

NEW SALEM STREET APARTMENTS

KNM HOLDINGS LLC
LACONIA, NEW HAMPSHIRE

19 MAY 2025



One Mill Plaza
Laconia, New Hampshire
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BUILDING CODE SUMMARY

GENERAL NOTES

ASSEMBLY TYPES

DRAWING LIST

A. PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF NEW THREE-STORY WOOD-FRAMED BUILDINGS PROVIDING TWO DWELLING UNITS PER FLOOR, TOTALING SIX (6) DWELLING UNITS PER BUILDING. ALL BUILDINGS WILL BE PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM (1.3R).

TWO (2) DETACHED ONE-STORY WOOD-FRAMED GARAGE BUILDINGS WILL ALSO PROVIDED. ONE GARAGE BUILDING WILL PROVIDE EIGHT (8) PARKING STALLS, AND THE OTHER GARAGE BUILDING WILL PROVIDE SEVEN (7) PARKING STALLS.

B. REFERENCE STANDARDS:
1. INTERNATIONAL BUILDING CODE (IBC) 2021 EDITION
2. NFPA LIFE SAFETY CODE 2021 EDITION - CHAPTER 30 - NEW APARTMENT BUILDINGS
3. INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018 EDITION
4. AMERICANS WITH DISABILITIES ACT ARCHITECTURAL DESIGN GUIDELINES

INTERNATIONAL BUILDING CODE
IBC SECTION 310 USE GROUP CLASSIFICATION: RESIDENTIAL GROUP R-2
310.3 RESIDENTIAL GROUP R-2 OCCUPANCIES CONTAINING SLEEPING UNITS OR MORE THAN TWO DWELLING UNITS WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE INCLUDING: "...APARTMENT HOUSES..."

IBC SECTION 420 GROUPS 1.1, R-1, R-2, R-3, AND R-4:
420.2 SEPARATION WALLS: WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, AND WALLS SEPARATING DWELLING UNITS FROM OTHER CONTIGUOUS OCCUPANCIES, SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 706.

420.4 AUTOMATIC SPRINKLER SYSTEM: GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.6.

420.5 FIRE ALARM SYSTEM AND SMOKE ALARMS: PER SECTION 907.2.9 GROUP R-2, AND SECTION 907.2.9.1 MANUAL FIRE ALARM SYSTEM, A FIRE ALARM SYSTEM IS NOT REQUIRED PER EXCEPTIONS 2 AND 3 (BUILDING EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM). SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUP R-2 IN ACCORDANCE WITH SECTION 907.2.11.2.

PER CITY OF LACONIA ORDINANCES, A FIRE ALARM SYSTEM IS REQUIRED IN ALL APARTMENT BUILDINGS CONTAINING THREE OR MORE DWELLING UNITS

IBC SECTION 504 BUILDING HEIGHT AND NUMBER OF STORIES:
TABLE 504.3: FOR USE GROUP R AND CONSTRUCTION TYPE 5B, MAXIMUM BUILDING HEIGHT IS 60 FEET FOR A SPRINKLERED BUILDING. PROPOSED BUILDINGS ARE APPROXIMATELY 41 FEET IN HEIGHT.

TABLE 504.4: FOR USE GROUP R-2 AND CONSTRUCTION TYPE 5B, MAXIMUM NUMBER OF STORIES ABOVE GRADE PLANE FOR A SPRINKLERED BUILDING IS THREE (3). PROPOSED BUILDINGS ARE THREE (3) STORIES.

IBC SECTION 506 BUILDING AREA:
TABLE 506.2 AND SECTION 506.2.3: FOR USE GROUP R-2 AND CONSTRUCTION TYPE 5B, MAXIMUM ALLOWABLE BUILDING AREA IS 7,000 SQUARE FEET PER FLOOR (1.3R SPRINKLER SYSTEM). PROPOSED BUILDINGS ARE APPROXIMATELY 2,300 SQUARE FEET PER FLOOR.

IBC SECTION 602 CONSTRUCTION CLASSIFICATION:
TABLE 601: CONSTRUCTION CLASSIFICATION WILL BE TYPE 5B. NO FIRE RESISTANCE RATINGS FOR ANY BUILDING ELEMENTS REQUIRED.

IBC SECTION 706 FIRE PARTITIONS:
706.1: WALL ASSEMBLIES TO COMPLY WITH THIS SECTION FOR ALL PARTITIONS SEPARATING DWELLING UNITS, AND SEPARATING DWELLING UNITS FROM ADJACENT OCCUPANCIES.

IBC SECTION 711 FLOOR AND ROOF ASSEMBLIES:
711.2.4.3: DWELLING UNITS AND SLEEPING UNITS, HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS AND SLEEPING SHALL BE NOT LESS THAN ONE-HOUR (1) FIRE RESISTANCE RATED CONSTRUCTION.

IBC SECTION 903 AUTOMATIC SPRINKLER SYSTEMS:
903.2.8: AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA.

903.3.1: AUTOMATIC SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 903.1.1 (NFPA 13) UNLESS OTHERWISE PERMITTED BY SECTION 903.3.1.2 (NFPA 13R). PROPOSED BUILDINGS MEET ALL CONDITIONS OF SECTION 903.3.1.2 (NFPA 13R).

COMMENTARY NOTE: IBC FIRE SEPARATION REQUIREMENTS REGARDING 1.3R SPRINKLER SYSTEMS ARE MORE RESTRICTIVE THAN THE NFPA FIRE SEPARATION PASSAGES SUMMARIZED ABOVE. DRAWINGS CURRENTLY NOTE LOCATIONS FOR FIRE-RATED ASSEMBLY TYPES FOR THE IBC ONE-HOUR SEPARATION REQUIREMENTS IN LIEU OF THE ALLOWED HALF-HOUR SEPARATION REQUIREMENTS UNDER NFPA. IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR REVIEW THE PROJECT WITH THE AUTHORITY HAVING JURISDICTION (AHJ) IN ORDER TO HAVE A FINAL DETERMINATION MADE AS TO THE ACCEPTABILITY OF THE NFPA REQUIREMENTS FOR THE PROJECT.

IBC TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT:
CALCULATED OCCUPANT LOAD FOR RESIDENTIAL OCCUPANCIES:
NEW RESIDENTIAL @ 200 SF/GROSS PER PERSON: 2300 SF/200 = 12 PERSONS
36 TOTAL PERSONS

IBC TABLE 1006.3.4(1) STORIES WITH ONE EXIT OR ACCESS TO ONE EXIT:
FOR GROUP R-2 OCCUPANCIES, ONE EXIT IS PERMITTED FROM BASEMENT, FIRST, SECOND, OR THIRD STORIES ABOVE GRADE PLANE AS LONG AS THE MAXIMUM NUMBER OF DWELLING UNITS PER FLOOR IS FOUR (4), AND THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE IS 125 FEET. THE PROPOSED BUILDINGS MEET THESE CONDITIONS.

NFPA LIFE SAFETY CODE
NFPA OCCUPANT LOAD REQUIREMENTS:
30.1.7 OCCUPANT LOAD (NEW APARTMENT OCCUPANCIES):
PER TABLE 7.3.1.2, THE CALCULATED OCCUPANT LOAD FOR RESIDENTIAL OCCUPANCIES:
NEW RESIDENTIAL @ 200 SF/PERSON: 2,300 SF / 200 = 12 PERSONS

1. NFPA MEANS OF EGRESS REQUIREMENTS:
30.2.1.1: MEANS OF EGRESS FROM DWELLING UNITS TO THE OUTSIDE OF THE BUILDING SHALL BE IN ACCORDANCE WITH CHAPTER 7 AND THIS CHAPTER.

30.2.2.1.2: MEANS OF ESCAPE WITHIN THE DWELLING UNIT SHALL COMPLY WITH THE PROVISIONS OF SECTION 24.2 FOR ONE- AND TWO-FAMILY DWELLINGS. PER SECTION 24.2.2.1.2 (2) A SECONDARY MEANS OF ESCAPE SHALL NOT BE REQUIRED WHERE THE DWELLING UNIT IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM.

30.2.2.1.2: IN BUILDINGS PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM, EXIT ENCLOSURES SHALL HAVE A MINIMUM ONE HOUR (1) FIRE RESISTANCE RATING, AND DOORS SHALL HAVE A MINIMUM ONE HOUR (1) FIRE PROTECTION RATING.

30.2.4.6: A SINGLE EXIT SHALL BE PERMITTED FOR NEW APARTMENT BUILDINGS PROVIDED THAT ALL CONDITIONS OF THIS SECTION ARE MET. THE PROPOSED BUILDINGS MEET THESE CONDITIONS.

30.2.6.2: TRAVEL DISTANCE WITHIN A DWELLING UNIT TO A CORRIDOR DOOR SHALL NOT EXCEED 125 FEET IN BUILDINGS PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM. PROPOSED MAXIMUM TRAVEL DISTANCE WITHIN AN APARTMENT IS APPROXIMATELY 48 FEET.

30.3.1.1.4: WALLS ENCLOSING VERTICAL OPENINGS SHALL HAVE A MINIMUM 1-HOUR FIRE RESISTANCE RATING, AND THE DOORS SHALL HAVE A MINIMUM 1-HOUR FIRE PROTECTION RATING.

30.3.4.1.1: FIRE ALARM SYSTEM REQUIRED, EXCEPT AS MODIFIED BY 30.3.4.2 THROUGH 30.3.4.5.

30.3.4.2.2: INITIATION OF FIRE ALARM SYSTEM IF AUTOMATIC SPRINKLER SYSTEM INSTALLED.

PER CITY OF LACONIA ORDINANCES, A FIRE ALARM SYSTEM IS REQUIRED IN ALL APARTMENT BUILDINGS CONTAINING THREE OR MORE DWELLING UNITS, AND FIRE ALARM SYSTEM IS TO BE CONNECTED WITH THE APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM

30.3.4.5: SMOKE ALARMS REQUIRED PER THIS SECTION.

30.3.4.6: CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS REQUIRED PER THIS SECTION.

PER CITY OF LACONIA ORDINANCES, HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTORS ARE REQUIRED

30.3.5: EXTINGUISHING REQUIREMENTS. IN APARTMENT BUILDINGS UP TO AND INCLUDING FOUR STORIES IN HEIGHT, THAT ARE LOCATED IN BUILDINGS NOT EXCEEDING 60 FEET IN HEIGHT ABOVE GRADE PLANE, SYSTEMS IN ACCORDANCE WITH NFPA 13R SHALL BE PERMITTED.

30.3.6.1.2: IN BUILDINGS PROTECTED THROUGHOUT WITH AN APPROVED, AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 30.3.5.1.1, CORRIDOR WALLS SHALL HAVE A MINIMUM ONE-HALF (1/2) HOUR FIRE RESISTANCE RATING.

30.3.7.2: IN BUILDINGS PROTECTED THROUGHOUT WITH AN APPROVED, AUTOMATIC SPRINKLER SYSTEM, DWELLING UNITS SHALL BE SEPARATED FROM EACH OTHER BY WALLS AND FLOORS CONSTRUCTED AS FIRE BARRIERS HAVING A MINIMUM ONE-HALF (1/2) HOUR FIRE RESISTANCE RATING.

COMMENTARY NOTE: IBC FIRE SEPARATION REQUIREMENTS REGARDING 1.3R SPRINKLER SYSTEMS ARE MORE RESTRICTIVE THAN THE NFPA FIRE SEPARATION PASSAGES SUMMARIZED ABOVE. DRAWINGS CURRENTLY NOTE LOCATIONS FOR FIRE-RATED ASSEMBLY TYPES FOR THE IBC ONE-HOUR SEPARATION REQUIREMENTS IN LIEU OF THE ALLOWED HALF-HOUR SEPARATION REQUIREMENTS UNDER NFPA. IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR REVIEW THE PROJECT WITH THE AUTHORITY HAVING JURISDICTION (AHJ) IN ORDER TO HAVE A FINAL DETERMINATION MADE AS TO THE ACCEPTABILITY OF THE NFPA REQUIREMENTS FOR THE PROJECT.

A. THE INFORMATION CONTAINED ON THIS DRAWING IS INTENDED TO PROVIDE THE OWNER AND CONTRACTOR THE NECESSARY MINIMUM INFORMATION FOR ISSUANCE OF A BUILDING PERMIT BY THE AUTHORITY HAVING JURISDICTION. THE DRAWINGS INDICATE THE GENERAL INTENT OF THE WORK. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COORDINATION OF THE NEW WORK WITH EXISTING CONDITIONS.

B. PERFORM ALL WORK IN STRICT ACCORDANCE WITH ALL BUILDING, MECHANICAL, AND ELECTRICAL CODES CURRENTLY ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION.

C. IT IS THE RESPONSIBILITY OF THE OWNER TO IDENTIFY AND MAINTAIN CLEAR PATHS OF TRAVEL TO ALL EXIT POINTS.

D. PROVIDE ADEQUATE, CODE-COMPLIANT EMERGENCY LIGHTING IN THE NEW ROOMS AND AREAS PROPOSED.

E. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS GIVEN ARE TO FACE OF STUD, FACE OF CONCRETE, OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE.

F. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO, AND DURING, CONSTRUCTION. BRING ALL QUESTIONS AND DISCREPANCIES TO THE ATTENTION OF THE OWNER/ARCHITECT IMMEDIATELY.

G. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE WORK SHOWN.

H. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY ITEMS DURING CONSTRUCTION, AND IS TO COMPLY WITH REQUIRED SAFETY REGULATIONS.

I. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING AND SUPPLYING NECESSARY FOUNDATION, FLOOR, WALL, AND ROOF ASSEMBLIES, AS WELL AS SHORING, BRACING, AND SUPPORT OF THE STRUCTURE TO PROTECT FROM COLLAPSE OR FAILURE.

J. DO NOT PLACE LOADS GREATER THAN THE APPLICABLE DESIGN LOADS ON THE STRUCTURE.

K. OWNER AND CONTRACTOR TO REVIEW AND DETERMINE APPROPRIATE NUMBER AND LOCATIONS OF ELECTRICAL RECEPTACLES, IF ABOVE AND BEYOND MINIMUM CODE REQUIREMENTS.

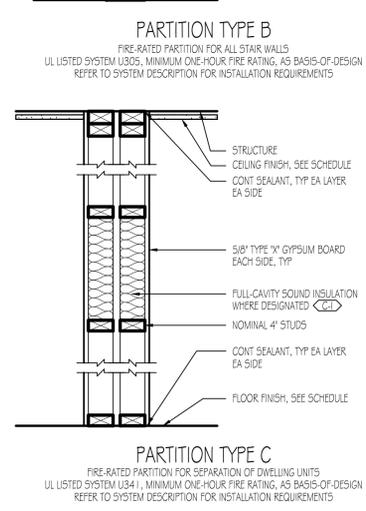
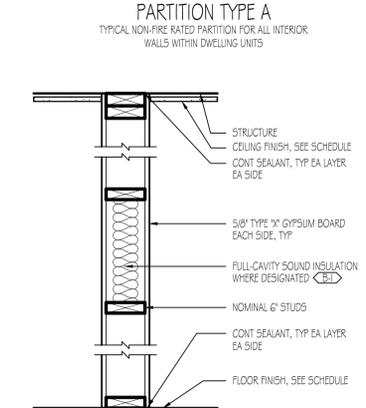
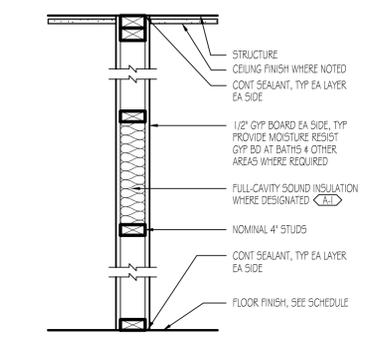
L. OWNER WILL SELECT ALL FINISHES, FURNISHINGS, AND PAINT COLORS FOR THE PROJECT.

M. HEATING, VENTILATION, AND AIR CONDITIONING SCOPE OF WORK WILL BE PROVIDED AS A DESIGN-BUILD SERVICE BY THE GENERAL CONTRACTOR'S SELECTED MECHANICAL SUB-CONTRACTOR.

N. ELECTRICAL SCOPE OF WORK WILL BE PROVIDED AS A DESIGN-BUILD SERVICE BY THE GENERAL CONTRACTOR'S SELECTED ELECTRICAL SUB-CONTRACTOR.

O. AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE PROVIDED AS A DESIGN-BUILD SERVICE BY THE GENERAL CONTRACTOR'S SELECTED FIRE SPRINKLER SUB-CONTRACTOR.

P. PROVIDE ADA-COMPLIANT LEVER HARDWARE ON ALL PASSAGE DOORS. PROVIDE DOOR CLOSERS, SMOKE SEALS, AND/OR WEATHERSTRIPPING ON ALL APARTMENT ENTRY DOORS, STAIR DOORS, AND EXIT DOORS.



G1.00	COVER SHEET
A1.00	FLOOR PLANS - TYPICAL BUILDINGS 01-07
A1.01	FLOOR PLANS - TYPICAL BUILDINGS 01-07
A1.02	FLOOR PLANS - ACCESSIBLE BUILDING 08
A1.03	FLOOR PLANS - ACCESSIBLE BUILDING 08
A1.04	FLOOR PLANS - GARAGES
A2.00	ELEVATIONS - TYPICAL BUILDINGS 01-07
A2.01	ELEVATIONS - ACCESSIBLE BUILDING 08
A2.02	ELEVATIONS - GARAGES
A2.01	ELEVATIONS - GARAGES
A3.00	BUILDING SECTIONS
A4.00	WALL SECTIONS

NEW SALEM STREET APARTMENTS
KNM HOLDINGS LLC
NEW SALEM STREET
LACONIA, NEW HAMPSHIRE

ISSUE	DESCRIPTION	DATE

COVER SHEET & GENERAL NOTES DETAILS

DATE: 2025-05-19
SCALE: AS NOTED
DRAWN BY: ---
PROJECT NUMBER: 2416

G1.00
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GENERAL NOTES

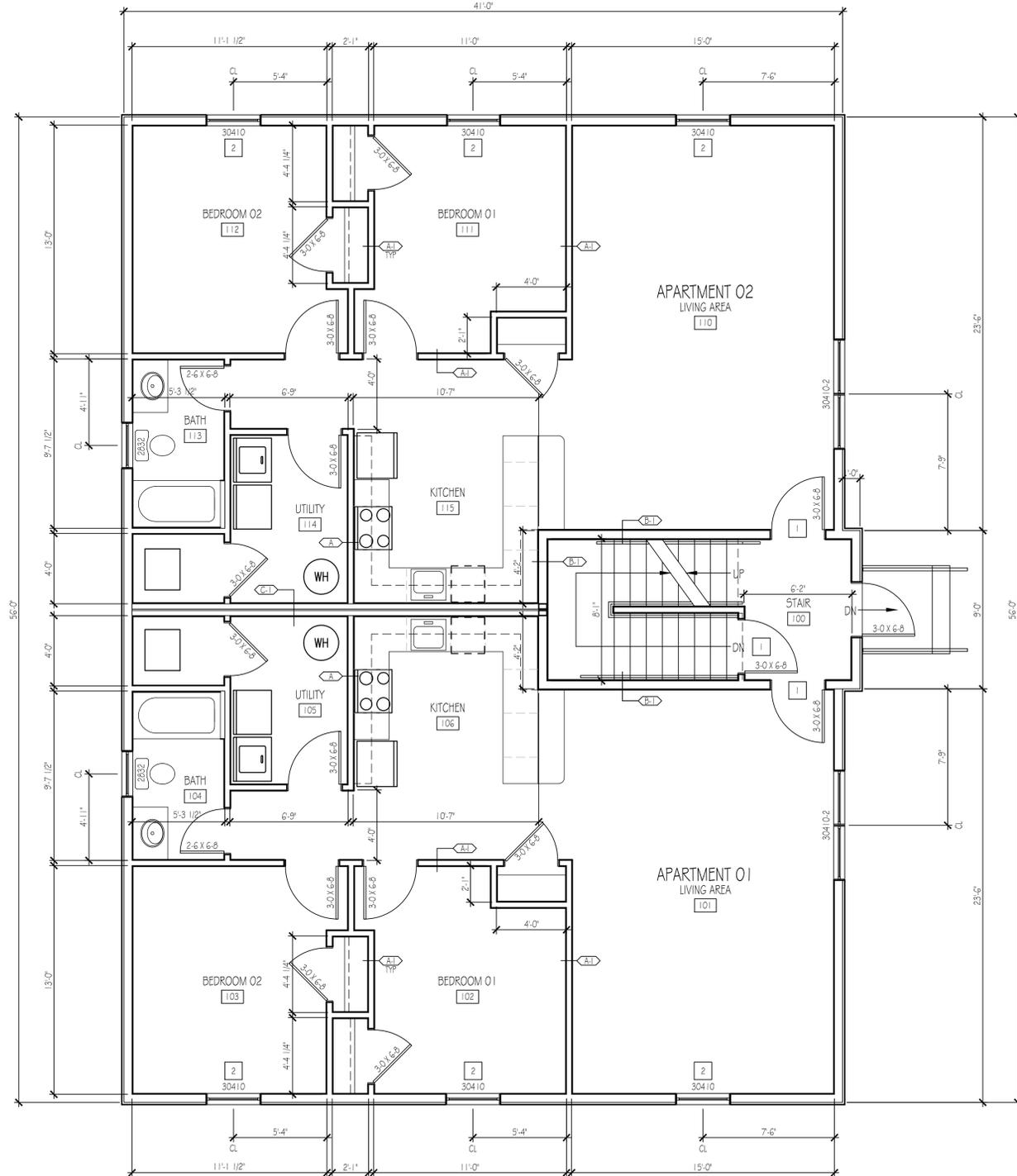
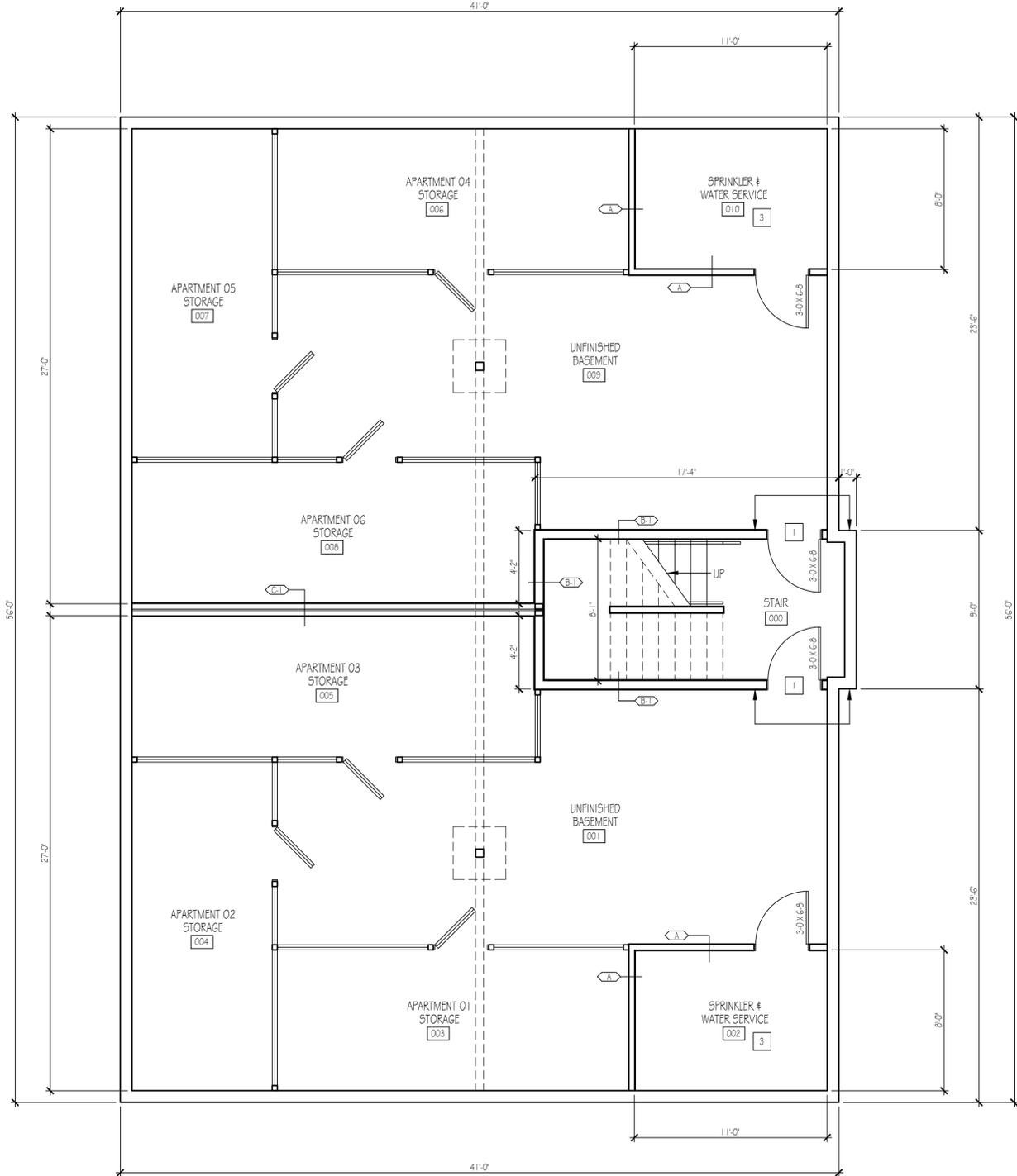
- A. SEE SHEET G.1.00 FOR GENERAL NOTES APPLICABLE TO ALL SHEETS FOR THE PROJECT
- B. WINDOW DESIGNATIONS INDICATED ARE FOR HARVEY VINYL WINDOW PRODUCTS FOR NEW CONSTRUCTION. MANUFACTURER TO CONFIRM DIMENSIONAL COMPLIANCE FOR WINDOWS DESIGNATED ON THE DRAWINGS TO MEET CODE REQUIREMENTS FOR EMERGENCY ESCAPE

KEY NOTES

- 1. MINIMUM ONE-HOUR FIRE-RATED DOOR AND FRAME ASSEMBLY. DOORS ARE TO BE PROVIDED WITH HARDWARE FOR SELF-CLOSING
- 2. WINDOW TO MEET CURRENT CODE REQUIREMENTS FOR OPENING DIMENSIONS AND SQUARE FOOTAGE CLEARANCES FOR EMERGENCY ESCAPE. CONTRACTOR AND WINDOW MANUFACTURER TO CONFIRM PRIOR TO FABRICATION AND INSTALLATION
- 3. OPTIONAL LOCATION FOR HEAD-IN SPRINKLER AND WATER SERVICE ROOM. SEE CIVIL ENGINEERING DRAWINGS FOR SELECTED LOCATION AT EACH BUILDING



