

NEW EGRESS STAIRS, LANDINGS, POSTS, BEAMS, AND ROOF PER PLAN. 36" HIGH GUARDRAILS ON BOTH SIDES OF STAIRS AND LANDINGS. 34" HIGH HANDRAILS ON BOTH SIDES OF STAIRS, 6-8 MINIMUM HEADROOM, 11" MINIMUM TREADS, AND 1" MAXIMUM RISERS

REMOVE EXISTING ROOF AND CEILING JOISTS - NEW FLOOR JOISTS, WALLS, AND ROOF TRUSSES PER PLANS ABOVE LINE.

EXISTING WALLS AND FLOORS BELOW LINE TO BE RENOVATED AS INDICATED ON PLANS

EXISTING FRONT LANDING AND ROOF. NEW STAIRS AND RAILING. 36" HIGH GUARDRAILS ON BOTH SIDES OF STAIRS AND LANDINGS, 34" HIGH HANDRAILS ON BOTH SIDES OF STAIRS, 11" MINIMUM TREADS, AND 1" MAXIMUM RISERS

LEFT SIDE (EAST) ELEVATION

SCALE 3/16" = 1'-0"

REMOVE EXISTING ROOF AND CEILING JOISTS - NEW FLOOR JOISTS, WALLS, AND ROOF TRUSSES PER PLANS ABOVE LINE.

EXISTING WALLS AND FLOORS BELOW LINE TO BE RENOVATED AS INDICATED ON PLANS

EXISTING FRONT LANDING AND ROOF. NEW STAIRS AND RAILING. 36" HIGH GUARDRAILS ON BOTH SIDES OF STAIRS AND LANDINGS, 34" HIGH HANDRAILS ON BOTH SIDES OF STAIRS, 11" MINIMUM TREADS, AND 1" MAXIMUM RISERS

FRONT (NORTH) ELEVATION

SCALE 3/16" = 1'-0"

REMOVE EXISTING ROOF AND CEILING JOISTS - NEW FLOOR JOISTS, WALLS, AND ROOF TRUSSES PER PLANS ABOVE LINE.

EXISTING WALLS AND FLOORS BELOW LINE TO BE RENOVATED AS INDICATED ON PLANS

NEW EGRESS STAIRS, LANDINGS, POSTS, BEAMS, AND ROOF PER PLAN. 36" HIGH GUARDRAILS ON BOTH SIDES OF STAIRS AND LANDINGS, 34" HIGH HANDRAILS ON BOTH SIDES OF STAIRS, 6-8 MINIMUM HEADROOM, 11" MINIMUM TREADS, AND 1" MAXIMUM RISERS

EXISTING BASEMENT STAIRS ACCESS. NEW STEELWAY ANGLED BASEMENT DOOR. VERIFY EXISTING CONDITIONS.

REAR (SOUTH) ELEVATION

SCALE 3/16" = 1'-0"

REMOVE EXISTING ROOF AND CEILING JOISTS - NEW FLOOR JOISTS, WALLS, AND ROOF TRUSSES PER PLAN ABOVE LINE.

EXISTING WALLS AND FLOORS BELOW LINE TO BE RENOVATED AS INDICATED ON PLANS

NEW EGRESS STAIRS, LANDINGS, POSTS, BEAMS, AND ROOF PER PLAN. 36" HIGH GUARDRAILS ON BOTH SIDES OF STAIRS AND LANDINGS, 34" HIGH HANDRAILS ON BOTH SIDES OF STAIRS, 6-8 MINIMUM HEADROOM, 11" MINIMUM TREADS, AND 1" MAXIMUM RISERS

EXISTING BASEMENT STAIRS ACCESS. NEW STEELWAY ANGLED BASEMENT DOOR. VERIFY EXISTING CONDITIONS.

RIGHT SIDE (WEST) ELEVATION

SCALE 3/16" = 1'-0"

CODE SUMMARY

SCOPE OF WORK:

RENOVATION OF AN EXISTING TWO STORY HOUSE AND A THIRD FLOOR ADDITION TO CREATE A THREE STORY TRIPLEX. SQUARE FOOTAGE: BASEMENT + 576 SQ.FT., FIRST FLOOR + 631 SQ.FT., SECOND FLOOR + 585 SQ.FT., AND THIRD FLOOR + 585 SQ.FT. TOTAL BUILDING AREA + 2377 SQ.FT.

