

BELLCORE

COMMERCIAL



FREESTANDING OFFICE BUILDING

1830 HICKORY SHORES BLVD, GULF BREEZE, FL 32563



PROPERTY DESCRIPTION

Excellent freestanding medical or administrative office building available in Gulf Breeze, Florida. The +/-1.77-Acre property is located on Hickory Shores Rd off of Gulf Breeze Pkwy. The office building is +/-5,325 sq ft and was previously used as a medical rehabilitation facility with numerous private offices. The building is in the process of being completely repainted and a new roof has been installed. The property is zoned HCD-Highway Commercial Development District, which allows for numerous commercial uses. The site would be ideal for a professional office, medical office, school, daycare, and more. Hickory Shores Rd connects to Highway 98, which is one of the main arterials stretching across the Florida Panhandle. Highway 98 experiences over 36,500 cars per day near the site and is near many local businesses, grocery stores, and restaurants. Gulf Breeze is the midway point between Navarre and Pensacola and is known for its top-rated schools, beautiful beaches, and low crime rates making it an excellent place to reside.

PROPERTY HIGHLIGHTS

- Prime +/- 5,325 SF office available in the heart of Gulf Breeze
- The building has been repainted with a new roof installed (April 2022)
- Excellent site for a rehabilitation facility or medical user
- Located near schools, beaches, and shopping

