

# MINOR LAND DEVELOPMENT PLAN SHEETZ STORE #268 SHEETZ, INC. YORK TOWNSHIP YORK COUNTY, PENNSYLVANIA

**OWNER**  
SEL PROPERTIES INC. ATTN: SHEETZ 268  
3300 CAPE HORN ROAD  
RED LION, PA 17356

**OWNER'S STORMWATER CERTIFICATION**

I, \_\_\_\_\_ AM AWARE OF AND ACCEPT RESPONSIBILITY THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT BMPs PROPOSED BY THIS PLAN.

TITLE \_\_\_\_\_

DATE \_\_\_\_\_

NOTARIZATION:  
SWORN TO AND SUBSCRIBED TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY SEAL

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION**  
COMMONWEALTH OF PENNSYLVANIA (NO AREAS ARE OFFERED FOR DEDICATION)  
COUNTY OF YORK

ON THIS, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_, BEING \_\_\_\_\_ OF \_\_\_\_\_, KNOW TO ME (OR SATISFACTORILY PROVEN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED HEREON, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT (HIS/HER) DIRECTION, THAT (HE/SHE) ACKNOWLEDGES THE SAME TO BE (HIS/HER) ACT AND PLAN THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON, THAT (HE/SHE) DESIRES THE SAME TO BE RECORDED, AND ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

**YORK TOWNSHIP BOARD OF COMMISSIONERS FINAL APPROVAL CERTIFICATE**

AT A MEETING HELD ON \_\_\_\_\_, 20\_\_\_\_, THE YORK TOWNSHIP BOARD OF COMMISSIONERS APPROVED THIS PROJECT INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSIONERS, BASED ON ITS CONFORMITY WITH THE STANDARDS OF THE YORK TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

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**YORK TOWNSHIP PLANNING COMMISSION REVIEW CERTIFICATE**

AT A MEETING HELD ON \_\_\_\_\_, 20\_\_\_\_, THE YORK TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN AND A COPY OF THE REVIEW COMMENTS IS ON FILE IN THE TOWNSHIP OFFICE.

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**YORK COUNTY PLANNING COMMISSION REVIEW CERTIFICATE**

THE YORK COUNTY PLANNING COMMISSION, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247 OF 1968, AS AMENDED, REVIEWED THIS PLAN ON \_\_\_\_\_, 20\_\_\_\_, AND A COPY OF THE REVIEW IS ON FILE AT THE OFFICE OF THE PLANNING COMMISSION IN YORK FILE NO. \_\_\_\_\_. THIS CERTIFICATE DOES NOT INDICATE APPROVAL OR DISAPPROVAL OF THE PLAN BY THE YORK COUNTY PLANNING COMMISSION, AND THE COMMISSION NEITHER REPRESENTS NOR GUARANTEES THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH OR THE FEDERAL GOVERNMENT.

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\*SIGNATURES OF THE PLANNING COMMISSION MEMBERS OR THEIR DESIGNEES.

**RECORDER OF DEEDS**

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR YORK COUNTY, PENNSYLVANIA, IN PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

**FIRST CAPITAL ENGINEERING**

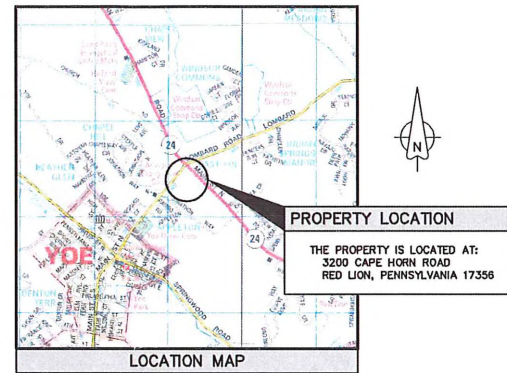
48 South Richland Avenue  
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★ LANDSCAPE ARCHITECTS ★ PLANNERS ★ SURVEYORS ★

FCE # 101-SD  
DATE: 06-03-19  
PROJECT MANAGER: JMG  
DRAWN BY: THR  
CHECKED BY:



SCALE: 1" = 2000'  
COPYRIGHT ADD THE MAP PEOPLE  
PERMITTED USE NUMBER 1032014  
YORK - MAP 3676, 3677

**SHEET LIST TABLE**

SHEET NUMBER	SHEET TITLE
*CS	COVER SHEET
*C-1	GENERAL NOTES SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	DEMOLITION PLAN
*C-4	SITE PLAN
*C-5	GRADING PLAN-UTILITY PLAN
*C-6	SHEETZ STANDARD DETAILS SHEET
C-7	LIGHTING PLAN
C-8	LIGHTING DETAIL SHEET 1
C-9	LIGHTING DETAIL SHEET 2
ES-CS	EROSION & SEDIMENTATION COVER SHEET
ES-1	EROSION & SEDIMENTATION CONTROL PLAN
ES-2	EROSION & SEDIMENTATION CONTROL DETAILS

\*PLAN SHEETS TO BE RECORDED

**MODIFICATION / WAIVER REQUEST**

ON \_\_\_\_\_, 20\_\_\_\_, THE YORK TOWNSHIP BOARD OF COMMISSIONERS GRANTED MODIFICATION / WAIVER OF THE FOLLOWING SECTIONS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF YORK TOWNSHIP:

- SECTION 308 - PRELIMINARY PLAN
- SECTION 313 - WATER SUPPLY FEASIBILITY STUDY
- SECTION 314 - SANITARY SEWAGE DISPOSAL FEASIBILITY STUDY
- SECTION 316 - TRAFFIC IMPACT REPORT
- SECTION 318 - PHASE I ENVIRONMENTAL SITE ASSESSMENT

**CERTIFICATION OF EROSION SEDIMENT CONTROL PLAN ACCURACY**

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE EROSION AND SEDIMENT CONTROL PLAN AND ASSOCIATED BEST MANAGEMENT PRACTICES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE YORK TOWNSHIP STORMWATER MANAGEMENT ORDINANCE AND THE PENNSYLVANIA CHAPTER 102 EROSION AND CONTROL REGULATIONS.

\_\_\_\_\_, 20\_\_\_\_

\*SIGNATURE AND SEAL OF A QUALIFIED DESIGNER LICENSED BY THE COMMONWEALTH OF PENNSYLVANIA AS QUALIFIED TO PERFORM AND TO BE RESPONSIBLE FOR THE PREPARATION OF THE STORMWATER MANAGEMENT SITE PLAN.

**CERTIFICATION OF PLAN ACCURACY**

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE YORK TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

\_\_\_\_\_, 20\_\_\_\_

\*SIGNATURE AND SEAL OF A PROFESSIONAL REGISTERED IN COMMONWEALTH OF PENNSYLVANIA AS QUALIFIED TO PERFORM SUCH DUTIES AND RESPONSIBLE FOR THE PREPARATION OF THE PLAN.

**CERTIFICATION OF SURVEY ACCURACY**


I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY IN ACCORDANCE WITH THE STATE MINIMUM STANDARD PUBLISHED BY THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

\_\_\_\_\_, 20\_\_\_\_

\*SIGNATURE AND SEAL OF A PROFESSIONAL REGISTERED IN COMMONWEALTH OF PENNSYLVANIA AS QUALIFIED TO PERFORM SUCH DUTIES AND RESPONSIBLE FOR THE PREPARATION OF THE PLAN.