APPLICABLE CODES:

2020 MINNESOTA STATE BUILDING CODE (ISBC)
2020 MINNESOTA STATE ACCESSIBILITY CODE
2020 MINNESOTA STATE MECHANICAL AND FUEL GAS CODE
2020 MINNESOTA STATE FIRE CODE
2020 MINNESOTA STATE PLUMBING CODE CHAPTER 47B
2020 NATIONAL ELECTRIC CODE
2020 MINNESOTA STATE RESIDENTIAL ENERGY CODE
CLASSIFIED AS 'RESIDENTIAL BUILDING' PER CHAPTER 2 - DEFINITIONS

OCCUPANT LOAD:

28 OCCUPANTS (3 BASEMENT - 576 / 200 + 9 FIRST FLOOR - 631 SQ.FT. / 100 + 8 SECOND FLOOR - 585 SQ.FT. / 200 PLUS 8 THIRD FLOOR - 585 SQ.FT. / 200). R-3 (IBC SECTION 310.3)

OCCUPANCY TYPE:

V-3 (IBC TABLE 504.3 AND 504.4) NEW THREE STORY APARTMENT BUILDING WITH APPROVED OR AUTOMATIC FIRE SPRINKLER SYSTEM ALLOWS UP TO 60 FEET TALL AND 3 STORIES ABOVE GRADE. (IBC TABLE 506.2) BUILDING AREA WITH APPROVED OR AUTOMATIC FIRE SPRINKLER SYSTEM ALLOWS UP TO 1000 SQ.FT. PER FLOOR.

CONSTRUCTION TYPE:

V-3 (IBC TABLE 504.3 AND 504.4) NEW THREE STORY APARTMENT BUILDING WITH APPROVED OR AUTOMATIC FIRE SPRINKLER SYSTEM ALLOWS UP TO 60 FEET TALL AND 3 STORIES ABOVE GRADE. (IBC TABLE 506.2) BUILDING AREA WITH APPROVED OR AUTOMATIC FIRE SPRINKLER SYSTEM ALLOWS UP TO 1000 SQ.FT. PER FLOOR.

TYPE 'A' AND 'B' UNITS:

NO TYPE 'A' UNITS REQUIRED IN BUILDING WITH 1 OR LESS UNITS - IBC SECTION 101.6.2.1
NO TYPE 'B' UNITS REQUIRED IN BUILDING WITH 3 OR LESS UNITS - IBC SECTION 101.6.2.2

NUMBER OF EXITS:

1 PER UNIT (IBC SECTION 1006)

STAIRWELL EGRESS WIDTH:

36" PER IBC SECTION 1012, EXCEPTION 1. ALSO PER IBC SECTION 1009.4 (EGRESS WIDTH MINIMUM BASED ON OCCUPANCY - 13 OCCUPANTS PER UNIT x 0.3 + 3.5')

OTHER EGRESS COMPONENTS:

34" PER IBC SECTION 1009.3.1 AND 1015 (EGRESS WIDTH MINIMUM BASED ON OCCUPANCY - 13 OCCUPANTS x 0.2 + 2.6')
34" TOTAL EGRESS WIDTH PROVIDED

TRAVEL DISTANCE:

CODE REQUIRED MAXIMUM TRAVEL DISTANCE + 13'
ACTUAL MAXIMUM TRAVEL DISTANCE TO AN EXIT + 62'

PLUMBING FIXTURES:

REQUIRED PLUMBING FIXTURES PER DWELLING UNIT:
1 WATER CLOSET, 1 LAVATORY, 1 BATHTUB OR SHOWER
1 KITCHEN SINK AND 1 AUTOMATIC CLOTHES WASHER CONNECTIONS (1 PER 20 DWELLING UNITS).

PLUMBING FIXTURES PROVIDED:

PER DWELLING UNIT:
2 WATER CLOSETS, 2 LAVATORIES, 1 BATHTUB AND 1 SHOWER
1 KITCHEN SINK AND 1 AUTOMATIC CLOTHES WASHER CONNECTION.

AUTOMATIC SPRINKLER:

TO BE INSTALLED THROUGHOUT PER NFPA 13R (IBC SECTION 903.3.1.2)

APPROXIMATE GROSS FLOOR AREA:

9371 S.F. OF DWELLING UNITS AND BASEMENT.

GENERAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND EXISTING BUILDING CONDITIONS.
2. SIMILAR MATERIALS INDICATED ON DIFFERENT PLANS, SECTIONS, AND DETAILS, AND ANNOTATED ON ONE OR MORE PLAN, SECTION OR DETAIL SHALL BE CONSIDERED ANNOTATED, NOTED OR LABELED COMPLETELY ON ALL PLANS, SECTION AND DETAILS.
3. IN THE CASE OF AMBIGUITIES, DISCREPANCIES OR IRREGULARITIES IN THE DRAWINGS, SPECIFICATIONS, MANUFACTURING INSTRUCTIONS, SITE CONDITIONS OR APPLICABLE CODES AND STANDARDS, REQUEST CLARIFICATION FROM THE ARCHITECT OR ENGINEER BEFORE PROCEEDING. THE COST OF CORRECTING WORK DONE AS A RESULT OF PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.
4. THE CONTRACTOR AND/OR OWNER MUST VERIFY AND CHECK ALL NOTES, FLOOR PLANS, ELEVATIONS, SECTIONS AND DETAILS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION PRIOR TO THE START OF CONSTRUCTION.
5. ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE BUILDING CODES AND ORDINANCES. CONTRACTOR TO VERIFY CODES AND BE RESPONSIBLE FOR SAME.
6. SEE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION.
7. MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER DRAWINGS TO BE PROVIDED BY THE CONTRACTORS PROVIDING THOSE SERVICES. THESE CONTRACTORS AND THE GENERAL CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THEIR REQUIREMENTS WORK WITH THE ARCHITECTURAL AND STRUCTURAL PLANS.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JAMES A. MACKAY
DATE: 7-24-24
LIC: 1000000000