FOR LEASE | FREESTANDING OFFICE BUILDING

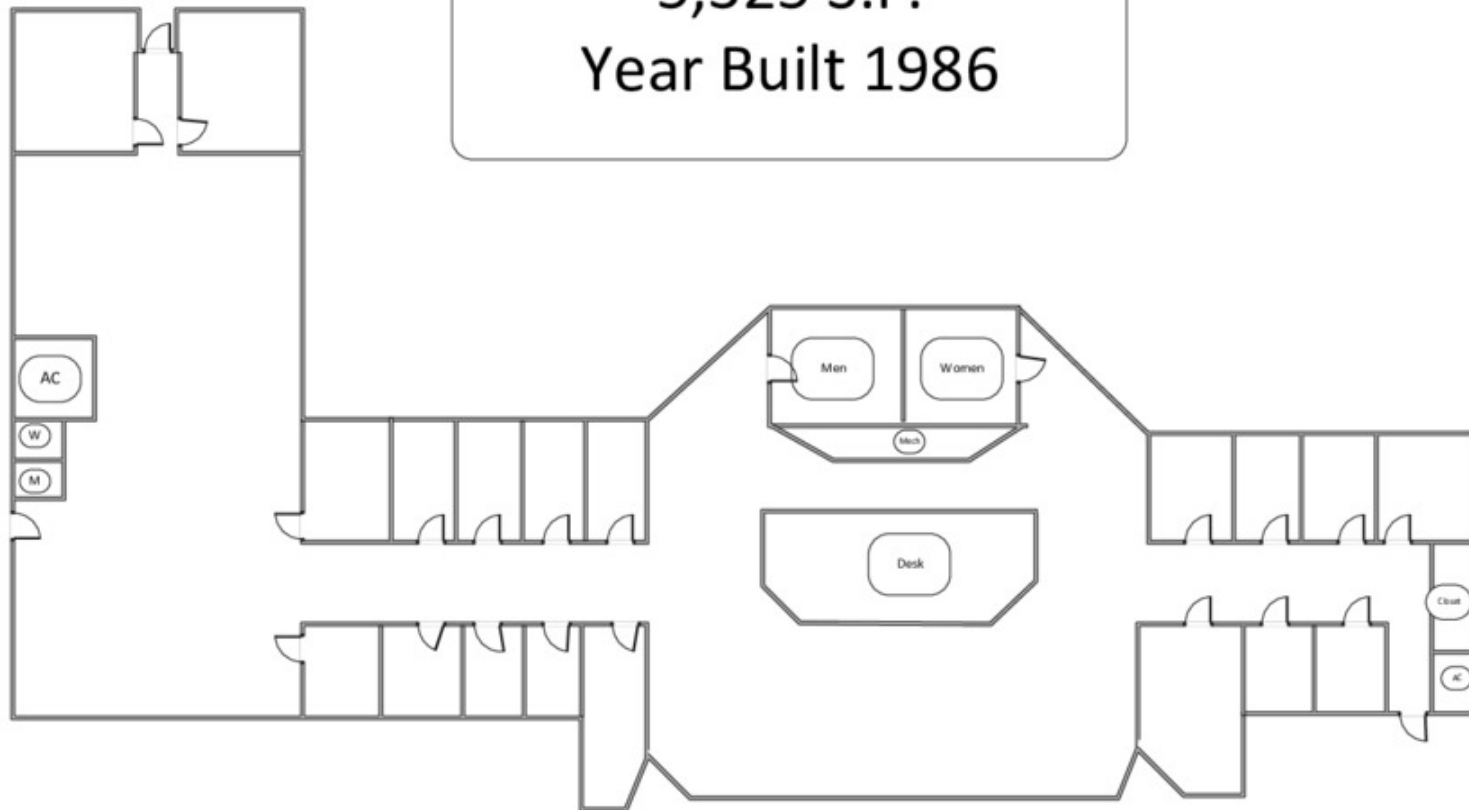
OFFERING SUMMARY

Lease Rate	\$16 SF/yr
Building Size	+/- 5,325 SF
Lot Size	1.77 Acres
Zoning	HCD