**PA ONE CALL**

PA ONE CALL ID NUMBER FOR THIS JOB IS 20170581974. LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DRAWINGS, AND/OR SURFACE EVIDENCE ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776), A MINIMUM OF 3 DAYS PRIOR TO EXCAVATION AS REQUIRED BY PA ACT 121 (OCT. 2008).



**UTILITIES**

WATER	DALLASTOWN-YOE WATER AUTHORITY 175 E. BROAD STREET DALLASTOWN PA, 17313 (717) 244-6628
CABLE TV	COMCAST CABLE 1050 E. KING STREET P.O. BOX 1787 YORK, PA 17405 (717) 846-4851
PHONE	VERIZON 31 SOUTH BEAVER STREET YORK, PA 17405 (800) 932-0500
ELECTRIC	METROPOLITAN EDISON 501 PARKWAY BOULEVARD YORK, PA 17405 (717) 848-7106
GAS	COLUMBIA GAS OF PA INC. 1100 N. HARTLEY ST. YORK, PA 17404 ATTN: ROBERT SHAFFER (717) 849-0100
SEWER	YORK TOWNSHIP WATER AND SEWER AUTHORITY 190 OAK RD DALLASTOWN, PA 17313 (717) 741-3861

**UPI CHART**

UPI NUMBER	STREET ADDRESS
54-000-HJ-0069-00-00000	3200 CAPE HORN ROAD

**SITE DATA**

OWNER:	SEL PROPERTIES INC. ATTN: BENJAMIN D. ORLANDO P.O. BOX 230 JARRETSVILLE, MD 21804 410-557-7000
PROPERTY LOCATED AT:	3200 CAPE HORN ROAD
SOURCE OF TITLE:	P.B. 1333; PG. 7526
ZONE:	COMMERCIAL SHOPPING DISTRICT (CS)
REQUIRED MINIMUM LOT AREA:	10,000 SF. 0.23 ACRES
EX. PROPERTY AREA (GROSS):	95,317.6059 SF. 2.211 ACRES
EX. PROPERTY AREA (NET):	92,297.6714 SF. 2.119 ACRES
REQUIRED MINIMUM LOT WIDTH:	100 FT. AT SETBACK LINE
MINIMUM LOT FRONTAGE:	80 FT. AT STREET R.O.W.
SETBACK LINES:	S.265-407 COMMERCIAL SHOPPING DISTRICT (CS)
A. FRONT YARD:	BUILDING: 25 FT.* PARKING: 10 FT.
B. SIDE YARD:	BUILDING: 10 FT. PARKING: 10 FT.
C. REAR YARD:	BUILDING: 20 FT. PARKING: 10 FT.
MAXIMUM BUILDING HEIGHT:	PRINCIPAL: 45 FT. ACCESSORY: 15 FT.
ALLOWABLE MAX. LOT COVERAGE:	85%
EX. IMPERVIOUS AREA:	61,103.98 S.F.
EX. IMPERVIOUS PERCENTAGE:	63%
PR. IMPERVIOUS AREA:	60,730.98 S.F.
PR. IMPERVIOUS PERCENTAGE:	63%
* S.265-514 FRONT SETBACKS FROM MAJOR THOROUGHFARES TO BE 50 FT.	
REQUIRED PARKING:	36 (SEE NOTE #17, SHEET C-1) 1 SPACE/200 S.F. GROSS FLOOR AREA (28), PLUS 1 SPACE/EMPLOYEE OF THE LARGEST SHIFT (8)
EX. PARKING:	50 SPACES (2 HANDICAP)
EX. WATER SERVICE:	PUBLIC
EX. SEWER SERVICE:	PUBLIC

No.	DATE	REVISION	BY
1	7-3-19	PER JMT REVIEW DATED 7-1-19	THR
1	7-3-19	PER YCPC REVIEW 6-27-19	THR
1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR

**GENERAL NOTES**

- 1 THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A 1,190 SQUARE FOOT ADDITION ONTO THE EXISTING SHEETZ STORE, UPGRADE SIDEWALKS/PARKING AT THE FRONT OF THE STORE AND UPGRADE EXISTING FUEL DISPENSING PUMPS WITHIN THE LOMBARD ROAD CANOPY
- 2 THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE REPORT AND ASSUMES NO RESPONSIBILITY FOR ANY EASEMENTS AND/OR RIGHTS-OF-WAYS. FIRST CAPITAL ENGINEERING HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 3 THIS BOUNDARY AND RIGHT-OF-WAY SURVEY IS BASED ON A FINAL SUBDIVISION PLAN FOR SHEETZ YORK TOWNSHIP, YORK COUNTY, PENNSYLVANIA BY FIRST CAPITAL ENGINEERING, JOB NUMBER 101-5 DATED 7/3/1998 LAST REVISED 11/17/1998 AND RECORDED IN THE RECORDER OF DEEDS OFFICE IN AND FOR THE COUNTY OF YORK PENNSYLVANIA IN PLAN BOOK QQ PAGE 18
- 4 UTILITIES AND OTHER OBSTRUCTIONS AS SHOWN HEREON HAVE BEEN LOCATED BY ACTUAL FIELD MEASUREMENTS, SUPPLEMENTED BY INFORMATION OBTAINED FROM VARIOUS AGENCIES HAVING JURISDICTION HOWEVER, WE DO NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION AND MUST NOTIFY THE PA ONE CALL SYSTEM, INC. (1-800-242-1776) A MINIMUM OF 3 DAYS PRIOR TO EXCAVATION AS REQUIRED BY PA ACT 121 (OCT 2008), PRIOR TO CONDUCTING ANY EXCAVATING ACTIVITIES FIRST CAPITAL ENGINEERING, INC IS NOT LIABLE FOR ANY DAMAGE ASSOCIATED WITH EXCAVATION ACTIVITIES BY OTHERS, OR AS A RESULT OF UNDERGROUND UTILITIES NOT BEING SHOWN HEREON, OR FOUND TO BE IN DIFFERENT LOCATIONS THAN AS SHOWN HEREON
- 5 THIS SURVEY AS SHOWN, WAS TAKEN BY CONVENTIONAL SURVEY METHODS IN FEBRUARY OF 2017
- 6 HORIZONTAL DATUM PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NAD 83.
- 7 VERTICAL DATUM NAVD 88
- 8 BENCHMARK MAG NAIL IN NOSE OF CURB EAST SIDE OF SOUTHERN ENTRANCE TO STORE ELEVATION = 799.44
- 9 RIGHT-OF-WAY WIDTH FOR S.R. 2008 (CAPE HORN ROAD) AND S.R. 2007 (LOMBARD ROAD) VARY BASED ON A FINAL SUBDIVISION PLAN FOR SHEETZ YORK TOWNSHIP, YORK COUNTY, PENNSYLVANIA BY FIRST CAPITAL ENGINEERING, JOB NUMBER 101-5 DATED 7/3/1998 LAST REVISED 11/17/1998 AND RECORDED IN THE RECORDER OF DEEDS OFFICE IN AND FOR THE COUNTY OF YORK PENNSYLVANIA IN PLAN BOOK QQ PAGE 18.
10. BASED ON REVIEW OF THE FLOOD INSURANCE RATE MAP, YORK COUNTY, PENNSYLVANIA PANEL 342 OF 701, MAP NUMBER 4213300342F DATED 12/16/2015 THE PROJECT SITE IS NOT WITHIN THE 100 YEAR FLOOD BOUNDARY
- 11 PARKING REQUIREMENTS PER YORK TOWNSHIP ZONING ORDINANCE SECTION 265-808 B 11 CONVENIENCE STORE (WITH OR WITHOUT) FUEL DISPENSING  
 PROPOSED SHEETZ STORE = 5,437 SF  
 5,437 SF RETAIL / 200 SF = 2719 = 28 PARKING SPACES  
 8 EMPLOYEES ON LARGEST SHIFT = 8 = 8 PARKING SPACES  
 YORK TOWNSHIP ZONING ORDINANCE REQUIRES = 36 PARKING SPACES  
 PROJECT PROPOSES 50 PARKING SPACES (INCLUDES 2 HANDICAPPED SPACES)
12. A PENNDOT HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED ACCESS TO THE STATE HIGHWAY SHALL BE AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT AND THE BOARD OF SUPERVISORS APPROVAL OF THIS PLAN DOES NOT IMPLY THAT A PERMIT CAN BE ACQUIRED
- 13 SHEETZ, INC IS THE OWNER OPERATOR OF THE CURRENT UST SYSTEM AT THIS FACILITY. IN THE EVENT THAT CONTAMINATION FROM THE CURRENT SHEETZ UST SYSTEM IS FOUND DURING EXCAVATION ACTIVITIES, SHEETZ, INC WOULD BE THE RESPONSIBLE PARTY FOR ANY REQUIRED PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION INVESTIGATION OR REMEDIATION ACTIVITIES