APPLICATION: BLDG1063228
DATE: 09/09/24

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

STRUCTURAL ONLY

Mark Hostetler

Date 7/26/2024

Reg. No 19906

APPROVED

1000000000

Jim Mackay

Office 651-444-0869

registration # 23018

Drafting by

Todd Ofstun

Office 763-424-3676

Cell 953-934-8716

toddofstun@gmail.com

Plan Date

FINAL 7-24-24

KENNEDY DEVELOPMENT

814 SE 6TH STREET MINNEAPOLIS



TCO DESIGN

drafting and home design

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tco202432

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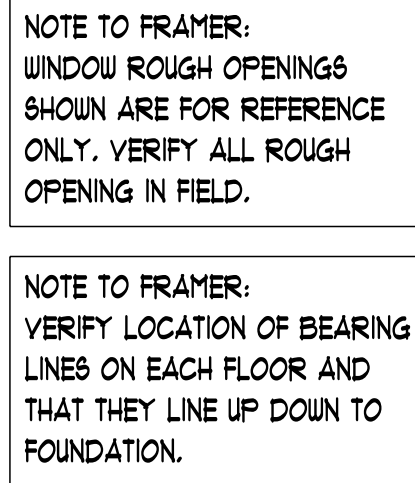
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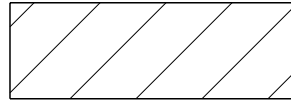








Plan Date
FINAL 7-24-24
REVISIONS 8-7-24
REVISIONS 8-15-24

KENNEDY DEVELOPMENT
814 5TH STREET MINNEAPOLIS

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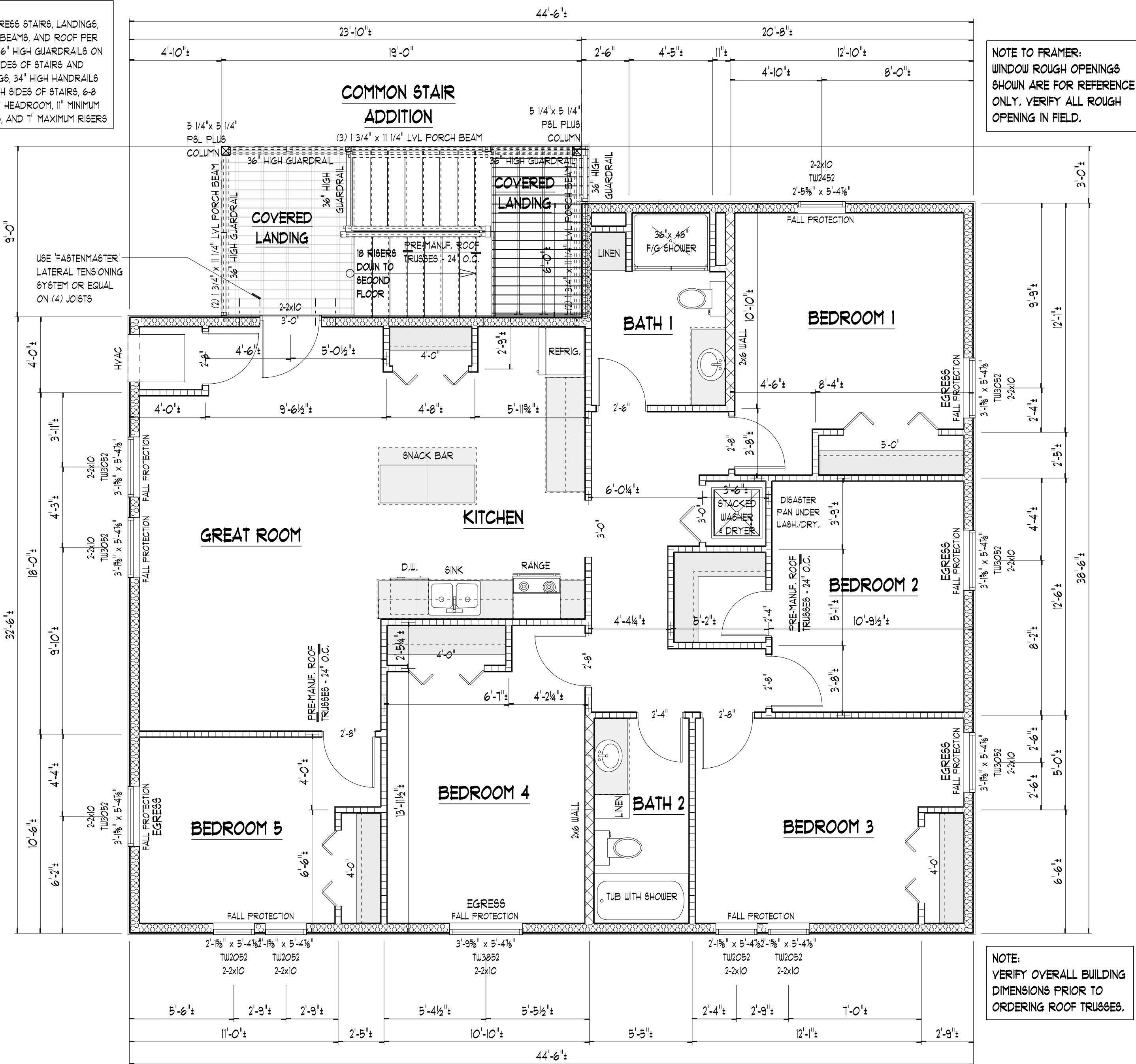


