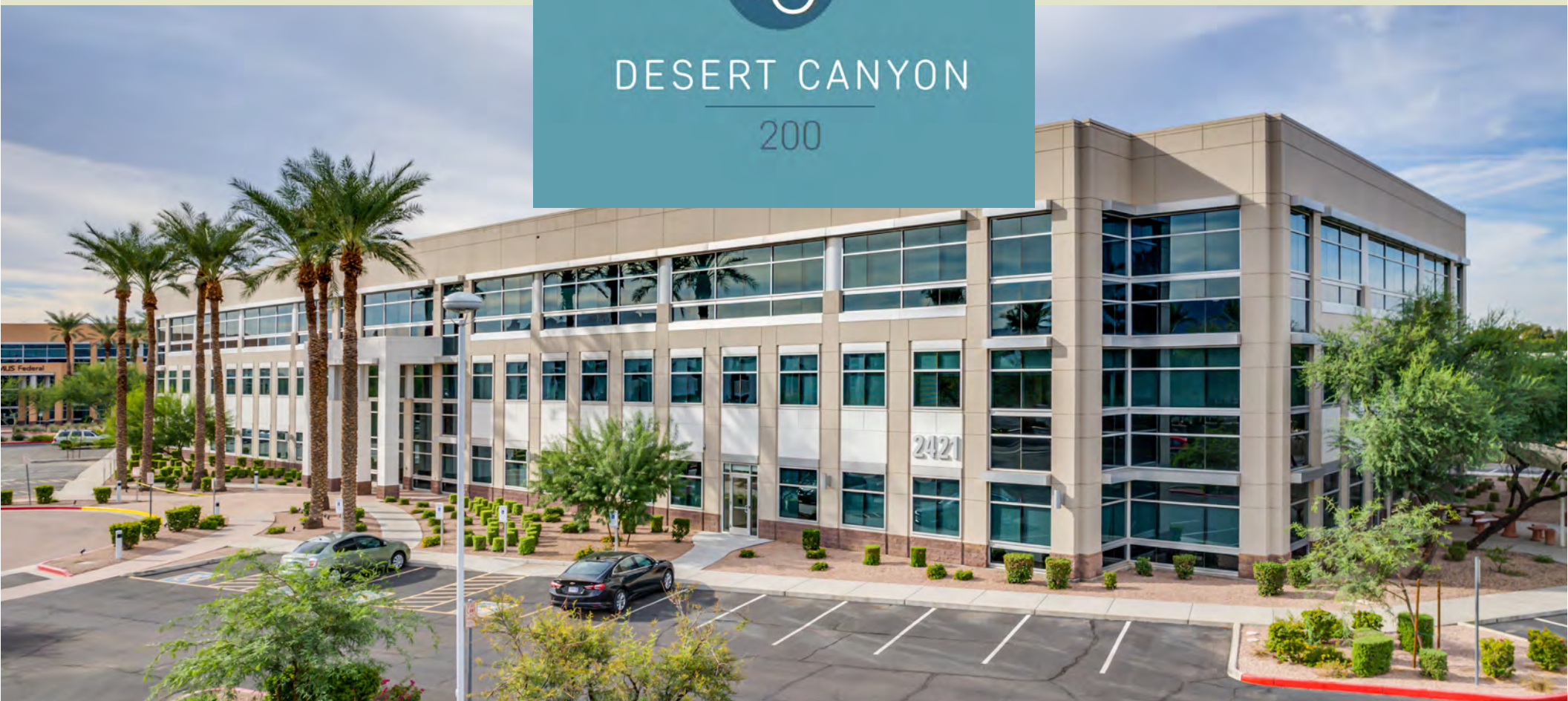




DESERT CANYON






200



2421 West Peoria Avenue, Phoenix, Arizona 85029



Part of the ±22-acre Desert Canyon Corporate Campus, Desert Canyon 200 is a three-story, multi-tenant office building featuring:

-  ±98,863 rentable square feet on 6.74 acres
-  ±5.73/1,000 parking ratio
-  Dramatic two story lobby
-  Abundant glass line
-  Convenient access to Metrocenter, hotels and restaurants