Property Type	Office
Traffic Count	36,500
Market	Gulf Breeze





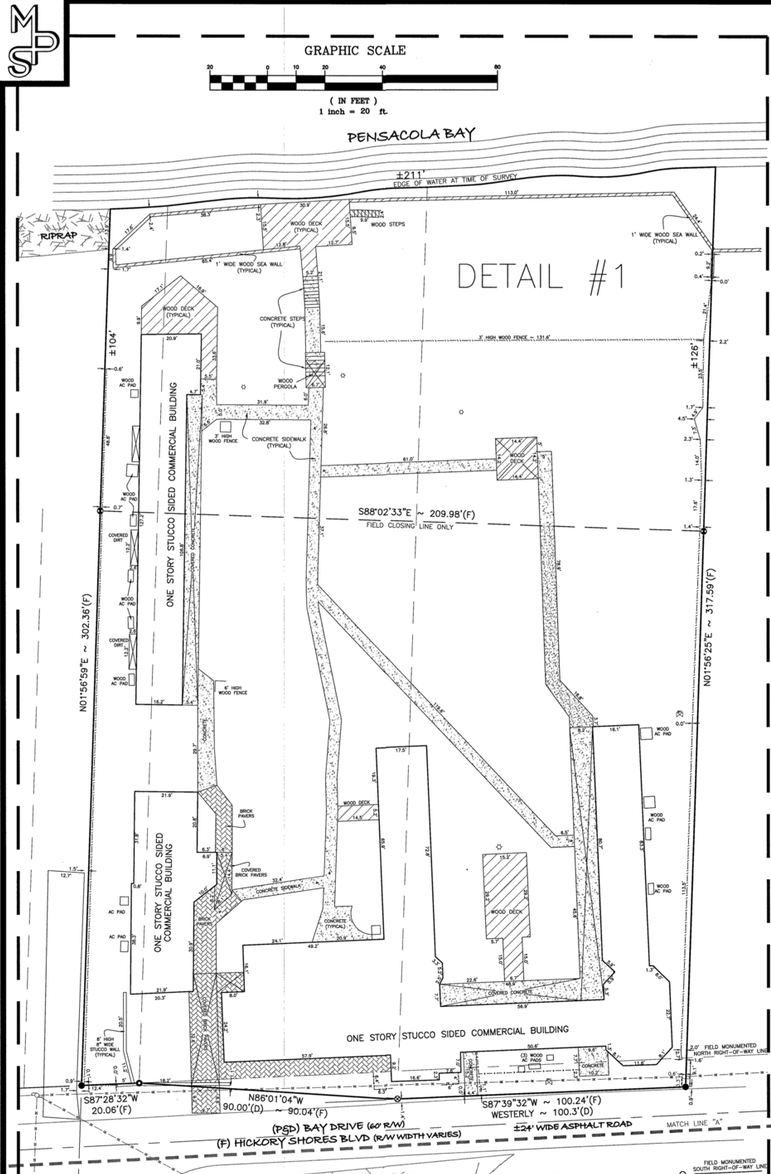
1830 Hickory Shores
Blvd
Friary- Ohstromm
5,325 S.F.
Year Built 1986