**GENERAL DEMOLITION NOTES**

- 1 THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK
- 2 THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- 3 EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY
- 4 ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS
- 6 ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY
- 7 THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- 8 UTILITY CONTACTS ARE LISTED ON THE COVER SHEET
- 9 EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO E&S PLAN FOR DETAILS
- 10 ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED
- 11 CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO COST TO THE OWNER
12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
- 13 CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PennDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES
- 14 CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
- 15 DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE SHEETZ CONSTRUCTION REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
- 16 CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION

**LAYOUT NOTES**

- 1 CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES
- 2 ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- 3 CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS
- 4 ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45' AND 2 FEET 0"
5. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE
- 6 CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE PYLON SIGN WITH SHEETZ.
- 7 CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION

**GRADING NOTES**

- 1 ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FIRST CAPITAL ENGINEERING, INC. THE CURRENT REQUIREMENTS OF THE YORK TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 81-54) FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- 4 BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PA 1 CALL AT 1-800-242-1776 THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE
- 6 ALL SLOPES SHALL BE 2:1 (HORIZONTAL VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE
- 7 AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT
- 8 ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER
- 9 CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION

**UTILITY NOTES**

- 1 ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FIRST CAPITAL ENGINEERING, INC. THE CURRENT REQUIREMENTS OF THE YORK TOWNSHIP, THE APPLICABLE SECTIONS OF THE PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS
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- 5 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS
- 6 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION
- 7 CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO SHEETZ STORE.
- 8 ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT
- 9 AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT
- 10 UTILITY COMPANIES AND CONTACTS ARE LISTED ON THE COVER SHEET
- 11 CONDUIT LOCATIONS TO PYLON SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ SUPERINTENDENT
12. CONTRACTOR SHALL COORDINATE WITH SHEETZ SUPERINTENDENT ON LOCATION AND SIZE OF THE GREASE TRAP GREASE TRAP SHALL BE PROVIDED WITH "T" PIPE IN OUTFLOW CHAMBER ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED
- 13 CONTRACTOR SHALL COORDINATE WITH SHEETZ ON CONDUIT ROUTE TO STORE FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICE.
- 14 CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR

**FIRST CAPITAL ENGINEERING**  
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 York, PA 17404  
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 ★ LANDSCAPE ARCHITECTS ★ PLANNERS ★ SURVEYORS ★

NO	DATE	REVISION	BY
1	7-3-19	PER JMT REVIEW DATED 7-1-19	THR
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1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR

SHEETZ STORE #268  
 MINOR LAND DEVELOPMENT PLAN  
 SHEETZ, INC.  
 3200 CAPE HORN ROAD  
 YORK TOWNSHIP YORK COUNTY, PENNSYLVANIA

GENERAL NOTES SHEET

DRAWN BY THR	CHECK BY
CADD FILE NO. 101-SD.LD.NOT	JOB NO 101-SD
DATE 06-03-19	SCALE AS NOTED

**LEGEND**

- ADJOINING PROPERTY LINE
- EASEMENT LINE
- CENTER LINE
- BUILDING SETBACK LINE
- EXISTING GRADES
- EXISTING INDEX GRADES
- EXISTING CURB
- EXISTING DRAINAGE
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING NATURAL GAS
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING FENCE
- EXISTING GUIDERAIL
- PROPERTY LINE
- RIGHT-OF-WAY
- ZONING BOUNDARY
- EXISTING TREE LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING ELECTRIC MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING ELECTRIC BOX
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING INLET
- EXISTING LIGHT POLE
- EXISTING STREET SIGN
- ACCESSIBLE PARKING
- SMOOTH LINED CORRUGATED PLASTIC PIPE
- FINISHED FLOOR ELEVATION
- CLEANOUT
- CORRUGATED METAL PIPE
- POLYVINYL CHLORIDE PIPE

**EX STORMWATER TABLE**

ID	GRATE ELEV.	INV IN	INV OUT
INLET 1	814.55	809.75	809.70
INLET 2	815.70	809.70	809.70
INLET 3	795.64	793.29	792.79
INLET 4	801.28	-	795.58
INLET 5	792.79	790.92	792.92
INLET 6	793.51	-	788.96
INLET 7	794.15	791.50	791.50
INLET 8	795.70	793.30	793.25
INLET 9	790.54	-	789.54
INLET 10	786.72	781.82	-
	-	781.82	781.77
OS 1	793.56	790.81	791.11
OS 2	795.20	792.20	792.24
OS 3	-	-	794.42
EW 1	-	-	791.19
EW 2	-	-	792.85
EW 3	-	816.19	-

