

Lone Oak Phase II

1800 Lone Oak, Weatherford TX 76086

Available 16,275 sqft office/retail space



Prepared By:

Matt Milligan

Trinity Country Real Estate

(817) 694-1121

mmranches@gmail.com

Lic. 0500456

TRINITY COUNTRY
REAL ESTATE

THE SPACE

Location	1800 Lone Oak Weatherford, TX 76086
County	Parker
APN	R000037247
Cross Street	Cutters Trail
Traffic Count	25,000



POPULATION

5.00 MILE	10.00 MILE	15.00 MILE
47,389	94,220	164,069



AVERAGE HOUSEHOLD INCOME

5.00 MILE	10.00 MILE	15.00 MILE
\$114,881	\$134,327	\$136,271

HIGHLIGHTS

- Central Location Between Weatherford & Hudson Oaks
- Developer Willing To White Box Units
- High Traffic Count
- Established Businesses Located In Phase 1 Building
- Rents Starting At 18sqft NNN
- Parker County Is The Largest Growing County In Texas
- New Construction
- 400 Plus Unit Apartments On Site
- Easy Access To I-20
- Quality Construction



NUMBER OF HOUSEHOLDS

5.00 MILE	10.00 MILE	15.00 MILE
18,208	34,102	58,942

Suite	Tenant	Floor	Square Feet	Lease Type	Notes
1	Available	1	2100 70'x30'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft

Suite	Tenant	Floor	Square Feet	Lease Type	Notes
2	Available	1	1400 70'x20'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft
3	Available	1	1400 70'x20'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft
4	Available	1	1400 70'x20'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft
5	Available	1	2100 70'x30'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft
6	Available	1	2100 70'x30'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft
7	Available	1	1400 70'x20'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft
8	Available	1	1400 70'x20'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft
9	Available	1	1400 70'x20'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft
10	Available	1	2100 70'x30'	NNN	Shell only, lease will start at \$18.00 a sqft. If developer white boxes the space, completes electrical, plumbing, HVAC then lease starts at \$24.00 sqft

PROPERTY FEATURES

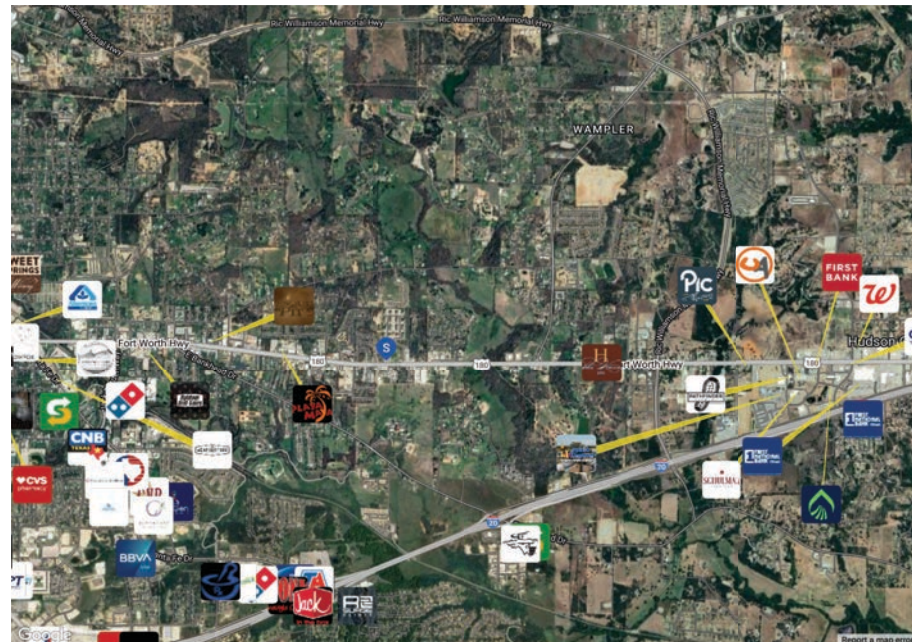
TOTAL TENANTS	10
BUILDING SF	16,725
LAND SF	69,742
LAND ACRES	1.60
YEAR BUILT	2024
ZONING TYPE	C-1
BUILDING CLASS	AAA
TOPOGRAPHY	Level
LOCATION CLASS	AA
NUMBER OF STORIES	1
NUMBER OF BUILDINGS	1
NUMBER OF PARKING SPACES	87
NUMBER OF INGRESSES	2

CONSTRUCTION

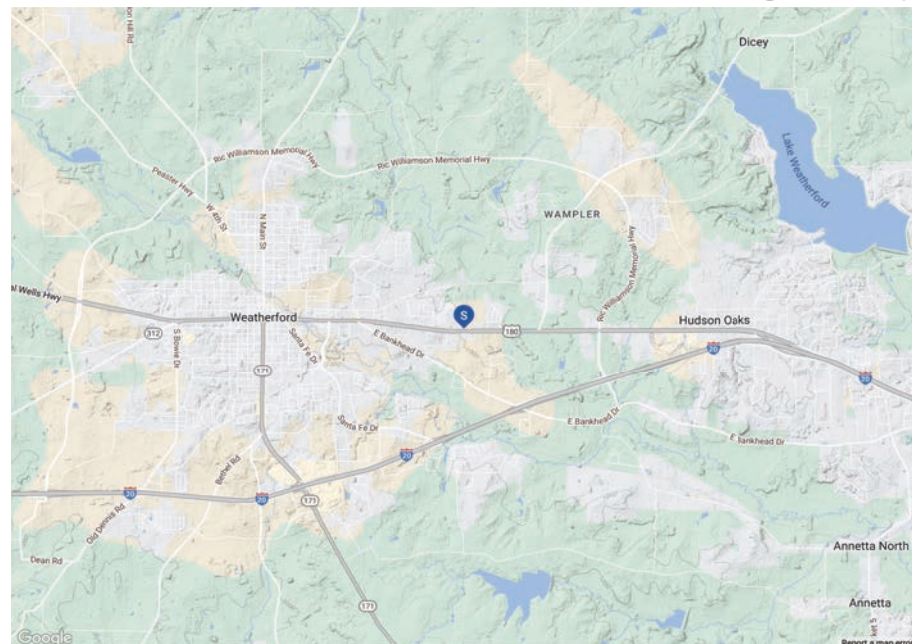
FOUNDATION	Slab
FRAMING	Wood
EXTERIOR	Brick
PARKING SURFACE	Concrete
ROOF	TPO
LANDSCAPING	Bushes

- The property is located in Weatherford, TX, a growing city known for its historic downtown area with unique shops and restaurants.
- Parker county has now reached a point to where it is the **LARGEST GROWING** county in the state of Texas
- Weatherford is home to notable educational institutions such as Weatherford College and is known for its strong community ties and family-friendly atmosphere.
- The property is situated in a high-traffic area with good visibility and easy access to major roads like Interstate 20, enhancing its potential for attracting customers.
- Retail businesses in the vicinity cater to a diverse demographic, offering a range of products and services to meet the needs of local residents and visitors alike.

Locator Map



Regional Map





New construction to be completed fall of 2024

S

Google

[Report a map error](#)

State of Texas
 County of Parker

Whereas FWH Apartments, LLC, being the sole owner of a 8.322 acre tract of land out of the Elizabeth Crockett Survey, Abstract No. 214, Parker County, Texas; being a portion of that certain "Tract 1" described in Clerk's File No. 201713351, Real Property Records, Parker County, Texas and all of Lot 2, Block 1, Lone Oaks Apartments Addition, according to the plat recorded in Cabinet E, Slide 460, Plat Records, Parker County, Texas; and being further described by metes and bounds as follows:

The following Bearings, Distances, and/or Areas derived from GNSS observations performed by Texas Surveying, Inc. and reflect N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202 (GRID):

BEGINNING at a found 1/2" capped iron rod, in the east line of that certain Butler Brooks tract described in Volume 2750, Page 422, R.P.R.P.C.T., same being the south line of Lone Oak Road (a paved 60 foot right-of-way), and also being in the west line of said "Tract 1" and being the northwest corner of said Lot 2, Block 1, Lone Oaks Apartments Addition, for the northwest and beginning corner of this tract. WHENCE the Southeast corner of the Desiderio De La Cruz Survey, Abstract No. 223 is calculated to bear N 0°10'45" W 1075.50 feet.

THENCE along the south line of said Lone Oak Road the following courses and distances:
 East 209.99 feet, to a found 1/2" capped iron rod, for a corner of this tract;
 Southeasterly, along the arc of a curve to the right 206.02 feet, having a radius of 270.00 feet, and whose chord bears S 68°08'25" E 201.06 feet, to a found 1/2" capped iron rod, for a corner of this tract;
 Southeasterly, along the arc of a curve to the left 187.87 feet, having a radius of 330.00 feet, and whose chord bears S 62°35'24" E 185.34 feet, to a found 1/2" capped iron rod, for a corner of this tract;
 S 78°53'57" E 55.43 feet, to a found 1/2" capped iron rod in the west line of Cutters Way (a paved variable width right-of-way), for the northeast corner of this tract.

THENCE along the west line of said Cutters Way the following courses and distances:
 Southwesterly, along the arc of a curve to the left 178.78 feet, having a radius of 1045.00 feet, and whose chord bears S 04°33'16" W 178.56 feet, to a found 1/2" capped iron rod, for a corner of this tract;
 S 00°20'48" E 300.66 feet, to a found concrete monument in the north line of Fort Worth Highway (also known as US Highway No. 180, a paved 162 foot right-of-way, also being in the south line of said "Tract 1", for the southeast corner of this tract.

THENCE S 89°26'20" W 606.16 feet along the common line of said "Tract 1" and said Fort Worth Highway to a 12" wood post at the southeast corner of said Butler Brooks tract, also being the southwest corner of said "Tract 1", for the southwest corner of this tract.

THENCE N 00°15'34" E 655.46 feet along the common line of said "Tract 1" and said Butler Brooks tract to the POINT OF BEGINNING.