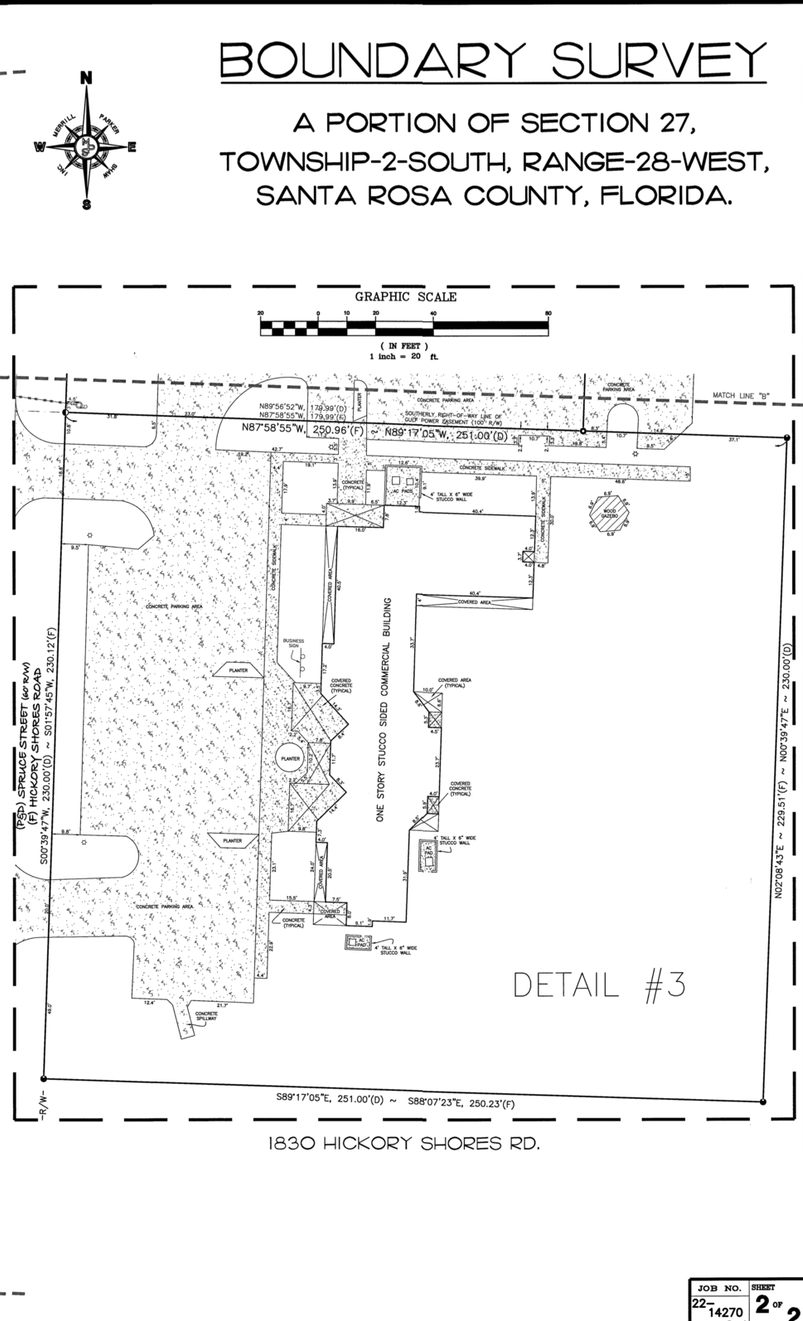
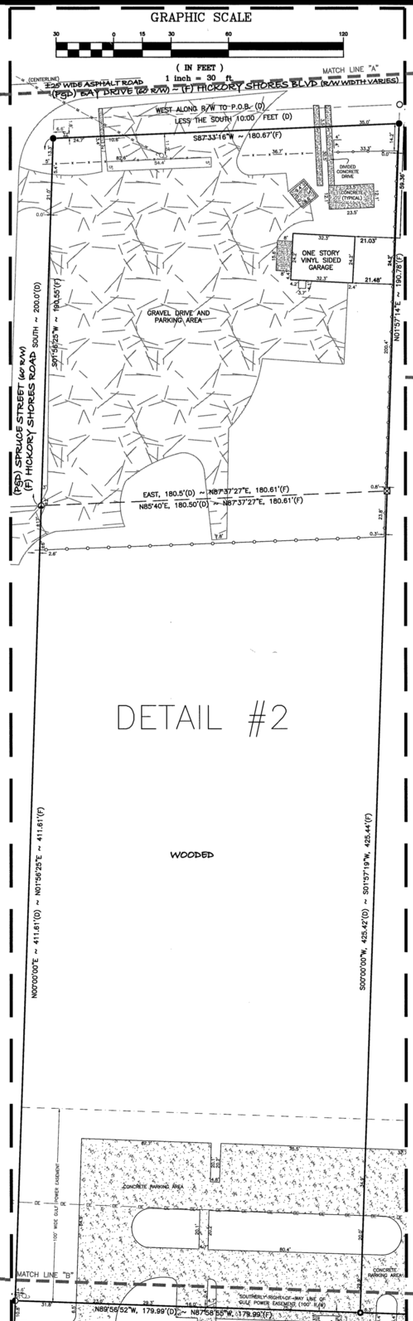
BOUNDARY SURVEY