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1 BASEMENT FLOOR PLAN - TYPICAL BUILDING NOS. 01-07
 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - TYPICAL BUILDING NOS. 01-07
 SCALE: 1/4" = 1'-0"



NEW SALEM STREET APARTMENTS

KNM HOLDINGS LLC
 NEW SALEM STREET
 LACONIA, NEW HAMPSHIRE

ISSUE	DESCRIPTION	DATE

SCHEMATIC DESIGN
 FLOOR PLANS
 TYPICAL BUILDING

DATE: 2025-05-19
 SCALE: AS NOTED
 DRAWN BY: ...
 PROJECT NUMBER: 2416

A1.00

GENERAL NOTES

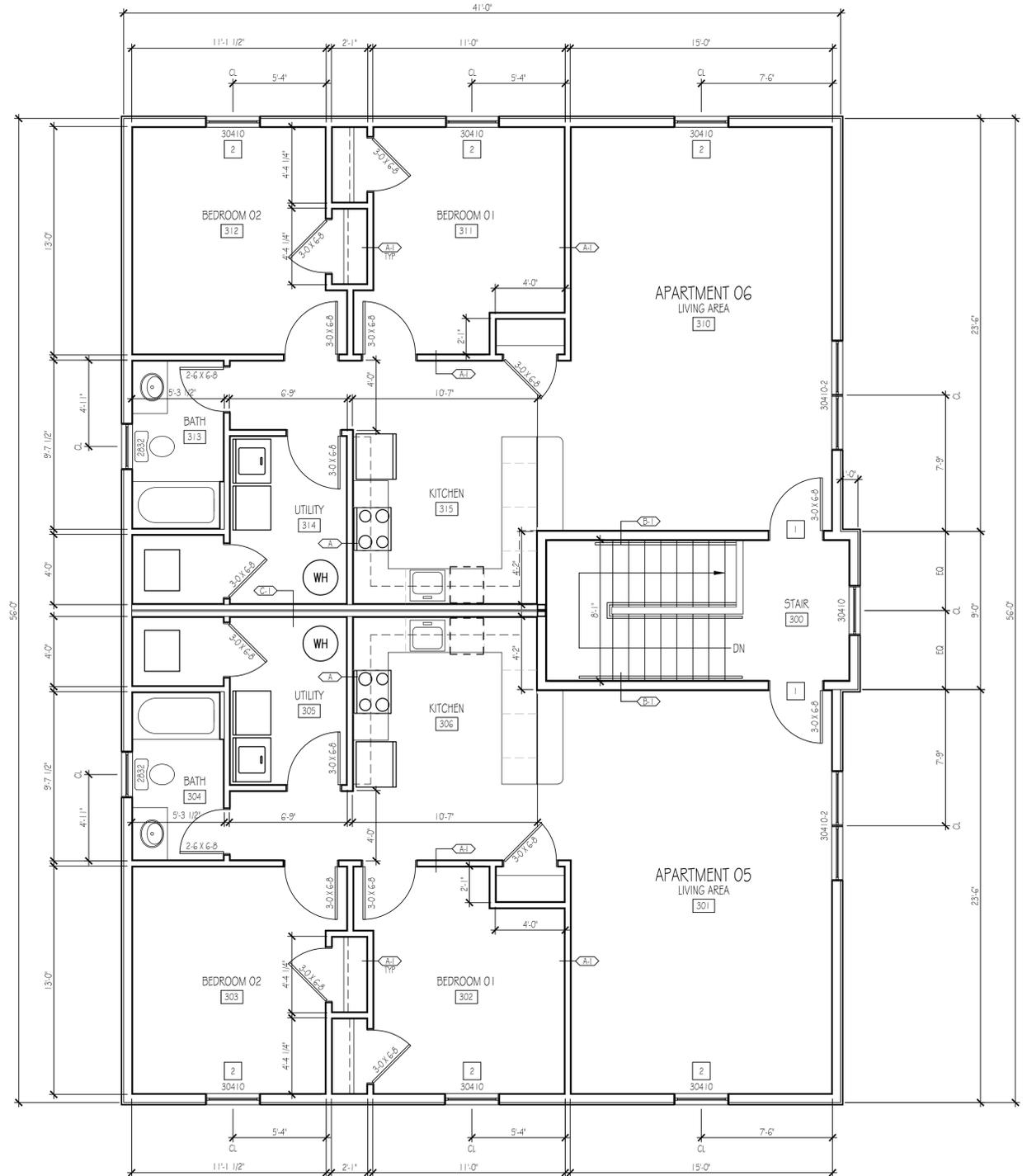
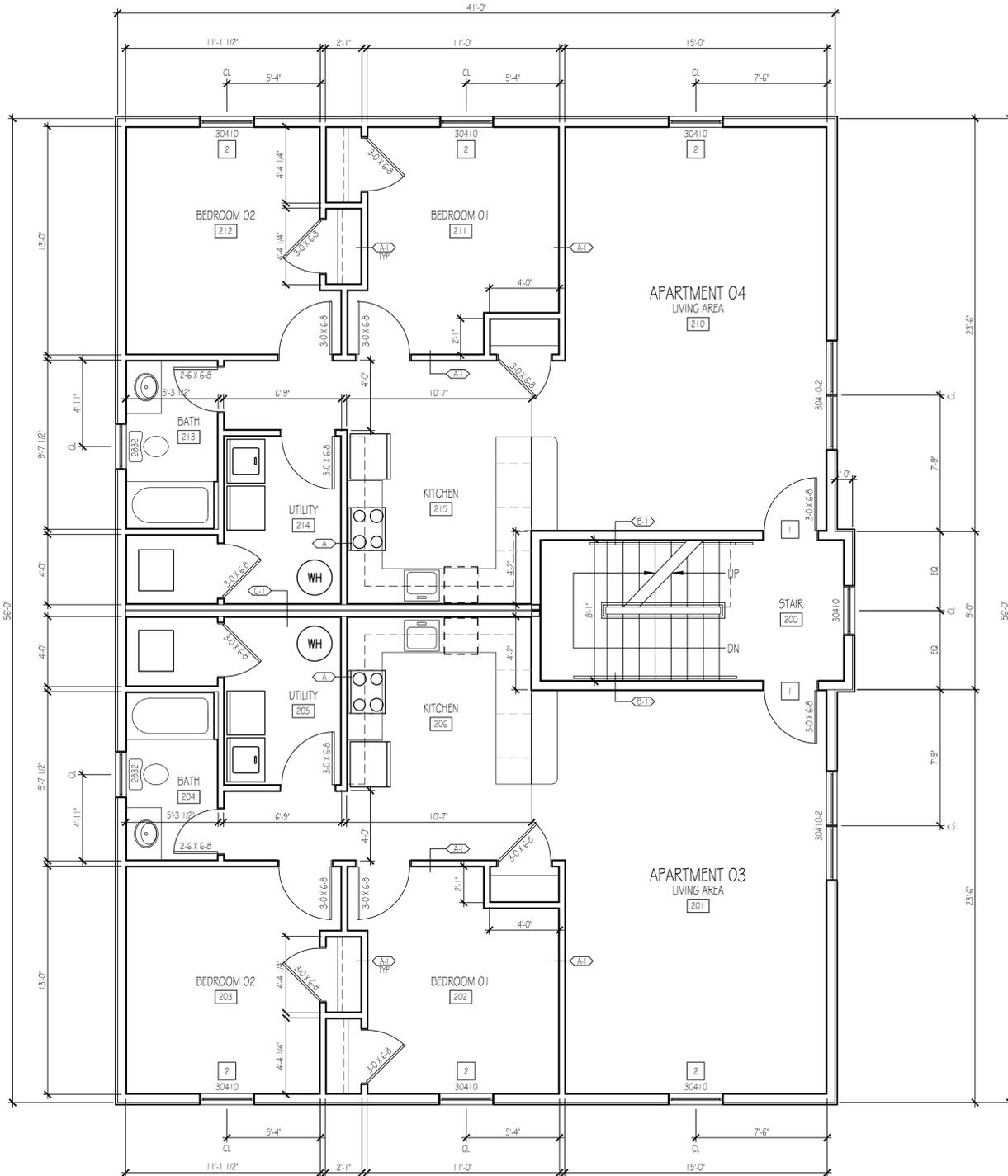
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KEY NOTES

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1 SECOND FLOOR PLAN - TYPICAL BUILDING NOS. 01-07
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2 THIRD FLOOR PLAN - TYPICAL BUILDING NOS. 01-07
 SCALE: 1/4" = 1'-0"



NEW SALEM STREET APARTMENTS

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 LACONIA, NEW HAMPSHIRE

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SCHEMATIC DESIGN
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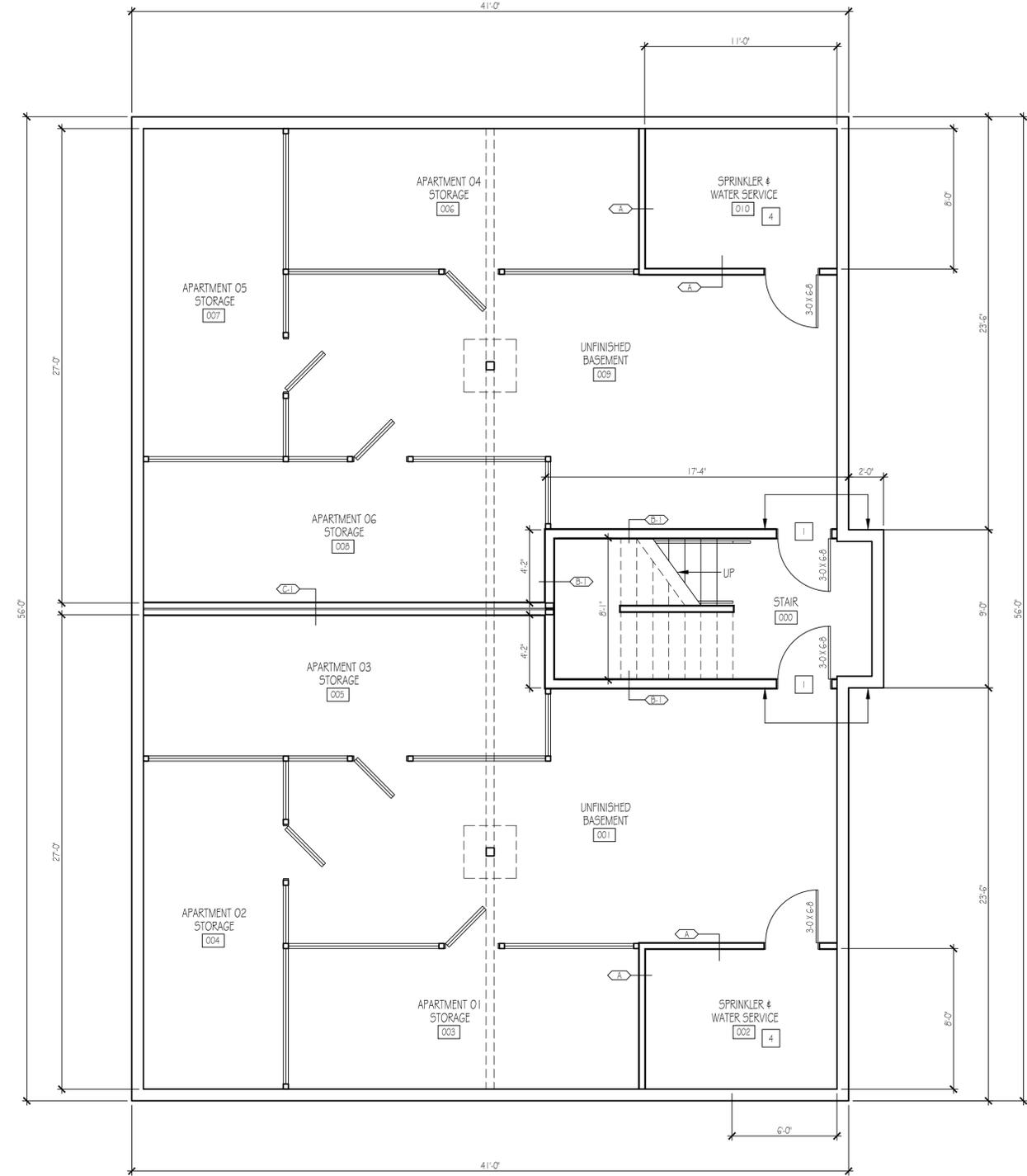
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GENERAL NOTES