**EX SANITARY SEWER TABLE**

MH ID	RIM ELEV.	INV IN	INV OUT
MH 1	799.18	792.99	792.98
MH 2	795.14	782.18	782.11
MH 3	798.59	-	793.65

PARCEL 200A  
N/F  
NORTHVILLE GREEN ASSOCIATES LLC  
DEED BK 1800 PAGE 2381  
54-000-46-0200-10-00000

PARCEL 200B  
N/F  
MCDONALDS CORP  
DEED BK 1188 PAGE 0115  
54-000-46-0200-80-00000

PARCEL 200A  
N/F  
NORTHVILLE GREEN ASSOCIATES LLC  
DEED BK 1800 PAGE 2381  
54-000-46-0200-10-00000

PARCEL 73  
N/F  
ALD CAPITAL PA LLC  
53-000-11-0073-00-00000

**CURVE TABLE**

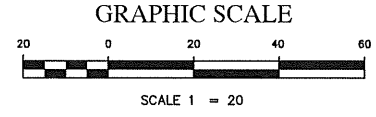
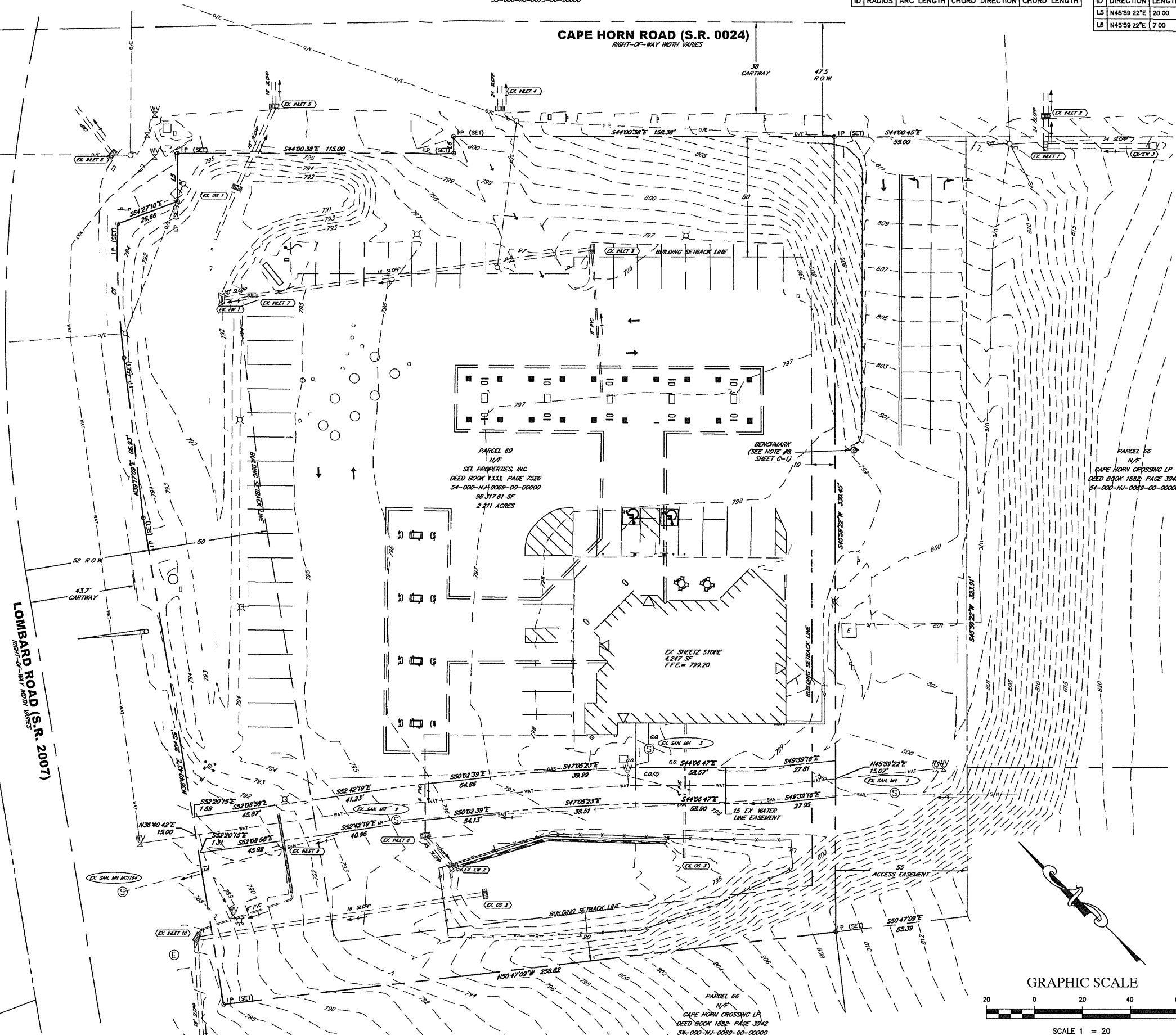
ID	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
LS	N45°59'22"E	20.00		
LA	N45°59'22"E	7.00		

**LINE TABLE**

ID	DIRECTION	LENGTH
LS	N45°59'22"E	20.00
LA	N45°59'22"E	7.00

**CAPE HORN ROAD (S.R. 0024)**  
RIGHT-OF-WAY WIDTH VARIES

**LOMBARD ROAD (S.R. 2007)**  
RIGHT-OF-WAY WIDTH VARIES



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NO	DATE	REVISION	BY
1	7-3-19	PER A.M.T. REVIEW DATED 7-1-19	THR
1	7-3-19	PER Y.P.C. REVIEW 6-27-19	THR
1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR

SHEET STORE #268  
MINOR LAND DEVELOPMENT PLAN  
SHEETZ, INC  
3200 CAPE HORN ROAD  
YORK COUNTY PENNSYLVANIA  
EXISTING CONDITIONS PLAN

DRAWN BY	CHECK BY
THR	THR
CADD FILE NO. 101-SD.LD.EXC	JOB NO. 101-50
DATE 06-03-19	SCALE 1" = 20'