WALL LEGEND

- | | |
|---|---|
|  | EXISTING STONE OR CONCRETE BLOCK FOUNDATION |
|  | EXISTING WOOD STUD EXTERIOR WALL |
|  | EXISTING WOOD STUD WALL OPENING TO BE FILLED IN FLUSH INTERIOR AND EXTERIOR AND INSULATED |
|  | EXISTING WOOD STUD INTERIOR WALL |
|  | EXISTING WOOD STUD INTERIOR WALL OPENING TO BE FILLED IN FLUSH BOTH SIDES |
|  | EXISTING WOOD STUD WALL TO BE REMOVED, PROVIDE TEMPORARY SUPPORT FOR BEARING WALLS |
|  | NEW 2x4 WOOD STUD WALL WITH 1/2" GWB BOTH SIDES |
|  | NEW 2x6 WOOD STUD WALL WITH 1/2" GWB BOTH SIDES |
|  | NEW 2x6 WOOD STUD WALL EXTERIOR INSULATED WALL |

PROPOSED BASEMENT PLAN ~ 576 SQ.FT.
SCALE 1/4" = 1'-0"

NOTE:
NEW EGRESS STAIRS, LANDINGS,
POSTS, BEAMS, AND ROOF PER
PLAN. 36" HIGH GUARDRAILS ON
BOTH SIDES OF STAIRS AND
LANDINGS, 34" HIGH HANDRAILS
ON BOTH SIDES OF STAIRS, 6-8
MINIMUM HEADROOM, 11" MINIMUM
TREADS, AND 1" MAXIMUM RISERS