Surveyor's Certificate
 Know All Men By These Presents:

That I, Kyle Rucker, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as "set" were properly placed under my personal supervision in accordance with the subdivision ordinance of the City of Weatherford.

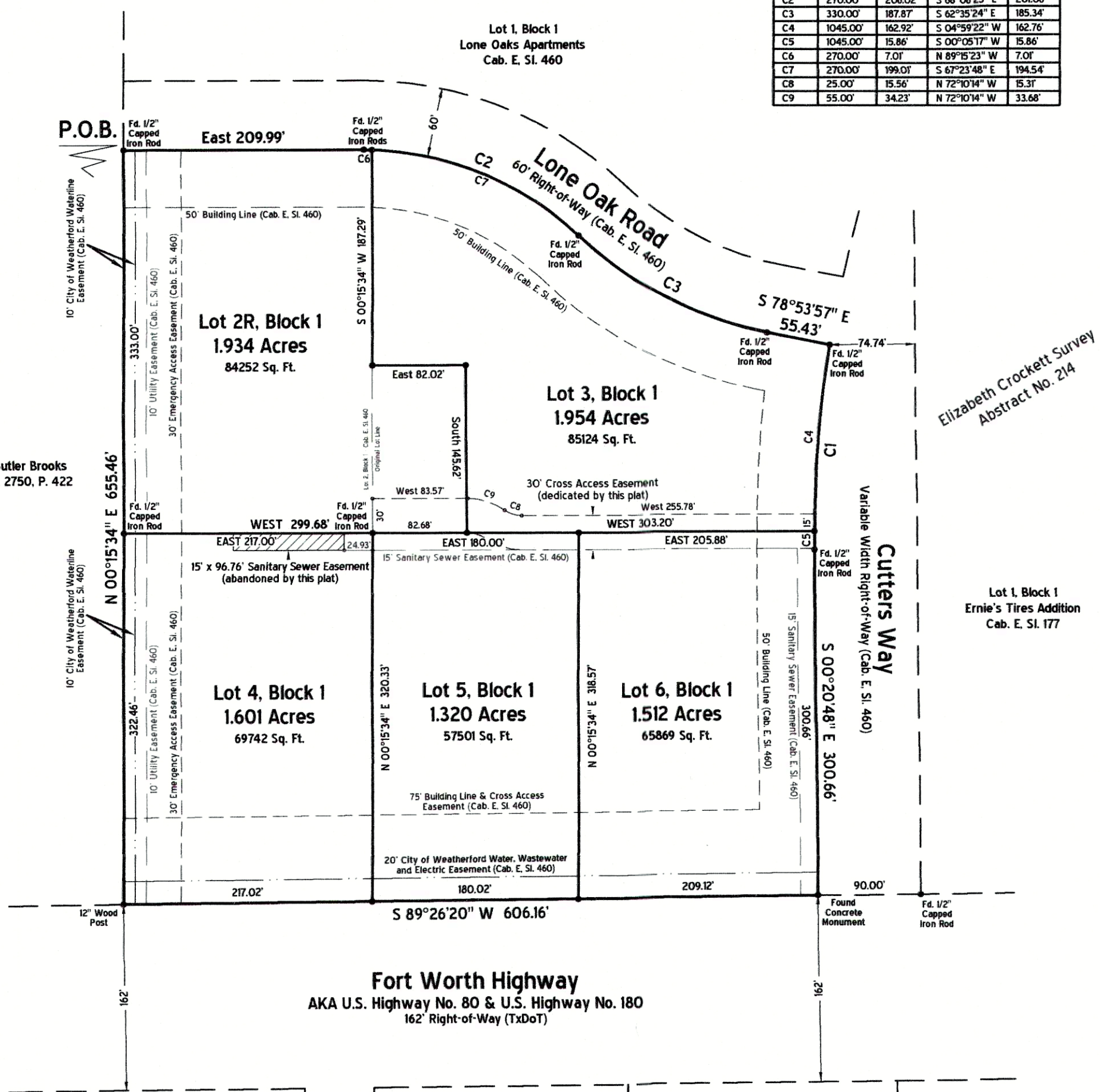
Kyle Rucker, Registered Professional Land Surveyor No. 6444
 Texas Surveying, Inc. - Weatherford Branch
 104 S. Walnut Street, Weatherford, Texas 76086
 weatherford@txsurveying.com - 817-594-0400
 Project ID: JN61210-RP2
 Field Date: October 4, 2023
 Preparation Date: November 28, 2023



- Surveyor's Notes:
- Currently this tract appears to be located within one or more of the following areas:
 - Other Areas of Flood Hazard, Zone "X" - Areas of minimal flood hazard
 - According to the F.I.R.M. Community Panel Map No. 48367C0270E, dated September 26, 2008; for up to date flood hazard information always visit the official FEMA website at FEMA.gov.
 - All corners are C.I.R.S. - Set 1/2" iron rod with plastic cap stamped TEXAS SURVEYING INC unless otherwise noted.
 - Bearings, Distances, and/or Areas derived from GNSS observations and reflect N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202 (GRID).
 - Underground utilities were not located during this survey. Call 811 and/or Utility Providers before excavation or construction.
 - No abstract of title or title commitment was provided to this surveyor; record research done by this surveyor was made only for the purpose of determining the boundary of this property and of the adjoining parcels. Record documents other than those shown on this survey may exist and encumber this property.

- City of Weatherford Notes:
- Utility easements may be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and the City of Weatherford's use thereof. The City of Weatherford and public utility entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easement. The City of Weatherford and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements, without the necessity of any time procuring permission from anyone.
 - Before construction please consult all applicable governing entities regarding rules & regulations, that may affect construction on this property, (i.e. architectural control committee, municipal departments, home owners assoc., etc.)
 - Special Notice: Setting a portion of this Addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and withholding of utilities and building permits.
 - All building setback lines shall conform to current zoning ordinances of the City of Weatherford.
 - The owner/developer does hereby waive all claims for damages against the City of Weatherford occasioned by the establishment of grades or the alterations of the surface of any portion of the existing streets and alleys, or natural contours, to conform to the grades established in the subdivision.
 - All pre-existing easements and/or dedications have been vacated or incorporated into the creation of this plat.
 - All lands shown hereon are subject to the private utility easement as recorded in Clerk's File No. 201812601, R.P.R.P.C.T.

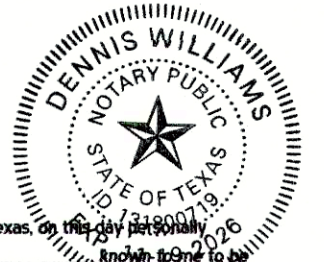
CURVE	RADIUS	ARC	CHORD BRG	CHORD
C1	1045.00'	178.78'	S 04°33'16" W	178.56'
C2	270.00'	206.02'	S 68°08'25" E	201.06'
C3	330.00'	187.87'	S 62°35'24" E	185.34'
C4	1045.00'	182.92'	S 04°39'22" W	182.78'
C5	1045.00'	15.88'	S 00°20'48" W	15.86'
C6	270.00'	7.01'	N 89°16'23" W	7.01'
C7	270.00'	199.01'	S 67°23'48" E	194.54'
C8	25.00'	15.56'	N 72°10'14" W	15.31'
C9	55.00'	34.23'	N 72°10'14" W	33.68'



Now, Therefore, Know All Men By These Presents:
 that FWH Apartments LLC acting herein by and through its duly authorized officer(s), do(es) hereby adopt this plat designating the herein above described property as Lots 2R, 3, 4, 5 and 6, Block 1, Lone Oaks Apartments Addition, Phase 2, an addition to the City of Weatherford, Parker County, Texas, and do(es) hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon, the streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Weatherford. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Weatherford's use thereof. The City of Weatherford and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Weatherford and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Weatherford, Parker County, Texas.
 witness, my hand, this the 11th day of December, 2023.

By: [Signature]
 FWH Apartments, LLC - C. Ryan Voorhees (Manager)



State of Texas
 County of Parker
 Before me, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared C. Ryan Voorhees known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he/she executed the same for the purpose and considerations therein expressed, on behalf of said entities and in the capacities stated.
 given under my hand and seal of office on this the 11th day of December, 2023.
[Signature]
 Notary Public in and for the State of Texas

This plat has been submitted to and considered by the Planning & Zoning Commission of the City of Weatherford, Texas, and is hereby approved by such Commission and passed to the City Council for its consideration for approval.
 Dated this the 5th day of January, 2024.

By: [Signature]
 Chairman

Attest: [Signature]
 Secretary

This plat has been submitted to and considered by the City Council of the City of Weatherford, Texas, and is hereby approved by such City Council.
 Dated this the 12th day of December, 2023.