SHEET  
C-2

**LEGEND**

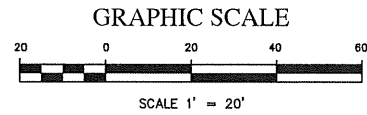
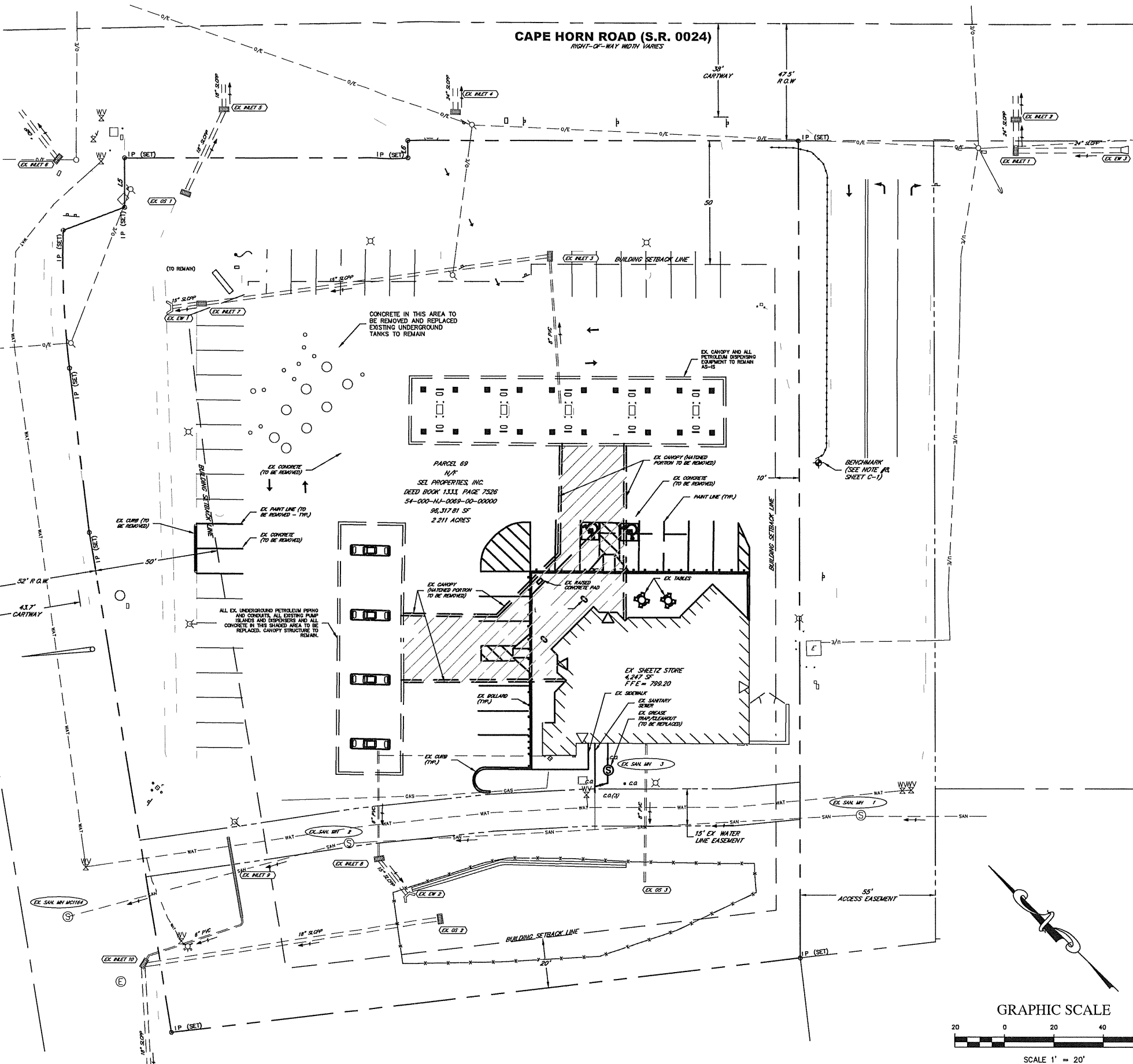
ADJOINING PROPERTY LINE	---
EASEMENT LINE	- - - -
CENTER LINE	---
BUILDING SETBACK LINE	---
EXISTING GRADES	---/---
EXISTING INDEX GRADES	---/---
EXISTING CURB	==
EXISTING DRAINAGE	==
EXISTING OVERHEAD ELECTRIC	0/E
EXISTING UNDERGROUND ELECTRIC	U/E
EXISTING OVERHEAD TELEPHONE	0/T
EXISTING UNDERGROUND TELEPHONE	U/T
EXISTING NATURAL GAS	GAS
EXISTING SANITARY SEWER	SAN
EXISTING WATER	WAT
EXISTING FENCE	---
EXISTING GUIDERAIL	---
PROPERTY LINE	---
RIGHT-OF-WAY	---
STREAM	---
100 YEAR FLOOD PLAIN	---
SOILS BOUNDARY	---
ZONING BOUNDARY	---
EXISTING TREE LINE	---
EXISTING UTILITY POLE	○
EXISTING GUY WIRE	---
EXISTING ELECTRIC MANHOLE	○
EXISTING GAS MANHOLE	○
EXISTING SANITARY SEWER MANHOLE	○
EXISTING STORM DRAIN MANHOLE	○
EXISTING TELEPHONE MANHOLE	○
EXISTING WATER MANHOLE	○
EXISTING ELECTRIC BOX	□
EXISTING TELEPHONE BOX	□
EXISTING CABLE BOX	□
EXISTING GAS VALVE	○
EXISTING GAS METER	○
EXISTING WATER VALVE	○
EXISTING FIRE HYDRANT	○
EXISTING INLET	○
EXISTING LIGHT POLE	○
EXISTING STREET SIGN	○

**DEMOLITION NOTES:**

- ALL BOLD AND/OR SHADED AND HATCHED ITEMS ARE TO BE REMOVED.
- SEE SHEET C-1 FOR GENERAL DEMOLITION NOTES
- CONTRACTOR SHALL COORDINATE WITH YORK TOWNSHIP STAFF REGARDING THE FINAL DISPOSITION OF ALL SIGNS TO BE REMOVED WITHOUT BEING REPLACED.

**LOMBARD ROAD (S.R. 2007)**  
RIGHT-OF-WAY WIDTH VARIES

**CAPE HORN ROAD (S.R. 0024)**  
RIGHT-OF-WAY WIDTH VARIES



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★ LANDSCAPE ARCHITECTS ★ PLANNERS ★ SURVEYORS ★

No.	DATE	REVISION	BY
1	7-3-19	PER A.M.T. REVIEW DATED 7-1-19	THR
1	7-3-19	PER T.C.C. REVIEW 6-27-19	THR
1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR

**SHEETZ STORE #268**  
MINOR LAND DEVELOPMENT PLAN  
SHEETZ, INC.  
3200 CAPE HORN ROAD  
YORK COUNTY, PENNSYLVANIA  
YORK TOWNSHIP  
DEMOLITION PLAN

CHECK BY	THR
CADD FILE No.	101-5D-LD-DEMO
JOB No.	101-5D
DATE	06-03-19
SCALE	1" = 20'

**SHEET C-3**

**LANDSCAPE SCHEDULE**

DECIDUOUS TREES									
KEY	QUAN	BOTANICAL NAME / COMMON NAME	ROOT	SIZE @ PLANTING	COMMENTS	MD-ATLANTIC NATIVE	SIZE @ MATURITY		
P.T.	1	Prunus x Incomp Okame / Okame Cherry	B&B	2 CAL.(M.N)	10" CALIPER	YES	20' 30" HT / 20-30' SPREAD	TOTAL 106.5 CALIPER	
DECIDUOUS SHRUBS									
KEY	QUAN	BOTANICAL NAME / COMMON NAME	ROOT	SIZE @ PLANTING	COMMENTS	MD-ATLANTIC NATIVE	SIZE @ MATURITY		
S.A.	9	Spiraea alba / Narrow leaved Meadow Sweet	B&B	18" HEIGHT (M.N)	SEE PLAN	YES	2' 6" HT / 4-5' SPREAD		

**LEGEND**

ADJOINING PROPERTY LINE	---
EXISTING EASEMENT LINE	---
EXISTING CENTER LINE	---
EXISTING BUILDING SETBACK LINE	---
EXISTING CURB	---
EXISTING FENCE	---
EXISTING GUIDERAIL	---
PROPERTY LINE	---
EXISTING RIGHT-OF-WAY	---
STREAM	---
100 YEAR FLOOD PLAIN	---
ZONING BOUNDARY	---
EXISTING TREE LINE	---
EXISTING STREET SIGN	---
EXISTING ACCESSIBLE PARKING	---
PROPOSED RIGHT-OF-WAY	---
PROPOSED CURB	---
PROPOSED FENCE	---
PROPOSED TREE LINE	---
PROPOSED STREET SIGN	---
PROPOSED ACCESSIBLE PARKING	---
PROPOSED CONCRETE SIDEWALK (SEE DETAIL SHEET FC-11)	---
PROPOSED CONCRETE PAVING (SEE DETAIL SHEET FC-11)	---
PROPOSED BITUMINOUS PAVING (SEE DETAIL SHEET FC-11)	---

