



Menlo Group
COMMERCIAL REAL ESTATE



VETERINARY OWNER / USER BUILDING

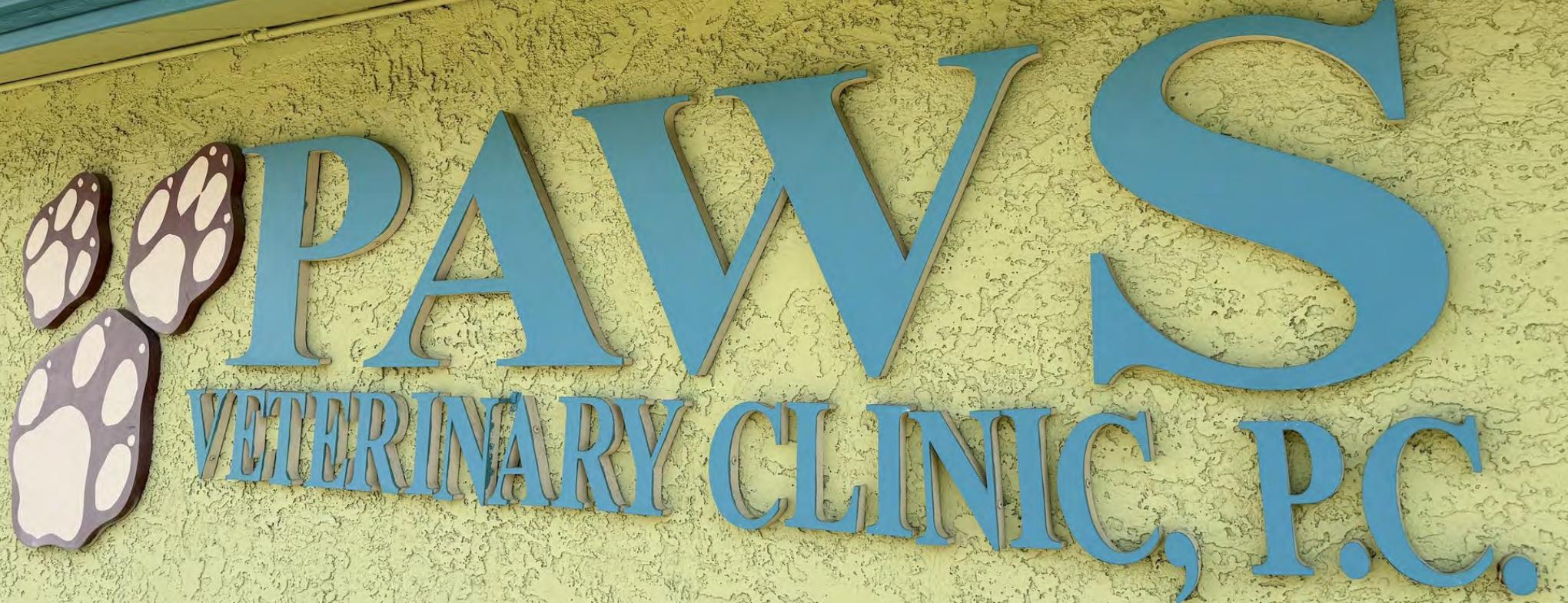
Available for Sale

1721 E University Dr. Mesa, AZ 85203

Veterinarian Clinic

Exclusively listed by:

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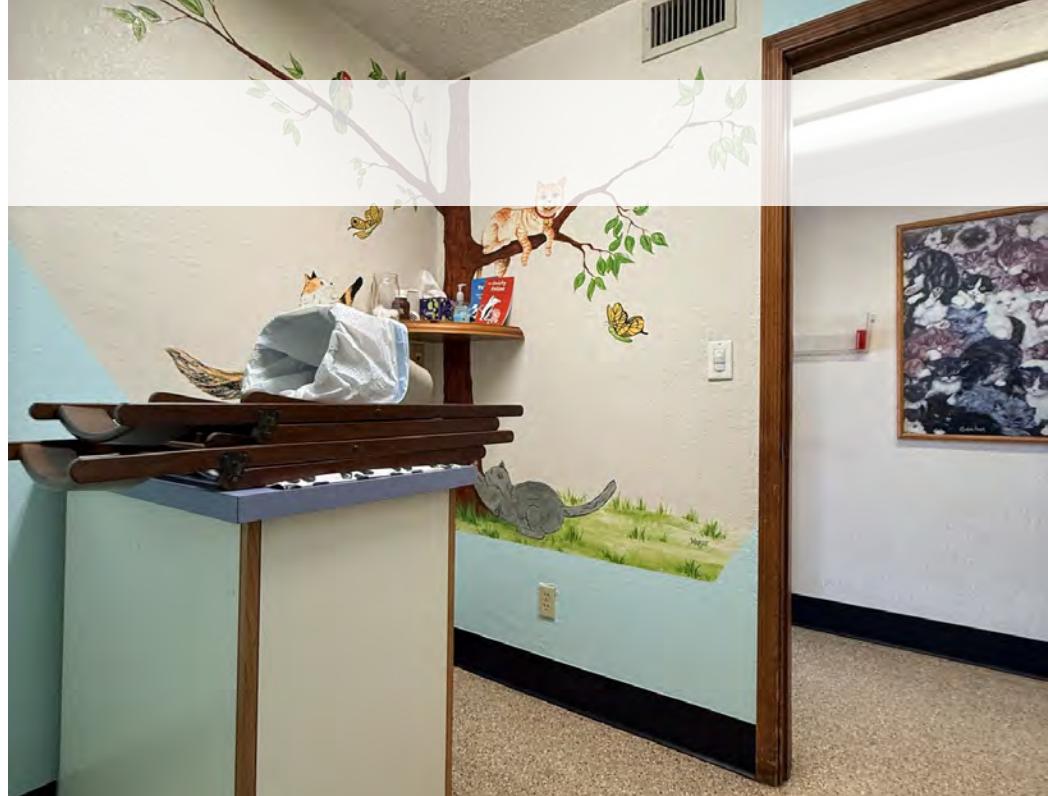
PROPERTY SUMMARY

PURCHASE PRICE:	\$550,000.00
PRICE PSF:	\$296.00
PROPERTY TYPE:	Veterinary Clinic
BUILDING SIZE:	+/- 1,860 SF
LOT SIZE:	+/- 0.16 Acres
ZONING:	OC - Office Commercial
APN:	138-67-059
PROPERTY TAXES (2025):	\$2,509.40
HOA:	None

PROPERTY HIGHLIGHTS

- Plug-and-Play Veterinary Clinic Offering Significant Cost Savings for a New Practitioner
- Full Clinical Build-Out: Features Multiple Exam Rooms
- Specialty Surgical Room
- Dual-Lobby Animal Patient Flow: Unique, separate lobbies for dogs and cats to minimize patient stress and improve clinic efficiency.
- Kennel Facilities: On-Site Indoor Kennels with durable block-wall construction, hose bib and drainage for boarding or recovery.
- Recent Capital Improvements: New Roof (2026). Two (2) New Units installed in 2025, & One (1) Unit from 2014. All units have been recently serviced.
- High-Exposure Frontage Along Busy University Dr with over 20,000 VPD Traffic Count
- Prominent On-Site Monument Signage
- Large .16 Acre Lot with Dedicated Parking for Staff and Clients
- Close Proximity to US 60 and Loop 202
- High-Density Population Area - over 330,000 in 5 mile radius

