



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

James A. Mackey  
DATE: T-24-24

APPLICATION: BLDG1063228  
DATE: 09/09/24

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and is being done by a duly licensed Professional Engineer under the laws of the state of Minnesota.

STRUCTURAL ONLY  
Mark Hostetter

Date 7/26/2024

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Reg. No 19906

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Plan Date  
FINAL T-24-24

TOP OF ROOF

KENNEDY DEVELOPMENT

814 9th STREET MINNEAPOLIS



TCO DESIGN

drafting and design design  
3305 Highway 169 N, Suite 222  
Plymouth, MN 55441

dedication to excellence

Prepared by  
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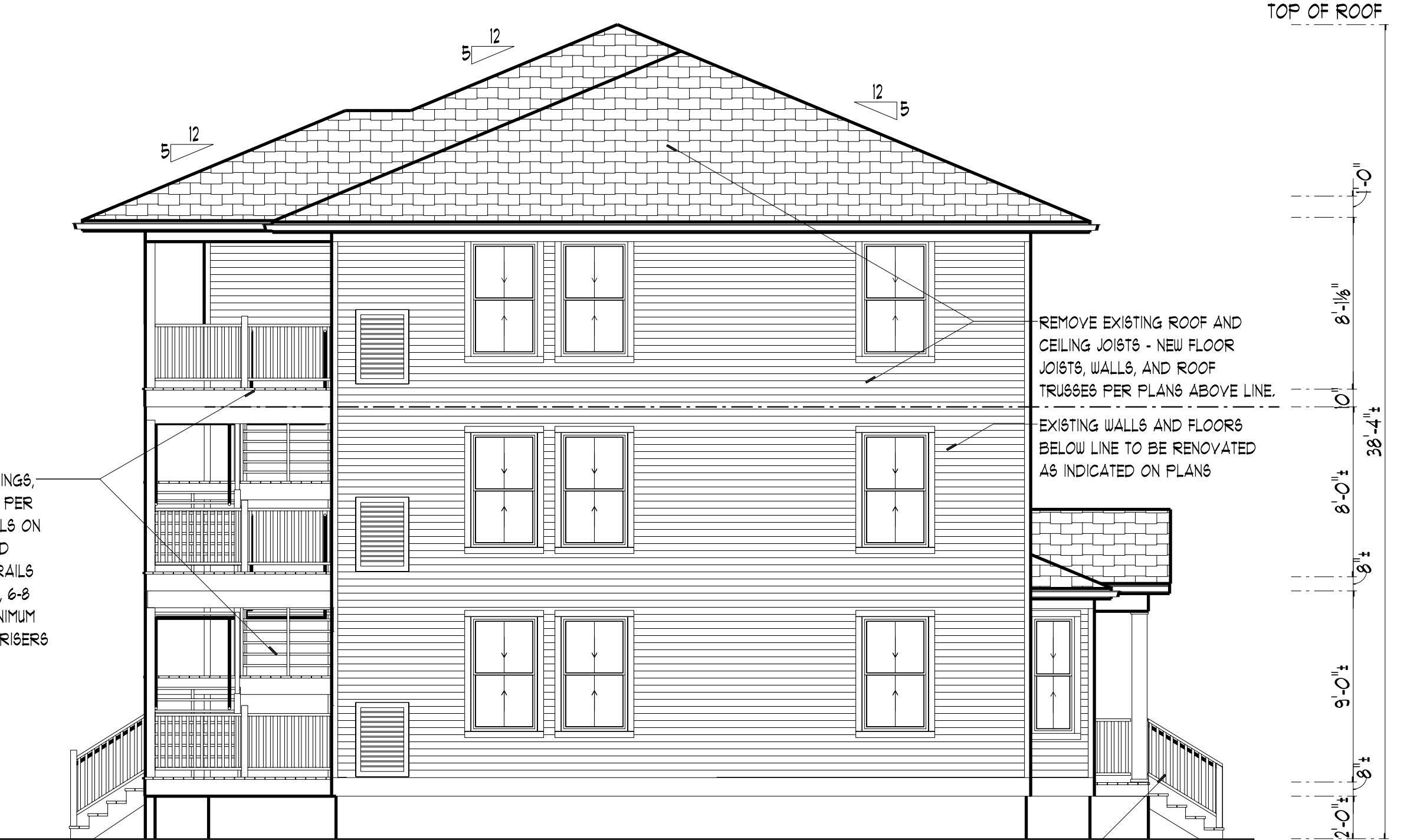
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Design #