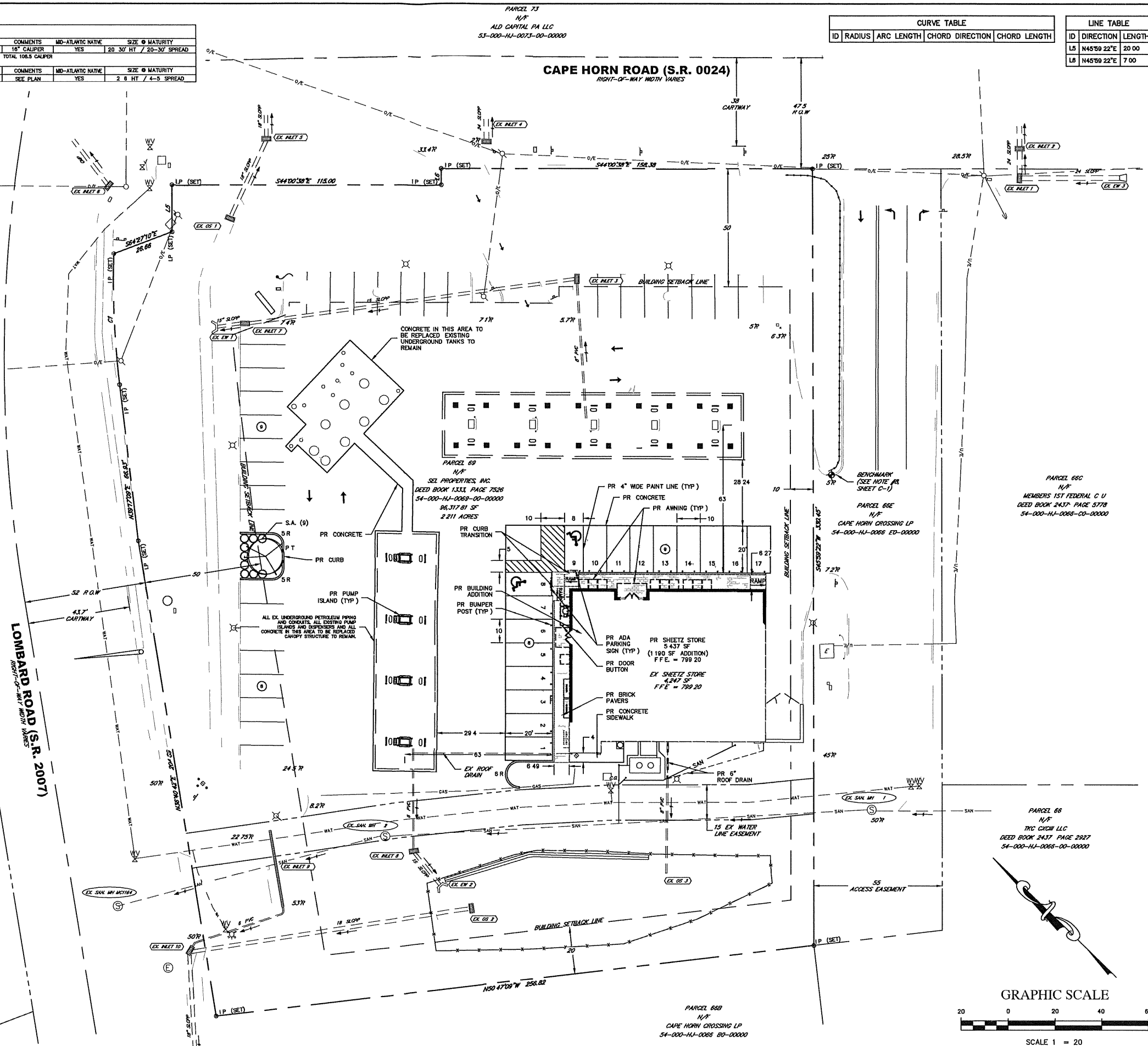
REFERENCE PLAN SHEET C-1 FOR GENERAL PROJECT NOTES, LAYOUT NOTES, AND CONSTRUCTION SPECIFICATIONS

REFERENCE PLAN SHEET C-6 FOR PAVEMENT, CURBS, SIDEWALK CONSTRUCTION DETAILS AND SPECIFICATIONS, SHADE TREES AND LANDSCAPING NOTES, SHRUB PLANTING DETAIL AND TREE PLANTING DETAIL

**PARCEL 200A**  
N/F  
NORTHVILLE GREEN ASSOCIATES LLC  
DEED BK 1800 PAGE 2381  
54-000-45-0200-A0-00000

**PARCEL 200B**  
N/F  
MCDONALD'S CORP  
DEED BK 1188 PAGE 0115  
54-000-45-0200-B0-00000

**PARCEL 200A**  
N/F  
NORTHVILLE GREEN ASSOCIATES LLC  
DEED BK 1800 PAGE 2381  
54-000-45-0200-A0-00000



**PARCEL 73**  
N/F  
ALD CAPITAL PA LLC  
53-000-44-0073-00-00000

**CURVE TABLE**

ID	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
L5	N45°59'22"E	20.00		
L8	N45°59'22"E	7.00		

**LINE TABLE**

ID	DIRECTION	LENGTH
L5	N45°59'22"E	20.00
L8	N45°59'22"E	7.00

**FIRST CAPITAL ENGINEERING**

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Gettysburg, PA 17325  
Phone (717) 337-3827  
www.fce.com

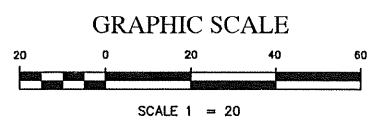
★ CIVIL ENGINEERS ★ MUNICIPAL ENGINEERS ★ ENVIRONMENTAL SCIENTISTS ★  
★ LANDSCAPE ARCHITECTS ★ PLANNERS ★ SURVEYORS ★

No.	DATE	REVISION	BY
1	7-3-19	PER AMT REVIEW DATED 7-1-19	THR
1	7-3-19	PER TPC REVIEW 6-27-19	THR
1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR

**SHEETZ STORE #268**  
MINOR LAND DEVELOPMENT PLAN  
**SHEETZ, INC**  
3200 CAPE HORN ROAD  
YORK TOWNSHIP  
YORK COUNTY, PENNSYLVANIA  
**SITE PLAN**

DRAWN BY	THR	CHECK BY	THR
CADD FILE No.	101-SD-LD-SITE	JOB No.	101-SD
DATE	06-03-19	SCALE	1" = 20'