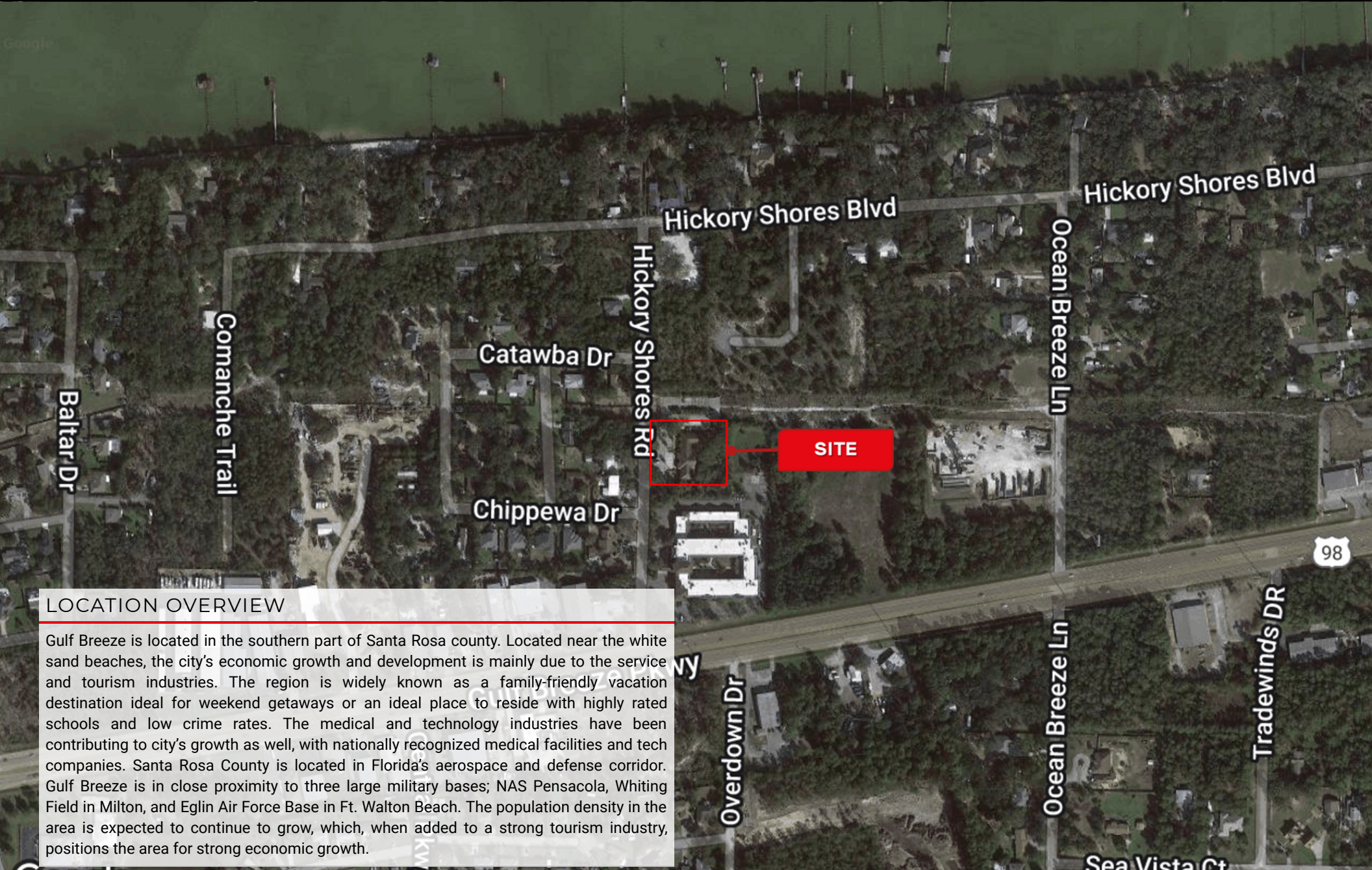
A PORTION OF SECTION 27,
TOWNSHIP-2-SOUTH, RANGE-28-WEST,
SANTA ROSA COUNTY, FLORIDA.