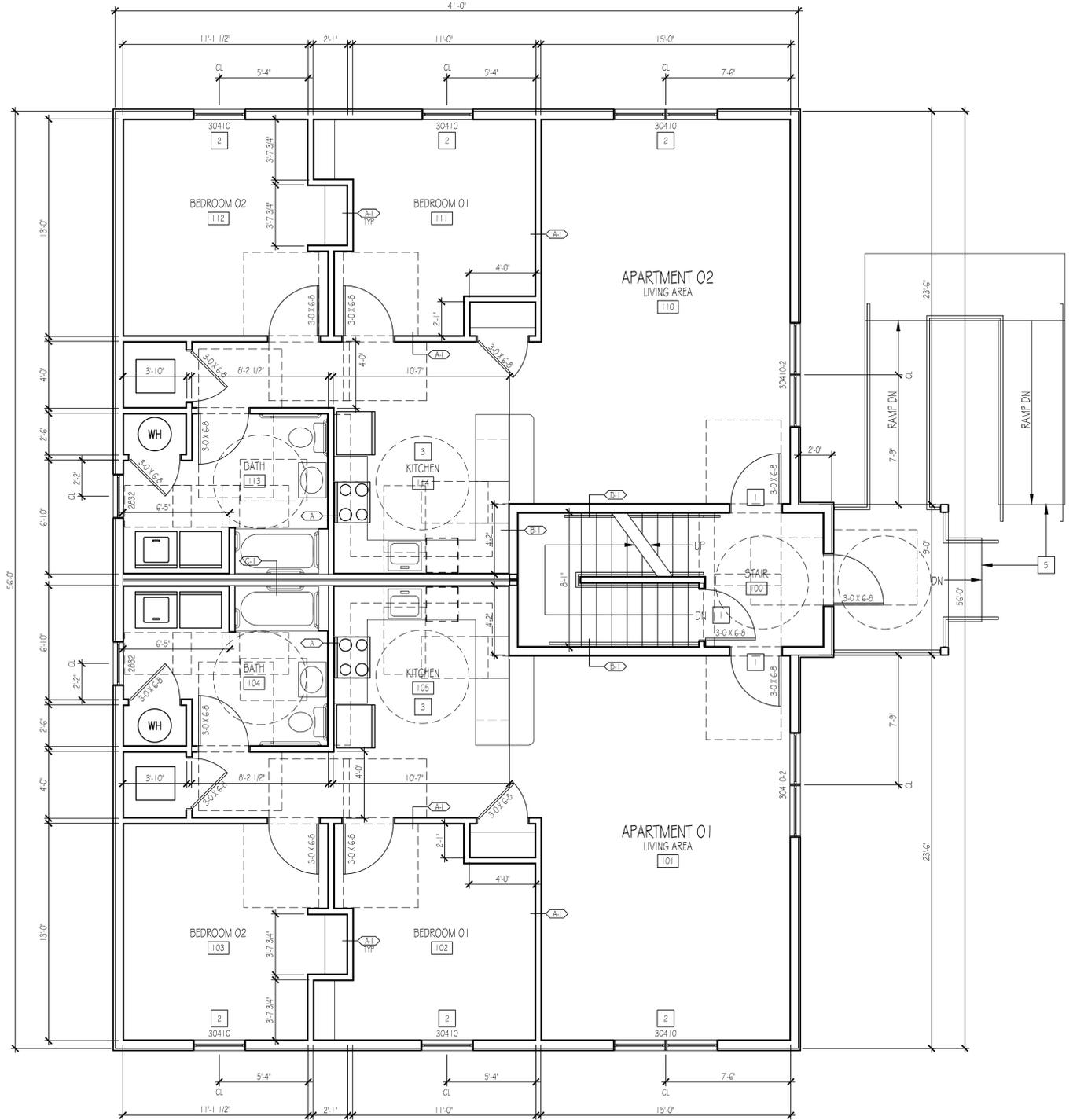
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- C. PROVIDE ATTACHMENT BLOCKING IN ALL WALLS ANTICIPATED TO RECEIVE ACCESSIBLE GRAB BARS

KEY NOTES

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- 3 KITCHEN IN THIS UNIT TO MEET ACCESSIBILITY REQUIREMENTS FOR CLEAR SPACE ADJACENT TO EACH APPLIANCE AND SINK, AND TO BE PROVIDED WITH AT LEAST ONE ACCESSIBLE WORK SURFACE
- 4 OPTIONAL LOCATION FOR HEAD-IN SPRINKLER AND WATER SERVICE ROOM. SEE CIVIL ENGINEERING DRAWINGS FOR SELECTED LOCATION AT THIS BUILDING
- 5 CODE-COMPLIANT ACCESSIBLE RAMP AND ENTRY PORCH. DIMENSIONS AND DETAILS FOR ACCESSIBLE RAMP, FRONT ENTRY PORCH, AND PROTECTIVE ENTRY CANOPY TO BE COORDINATED BY CONTRACTOR WITH CIVIL ENGINEERING DRAWINGS AND FIELD CONDITIONS



1 BASEMENT FLOOR PLAN - ACCESSIBLE BUILDING NO. 08
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - ACCESSIBLE BUILDING NO. 08
SCALE: 1/4" = 1'-0"



NEW SALEM STREET APARTMENTS

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SCHEMATIC DESIGN
FLOOR PLANS
ACCESS BUILDING

DATE: 2025-05-19
SCALE: AS NOTED
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GENERAL NOTES

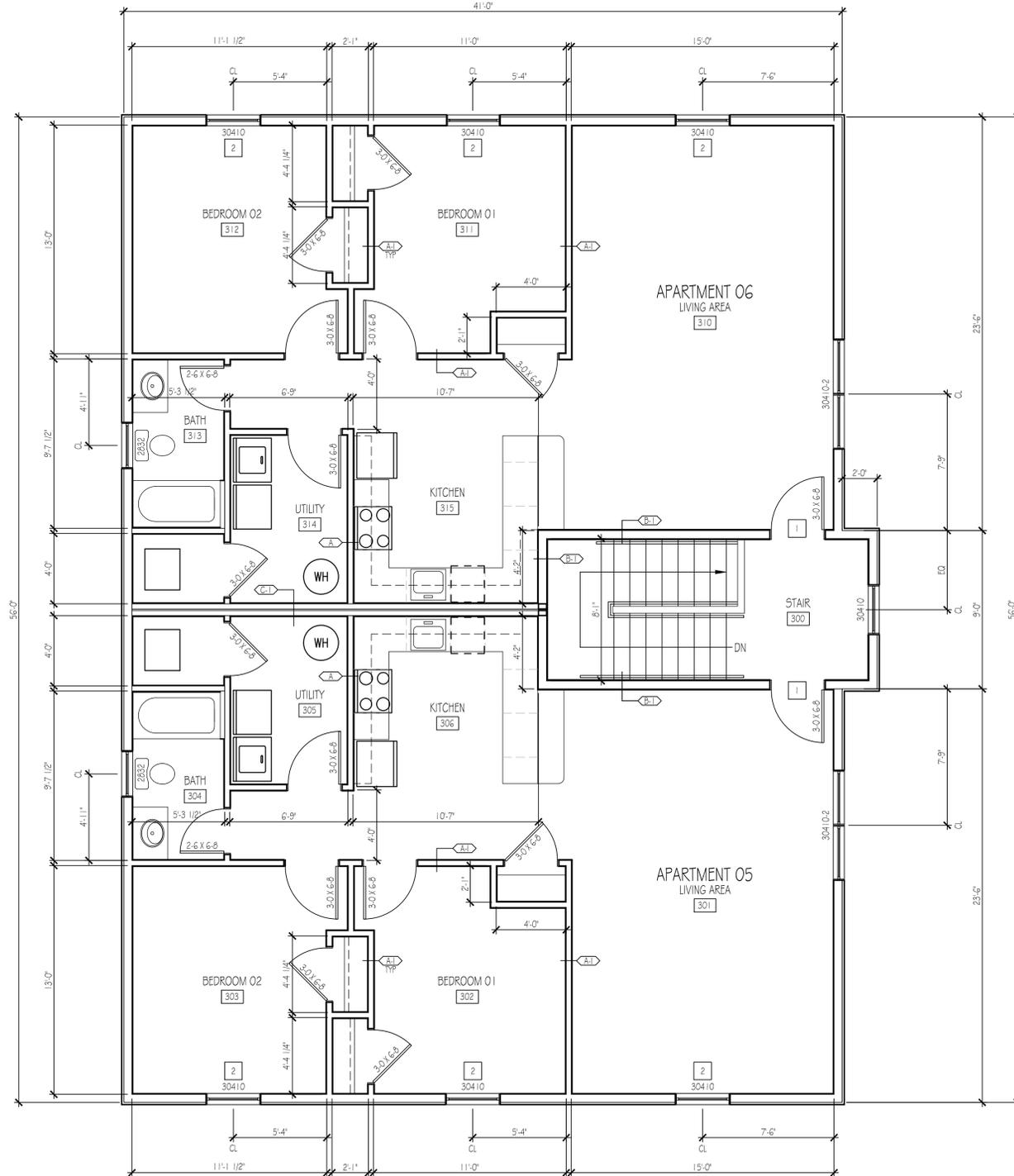
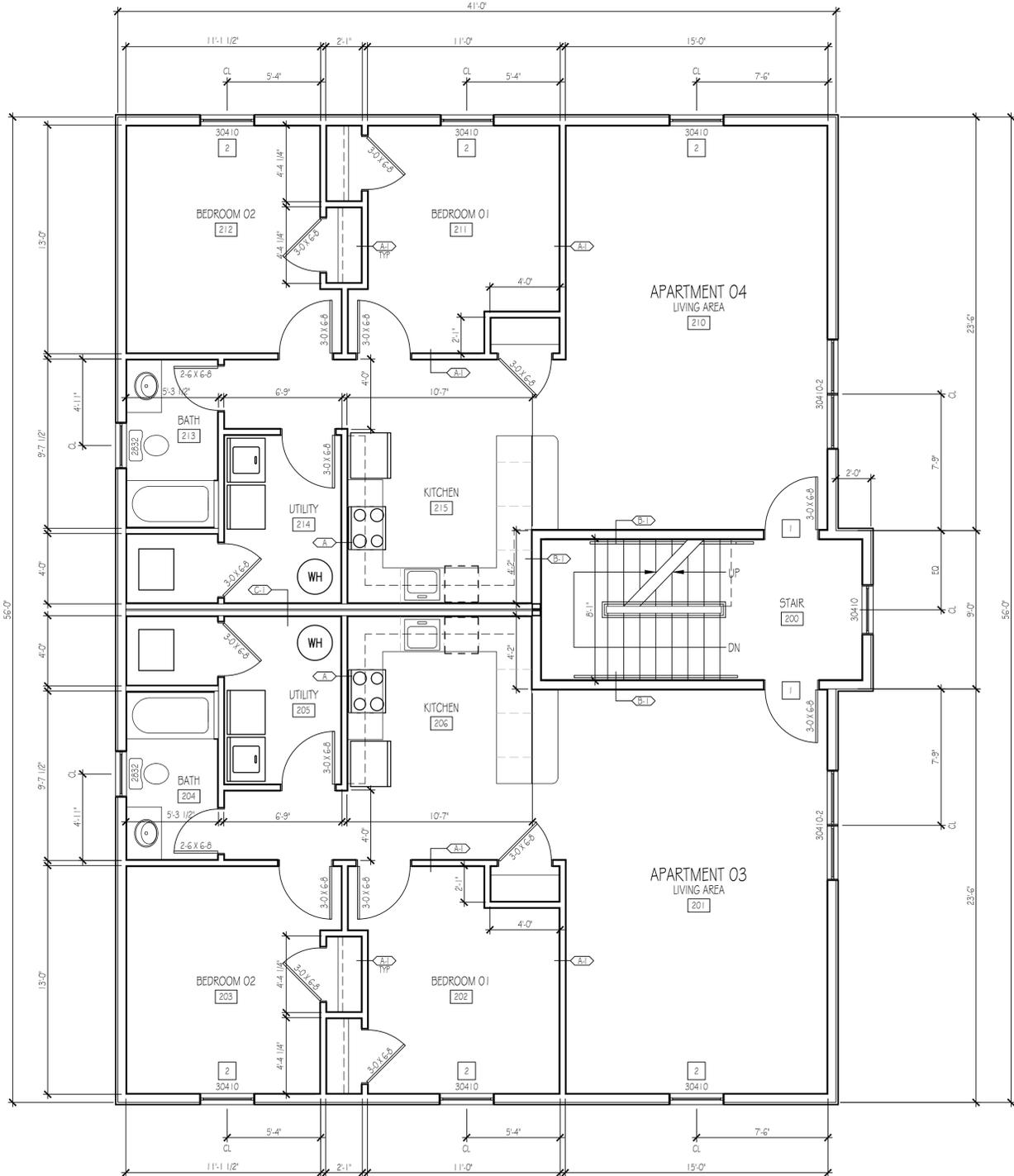
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1 SECOND FLOOR PLAN - ACCESSIBLE BUILDING NO. 08
 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR PLAN - ACCESSIBLE BUILDING NO. 08
 SCALE: 1/4" = 1'-0"