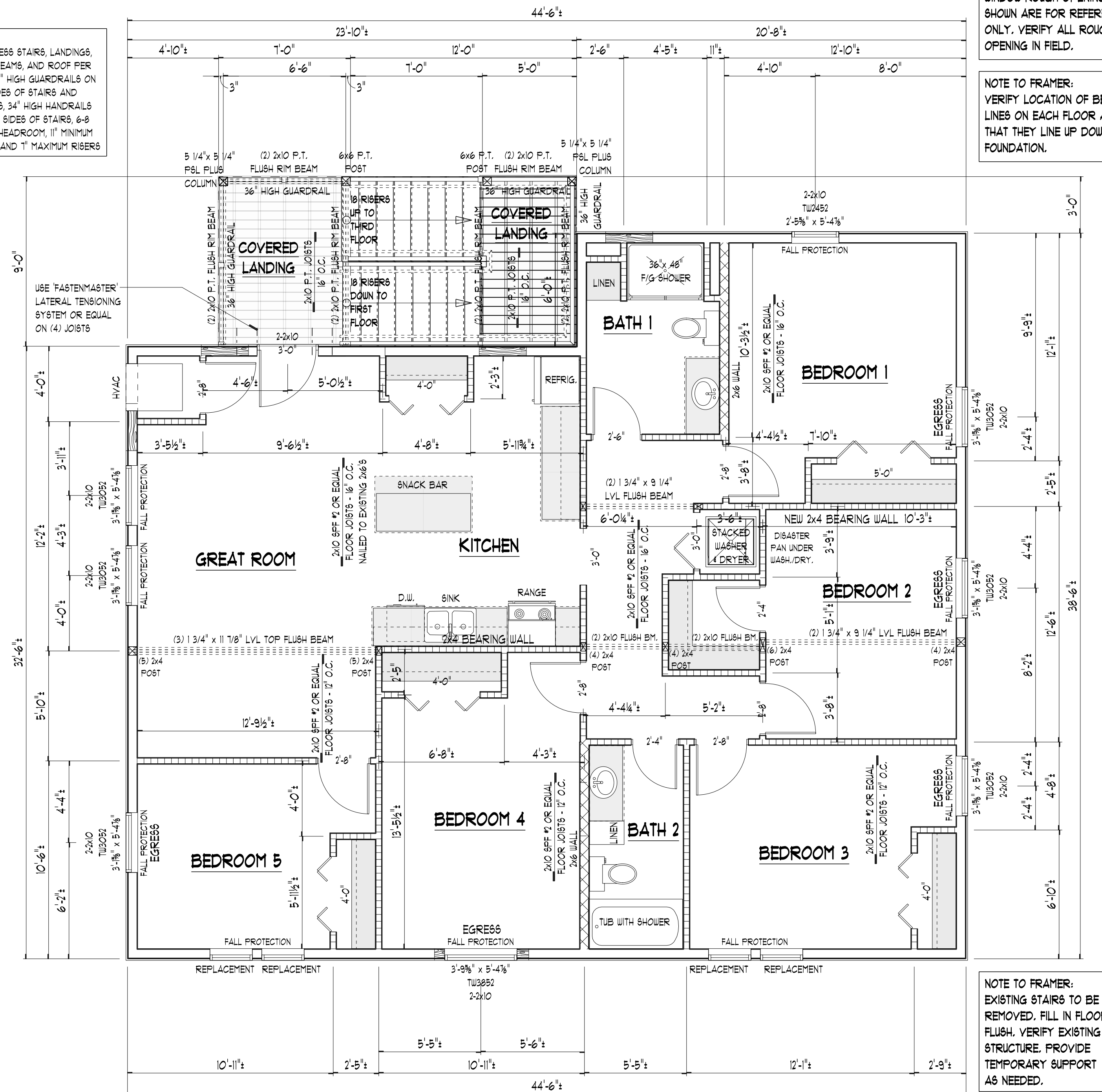


PROPOSED THIRD FLOOR PLAN ~ 1585 SQ.FT.
SCALE 1/4" = 1'-0"

WALL LEGEND

- EXISTING STONE OR CONCRETE BLOCK FOUNDATION
- EXISTING WOOD STUD EXTERIOR WALL
- EXISTING WOOD STUD WALL OPENING TO BE FILLED IN FLUSH INTERIOR AND EXTERIOR AND INSULATED
- EXISTING WOOD STUD INTERIOR WALL
- EXISTING WOOD STUD INTERIOR WALL OPENING TO BE FILLED IN FLUSH BOTH SIDES
- EXISTING WOOD STUD WALL TO BE REMOVED, PROVIDE TEMPORARY SUPPORT FOR BEARING WALLS
- NEW 2x4 WOOD STUD WALL WITH 1/2" GWB BOTH SIDES
- NEW 2x6 WOOD STUD WALL WITH 1/2" GWB BOTH SIDES
- NEW 2x6 WOOD STUD WALL EXTERIOR INSULATED WALL

NOTE:
NEW EGRESS STAIRS, LANDINGS,
POSTS, BEAMS, AND ROOF PER
PLAN. 36" HIGH GUARDRAILS ON
BOTH SIDES OF STAIRS AND
LANDINGS, 34" HIGH HANDRAILS
ON BOTH SIDES OF STAIRS, 6-8
MINIMUM HEADROOM, 11" MINIMUM
TREADS, AND 1" MAXIMUM RISERS



PROPOSED SECOND FLOOR PLAN ~ 1585 SQ.FT.
SCALE 1/4" = 1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

STRUCTURAL ONLY
Mark Hostetler
Date 7/26/2024 Reg. No 19906

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
JAMES A. MACKAY
DATE: 7-24-24
APPLICATION: BLDG1063228
DATE: 09/09/24

NOTE TO FRAMER:
WINDOW ROUGH OPENINGS
SHOWN ARE FOR REFERENCE
ONLY. VERIFY ALL ROUGH
OPENING IN FIELD.

NOTE TO FRAMER:
VERIFY LOCATION OF BEARING
LINES ON EACH FLOOR AND
THAT THEY LINE UP DOWN TO
FOUNDATION.

APPROVED

614 SE 6TH STREET
ST. PAUL, MN 55104

Jim Mackay
Office 651-644-0869

registration # 23018

Drafting by
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Plan Date
FINAL 7-24-24

KENNEDY DEVELOPMENT
814 SE 6TH STREET MINNEAPOLIS



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FLOOR/CEIL'G ASSEMBLY

KENNEDY DEVELOPMENT
814 SE 6TH STREET MINNEAPOLIS

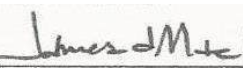
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.