LEGEND

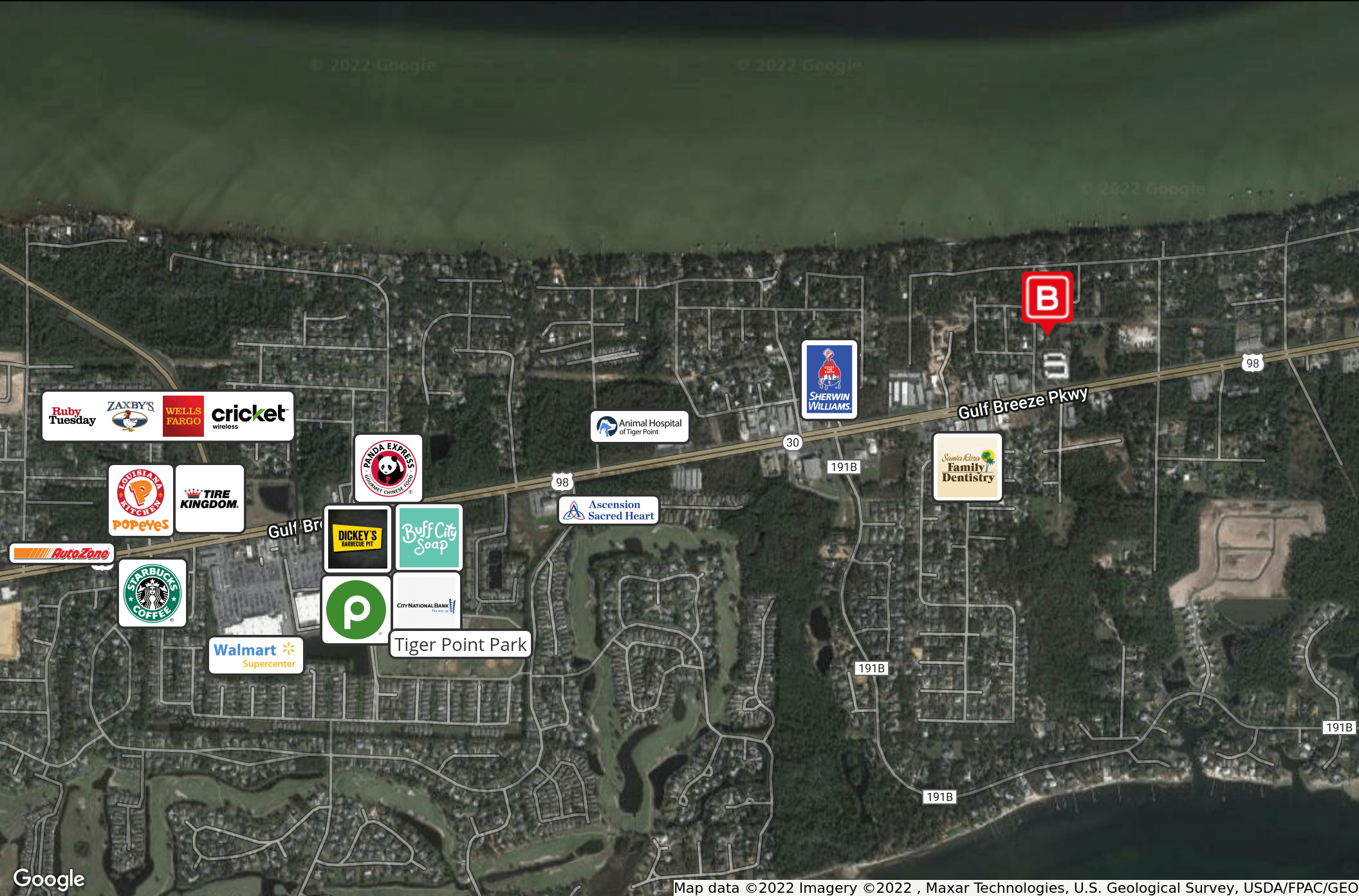
<ul style="list-style-type: none"> ○ 1/4" CONCRETE MONUMENT, ELEVATION (FOUND) ○ 3/8" CAPPED IRON ROD, NUMBER 1748 (FOUND) ○ 1/2" CAPPED IRON ROD, NUMBER 0281 (FOUND) ○ 3/8" PLAN IRON ROD, UNNUMBERED (FOUND) ○ 1" PLAN IRON PIPE, UNNUMBERED (FOUND) ○ NAIL AND DISK, UNNUMBERED (FOUND) ○ 3/4" PLAN IRON PIPE, UNNUMBERED (FOUND) ○ 1/2" PLAN IRON ROD, UNNUMBERED (FOUND) ○ NAIL AND DISK IN ASPHALT, NUMBER 8381 (FOUND) ○ 1/2" RED-CAPPED IRON ROD, NUMBER 7174 (SET) ○ 1/2" CAPPED IRON ROD, NUMBER 7174 (SET) ○ PUNCH HOLE IN CONCRETE OR WALL (SET) ○ ACTUAL CORNER NOT FOUND P.I. = POINT OF INTERSECTION R/W = RIGHT OF WAY 	<ul style="list-style-type: none"> ○ R. = OFFICIAL RECORDS (F) = PLATTED INFORMATION (M) = FIELD MEASUREMENT INFORMATION (S) = DEED / INFORMATION --- INDICATES NOT TO SCALE --- OVERHEAD ELECTRIC LINE --- 6" HIGH WOOD PRIVACY FENCE --- 6" HIGH PLASTIC FENCE --- 6" HIGH PLASTIC FENCE --- 4" HIGH CHAIN LINK FENCE ○ UTILITY POLE ○ LIGHT POLE ○ WATER VALVE ○ FIRE HYDRANT
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LOCATION OVERVIEW

Gulf Breeze is located in the southern part of Santa Rosa county. Located near the white sand beaches, the city's economic growth and development is mainly due to the service and tourism industries. The region is widely known as a family-friendly vacation destination ideal for weekend getaways or an ideal place to reside with highly rated schools and low crime rates. The medical and technology industries have been contributing to city's growth as well, with nationally recognized medical facilities and tech companies. Santa Rosa County is located in Florida's aerospace and defense corridor. Gulf Breeze is in close proximity to three large military bases; NAS Pensacola, Whiting Field in Milton, and Eglin Air Force Base in Ft. Walton Beach. The population density in the area is expected to continue to grow, which, when added to a strong tourism industry, positions the area for strong economic growth.