NEW SALEM STREET APARTMENTS

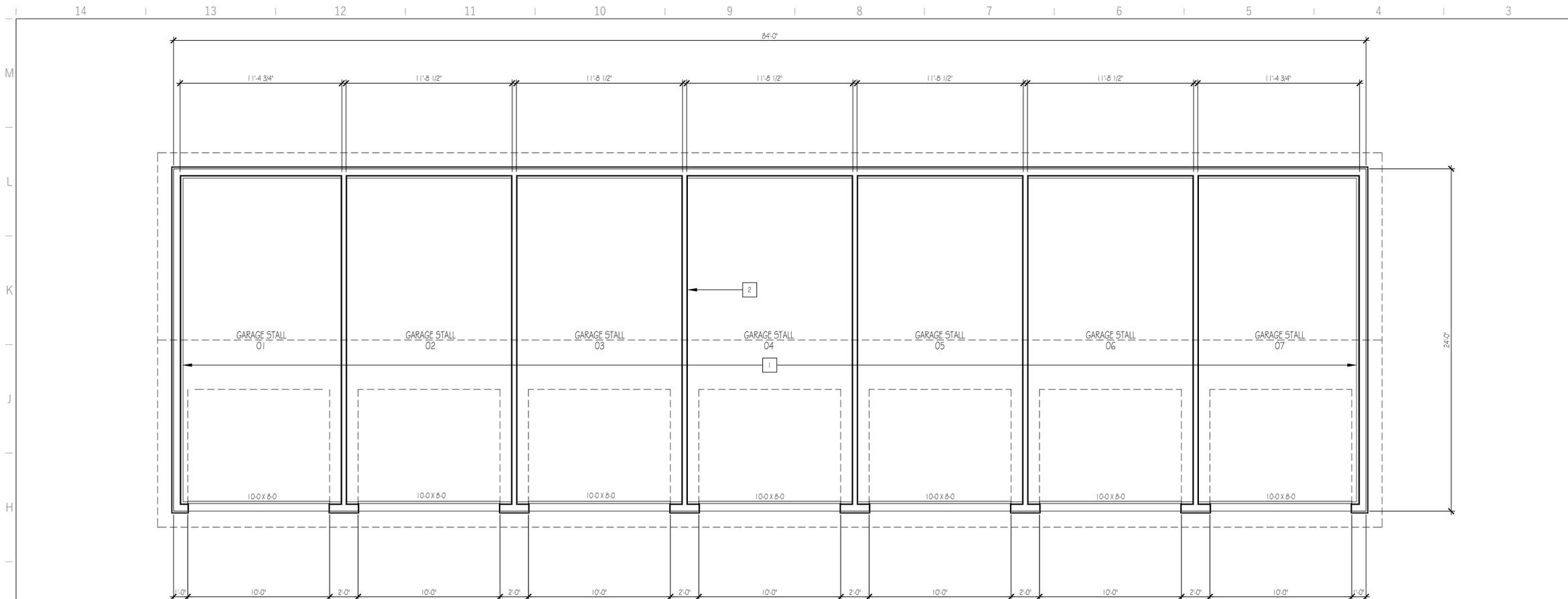
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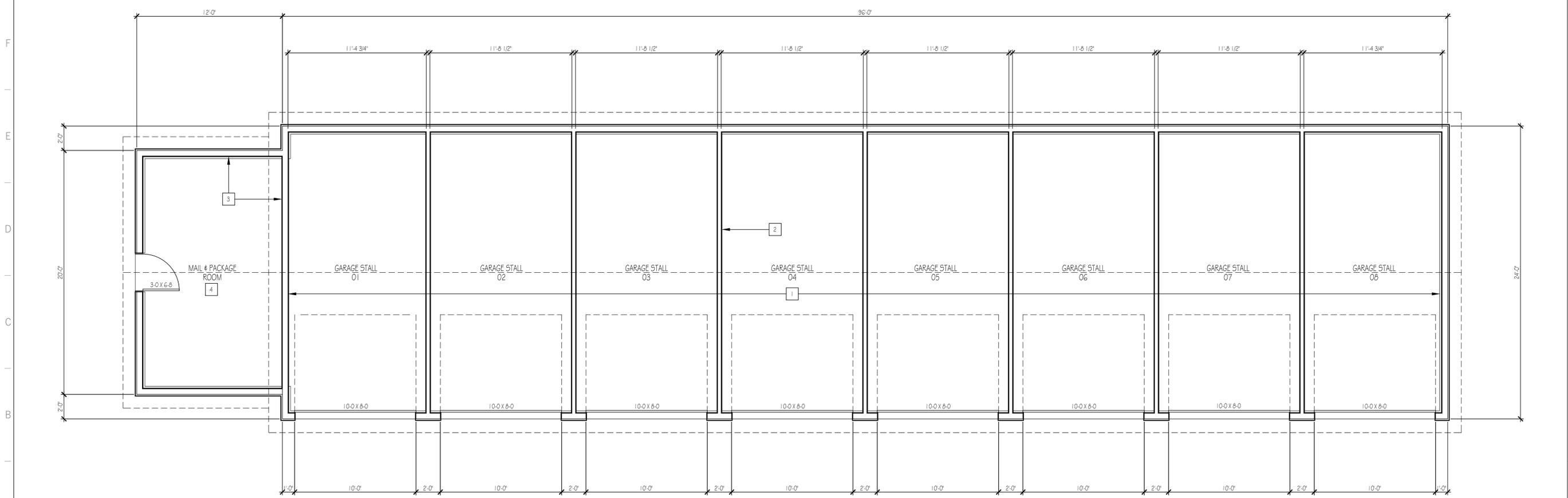
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GENERAL NOTES
 A. SEE SHEET G1.00 FOR GENERAL NOTES APPLICABLE TO ALL SHEETS FOR THE PROJECT

- KEY NOTES**
- 1 SLOPE GARAGE SLAB TOWARD OVERHEAD DOORS FOR POSITIVE DRAINAGE
 - 2 TYPICAL DIVIDING WALLS BETWEEN PARKING STALLS. 2X WOOD STUDS WITH MINIMUM 1/2-INCH PLYWOOD EACH SIDE
 - 3 PAINTED GYPSUM BOARD FINISH WALLS AND CEILING IN MAIL/PACKAGE ROOM
 - 4 OWNER SUPPLIED CONTRACTOR INSTALLED APPROVED MAIL BOXES AND PACKAGE BOXES SYSTEMS. LAYOUT AND CONFIGURATION TO BE DETERMINED IN THE FIELD

1 FLOOR PLAN - SEVEN STALL GARAGE
 SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - EIGHT STALL GARAGE
 SCALE: 1/4" = 1'-0"



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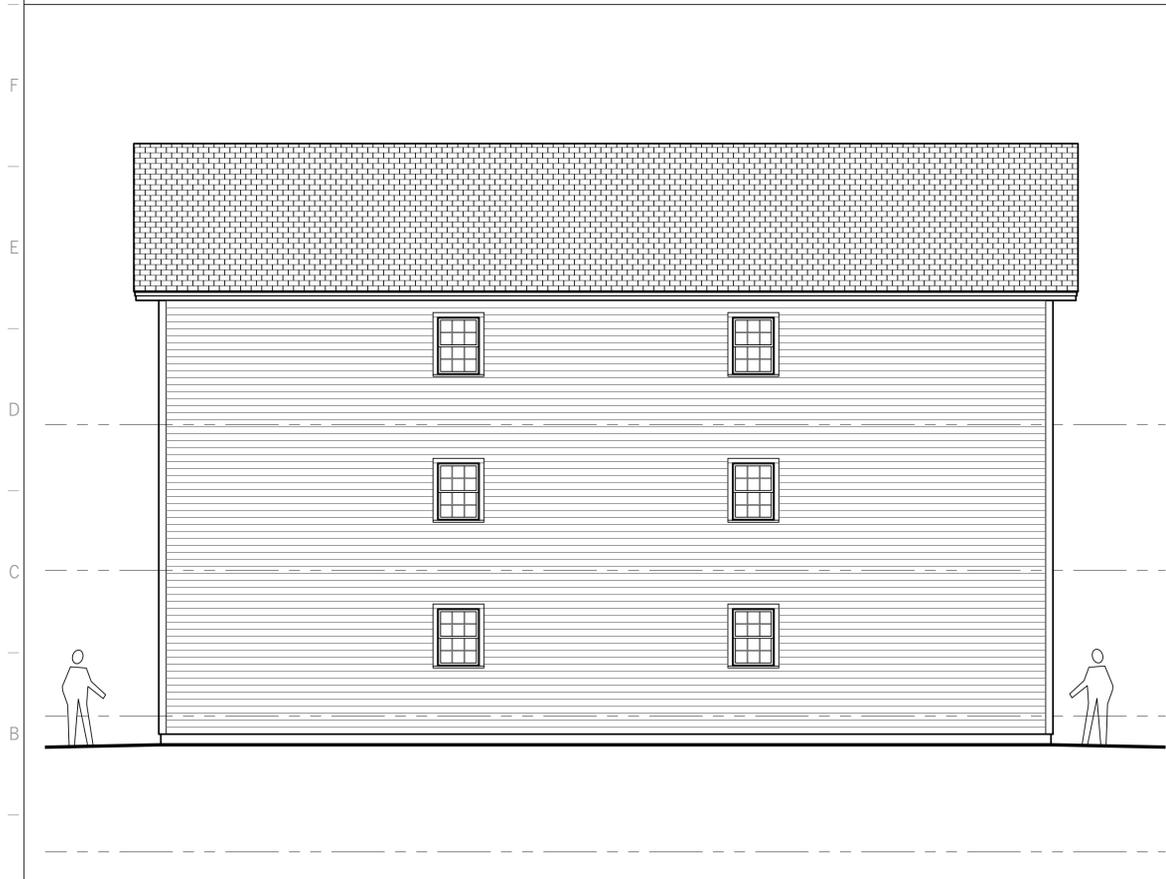
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1 FRONT ELEVATION - TYPICAL BUILDING NOS. 01-07
SCALE: 3/16" = 1'-0"



2 SIDE ELEVATION - TYPICAL BUILDING NOS. 01-07
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION - TYPICAL BUILDING NOS. 01-07
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION - TYPICAL BUILDING NOS. 01-07
SCALE: 3/16" = 1'-0"

GENERAL NOTES

A. SEE SHEET G1.00 FOR GENERAL NOTES APPLICABLE TO ALL SHEETS FOR THE PROJECT

KEY NOTES

- 1 ARCHITECTURAL-GRADE FIBERGLASS ASPHALT ROOF SHINGLES
- 2 VINYL CLAPBOARD SIDING, MINIMUM 4-INCH EXPOSURE
- 3 VINYL NOMINAL 6-INCH VERTICAL CORNER TRIM
- 4 VINYL WINDOW AND DOOR CASING TRIM TO BE DETERMINED BY CONTRACTOR
- 5 DIMENSIONS AND DETAILS FOR FRONT ENTRY PORCH TO BE COORDINATED BY CONTRACTOR WITH FIELD CONDITIONS



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NEW SALEM STREET APARTMENTS

KNM HOLDINGS LLC
NEW SALEM STREET
LACONIA, NEW HAMPSHIRE

ISSUE	DESCRIPTION	DATE

SCHEMATIC DESIGN
ELEVATIONS
TYPICAL BUILDING

DATE: 2025-05-19
SCALE: AS NOTED
DRAWN BY: ---
PROJECT NUMBER: 2416

A2.00

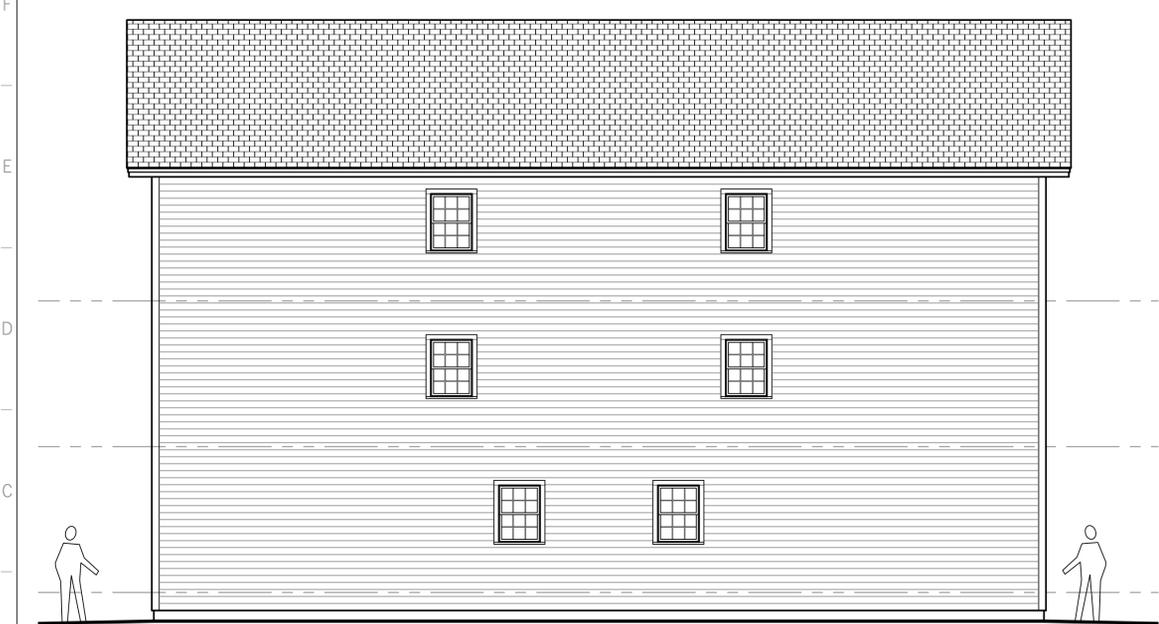
SD2416 Building Elev.dwg



1 FRONT ELEVATION - ACCESSIBLE BUILDING NO. 08
SCALE: 3/16" = 1'-0"



2 SIDE ELEVATION - ACCESSIBLE BUILDING NO. 08
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION - ACCESSIBLE BUILDING NO. 08
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION - ACCESSIBLE BUILDING NO. 08
SCALE: 3/16" = 1'-0"