By: [Signature]
 Mayor

Attest: [Signature]
 Secretary

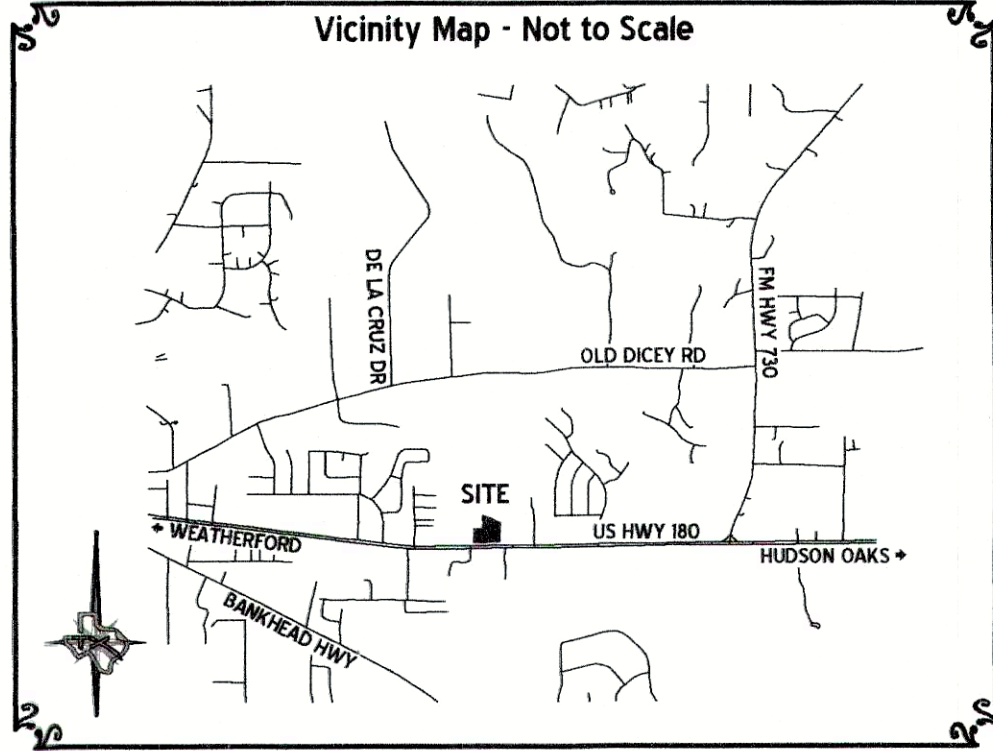
Final Plat
Lots 2R, 3, 4, 5 and 6, Block 1
Lone Oaks Apartments Addition, Phase 2
 an addition to the City of Weatherford,
 Parker County, Texas

Being a 8.322 acre tract out of the
 Elizabeth Crockett Survey, Abstract No. 214,
 Parker County, Texas

December 2023

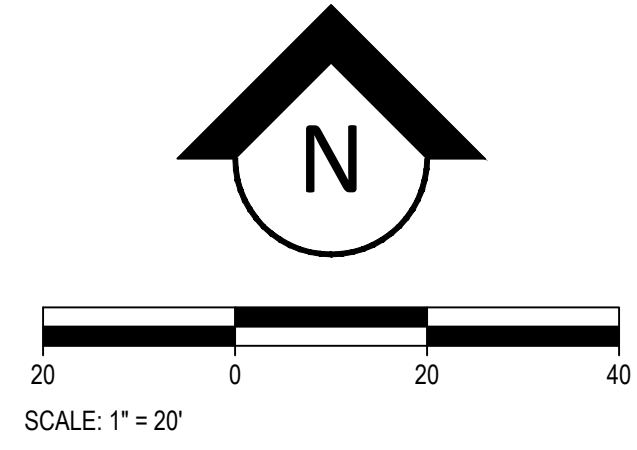
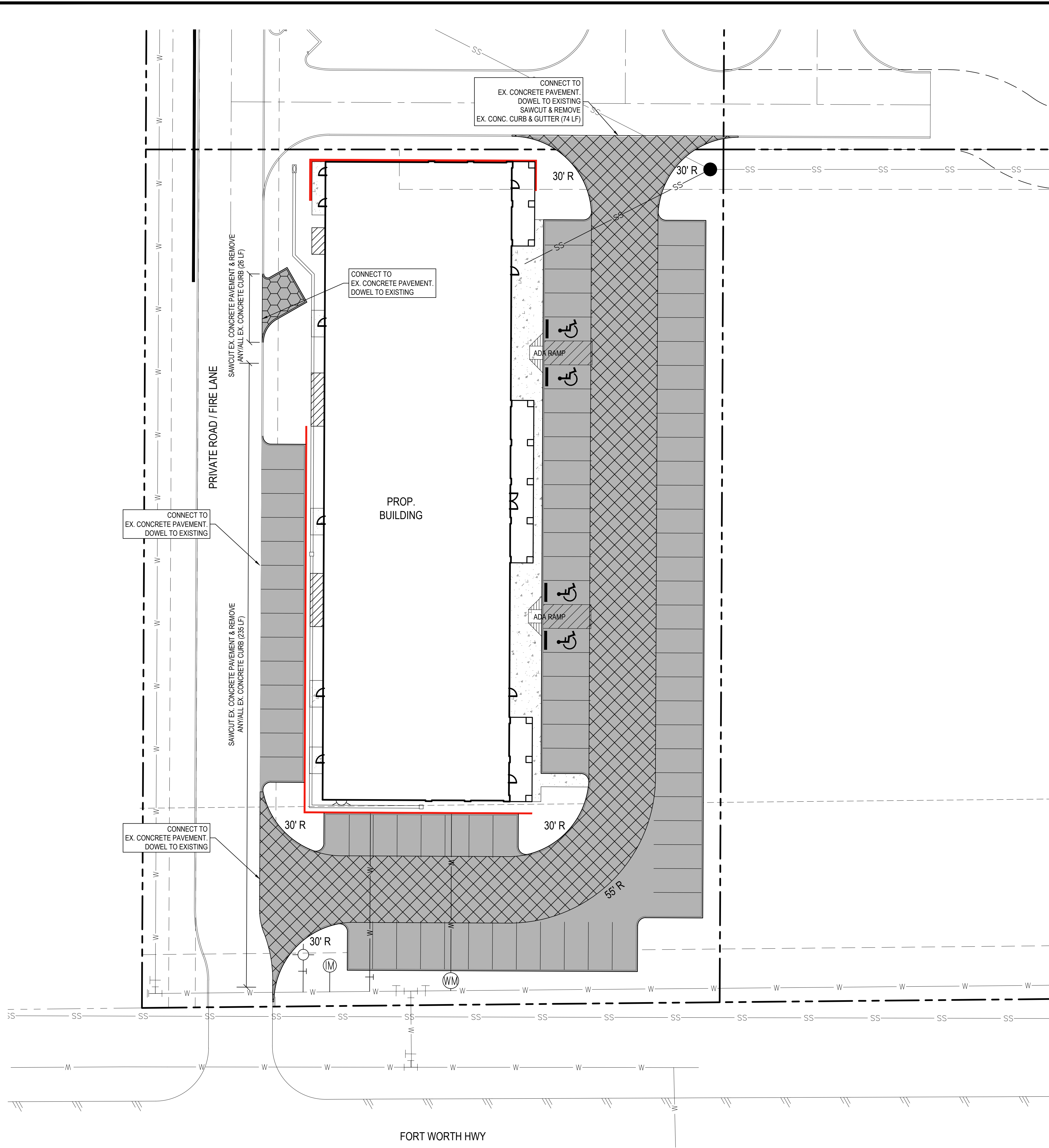
TEXAS SURVEYING INC.
 WEATHERFORD BRANCH - 817-594-0400
 FIRM No. 10100000 - WEATHERFORD@TXSURVEYING.COM

FILED AND RECORDED
 OFFICIAL PUBLIC RECORDS
Lila Deakle
 202402101
 01/26/2024 03:03 PM
 Fee: 75.00
 Lila Deakle, County Clerk
 Parker County, TX
 PLAT



1" = 100'

D:\046 RYAN\046RHEES\2305 FWH Commercial\00 CAD\00 DWG\01 CIVIL PLAN SET\046-2305 FWH C5.0 PAVING PLAN.dwg, CS.O., 1/24/2024 3:52:51 PM, Jordan Bishop



PAVING NOTES:

- 1) ALL PAVEMENT & SUBGRADE SECTIONS SHALL COMPLY WITH THE PROJECT GEOTECHNICAL REPORT. CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT PRIOR TO BIDDING & CONSTRUCTION ACTIVITIES.
 - REFER TO GEOTECHNICAL REPORT FOR ANY/ALL SUBGRADE PREPARATION/TREATMENT INFORMATION.
- 2) ALL PAVEMENT MARKINGS SHALL CONFORM TO TxDOT ITEM 666, TYPE 1 OR 2.
 PARKING SPACES - 4" WHITE
 FIRE LANE - 6" RED
 FIRE APPARATUS ACCESS ROADS SHALL BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "NO PARKING FIRE LANE" OR "FIRE LANE NO PARKING" SHALL APPEAR IN FOUR INCH (4") WHITE LETTERS AT 25 FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.
- 3) ADA PARKING SPACE SIGNAGE & STRIPING SHALL COMPLY WITH TAS AND CITY OF WEATHERFORD STANDARDS & SPECIFICATIONS.
- 4) ALL PAVEMENT REINFORCEMENT SHALL BE PLACED ON CHAIRS PRIOR TO POUR.
- 5) PAVEMENT JOINTS SHALL NOT FORM ACUTE ANGLES. PROVIDE MINIMUM 2'-0" RADIAL AT ALL CURB & JOINT INTERSECTIONS. IF DESIRED BY OWNER, CONTRACTOR MAY PROVIDE JOINT LAYOUT PLAN TO ENGINEER FOR REVIEW/APPROVAL PRIOR TO CONSTRUCTION. REFER TO GEOTECHNICAL REPORT FOR FURTHER DETAILS.
- 6) REFER ARCHITECTURAL & STRUCTURAL PLANS FOR PORCH AREA, RAILING & DUMPSTER ENCLOSURE PAD DETAILS.
- 7) REFER TO IRRIGATION PLANS TO INSTALL PVC CONDUITS FOR IRRIGATION LINE CROSSINGS PRIOR TO PAVEMENT POUR.

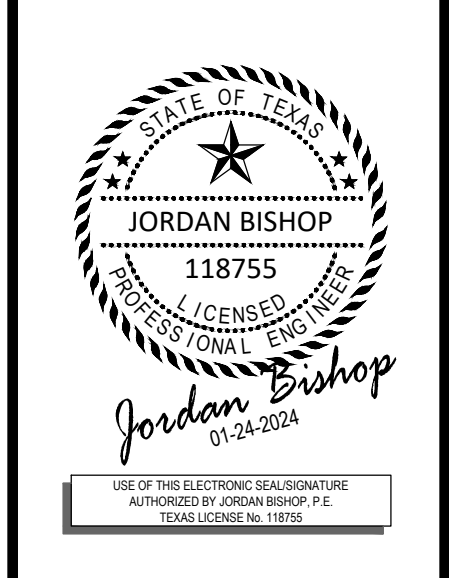
LEGEND				
SYMBOL	CONCRETE PVMT. DESIGNATION	CONCRETE PVMT. THICKNESS (T)	COMPRESSIVE STRENGTH	REINFORCEMENT SCHEDULE
	LIGHT DUTY	5-INCHES	3,000 PSI	#3 BARS @ 18-INCHES O.C.E.W.
	MEDIUM DUTY	6-INCHES	3,500 PSI	#3 BARS @ 18-INCHES O.C.E.W.
	DUMPSTER AREA	7-INCHES	3,500 PSI	#3 BARS @ 18-INCHES O.C.E.W.
	SIDEWALK	4-INCHES	3,000 PSI	#3 BARS @ 18-INCHES O.C.E.W.