JAMES A. MACKEY
DATE: 1-24-24
LIC: 155-934-8376

APPLICATION: BLDG1063228
DATE: 09/09/24

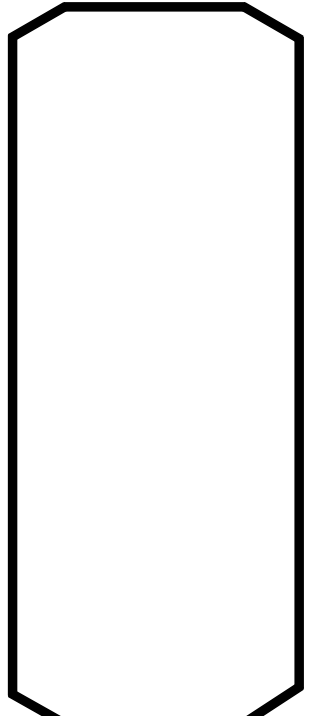


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Plan Date
FINAL 1-24-24
REVISIONS 8-1-24



KENNEDY DEVELOPMENT
814 SE 6TH STREET MINNEAPOLIS

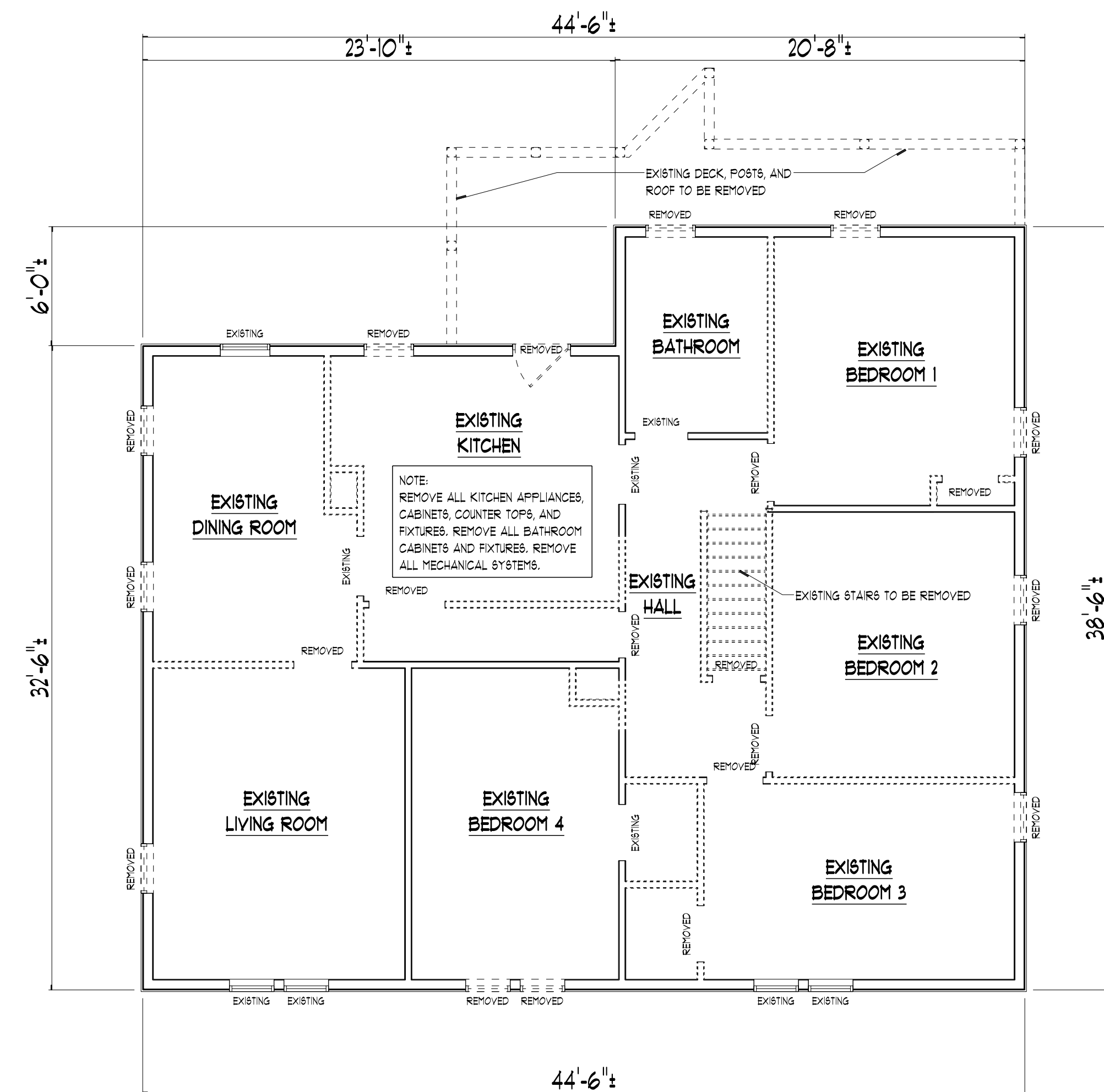


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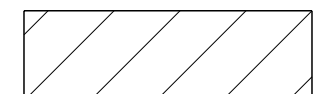