GENERAL NOTES
A. SEE SHEET G1.00 FOR GENERAL NOTES APPLICABLE TO ALL SHEETS FOR THE PROJECT

- KEY NOTES
- 1 ARCHITECTURAL-GRADE FIBERGLASS ASPHALT ROOF SHINGLES
 - 2 VINYL CLAPBOARD SIDING, MINIMUM 4-INCH EXPOSURE
 - 3 VINYL NOMINAL 6-INCH VERTICAL CORNER TRIM
 - 4 VINYL WINDOW AND DOOR CASING TRIM TO BE DETERMINED BY CONTRACTOR
 - 5 DIMENSIONS AND DETAILS FOR ACCESSIBLE RAMP, FRONT ENTRY PORCH, AND PROTECTIVE ENTRY CANOPY TO BE COORDINATED BY CONTRACTOR WITH FIELD CONDITIONS

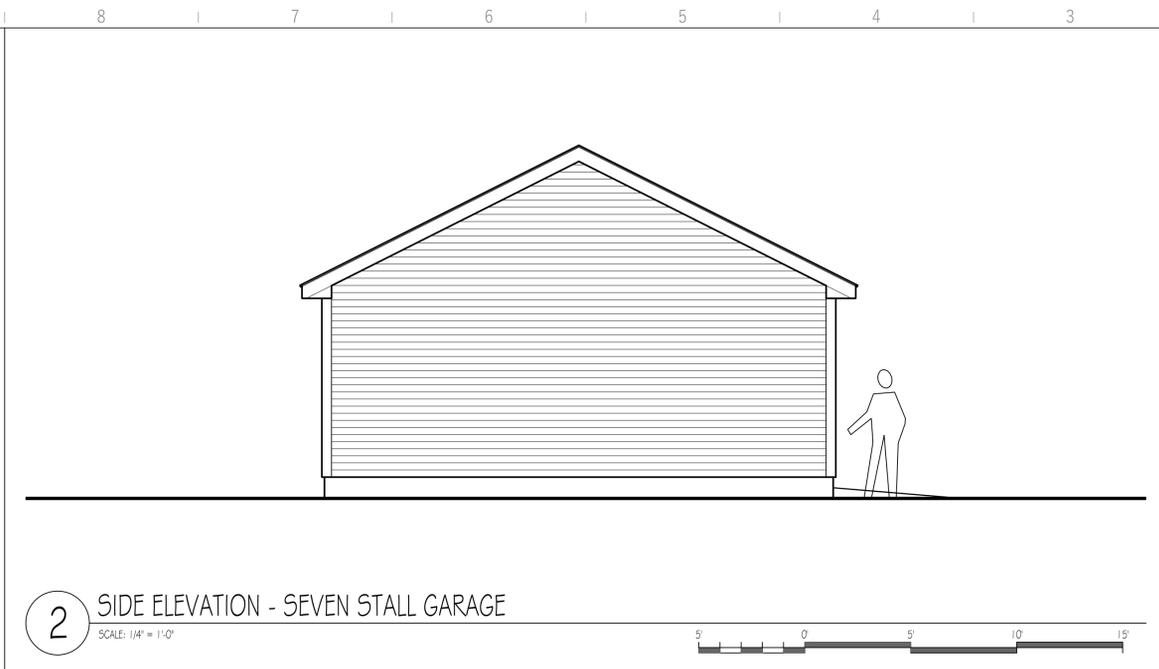
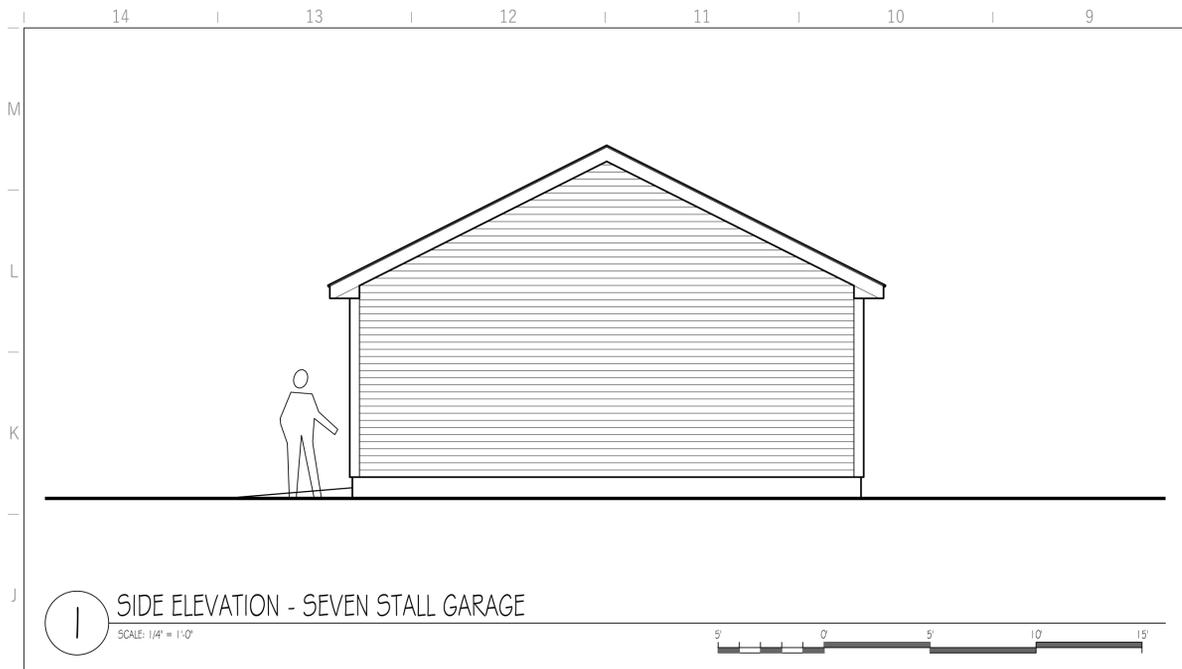


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 NEW SALEM STREET STREET
 LACONIA, NEW HAMPSHIRE

ISSUE	DESCRIPTION	DATE

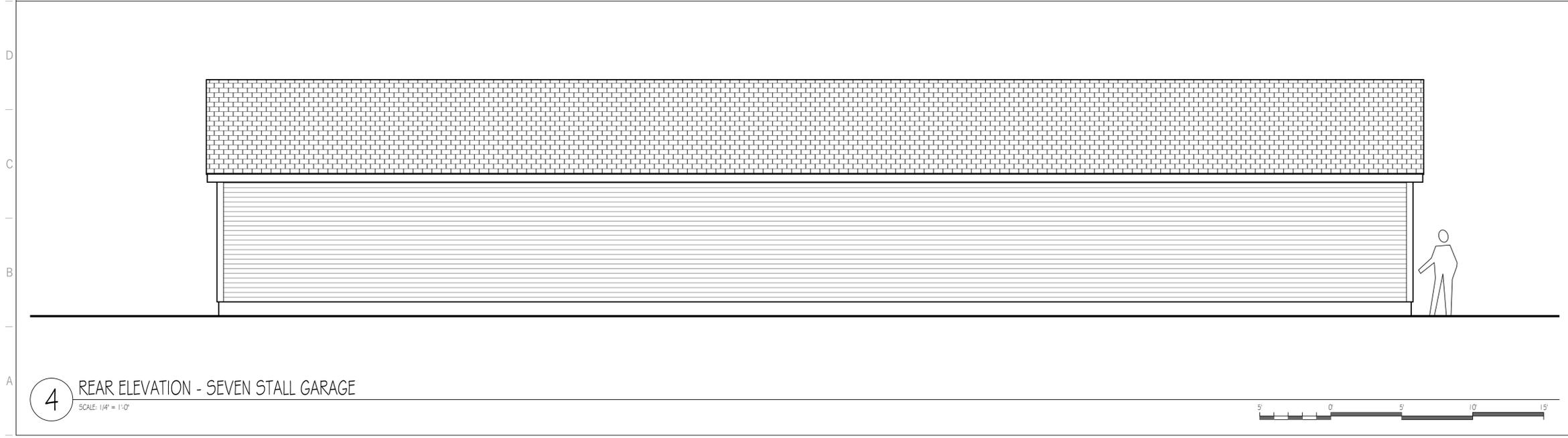
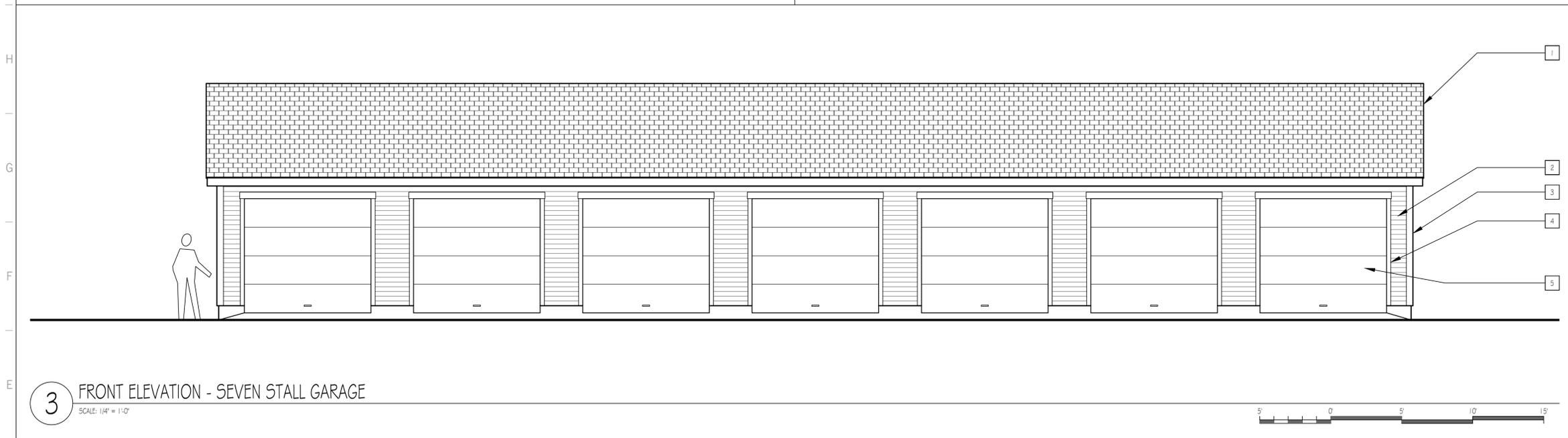
SCHEMATIC DESIGN
 ELEVATIONS
 ACCESS BUILDING
 DATE: 2025-05-19
 SCALE: AS NOTED
 DRAWN BY: ---
 PROJECT NUMBER: 2416



GENERAL NOTES
 A. SEE SHEET G1.00 FOR GENERAL NOTES APPLICABLE TO ALL SHEETS FOR THE PROJECT

KEY NOTES

- 1 ARCHITECTURAL-GRADE FIBERGLASS ASPHALT ROOF SHINGLES
- 2 VINYL CLAPBOARD SIDING, MINIMUM 4-INCH EXPOSURE
- 3 VINYL NOMINAL 6-INCH VERTICAL CORNER TRIM
- 4 VINYL WINDOW AND DOOR CASING TRIM TO BE DETERMINED BY CONTRACTOR
- 5 FACTORY FINISHED FIBERGLASS OVERHEAD SECTIONAL DOOR



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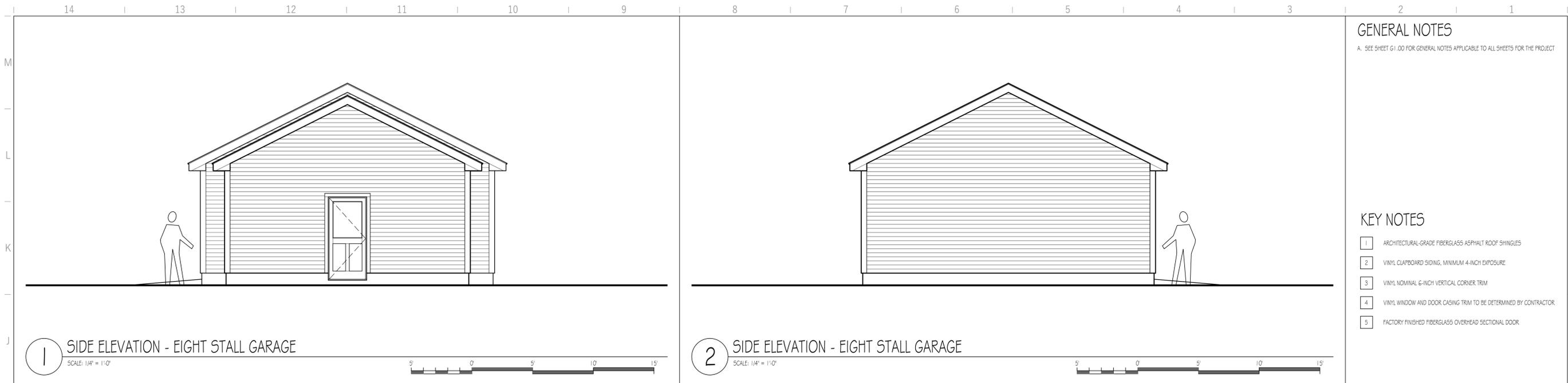
NEW SALEM APARTMENTS
 KNM HOLDINGS LLC
 NEW SALEM STREET STREET
 LACONIA, NEW HAMPSHIRE