tco202432

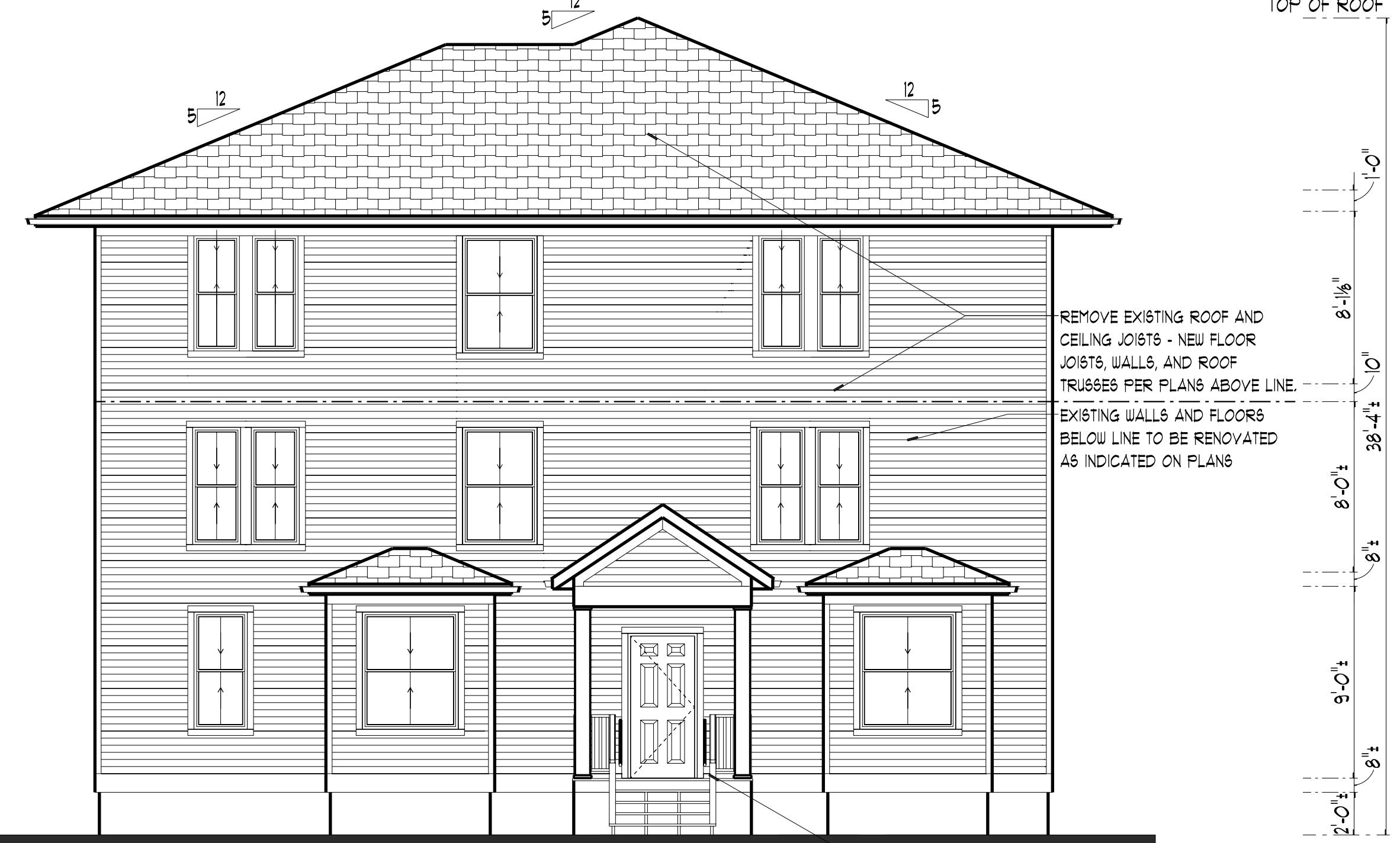
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