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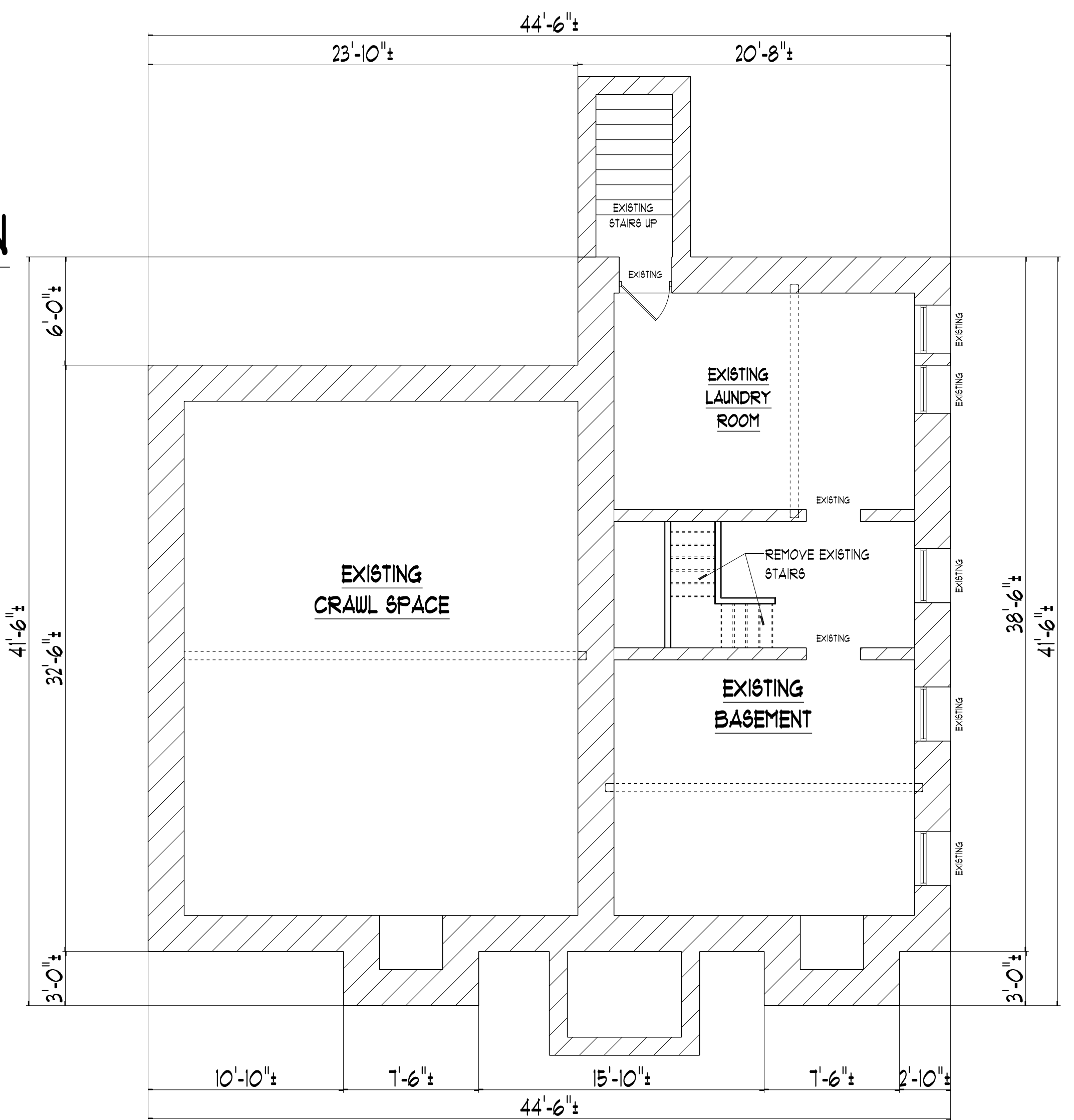
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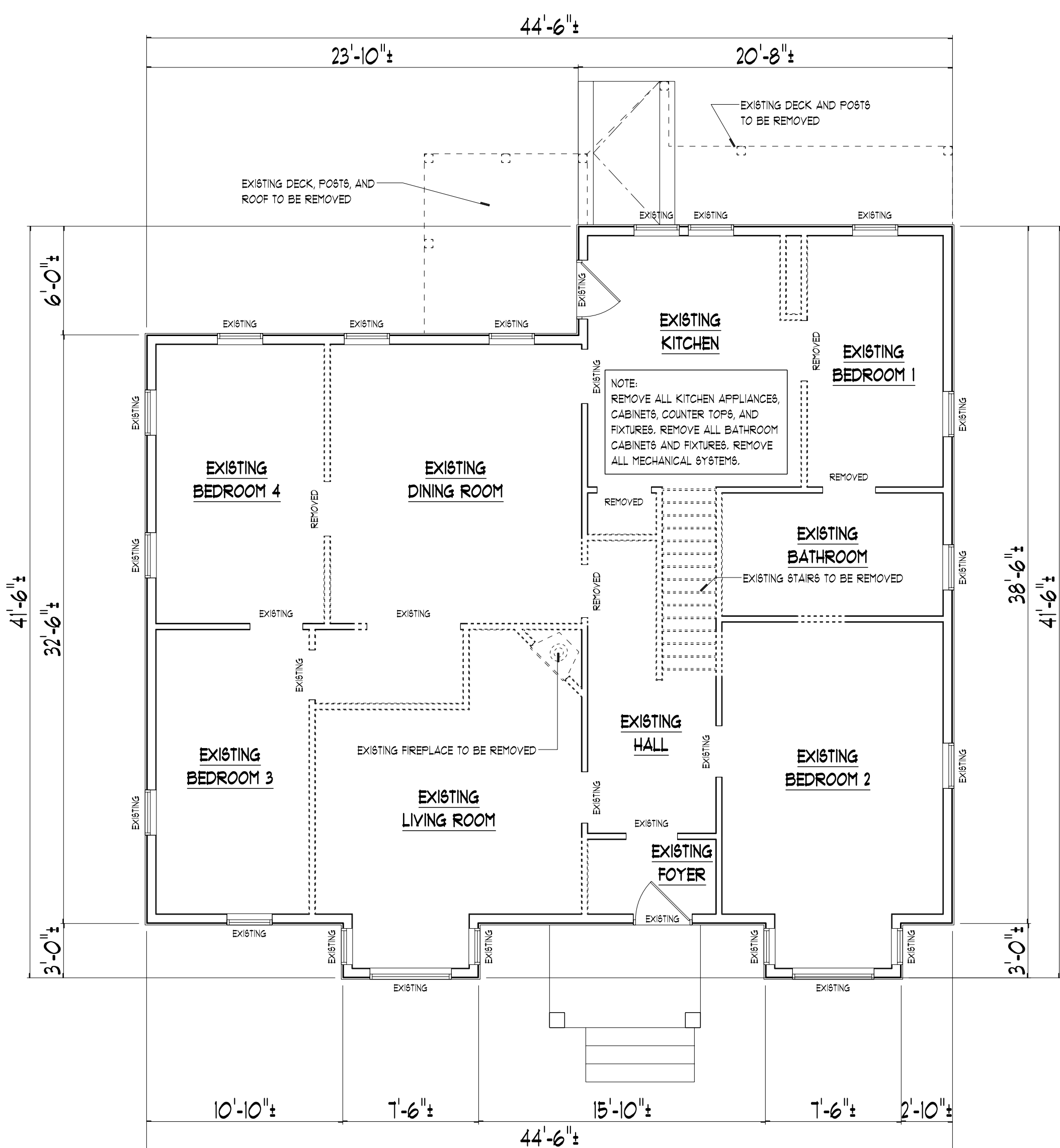
SECOND FLOOR EXISTING AND DEMOLITION PLAN
SCALE 3/16" = 1'-0"
~ 1585 SQ.FT.