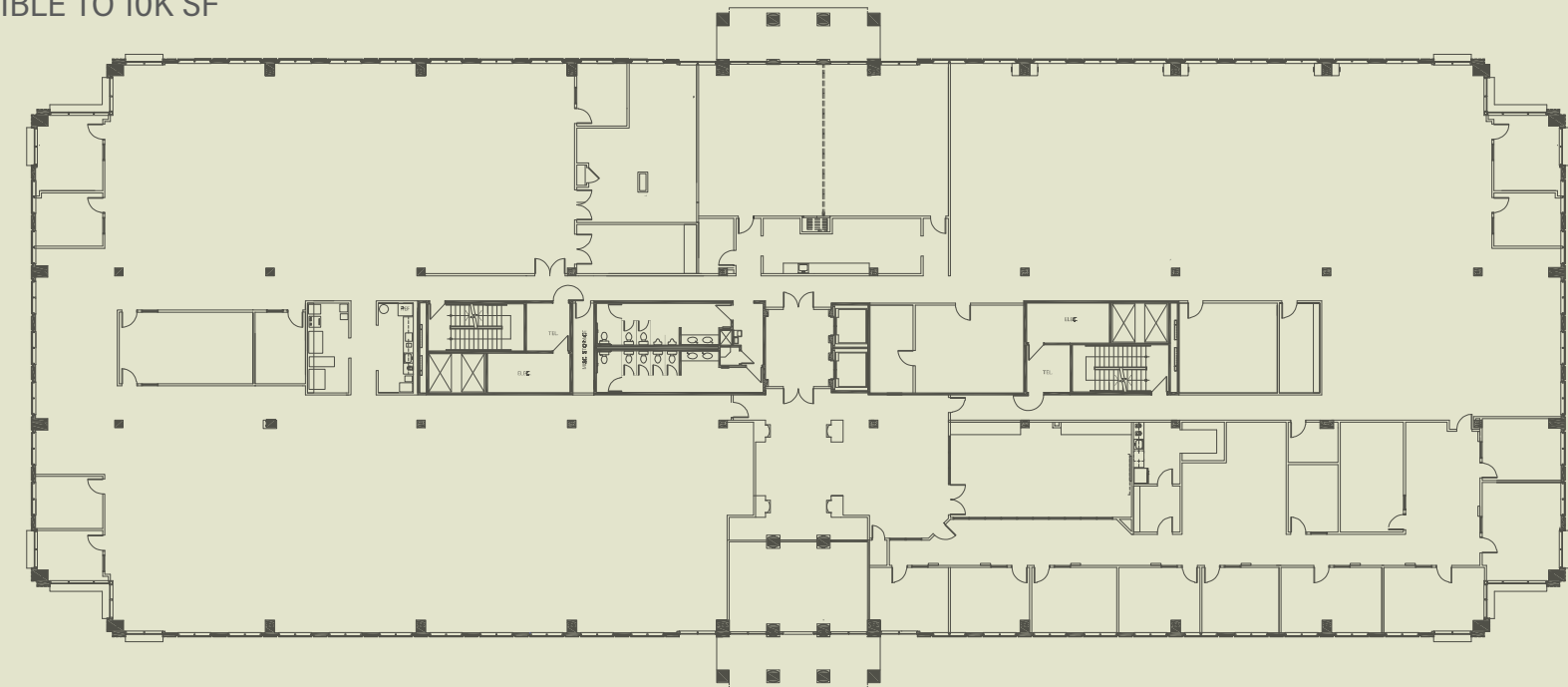


Renovations include:

- An enhanced lobby with abundant glass, new furniture, new paint and tenant directory signage
- A recently painted exterior
- New landscaping
- Upgraded monument signage
- Parking lot seal coat completed

SUITE 200 | 33,858 SF

READY FOR OCCUPANCY
DIVISIBLE TO 10K SF



Location features:

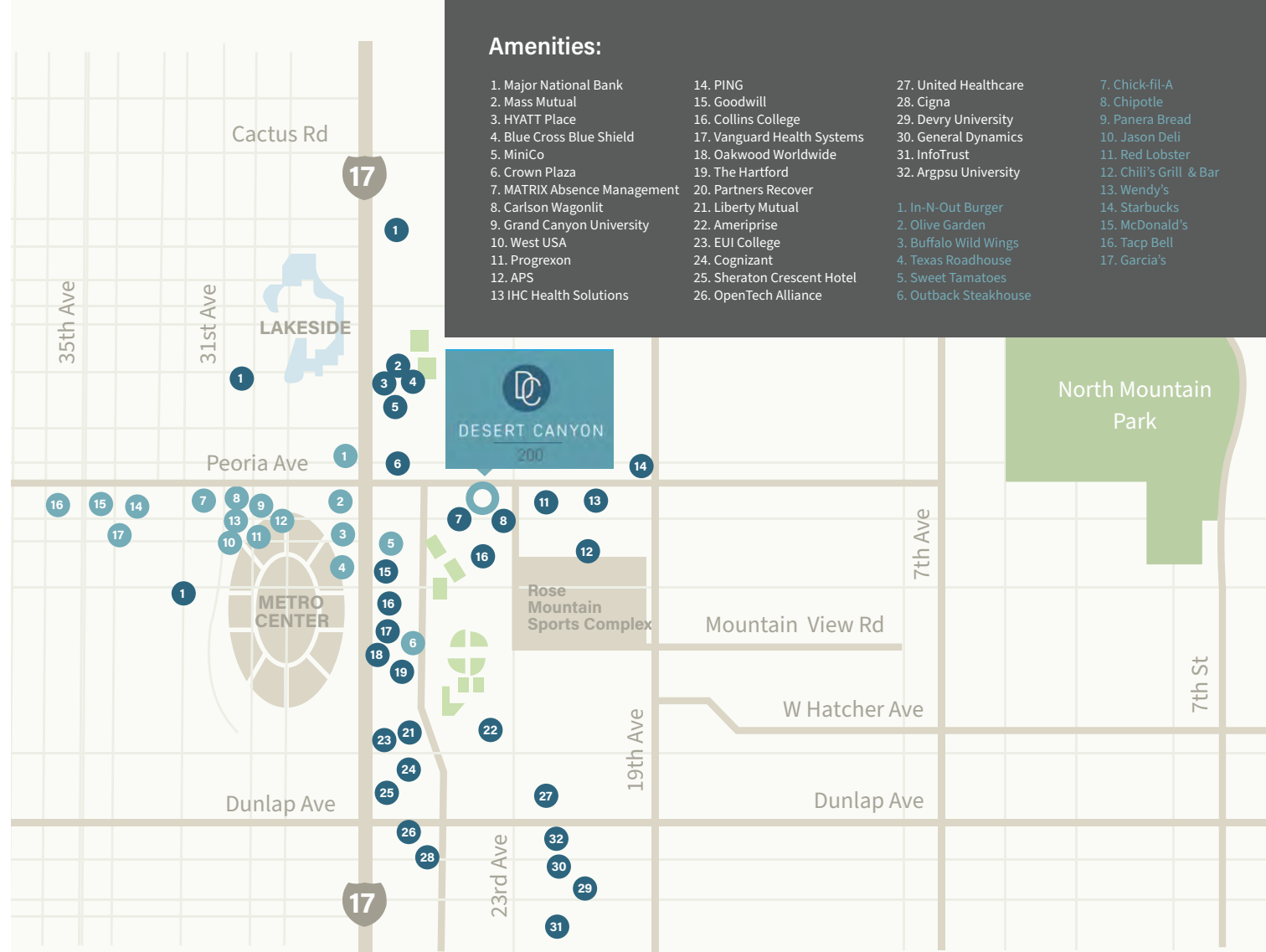
- Less than ¼ mile east of the 1-17 and Peoria Avenue full-diamond interchange
- 15 minutes from the Phoenix Sky Harbor International Airport

Centrally located to:

- Diverse labor pools
- Dining and shopping venues including the ±1.4 million square foot Metrocenter Mall
- Cultural and sporting venues

Near Fortune 500 corporate neighbors:

The I-17 Corridor is a preferred location for large corporate users, including TSMC, USAA, Cigna, Blue Cross/Blue Shield, Discover, Southwest Gas, American Express, Wells Fargo, Safeway, TriWest Healthcare Alliance, Honeywell, Farmers Insurance, PetsMart, Cognizant, Mass Mutual, and Best Western among many others.



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