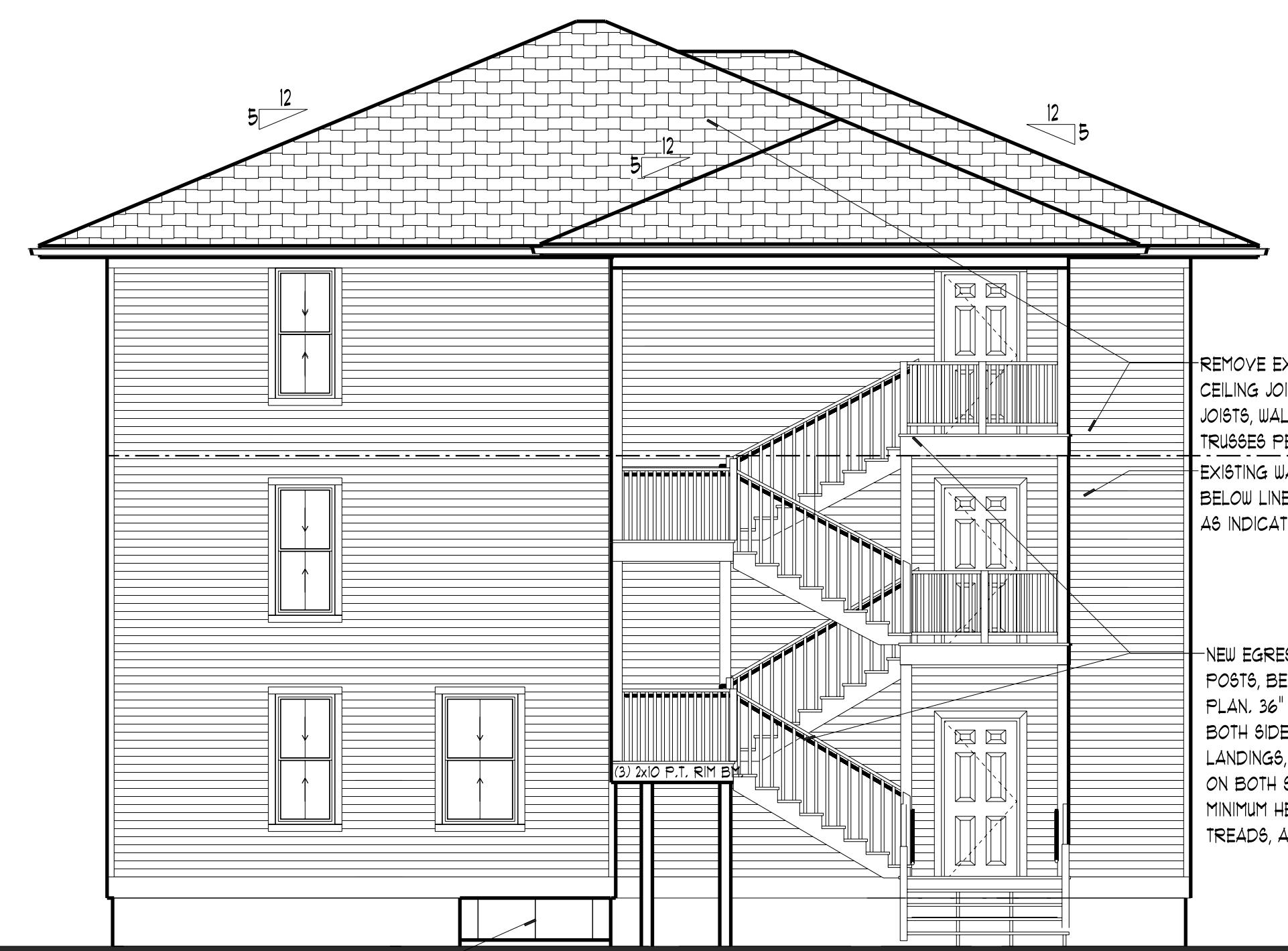
LEFT SIDE (EAST) ELEVATION

SCALE 3/16" = 1'-0"