ALL PAVEMENT SECTIONS SHALL COMPLY WITH PROJECT GEOTECHNICAL REPORT. REFER TO GEOTECHNICAL REPORT FOR FURTHER DETAILS.

REV. No.	DESCRIPTION	DATE

Jordan Bishop
 ENGINEERING, LLC
 CIVIL ENGINEERING • LAND PLANNING

104 S WALNUT ST
 WEATHERFORD, TX 76086
 (817) 519-9931
 TEXAS REG. FIRM # 17566



PAVING PLAN

FWH COMMERCIAL
 LOT 3, BLK 1 LONE OAKS APARTMENTS ADDITION
 CITY OF WEATHERFORD, PARKER COUNTY, TX

DESIGN: WJB
 DRAWN: WJB
 CHECKED: WJB
 DATE: MAY 2023

SHEET #
C5.0
 CLIENT #: 046 JOB #: 2305



Gold Creek Homes
 1800 Lone Oak Rd. #8
 Weatherford, TX 76086
 Office: (817)550-5032

PROJECT NAME:
 Commercial Building 2
 1725 Fort Worth Hwy.
 Weatherford, TX 76086

ISSUE / REVISION:
 NO. DATE DESCRIPTION

TDLR NO.:

DRAWING TITLE:
SITE PLAN

DATE: JUNE 1, 2024

SHEET:

A1.00 EXH

PUBLIC UTILITY EASEMENT
 CMU DUMPSTER ENCLOSURE WITH PAINTED STEEL GATE, REF. A1.01
 POWER FROM NORTH PROPERTY LINE TO T-POLE OVERHEAD. POWER TO BUILDING SHALL BE UNDERGROUND, BORE OR CUT & REPLACE CONCRETE
 MECHANICAL YARD, TYP.

APPROXIMATE LOCATION OF ELECTRICAL METERS. REFERENCE ELECTRICAL DRAWINGS
 LEAVE OUT PORTION OF SLAB FOR FUTURE TENANT PLUMBING, TYPICAL AT EACH SUITE. PROVIDE SLEEVES IN CONCRETE BEAMS FOR PLUMBING, REFERENCE DETAILS 03/S1.02 & 04/S1.02, AND OTHER INFORMATION IN STRUCTURAL DRAWINGS.

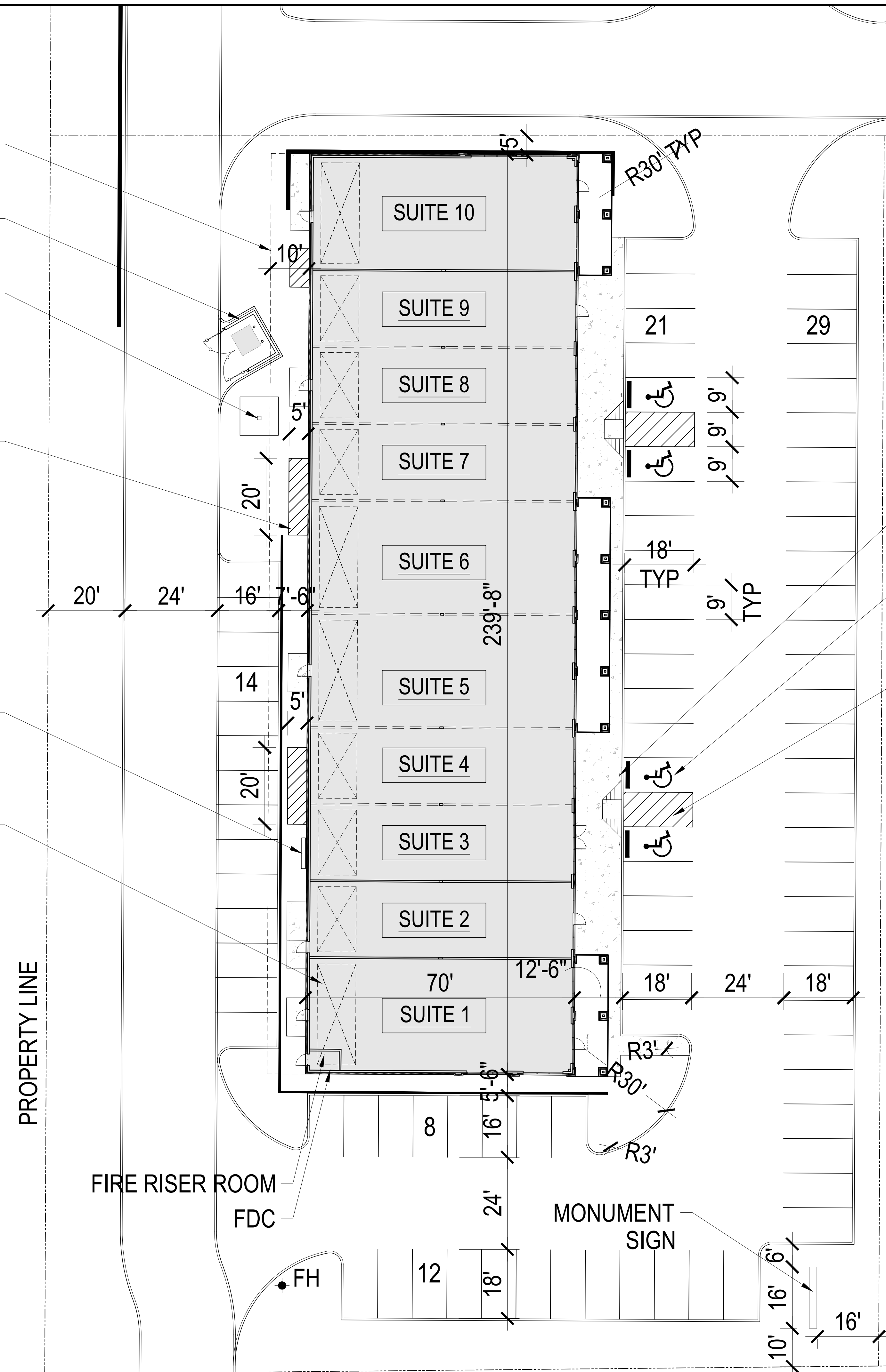
ACCESSIBLE PARKING POLE MOUNTED SIGN
 ACCESSIBLE PARKING PAINTED WITH ACCESSIBILITY LOGO
 ACCESS AISLE, PAINTED WITH DIAGONAL STRIPING

PROJECT INFORMATION:

OCCUPANCY CLASSIFICATION	MIXED USE: A-2, A-3, B OR M
IBC BUILDING TYPE	VB, SPRINKLERED
GROSS BUILDING AREA	16,725 SF
IBC PERMITTED BUILDING AREA	A-2 & A-3: 28,500 SF B & M: 42,750 SF
PARKING	REQUIRED: 1 SPACE PER 200 SF 16,725 / 200 = 84 REQ'D SPACES 84 SPACES PROVIDED
BUILDING CONSISTS OF	(6) SUITES @ +/- 1,395 SF EACH (1) SUITES @ +/- 2,095 SF EACH (2) SUITES @ +/- 2,075 SF EACH (1) SUITES @ +/- 2,155 SF EACH

TENANT IMPROVEMENTS FOR EACH SUITE TO BE CLASSIFIED AND SUBMITTED FOR PERMIT SEPARATELY.

FIRE SEPARATION MAY BE REQUIRED IN FUTURE PHASES, DEPENDING ON ADJACENCIES OF OCCUPANCIES. NO SEPARATION REQUIRED FOR SHELL BUILDING.



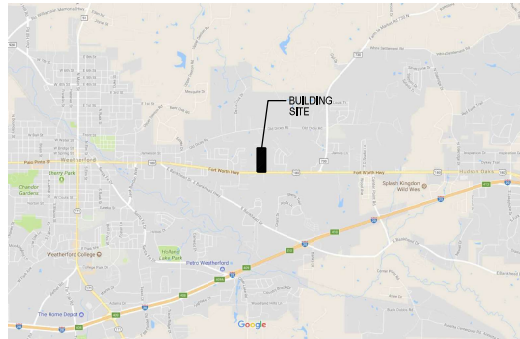
01 - ARCHITECTURAL SITE PLAN
 SCALE: 1/16" = 1'-0"

Lone Oak Commercial Bldg Phase 2

1800 Lone Oak Rd.
Weatherford, TX 76086



Gold Creek Homes
1800 Lone Oak Rd. #8
Weatherford, TX 76086
Office: (817)550-5032



VICINITY MAP

SYMBOLS:

- BUILDING SECTION INDICATOR
DETAIL NUMBER
DRAWING NUMBER
- EXTERIOR ELEVATION INDICATOR
DETAIL NUMBER
DRAWING NUMBER
- INTERIOR ELEVATION INDICATOR
DETAIL NUMBER
DRAWING NUMBER
- PLAN DETAIL INDICATOR
DETAIL NUMBER
DRAWING NUMBER
- SECTION DETAIL INDICATOR
DETAIL NUMBER
DRAWING NUMBER
- COLUMN CENTERLINE INDICATOR
- ELEVATION WORK POINT INDICATOR

ABBREVIATIONS:

- AFB ABOVE FINISHED FLOOR
- B/ BOTTOM
- CJ CONTROL JOINT
- CONT CONTINUOUS
- CLR CLEAR
- CMU CONCRETE MASONRY UNIT
- DIR DIRECTION
- DS DOWNSPOUT
- EL ELEVATION
- EJ EXPANSION JOINT
- EQ EQUAL
- FF FINISH FLOOR
- GC GENERAL CONTRACTOR
- HS HEADED STUD
- HSS HOLLOW STRUCTURAL SECTION
- MAX MAXIMUM
- MIN MINIMUM
- OC ON CENTER
- OH OPPOSITE HAND
- OPP OPPOSITE
- PL (STEEL) PLATE
- REM REMINDER
- RO ROUGH OPENING
- SIM SIMILAR
- T/ TOP
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- WF W/EF IN FIELD
- W/ WITH
- @ AT
- CL CENTER LINE
- Ø DIAMETER

PROJECT SCOPE:

NEW CONSTRUCTION OF 16,800 SF OFFICE/RETAIL SPACE TO BE THE NEW CONSTRUCTION INCLUDING THE 16,800 SF OF OCCUPANCY WITH REGRINDER

APPLICABLE CODES:

- 2018 IBC INTERNATIONAL BUILDING CODE
- 2006 IECC INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 NEC NATIONAL ELECTRICAL CODE
- 2018 IRC INTERNATIONAL RESIDENTIAL CODE
- 2012 IAS (AS ACCESSIBILITY STANDARDS)
- 2018 FFC INTERNATIONAL FIRE CODE
- 2012 IAS (AS ACCESSIBILITY STANDARDS)
- ALL WITH APPLICABLE CITY AMENDMENTS

PROJECT INFORMATION:

OCCUPANCY CLASSIFICATION: MIXED USE A2, A3 & B OR M VS. SPIN/BLVD
 GROSS BUILDING TYPE: 10,725 SF
 GROSS BUILDING AREA: A2 & A3: 28,500 SF
 PERMITTED DEVELOPMENT AREA: 8 A.M. 4,750 SF
 REQUIRED: 1 SPACE PER 200 SF
 16,725 / 200 = 84 REQUIRED SPACES
 BUILDING COMPOSED OF: (8) SUITES @ 14,395 SF EACH (17 SPACES PROVIDED)
 (1) SUITES @ 14,505 SF EACH (2) SUITES @ 14,268 SF EACH (1) SUITES @ 11,119 SF EACH

TENANT IMPROVEMENTS FOR EACH SUITE TO BE CLASSIFIED AND SUBMITTED FOR PERMIT SEPARATELY

THE SEPARATION MAY BE REQUIRED IN FUTURE PHASES, DEPENDING ON ADJACENCIES OF OCCUPANCY, NO SEPARATION REQUIRED FOR SHELL BUILDING

SHEET	DRAWING TITLE	2022.08.01 ISSUE FOR PERMIT
A1.00	COVER, SITE PLAN & DRAWING INDEX	X
C1.0	COVER SHEET	X
C2.0	GENERAL NOTES	X
C3.0	PRELIMINARY PLAN	X
C4.0	DIMENSIONAL CONTROL PLAN	X
C5.0	PAVING PLAN	X
C6.0	WATER & SANITARY SEWER PLAN	X
C7.0	GRADING & DRAINAGE PLAN	X
C8.0	EROSION CONTROL PLAN	X
C9.0	EROSION CONTROL DETAILS	X
C10.0	PAVING DETAILS	X
C11.0	PAVING DETAILS	X
C12.0	WATER DETAILS	X
C12.1	WATER DETAILS	X
C13.0	SANITARY SEWER DETAILS	X
S1.01	GENERAL NOTES	X
S1.01A	GENERAL NOTES	X
S1.02	TYPICAL DETAILS	X
S1.03	TYPICAL DETAILS	X
S1.04	SHEAR WALL & HOLD-DOWN SCHEDULES	X
S1.05	FOUNDATION PLAN	X
S2.01	FOUNDATION & SHEAR WALL PLAN	X
S2.02	FOUNDATION & SHEAR WALL PLAN	X
S2.03	ROOF FRAMING PLAN	X
S3.01	FOUNDATION SECTIONS	X
S3.02	FOUNDATION SECTIONS	X
S3.01	FRAMING SECTIONS	X

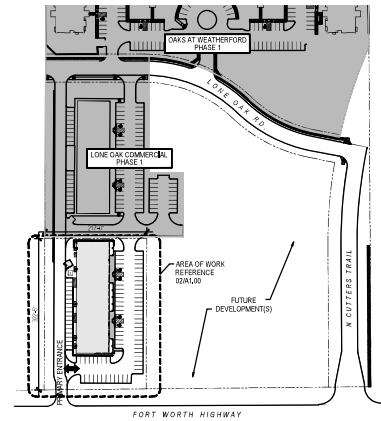
SHEET	DRAWING TITLE	2022.08.01 ISSUE FOR PERMIT
A1.01	ACCESSIBILITY	X
A1.10	SPECIFICATIONS	X
A1.11	SPECIFICATIONS	X
A2.00	FLOOR AND ROOF PLAN	X
A2.01	REFLECTED CEILING PLAN	X
A3.00	EXTERIOR ELEVATIONS, BUILDING SECTION	X
A4.01	ENLARGED PLANS & EXTERIOR ELEVATIONS	X
A4.02	ENLARGED PLANS & EXTERIOR ELEVATIONS	X
A4.03	ENLARGED PLANS & EXTERIOR ELEVATIONS	X
A5.01	WALL SECTIONS	X
A5.02	WALL SECTIONS	X
A6.00	DOORS & WINDOW SCHEDULES	X
A7.00	MECHANICAL OVERALL FLOOR PLAN	X
M1.00	MECHANICAL OVERALL FLOOR PLAN	X
P1.00	PLUMBING OVERALL FLOOR PLAN	X
ESP-01	ELECTRICAL SITE PLAN	X
ESP-02	ELECTRICAL SITE PLAN	X
ESP-03	ELECTRICAL PHOTO METRIC PLAN	X
ESP-04	ELECTRICAL LIGHTING SCHEDULE	X
ESP-05	ELECTRICAL LIGHTING SCHEDULE	X
L1.01	LANDSCAPE PLAN	X
L1.02	LANDSCAPE DETAILS	X
L2.01	IRRIGATION PLAN	X
L2.02	IRRIGATION DETAILS	X

GENERAL NOTES:

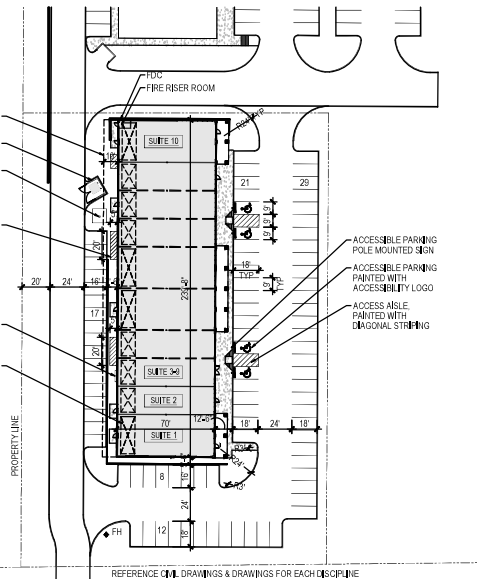
- THESE DRAWINGS AS LISTED IN THE DRAWING INDEX ALONG WITH THE SPECIFICATIONS CONTRACT FOR CONSTRUCTION CONSTITUTE THE INSTRUMENTS OF SERVICE AND ARE CONSIDERED TO BE THE CITY, THE CONTRACTOR IS THEREBY BOUND BY ALL INFORMATION CONTAINED HEREIN.
- ALL WOOD IN CONTACT WITH THE GROUND OR MASONRY OR CONCRETE SHALL BE PRESURE TREATED.
- ALL MATERIALS AND PRODUCTS SUBMITTED FOR APPROVAL SHALL BE SHOWN FOR DIMENSIONAL AND QUANTITY PURPOSES ONLY - VERIFY PRODUCT SELECTION WITH OWNER, ARCHITECT, AND PERFORMANCE CHARACTERISTICS WITH ACTUAL PRODUCT SPECIFICATIONS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ARCHITECT NOT RESPONSIBLE FOR FINAL MATERIAL SELECTION OR PERFORMANCE OF PRODUCTS. VERIFY PRODUCTS WITH OWNER PRIOR TO PURCHASE.
- TO BE ACCESSIBLE TO ALL PERSONS INCLUDING DISABLED, OWNER IS RESPONSIBLE FOR SUBMITTING PLANS TO THE TEXAS DEPARTMENT OF LICENSING AND REGULATION OR A REGISTERED ACCESSIBILITY SPECIALIST FOR THE CONSTRUCTION VALUE OF THE PROJECT EXCEEDS \$500,000. OWNER MUST NOTIFY ARCHITECT OF PLANS BEING SUBMITTED TO OTHER PARTY AND PROVIDE FINAL CONTACT INFORMATION.
- THESE ARE NOT TO BE USED FOR ANY ARCHITECTURAL DRAWING OR INFORMATION IN THIS SET DOES NOT TAKE THE PLACE OF ANY REQUIRED OR STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OR ANY OTHER PRACTICE DESIGN OR SUBMITTAL, TYPICALLY PROVIDED BY OR REQUIRED TO BE PROVIDED BY A PROFESSIONAL ENGINEER, ARCHITECT, ASSUMES LIABILITY FOR ANY DAMAGE, INJURY OR LOSS OF WELFARE CAUSED BY CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DESIGN.
- MATERIALS CONTAINING ASBESTOS ARE PROHIBITED.

SITE PLAN NOTES:

- REFERENCE TO DRAWINGS.
- ACCESSIBILITY:
 - THE FINISHING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20.
 - THE FINISHING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
 - RAMP HAND RAILING OR CURBS SHALL HAVE A RUNNING SURFACE NOT STEEPER THAN 1:16.
 - COUNTER SLOPES OF WALKING SURFACES AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURBSHANK SHALL BE STEEPER THAN 1:10.
 - ACCESSIBLE TO ALL PERSONS INCLUDING DISABLED, OWNER IS RESPONSIBLE FOR SUBMITTING PLANS TO THE TEXAS DEPARTMENT OF LICENSING AND REGULATION OR A REGISTERED ACCESSIBILITY SPECIALIST FOR THE CONSTRUCTION VALUE OF THE PROJECT EXCEEDS \$500,000. OWNER MUST NOTIFY ARCHITECT OF PLANS BEING SUBMITTED TO OTHER PARTY AND PROVIDE FINAL CONTACT INFORMATION.
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 - MATERIALS CONTAINING ASBESTOS ARE PROHIBITED.