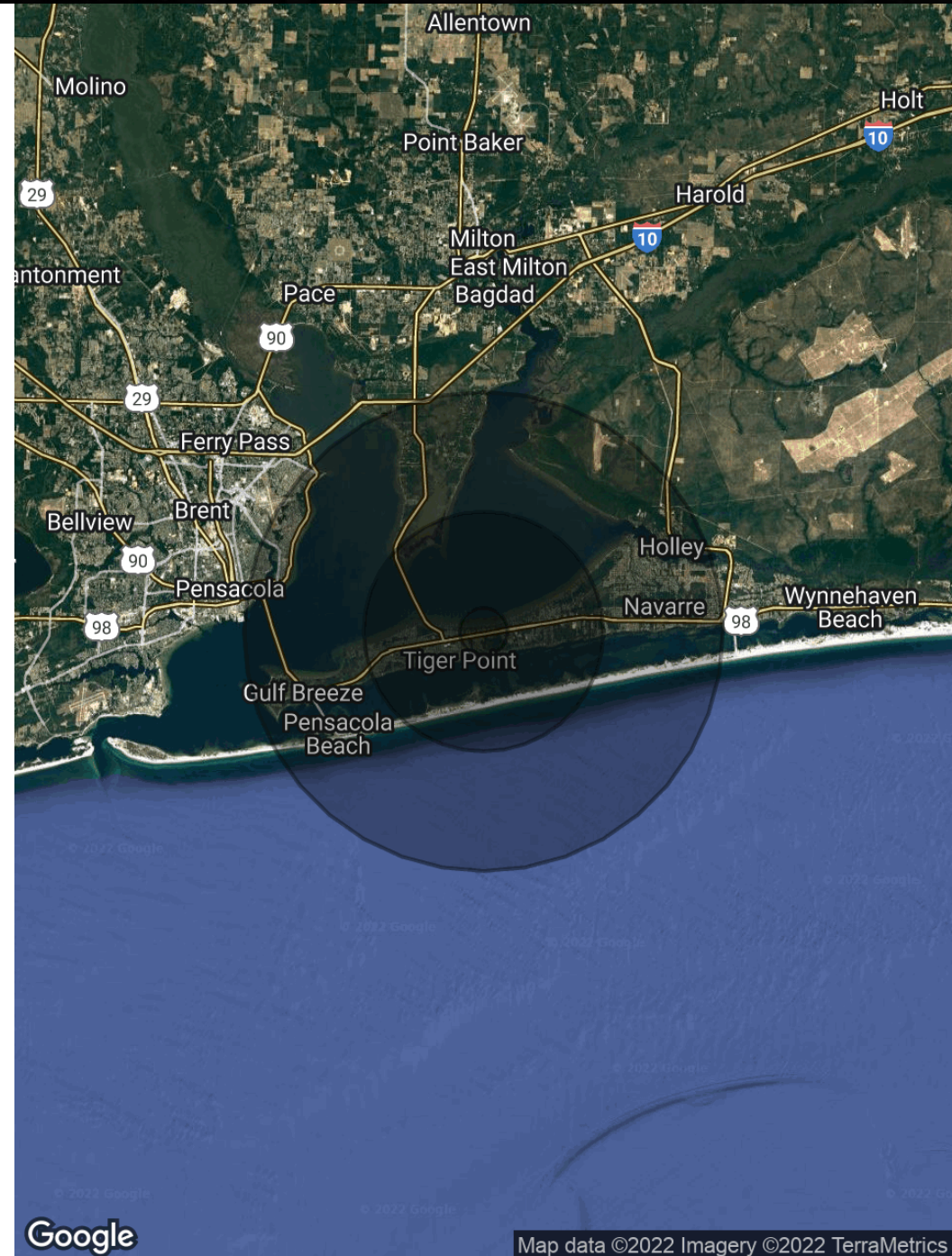
Summary Profile

2000-2010 Census, 2021 Estimates with 2026 Projections
Calculated using Weighted Block Centroid from Block Groups