FRONT (NORTH) ELEVATION

SCALE 3/16" = 1'-0"



REAR (SOUTH) ELEVATION

SCALE 3/16" = 1'-0"



RIGHT SIDE (WEST) ELEVATION

SCALE 3/16" = 1'-0"

#### CODE SUMMARY

##### SCOPE OF WORK:

RENOVATION OF AN EXISTING TWO STORY HOUSE AND A THIRD FLOOR ADDITION TO CREATE A THREE STORY TRIFLEX. SQUARE FOOTAGE: BASEMENT + 516 SQ.FT., FIRST FLOOR + 1611 SQ.FT., SECOND FLOOR + 1885 SQ.FT., AND THIRD FLOOR + 1885 SQ.FT. TOTAL BUILDING AREA + 5317 SQ.FT.

##### APPLICABLE CODES:

2020 MINNESOTA STATE BUILDING CODE (IRC)  
2020 MINNESOTA STATE ACCESSIBILITY CODE  
2020 MINNESOTA STATE MECHANICAL AND FUEL GAS CODE  
2020 MINNESOTA STATE FIRE CODE  
2020 MINNESOTA STATE PLUMBING CODE CHAPTER 41B  
2020 NATIONAL ELECTRIC CODE  
2020 MINNESOTA STATE RESIDENTIAL ENERGY CODE

CLASSIFIED AS RESIDENTIAL BUILDING PER CHAPTER 2 - DEFINITIONS  
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28 OCCUPANTS (3 BASEMENT - 516 / 200 + 1 FIRST FLOOR - 1631 SQ.FT. / 200 + 8 SECOND FLOOR - 1885 SQ.FT. / 200 + 8 THIRD FLOOR - 1885 SQ.FT. / 200)  
R4 (IRC SECTION 30.3)

EXISTING BASEMENT STAIRS ACCESS, NEW STEELWAY ANGLED BASEMENT DOOR. VERIFY EXISTING CONDITIONS.

##### OCCUPANT LOAD:

##### OCCUPANCY TYPE:

##### CONSTRUCTION TYPE:

##### TYPE 'A' AND 'B' UNITS:

NO TYPE 'A' UNITS REQUIRED IN BUILDING WITH 1 OR LESS UNITS - IBC SECTION 101.6.2.1  
NO TYPE 'B' UNITS REQUIRED IN BUILDING WITH 3 OR LESS UNITS - IBC SECTION 101.6.2.2

NUMBER OF EXITS REQUIRED:

1 PER UNIT (IBC SECTION 1006)

##### STAIRWELL EGRESS WIDTH REQUIRED (IBC 1009.4):

36" PER IBC SECTION 101.4 AND 104.4 (EGRESS WIDTH MINIMUM BASED ON OCCUPANCY - 13 OCCUPANTS PER UNIT X 0.3 + 3.9")

##### OTHER EGRESS COMPONENTS WIDTH REQUIRED (IBC 1009.3.2):

34" PER IBC SECTION 1029.3.2 AND 101.6 (EGRESS WIDTH MINIMUM BASED ON OCCUPANCY - 13 OCCUPANTS X 0.2 + 2.6")

34" TOTAL EGRESS WIDTH PROVIDED

##### TRAVEL DISTANCE:

(IBC 101.6)

##### CODE REQUIRED MAXIMUM TRAVEL DISTANCE + 25

ACTUAL MAXIMUM TRAVEL DISTANCE TO AN EXIT + 6'

##### PLUMBING FIXTURES:

##### (IBC TABLE 902.1)

REQUIRED PLUMBING FIXTURES FOR DUELING UNIT:

1 WATER CLOSET, 1 LAVATORY, 1 BATHUB OR SHOWER, 1 KITCHEN SINK AND 1 AUTOMATIC CLOTHES WASHER CONNECTIONS (1 PER DUELING UNIT).

PLUMBING FIXTURES PROVIDED FOR DUELING UNIT:  
2 WATER CLOSETS, 2 LAVATORIES, 1 BATHUB AND 1 SHOWER, 1 KITCHEN SINK AND 1 AUTOMATIC CLOTHES WASHER CONNECTION.