01 - OVERALL SITE PLAN
SCALE: 1:1500



02 - ARCHITECTURAL SITE PLAN
SCALE: 1:500

PROJECT NAME:
Commercial Building 2
1800 Lone Oak Rd.
Weatherford, TX 76086

NO.	DATE	DESCRIPTION
1	08/01/23	ISSUE FOR PERMIT

TDLR NO.:

DRAWING TITLE:
**COVER, SITE PLAN,
& DRAWING INDEX**

DATE: AUGUST 1, 2023

SHEET:

A1.00



Matt Milligan
(817) 694-1121
mrcranches@gmail.com
Lic: 0500456

Trinity Country Real Estate
208 N Main St #100, Weatherford, TX 76086



Gold Creek Homes
 1800 Lone Oak Rd. #8
 Weatherford, TX 76086
 Office: (817)550-5032

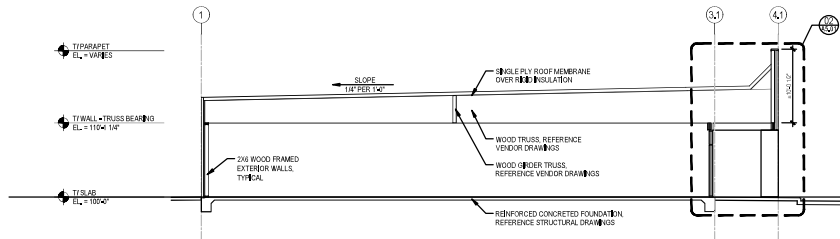
PROJECT NAME:
 Commercial Building 2
 1800 Lone Oak Rd.
 Weatherford, TX 76086

ISSUE / REVISION		
NO.	DATE	DESCRIPTION
1	08/01/23	ISSUE FOR PERMIT

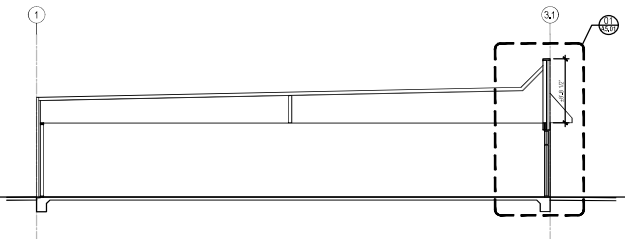
DRAWING TITLE:
EXTERIOR ELEVATIONS & BUILDING SECTIONS

DATE: AUGUST 1, 2023
 SHEET:

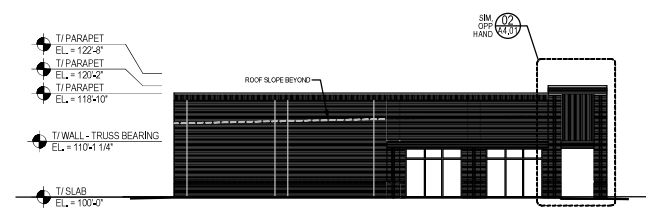
A3.00



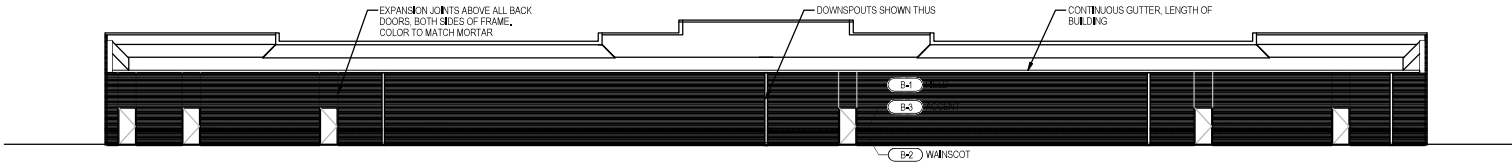
06 - TYPICAL BUILDING SECTION AT COVERED WALKWAY
 SCALE: 1/8" = 1'-0"



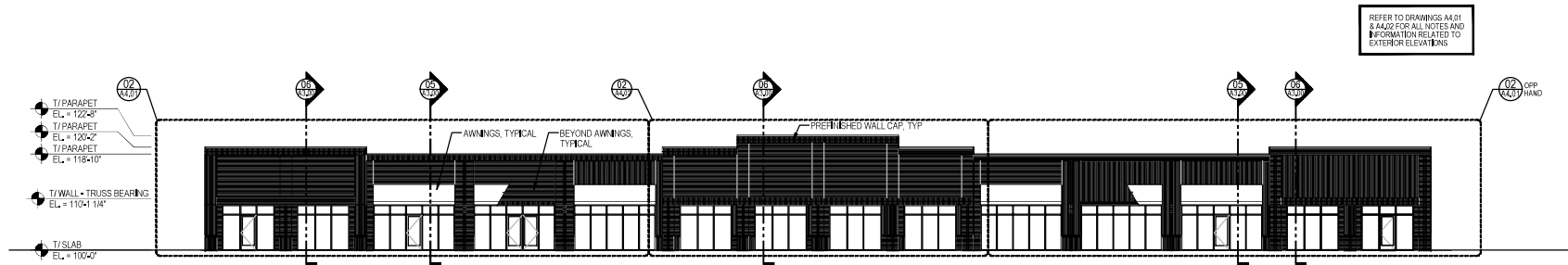
05 - TYPICAL BUILDING SECTION
 SCALE: 1/8" = 1'-0"



03 - EXTERIOR ELEVATION - SOUTH
 SCALE: 3/32" = 1'-0"



02 - EXTERIOR ELEVATION - WEST
 SCALE: 3/32" = 1'-0"



01 - EXTERIOR ELEVATION - EAST
 SCALE: 3/32" = 1'-0"



Gold Creek Homes
1800 Lone Oak Rd. #8
Weatherford, TX 76086
Office: (817)550-5032

PROJECT NAME:
Commercial Building 2
1800 Lone Oak Rd.
Weatherford, TX 76086

ISSUE / REVISION:
NO. DATE DESCRIPTION
1 08/01/23 ISSUE FOR PERMIT

DRAWING TITLE:
ENLARGED PLANS
& EXTERIOR
ELEVATIONS

DATE: AUGUST 1, 2023
SHEET: BUILDING TYPE

A4.02

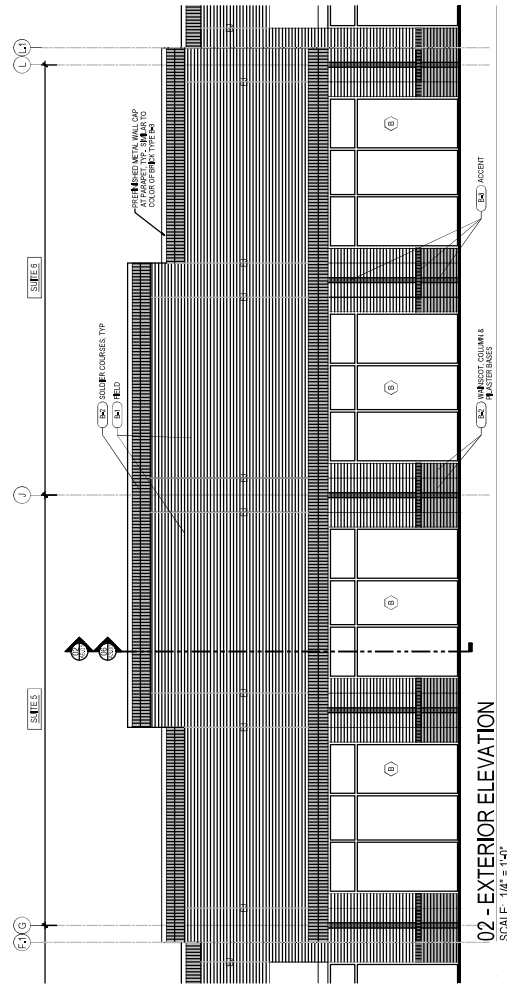
- EXTERIOR FINISH SCHEDULE:**
- (B1) BRICK - SEE MODULAR COLOR LIGHT (RED, RIMWOOD BOND)
 - (B2) BRICK - SEE MODULAR COLOR MEDIUM (RED, ORIENTAL WARRIORS)
 - (B3) BRICK - SEE MODULAR COLOR DARK (RED, ORIENTAL WARRIORS)
 - (C1) BRICK - SEE COLOR WHITE

GENERAL MASONRY NOTES:

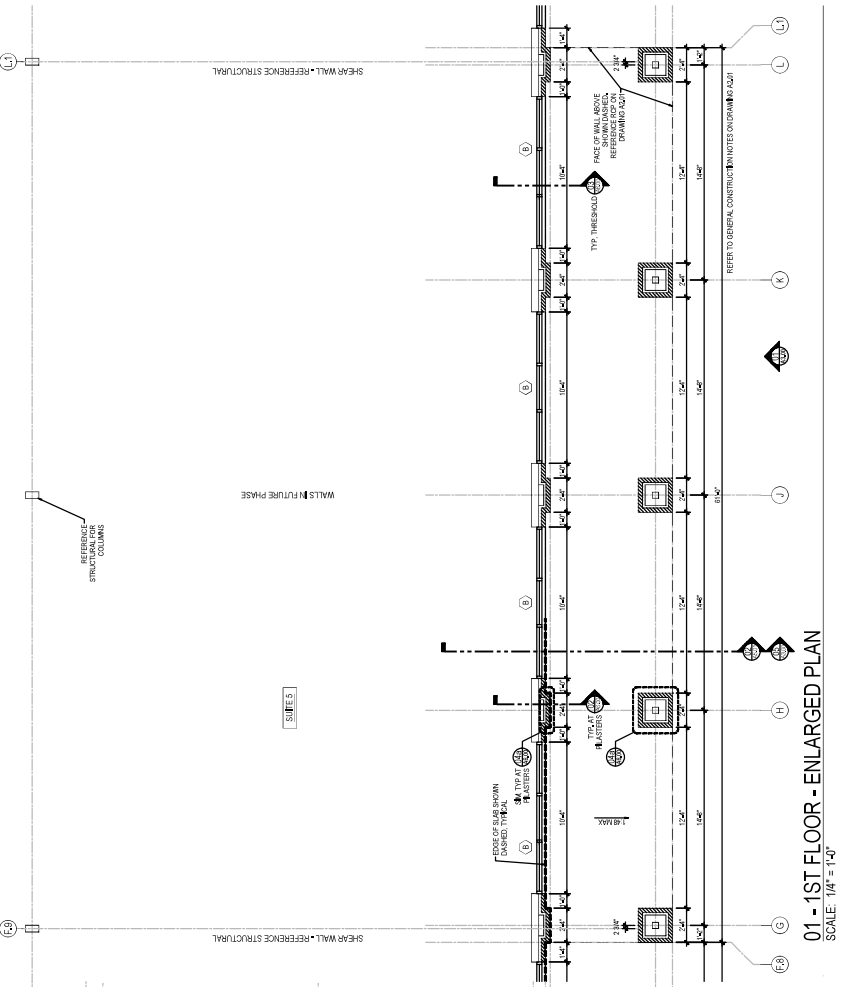
1. BRICK: BRICK SELECTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT.
2. MASONRY: MASONRY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT.
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5. MASONRY: MASONRY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT.

GENERAL EXTERIOR FINISH NOTES:

1. FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT.
2. FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT.
3. FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT AND SHALL BE SELECTION TO BE MADE BY THE ARCHITECT.



02 - EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



01 - 1ST FLOOR - ENLARGED PLAN
SCALE: 1/4" = 1'-0"

POPULATION	5 MILE	10 MILE	15 MILE
2000 Population	28,296	48,812	81,324
2010 Population	36,396	66,207	112,440
2024 Population	47,389	94,220	164,069
2029 Population	48,970	104,257	188,497
2024 African American	936	1,523	3,533
2024 American Indian	426	777	1,354
2024 Asian	498	945	1,952
2024 Hispanic	7,605	14,030	26,629
2024 Other Race	2,777	4,886	9,064
2024 White	37,658	76,158	129,702
2024 Multiracial	5,041	9,830	18,303
2024-2029: Population: Growth Rate	3.30%	10.25%	14.05%
2024 HOUSEHOLD INCOME	5 MILE	10 MILE	15 MILE
less than \$15,000	1,093	1,692	2,524
\$15,000-\$24,999	1,150	1,530	2,411
\$25,000-\$34,999	1,133	1,688	2,766
\$35,000-\$49,999	1,698	2,497	4,161
\$50,000-\$74,999	2,314	3,813	6,778
\$75,000-\$99,999	3,178	5,786	10,007
\$100,000-\$149,999	3,313	6,331	11,576
\$150,000-\$199,999	2,081	4,701	8,147
\$200,000 or greater	2,249	6,064	10,571
Median HH Income	\$86,522	\$100,231	\$102,348
Average HH Income	\$114,881	\$134,327	\$136,271

HOUSEHOLDS	5 MILE	10 MILE	15 MILE
2000 Total Housing	11,735	19,299	31,775
2010 Total Households	13,859	24,379	40,999
2024 Total Households	18,208	34,102	58,942
2029 Total Households	18,859	37,506	67,464
2024 Average Household Size	2.53	2.72	2.76
2000 Owner Occupied Housing	7,600	13,822	23,608
2000 Renter Occupied Housing	3,174	4,020	5,624
2024 Owner Occupied Housing	11,975	25,776	47,249
2024 Renter Occupied Housing	6,233	8,326	11,693
2024 Vacant Housing	1,305	2,150	3,766
2024 Total Housing	19,513	36,252	62,708
2029 Owner Occupied Housing	12,579	28,790	54,815
2029 Renter Occupied Housing	6,280	8,716	12,649
2029 Vacant Housing	1,397	2,311	4,127
2029 Total Housing	20,256	39,817	71,591
2024-2029: Households: Growth Rate	3.55%	9.60%	13.70%

Source: esri



Matt Milligan
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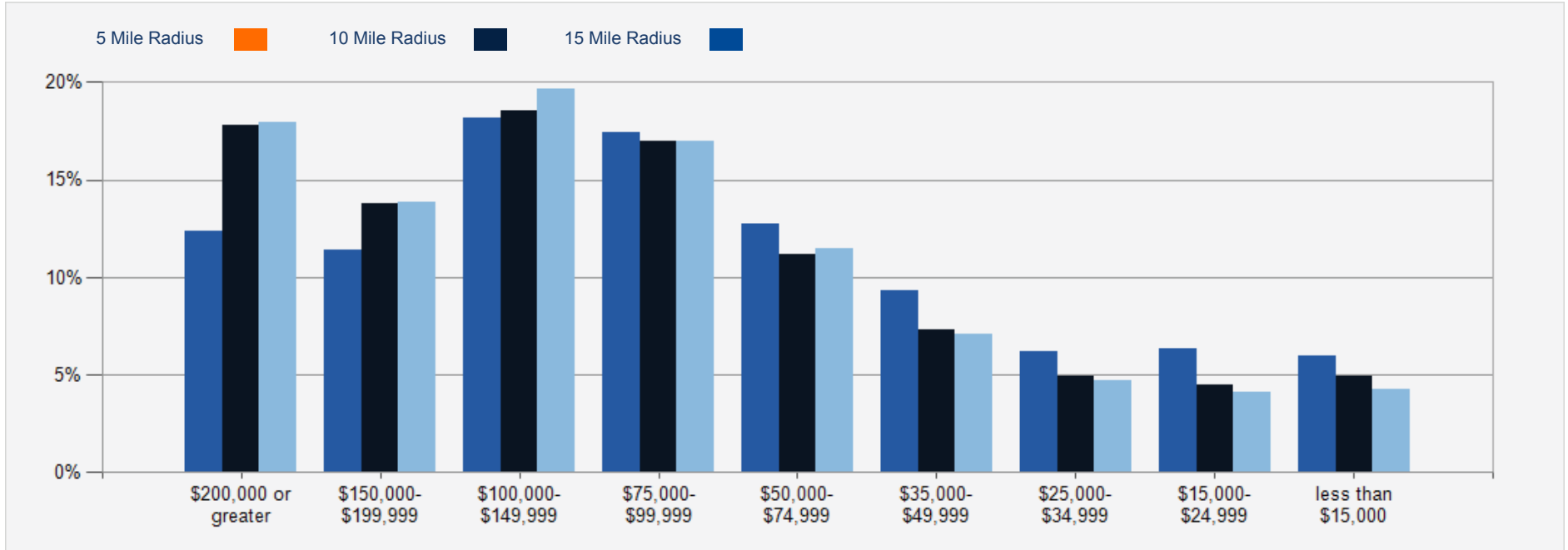
2024 POPULATION BY AGE	5 MILE	10 MILE	15 MILE
2024 Population Age 30-34	3,056	5,595	9,804
2024 Population Age 35-39	3,165	6,555	11,622
2024 Population Age 40-44	3,032	6,610	11,711
2024 Population Age 45-49	2,709	5,897	10,374
2024 Population Age 50-54	2,731	5,849	10,477
2024 Population Age 55-59	2,760	5,682	10,119
2024 Population Age 60-64	3,001	5,975	10,586
2024 Population Age 65-69	2,686	5,234	9,351
2024 Population Age 70-74	2,471	4,500	7,647
2024 Population Age 75-79	1,939	3,388	5,605
2024 Population Age 80-84	1,256	2,092	3,293
2024 Population Age 85+	1,163	1,718	2,570
2024 Population Age 18+	36,825	71,515	124,256
2024 Median Age	40	40	40

2024 INCOME BY AGE	5 MILE	10 MILE	15 MILE
Median Household Income 25-34	\$82,161	\$94,538	\$99,711
Average Household Income 25-34	\$103,818	\$123,622	\$128,188
Median Household Income 35-44	\$101,908	\$124,091	\$125,313
Average Household Income 35-44	\$133,541	\$158,224	\$159,550
Median Household Income 45-54	\$107,548	\$128,744	\$127,157
Average Household Income 45-54	\$140,987	\$163,694	\$162,522
Median Household Income 55-64	\$98,331	\$111,377	\$111,436
Average Household Income 55-64	\$131,229	\$147,305	\$147,589
Median Household Income 65-74	\$79,831	\$86,475	\$86,875
Average Household Income 65-74	\$104,822	\$115,333	\$116,524
Average Household Income 75+	\$76,044	\$83,146	\$84,573