Lat/Lon: 30.3956/-87.0393

Hickory Shores Rd Gulf Breeze, FL 32563	1 mi radius	3 mi radius	5 mi radius
Population			
2021 Estimated Population	2,234	13,913	25,766
2026 Projected Population	2,493	15,678	28,838
2010 Census Population	1,940	11,888	21,415
2000 Census Population	1,544	9,151	17,204
Projected Annual Growth 2021 to 2026	2.3%	2.5%	2.4%
Historical Annual Growth 2000 to 2021	2.1%	2.5%	2.4%
2021 Median Age	46.6	43.0	42.9
Households			
2021 Estimated Households	922	5,718	10,562
2026 Projected Households	987	6,178	11,330
2010 Census Households	793	4,809	8,614
2000 Census Households	610	3,658	6,809
Projected Annual Growth 2021 to 2026	1.4%	1.6%	1.5%
Historical Annual Growth 2000 to 2021	2.4%	2.7%	2.6%
Race and Ethnicity			
2021 Estimated White	92.6%	90.1%	90.3%
2021 Estimated Black or African American	1.8%	2.7%	2.5%
2021 Estimated Asian or Pacific Islander	2.0%	2.2%	2.3%
2021 Estimated American Indian or Native Alaskan	0.7%	0.7%	0.7%
2021 Estimated Other Races	2.9%	4.4%	4.2%
2021 Estimated Hispanic	4.9%	6.9%	6.6%
Income			
2021 Estimated Average Household Income	\$96,503	\$92,397	\$98,687
2021 Estimated Median Household Income	\$90,431	\$74,701	\$79,509
2021 Estimated Per Capita Income	\$39,865	\$38,049	\$40,502
Education (Age 25+)			
2021 Estimated Elementary (Grade Level 0 to 8)	1.3%	1.8%	1.5%
2021 Estimated Some High School (Grade Level 9 to 11)	1.7%	3.2%	3.4%
2021 Estimated High School Graduate	25.5%	24.8%	22.4%
2021 Estimated Some College	19.1%	22.0%	22.0%
2021 Estimated Associates Degree Only	7.3%	12.6%	11.7%
2021 Estimated Bachelors Degree Only	29.4%	22.8%	23.5%
2021 Estimated Graduate Degree	15.7%	12.9%	15.4%
Business			
2021 Estimated Total Businesses	140	661	1,270
2021 Estimated Total Employees	609	3,926	6,951
2021 Estimated Employee Population per Business	4.4	5.9	5.5
2021 Estimated Residential Population per Business	16.0	21.0	20.3

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**HARRY BELL JR.**

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PROFESSIONAL BACKGROUND

Harry Bell is the President and Managing Broker of Bellcore Commercial. Bellcore Commercial is a full-service commercial real estate firm offering a wide range of diversified real estate services, including, but not limited to, investment sales, leasing, tenant representation, and asset management.

Harry has earned a distinguished reputation with over 20+ years of experience and is nationally recognized as a top producer in the commercial real estate industry. Prior to starting Bellcore Commercial, Harry sold his brokerage, John S. Carr & Associates, to an affiliate of Berkshire Hathaway in 2015. Harry brought his unique sales approach, marketing capabilities, and competitiveness to one of the largest real estate companies in the world. Under Berkshire, Harry and his team quickly became #1 globally ranked in commercial sales year after year. Bellcore Commercial offers the catalytic foundation needed for the long-term future growth of the company, team, and its leaders.

Bellcore Commercial is founded on the model that great deals are not measured with money; they are brokered with the foundation of great relationships. At Bellcore, our success is striving for our core principles; leadership, customer loyalty, client success, and integrity.

Bellcore Commercial
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