ISSUE	DESCRIPTION	DATE

SCHEMATIC DESIGN
 ELEVATIONS
 GARAGES

DATE 2025-05-19
 SCALE AS NOTED
 DRAWN BY
 PROJECT NUMBER 2416

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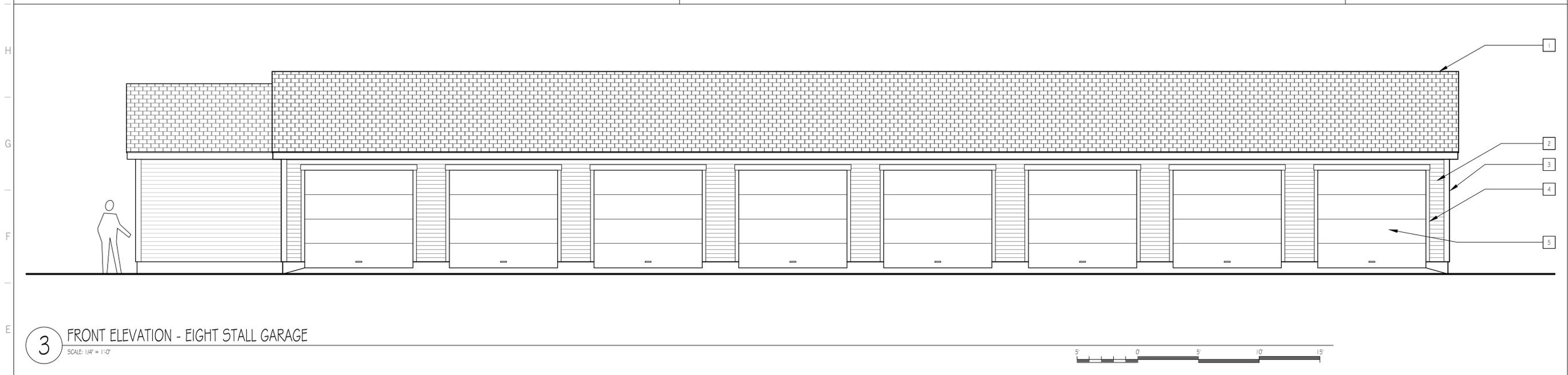


GENERAL NOTES
 A. SEE SHEET G1.00 FOR GENERAL NOTES APPLICABLE TO ALL SHEETS FOR THE PROJECT

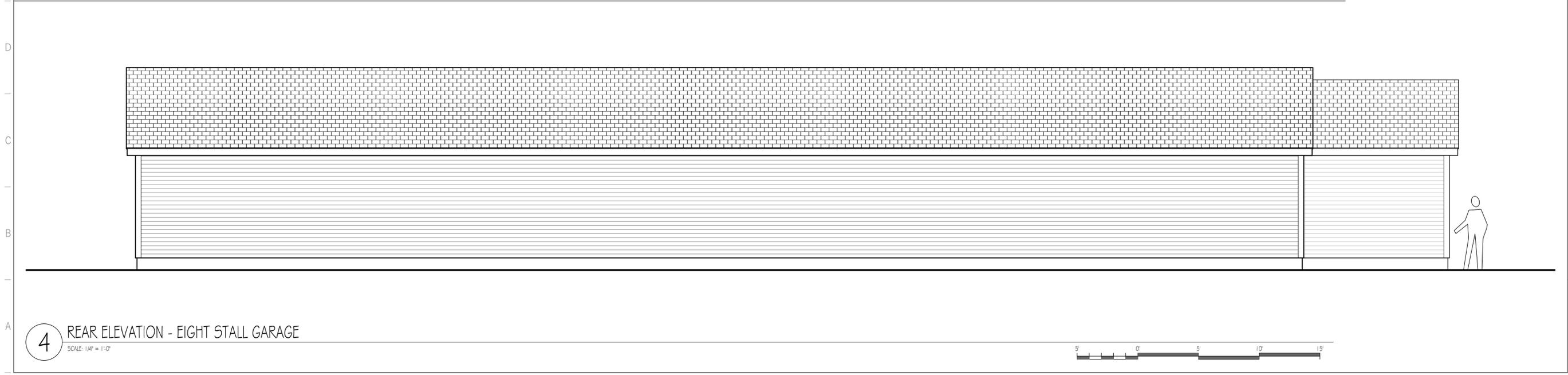
- KEY NOTES**
- 1 ARCHITECTURAL-GRADE FIBERGLASS ASPHALT ROOF SHINGLES
 - 2 VINYL CLAPBOARD SIDING, MINIMUM 4-INCH EXPOSURE
 - 3 VINYL NOMINAL 6-INCH VERTICAL CORNER TRIM
 - 4 VINYL WINDOW AND DOOR CASING TRIM TO BE DETERMINED BY CONTRACTOR
 - 5 FACTORY FINISHED FIBERGLASS OVERHEAD SECTIONAL DOOR

1 SIDE ELEVATION - EIGHT STALL GARAGE
 SCALE: 1/4" = 1'-0"

2 SIDE ELEVATION - EIGHT STALL GARAGE
 SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION - EIGHT STALL GARAGE
 SCALE: 1/4" = 1'-0"



4 REAR ELEVATION - EIGHT STALL GARAGE
 SCALE: 1/4" = 1'-0"



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ISSUE	DESCRIPTION	DATE

SCHEMATIC DESIGN
 ELEVATIONS
 GARAGES

DATE	2025-05-19
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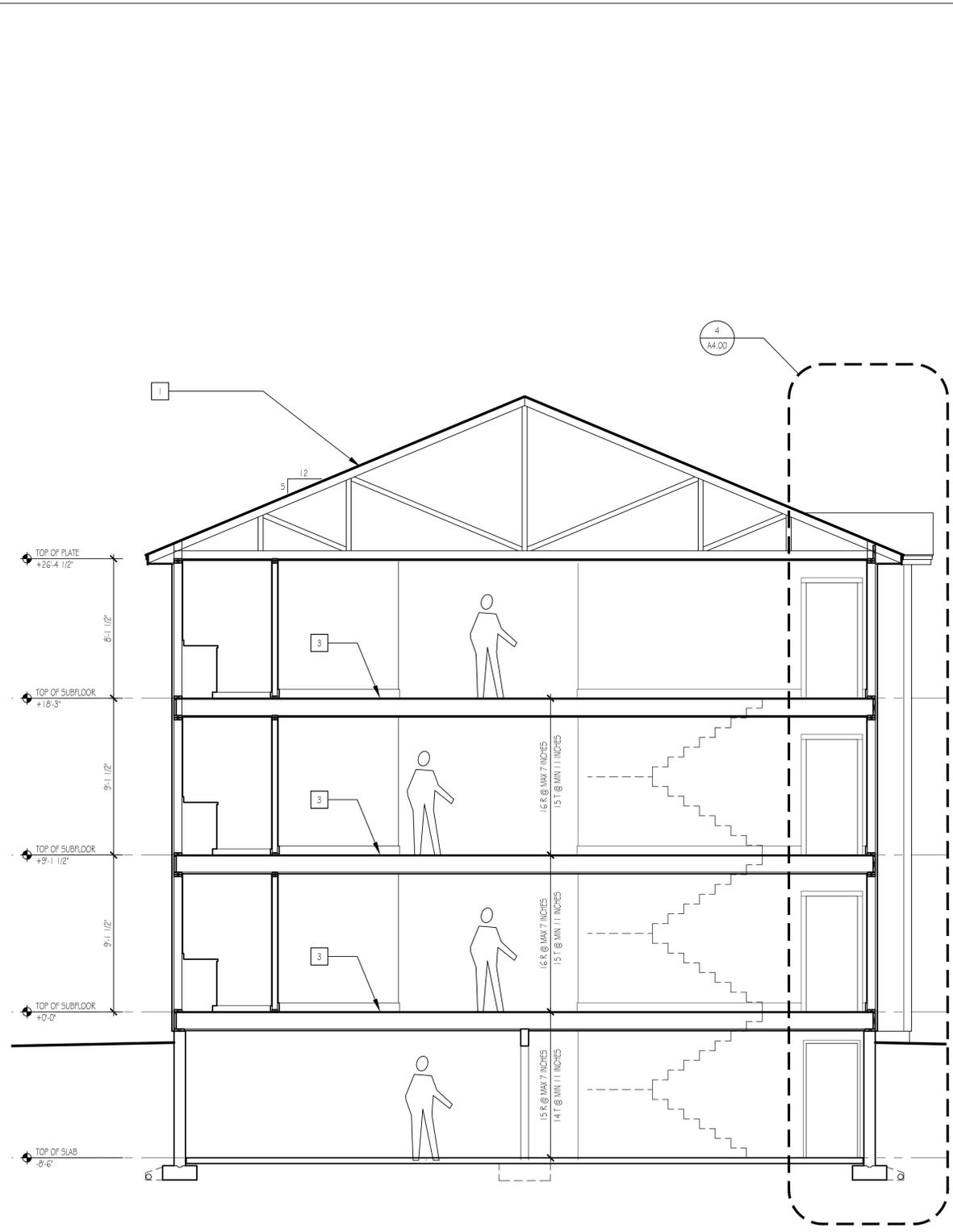
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GENERAL NOTES

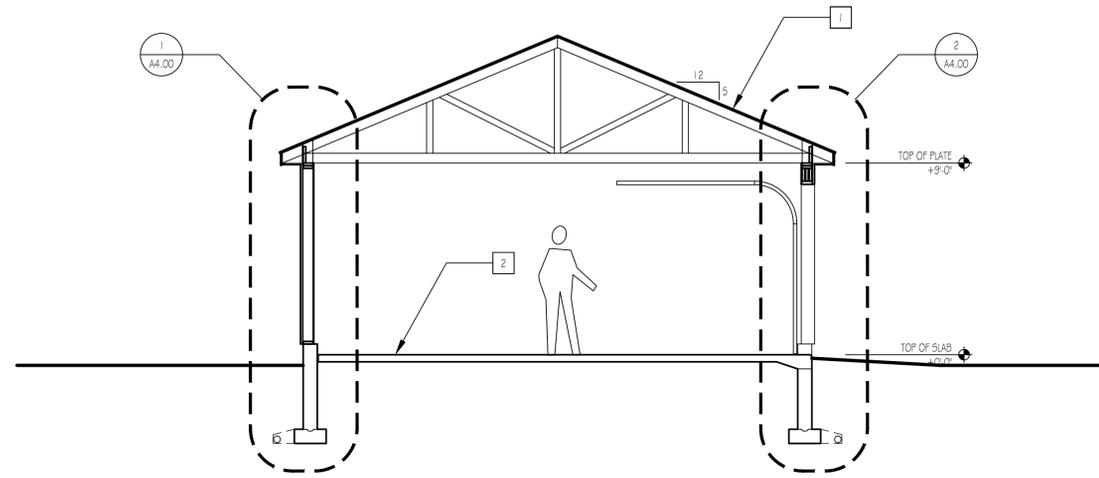
- A. SEE SHEET A1.00 FOR GENERAL NOTES APPLICABLE TO ALL SHEETS FOR THE PROJECT.
- B. FOUNDATION WALL AND FOOTING DETAILS ARE SHOWN FOR GENERAL DESIGN INTENT. FINAL DIMENSIONS, CONCRETE MIX DESIGNS, MINIMUM CODE-REQUIRED STEEL REINFORCING LOCATIONS, SIZING AND SPACING ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTOR.
- C. WOOD-FRAMED WALL, FLOORCEILING, AND ROOF ASSEMBLIES ARE SHOWN FOR GENERAL DESIGN INTENT. ENGINEERING OF MATERIALS, SIZING, AND SPACING REQUIREMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTOR.