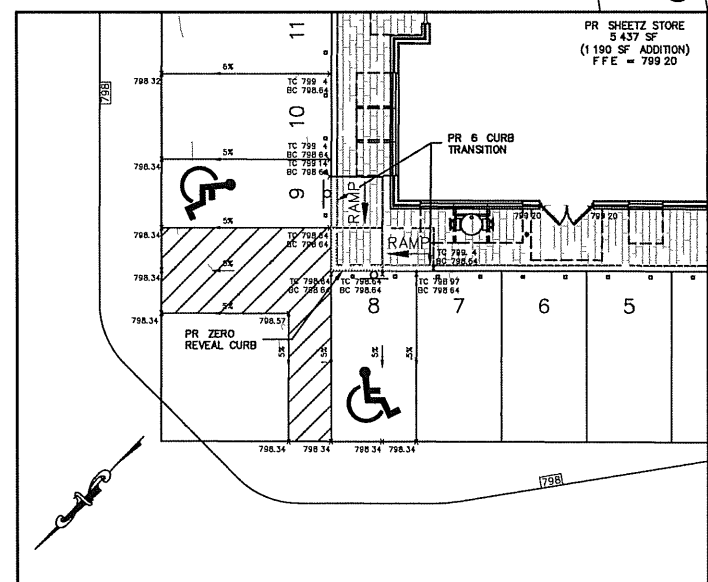
**SHEET C-4**



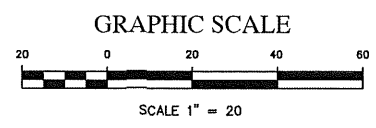
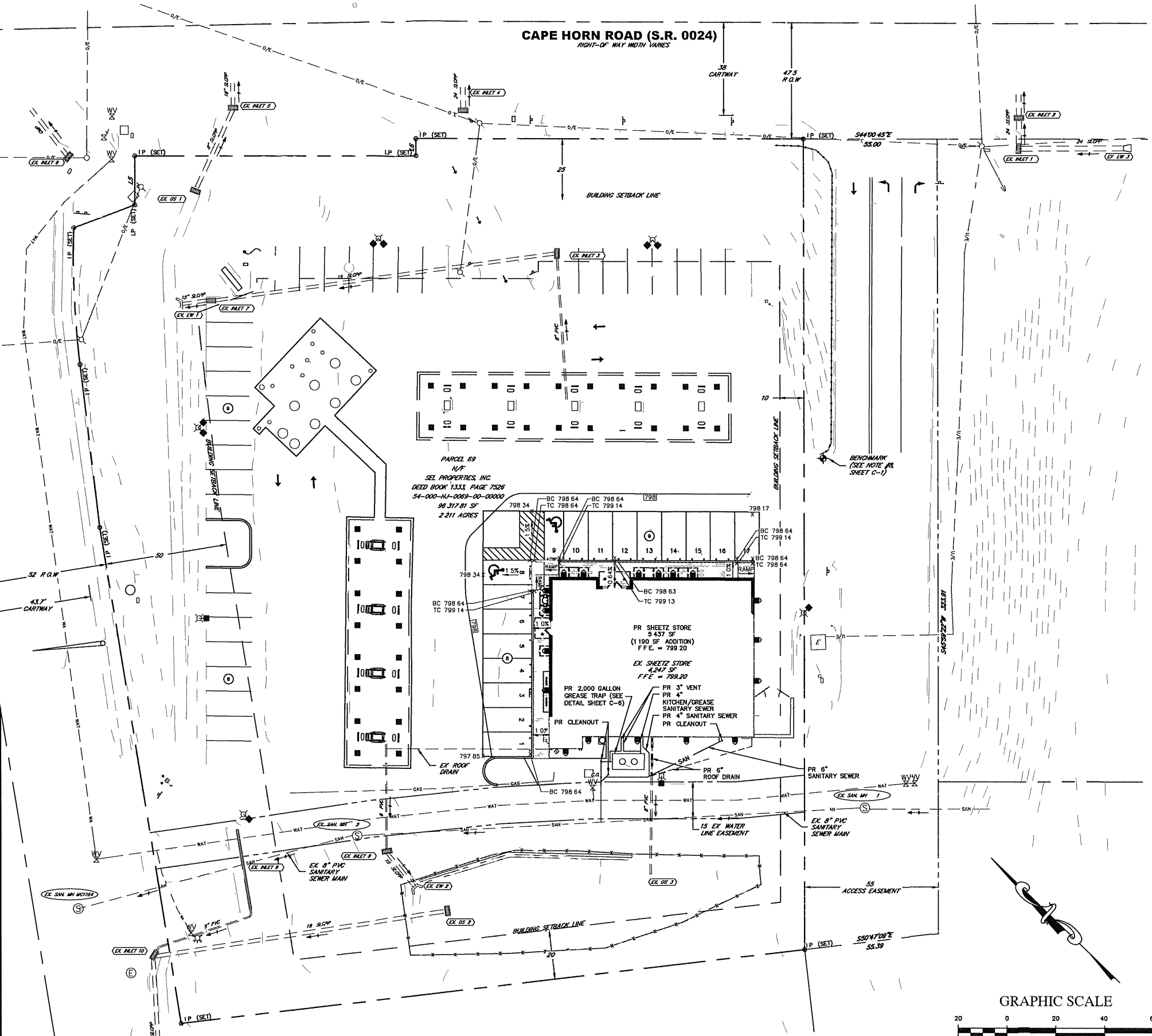
**LEGEND**

- ADJOINING PROPERTY LINE
- EASEMENT LINE
- CENTER LINE
- BUILDING SETBACK LINE
- EXISTING GRADES
- EXISTING INDEX GRADES
- EXISTING CURB
- EXISTING DRAINAGE
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING NATURAL GAS
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING FENCE
- EXISTING GUIDERAIL
- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING TREE LINE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING WATER MANHOLE
- EXISTING ELECTRIC BOX
- EXISTING TELEPHONE BOX
- EXISTING CABLE BOX
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING INLET
- EXISTING LIGHT POLE
- EXISTING STREET SIGN
- RCP
- CO
- CMP
- REINFORCED CONCRETE PIPE
- CLEANOUT
- CORRUGATED METAL PIPE

REFERENCE PLAN SHEET C-1 FOR GENERAL CONSTRUCTION AND SOILS LIMITATION NOTES



**HANDICAP PARKING AREA DETAILED GRADING**  
SCALE 1" = 10'



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 Phone (717) 337-3827  
 Fax (717) 337-3827  
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 ★ LANDSCAPE ARCHITECTS ★ PLANNERS ★ SURVEYORS ★

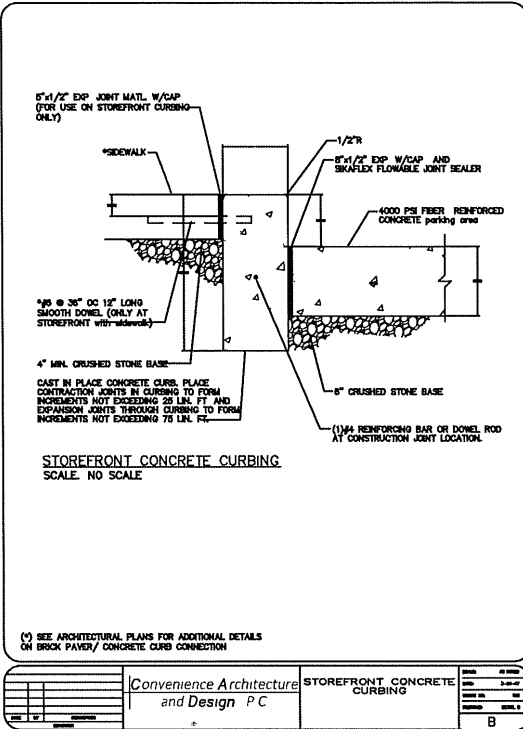
NO.	DATE	REVISION	BY
1	7-3-18	PER JMT REVIEW DATED 7-1-18	THR
1	7-3-18	PER YDPC REVIEW 6-27-18	THR
1	7-3-18	PER GANNETT FLEMING REVIEW 6-24-18	THR