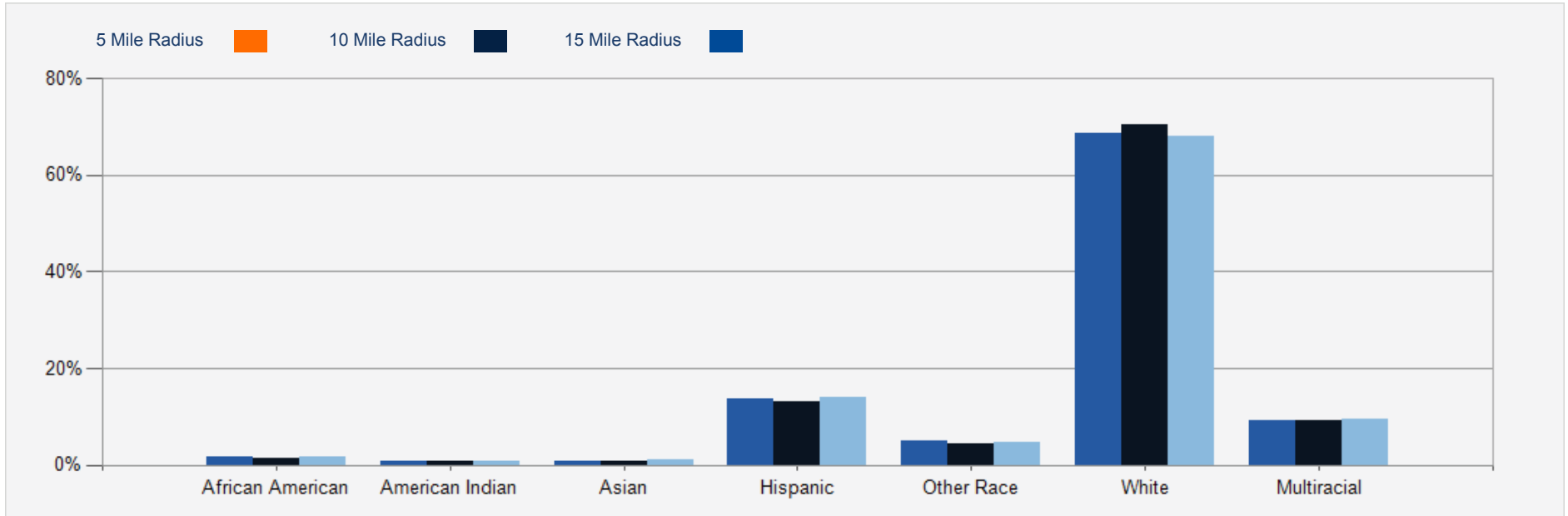
2029 POPULATION BY AGE	5 MILE	10 MILE	15 MILE
2029 Population Age 30-34	3,077	5,940	10,428
2029 Population Age 35-39	3,205	6,712	12,247
2029 Population Age 40-44	3,275	7,301	13,485
2029 Population Age 45-49	3,080	7,227	13,241
2029 Population Age 50-54	2,698	6,170	11,352
2029 Population Age 55-59	2,758	6,235	11,425
2029 Population Age 60-64	2,746	5,829	10,693
2029 Population Age 65-69	2,826	5,954	10,950
2029 Population Age 70-74	2,643	5,185	9,397
2029 Population Age 75-79	2,183	4,109	7,190
2029 Population Age 80-84	1,616	2,843	4,771
2029 Population Age 85+	1,387	2,192	3,440
2029 Population Age 18+	38,476	80,251	144,769
2029 Median Age	41	41	41

2029 INCOME BY AGE	5 MILE	10 MILE	15 MILE
Median Household Income 25-34	\$91,568	\$108,395	\$112,005
Average Household Income 25-34	\$121,950	\$145,948	\$149,906
Median Household Income 35-44	\$107,291	\$133,936	\$137,369
Average Household Income 35-44	\$145,145	\$170,524	\$173,843
Median Household Income 45-54	\$118,793	\$147,049	\$145,366
Average Household Income 45-54	\$157,682	\$181,566	\$181,423
Median Household Income 55-64	\$108,451	\$126,913	\$128,584
Average Household Income 55-64	\$148,246	\$166,689	\$168,160
Median Household Income 65-74	\$88,584	\$96,622	\$97,963
Average Household Income 65-74	\$122,649	\$134,459	\$136,796
Average Household Income 75+	\$91,484	\$100,538	\$102,802

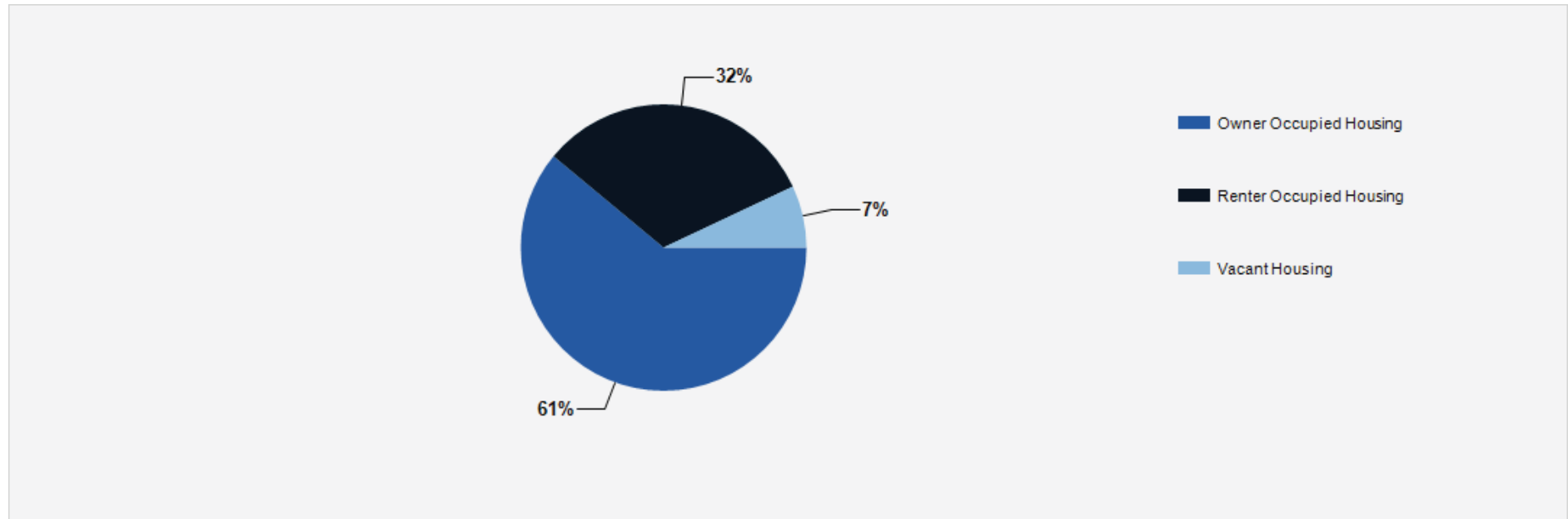
2024 Household Income



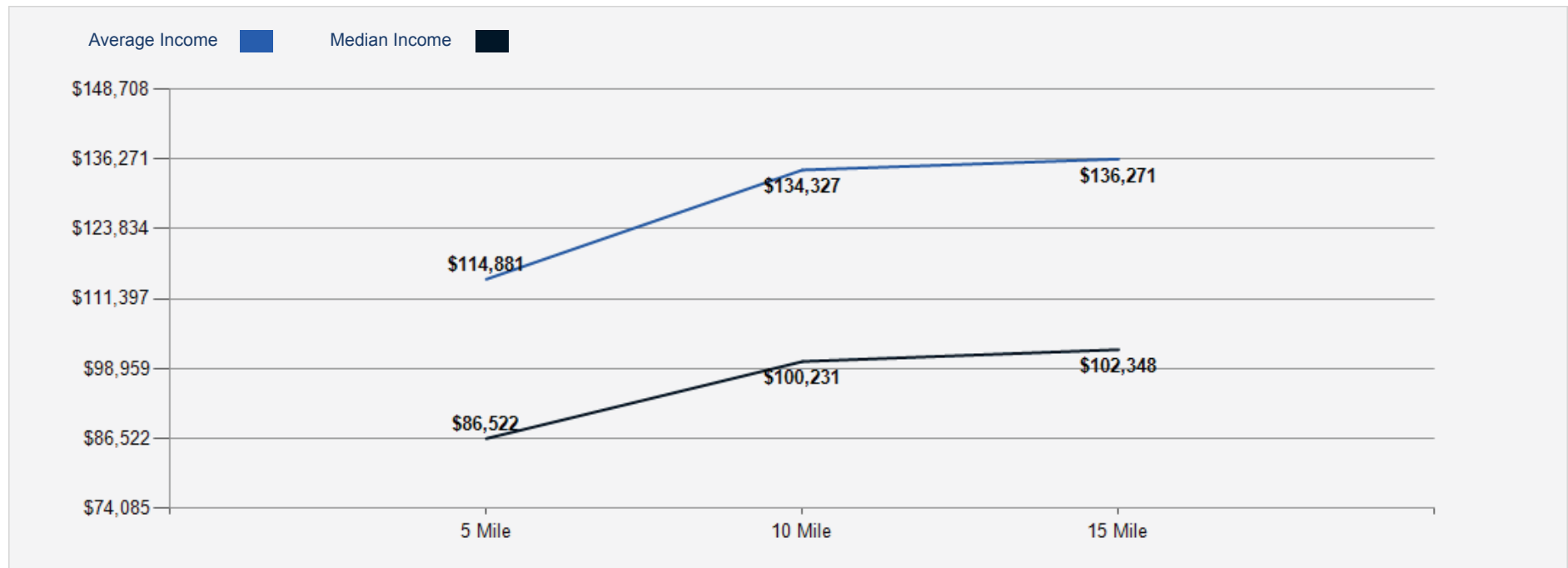
2024 Population by Race



2024 Household Occupancy - 5 Mile Radius



2024 Household Income Average and Median





Matt Milligan

Before settling in Weatherford, Texas, Matt attended the University of Kansas. He worked in land and ranch management after graduation and gained a great deal of knowledge concerning working properties, both commercial and recreational. This led to his interest in selling farm and ranch properties.

My real estate business has since branched out into estate acreage and urban commercial properties, giving me a diverse listing of acreage, pasture, farms, cattle ranches, horse properties, commercial acreage, and recreational land for sale throughout West Texas and North Texas. I have located and sold ranch properties both large and small and have been involved with some of the largest sales of horse property in Parker County. There can be many pitfalls to buying or selling land in West Texas, but I have handled almost every type of West Texas real estate transaction and am confident that my experience will serve you well.

Living in Weatherford, Texas for 26 years now, I have developed a deep appreciation for West Texas, its land and its people. Community is very important to me and when not spending time with my family of four, I am a member of the Parker County Sheriff Posse and participate in team roping. I have a passion for quail hunting that has given me the opportunity to visit some of the best ranches in North Texas, West Texas, and even across the nation. I take pride in my involvement with many commercial and land developments which have improved our growing community in Parker County and other West Texas locations.