KEY NOTES

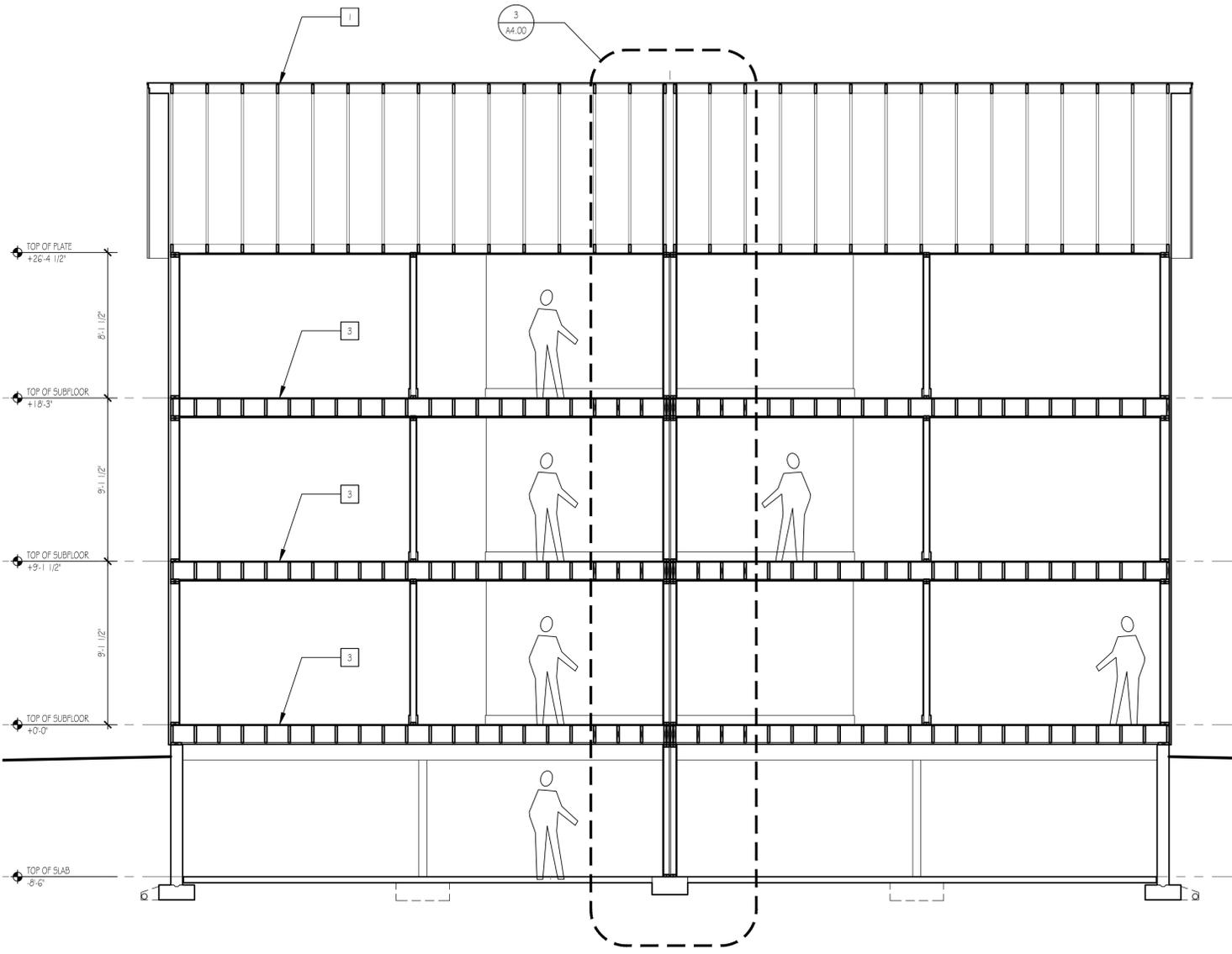
- 1 PRE-ENGINEERED ROOF TRUSSES, BY OTHERS
- 2 SLOPE GARAGE SLAB TOWARD OVERHEAD DOOR FOR POSITIVE DRAINAGE
- 3 UL-LISTED ONE-HOUR FLOORCEILING ASSEMBLY, TYPICAL



1 TRANSVERSE SECTION - TYPICAL ALL BUILDINGS
SCALE: 1/4" = 1'-0"



3 TRANSVERSE SECTION - TYPICAL GARAGE
SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION - TYPICAL ALL BUILDINGS
SCALE: 1/4" = 1'-0"



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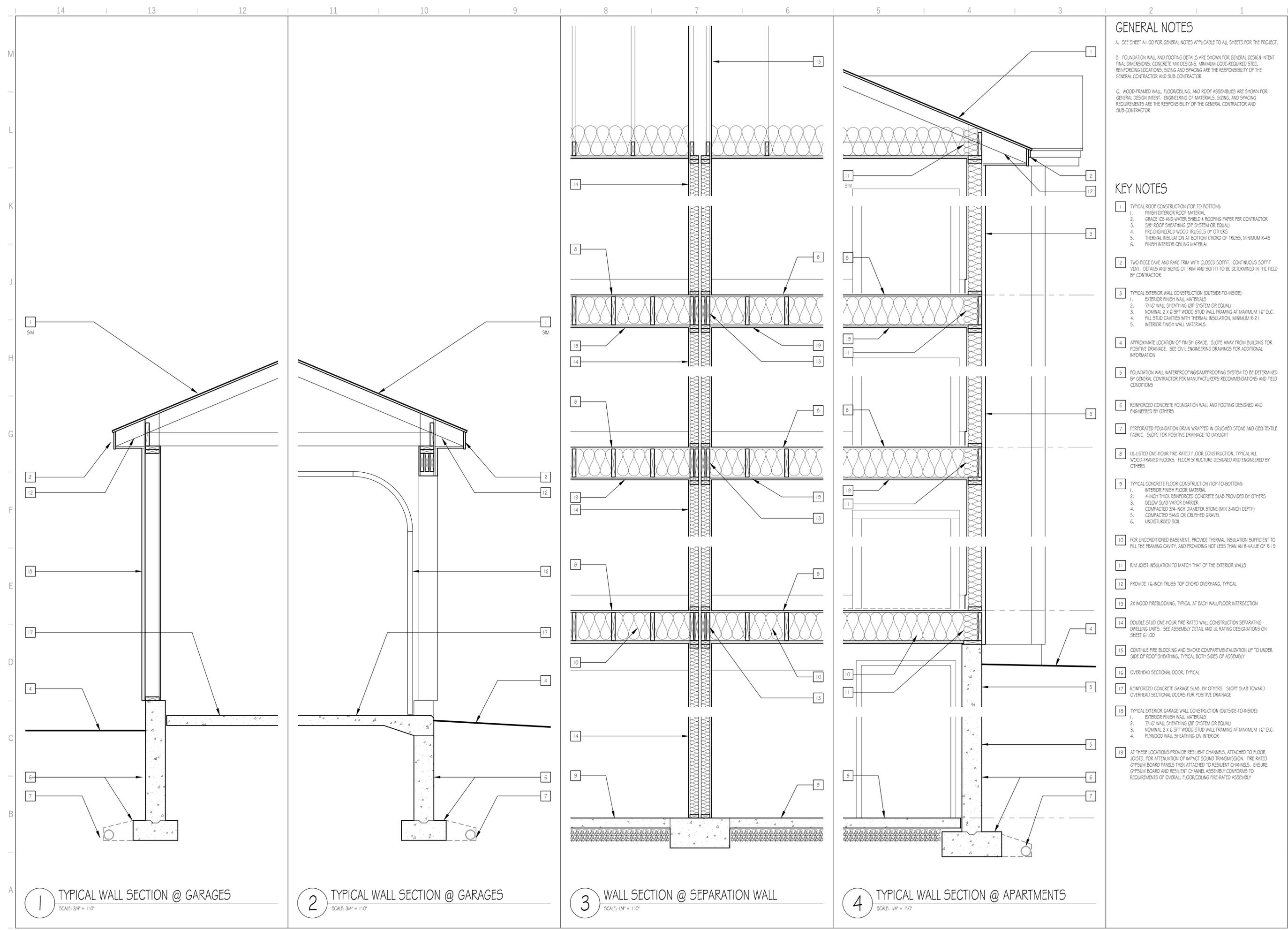
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NEW SALEM STREET
LACONIA, NEW HAMPSHIRE

ISSUE	DESCRIPTION	DATE

SCHEMATIC DESIGN
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SECTIONS

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A3.00
5/24/25 Ebs.dwg



GENERAL NOTES

- A. SEE SHEET A1.00 FOR GENERAL NOTES APPLICABLE TO ALL SHEETS FOR THE PROJECT.
- B. FOUNDATION WALL AND FOOTING DETAILS ARE SHOWN FOR GENERAL DESIGN INTENT. FINAL DIMENSIONS, CONCRETE MIX DESIGNS, MINIMUM CODE-REQUIRED STEEL REINFORCING LOCATIONS, SIZING AND SPACING ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTOR.
- C. WOOD-FRAMED WALL, FLOORCEILING, AND ROOF ASSEMBLIES ARE SHOWN FOR GENERAL DESIGN INTENT. ENGINEERING OF MATERIALS, SIZING, AND SPACING REQUIREMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTOR.

KEY NOTES

- 1 TYPICAL ROOF CONSTRUCTION (TOP-TO-BOTTOM):
 1. FINISH EXTERIOR ROOF MATERIAL
 2. GRAZE ICE-AND-WATER SHIELD & ROOFING PAPER PER CONTRACTOR
 3. SIP ROOF SHEATHING (2P SYSTEM OR EQUAL)
 4. PRE-ENGINEERED WOOD TRUSSES BY OTHERS
 5. THERMAL INSULATION AT BOTTOM CHORD OF TRUSS, MINIMUM R-49
 6. FINISH INTERIOR CEILING MATERIAL
- 2 TWO-PIECE EAVE AND RAKE TRIM WITH CLOSED SOFFIT. CONTINUOUS SOFFIT VENT. DETAILS AND SIZING OF TRIM AND SOFFIT TO BE DETERMINED IN THE FIELD BY CONTRACTOR
- 3 TYPICAL EXTERIOR WALL CONSTRUCTION (OUTSIDE-TO-INSIDE):
 1. EXTERIOR FINISH WALL MATERIALS
 2. 7/16" WALL SHEATHING (2P SYSTEM OR EQUAL)
 3. NOMINAL 2 X 6 SPF WOOD STUD WALL FRAMING AT MAXIMUM 16" O.C.
 4. FILL STUD CAVITIES WITH THERMAL INSULATION, MINIMUM R-21
 5. INTERIOR FINISH WALL MATERIALS
- 4 APPROXIMATE LOCATION OF FINISH GRADE. SLOPE AWAY FROM BUILDING FOR POSITIVE DRAINAGE. SEE CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION
- 5 FOUNDATION WALL WATERPROOFING/DAMP-PROOFING SYSTEM TO BE DETERMINED BY GENERAL CONTRACTOR PER MANUFACTURER'S RECOMMENDATIONS AND FIELD CONDITIONS
- 6 REINFORCED CONCRETE FOUNDATION WALL AND FOOTING DESIGNED AND ENGINEERED BY OTHERS
- 7 PERFORATED FOUNDATION DRAIN WRAPPED IN CRUSHED STONE AND GEO-TEXTILE FABRIC. SLOPE FOR POSITIVE DRAINAGE TO DAYLIGHT
- 8 UL-LISTED ONE-HOUR FIRE-RATED FLOOR CONSTRUCTION, TYPICAL ALL WOOD-FRAMED FLOORS. FLOOR STRUCTURE DESIGNED AND ENGINEERED BY OTHERS
- 9 TYPICAL CONCRETE FLOOR CONSTRUCTION (TOP-TO-BOTTOM):
 1. INTERIOR FINISH FLOOR MATERIAL
 2. 4-INCH THICK REINFORCED CONCRETE SLAB PROVIDED BY OTHERS
 3. BELOW SLAB VAPOR BARRIER
 4. COMPACTED 3/4-INCH DIAMETER STONE (MIN 3-INCH DEPTH)
 5. COMPACTED SAND OR CRUSHED GRAVEL
 6. UNDISTURBED SOIL
- 10 FOR UNCONDITIONED BASEMENT, PROVIDE THERMAL INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, AND PROVIDING NOT LESS THAN AN R-VALUE OF R-19
- 11 RIM JOIST INSULATION TO MATCH THAT OF THE EXTERIOR WALLS
- 12 PROVIDE 1 1/2-INCH TRUSS TOP CHORD OVERHANG, TYPICAL
- 13 2X WOOD FIREBLOCKING, TYPICAL AT EACH WALL/FLOOR INTERSECTION
- 14 DOUBLE-STUD ONE-HOUR FIRE-RATED WALL CONSTRUCTION SEPARATING DWELLING UNITS. SEE ASSEMBLY DETAIL AND UL RATING DESIGNATIONS ON SHEET G1.00
- 15 CONTINUE FIRE BLOCKING AND SMOKE COMPARTMENTALIZATION UP TO UNDER SIDE OF ROOF SHEATHING, TYPICAL BOTH SIDES OF ASSEMBLY
- 16 OVERHEAD SECTIONAL DOOR, TYPICAL
- 17 REINFORCED CONCRETE GARAGE SLAB, BY OTHERS. SLOPE SLAB TOWARD OVERHEAD SECTIONAL DOORS FOR POSITIVE DRAINAGE
- 18 TYPICAL EXTERIOR GARAGE WALL CONSTRUCTION (OUTSIDE-TO-INSIDE):
 1. EXTERIOR FINISH WALL MATERIALS
 2. 7/16" WALL SHEATHING (2P SYSTEM OR EQUAL)
 3. NOMINAL 2 X 6 SPF WOOD STUD WALL FRAMING AT MAXIMUM 16" O.C.
 4. PLYWOOD WALL SHEATHING ON INTERIOR
- 19 AT THESE LOCATIONS PROVIDE RESILIENT CHANNELS, ATTACHED TO FLOOR JOISTS, FOR ATTENUATION OF IMPACT SOUND TRANSMISSION. FIRE-RATED GYPSUM BOARD PANELS THEN ATTACHED TO RESILIENT CHANNELS. ENSURE GYPSUM BOARD AND RESILIENT CHANNEL ASSEMBLY CONFORMS TO REQUIREMENTS OF OVERALL FLOOR/CEILING FIRE-RATED ASSEMBLY

1 TYPICAL WALL SECTION @ GARAGES
SCALE: 3/4" = 1'-0"

2 TYPICAL WALL SECTION @ GARAGES
SCALE: 3/4" = 1'-0"

3 WALL SECTION @ SEPARATION WALL
SCALE: 1/4" = 1'-0"

4 TYPICAL WALL SECTION @ APARTMENTS
SCALE: 1/4" = 1'-0"



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NEW SALEM STREET APARTMENTS

KNM HOLDINGS LLC
NEW SALEM STREET
LACONIA, NEW HAMPSHIRE

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