Interior Photos



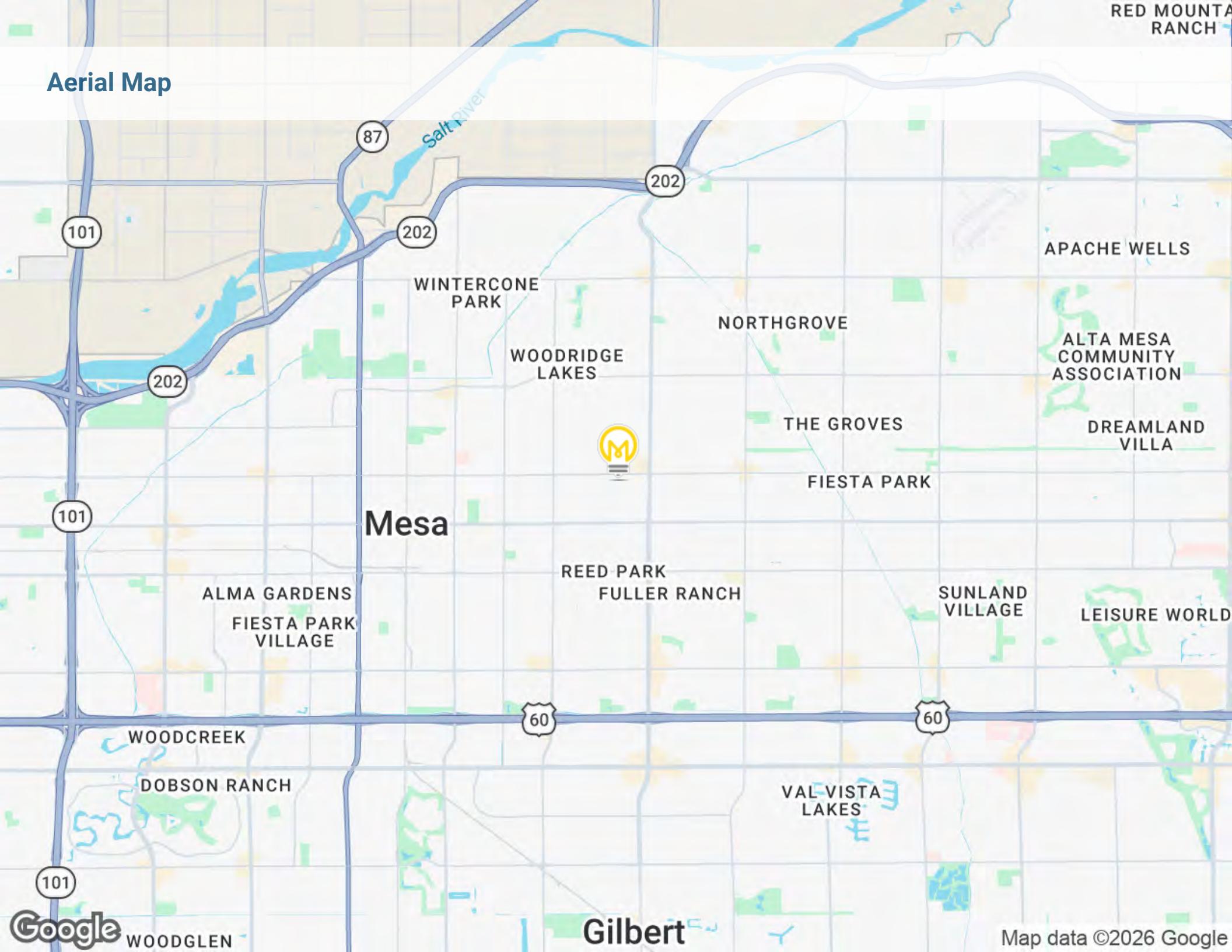
Interior Photos



Site Map



Aerial Map



Exterior Photo



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Legal questions should be discussed by the party with an attorney. Tax questions should be discussed by the party with a certified public accountant or tax attorney. Title questions should be discussed by the party with a title officer or attorney. Questions regarding the condition of the property and whether the property complies with applicable governmental requirements should be discussed by the party with appropriate engineers, architects, contractors, other consultants and governmental agencies. All properties and services are marketed by Menlo Group Commercial Real Estate in compliance with all applicable fair housing and equal opportunity laws.