##### AUTOMATIC SPRINKLER:

(IBC SECTION 903.3.1.2)

##### APPROXIMATE GROSS FLOOR AREA:

5311 SF. OF DUELING UNITS AND BASEMENT.

#### GENERAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND EXISTING BUILDING CONDITIONS.
2. SIMILAR MATERIALS INDICATED ON DIFFERENT PLANS, SECTIONS, AND DETAILS, AND ANNOTATED ON ONE OR MORE PLANS, SECTION OR DETAIL SHALL BE CONSIDERED ANNOTATED, NOTED OR LABELED COMPLETELY ON ALL PLANS, SECTION AND DETAILS.
3. IN THE CASE OF AMBIGUITIES, DISCREPANCIES OR IRREGULARITIES IN THE DRAWINGS, SPECIFICATIONS, MANUFACTURING INSTRUCTIONS, SITE CONDITIONS OR APPLICABLE CODES AND STANDARDS, REQUEST CLARIFICATION FROM THE ARCHITECT OR ENGINEER BEFORE PROCEEDING. THE COST OF CORRECTING WORK DONE AS A RESULT OF PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.
4. THE CONTRACTOR AND/OR OWNER MUST VERIFY AND CHECK ALL NOTES, FLOOR PLANS, ELEVATIONS, SECTIONS AND DETAILS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION PRIOR TO THE START OF CONSTRUCTION.
5. ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE BUILDING CODES AND ORDINANCES. CONTRACTOR TO VERIFY CODES AND BE RESPONSIBLE FOR SAME.
6. SEE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION.
7. MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS TO BE PROVIDED BY THE CONTRACTORS PROVIDING THOSE SERVICES. THESE CONTRACTORS AND THE GENERAL CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THEIR REQUIREMENTS WORK WITH THE ARCHITECTURAL AND STRUCTURAL PLANS.







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Mark Hostetter *Mark Hostetter*  
 Date 7/26/2024

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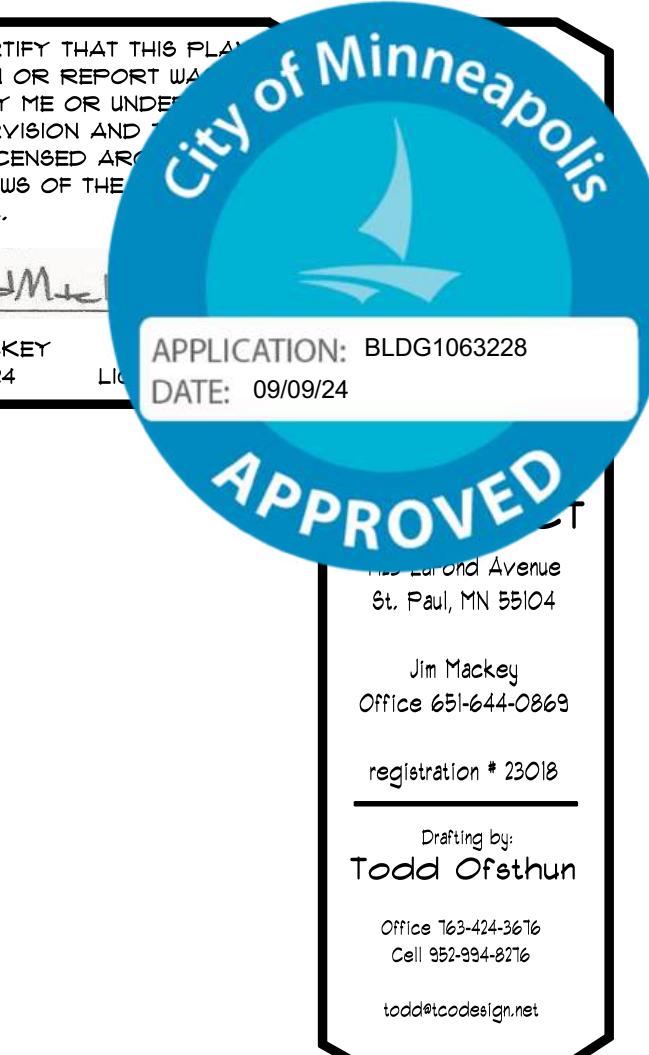
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