NOTE TO FRAMER AND CONTRACTOR:
LOCATE AND VERIFY EXISTING BEARING
CONDITIONS PRIOR TO DEMOLITION.
PROVIDE TEMPORARY SUPPORT AS
NEEDED FOR REMOVAL OF ANY
STRUCTURAL WALLS OR BEAMS.

WALL LEGEND	
	EXISTING STONE OR CONCRETE BLOCK FOUNDATION
	EXISTING WOOD STUD EXTERIOR WALL
	EXISTING WOOD STUD WALL OPENING TO BE FILLED IN FLUSH INTERIOR AND EXTERIOR AND INSULATED
	EXISTING WOOD STUD INTERIOR WALL
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	EXISTING WOOD STUD WALL TO BE REMOVED, PROVIDE TEMPORARY SUPPORT FOR BEARING WALLS
	NEW 2x4 WOOD STUD WALL WITH 1/2" GWB BOTH SIDES
	NEW 2x6 WOOD STUD WALL WITH 1/2" GWB BOTH SIDES
	NEW 2x6 WOOD STUD WALL EXTERIOR INSULATED WALL



BASEMENT EXISTING AND DEMOLITION PLAN
SCALE 3/16" = 1'-0"



FIRST FLOOR EXISTING AND DEMOLITION PLAN
SCALE 3/16" = 1'-0"
~ 1631 SQ.FT.