**SHEETZ STORE #268**  
 MINOR LAND DEVELOPMENT PLAN  
 SHEETZ, INC.  
 3200 CAPE HORN ROAD  
 YORK COUNTY PENNSYLVANIA  
 YORK TOWNSHIP

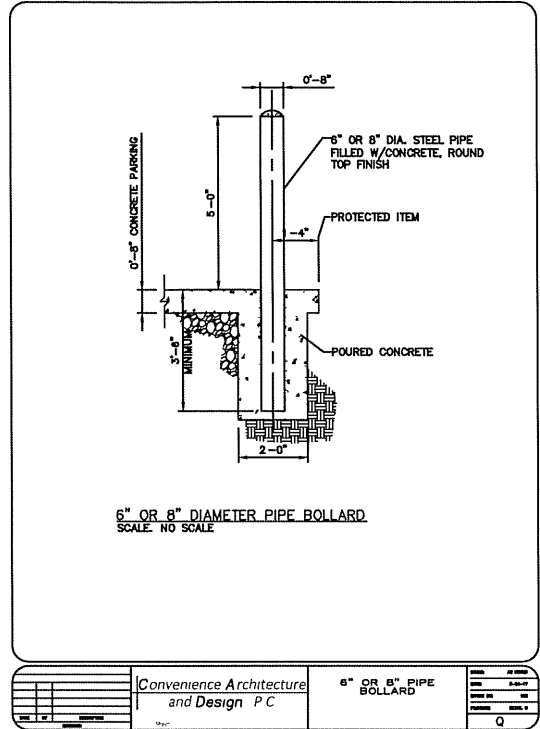
**GRADING-UTILITY PLAN**

DRAWN BY	THR	CHECK BY	THR
CADD FILE No.	101-SD-LD-CRD	JOB No	101-SD
DATE	06-03-19	SCALE	1" = 20'

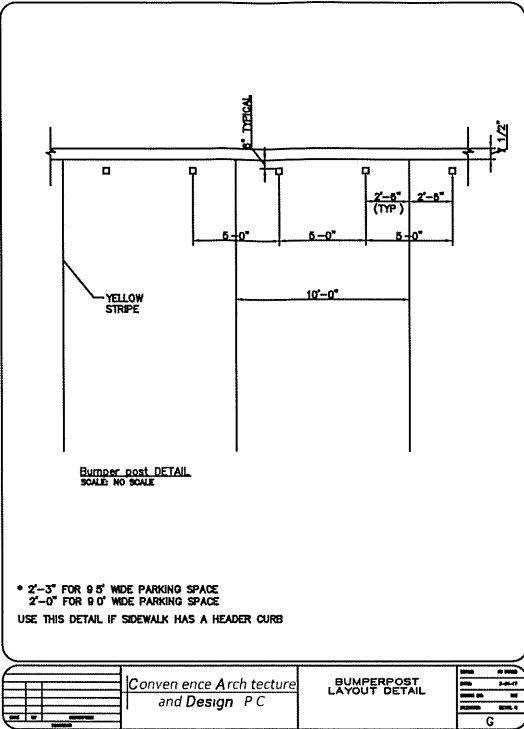
**SHEET C-5**



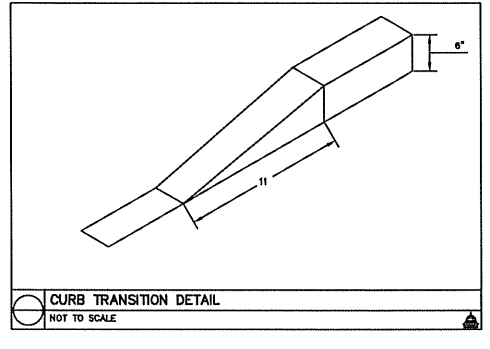
Convenience Architecture and Design P.C.	STOREFRONT CONCRETE CURBING	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			



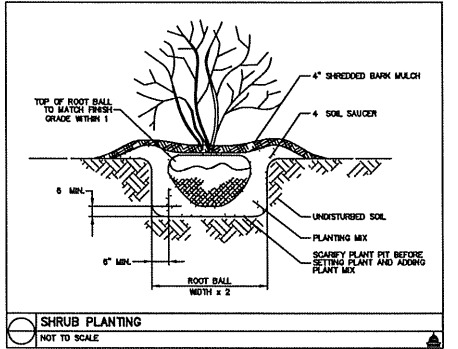
Convenience Architecture and Design P.C.	6\"/>	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			



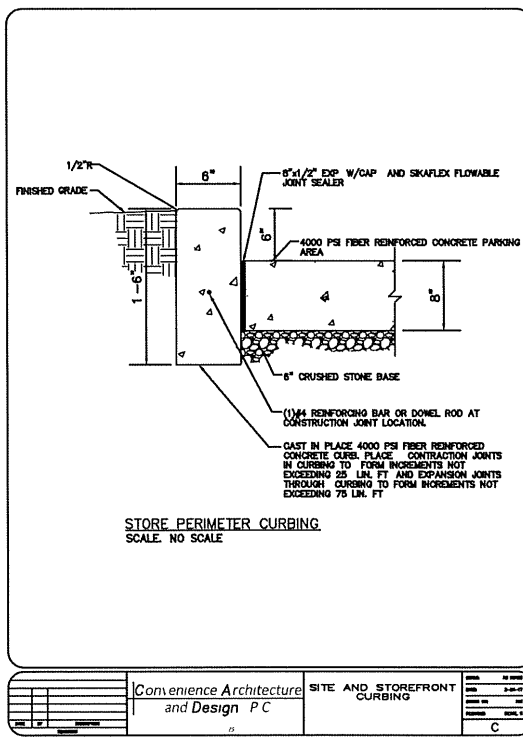
Convenience Architecture and Design P.C.	BUMPER POST LAYOUT DETAIL	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			



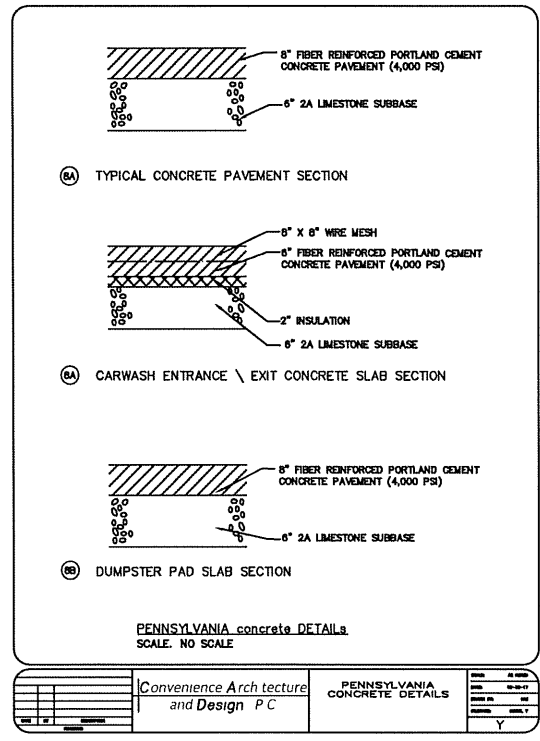
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THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			



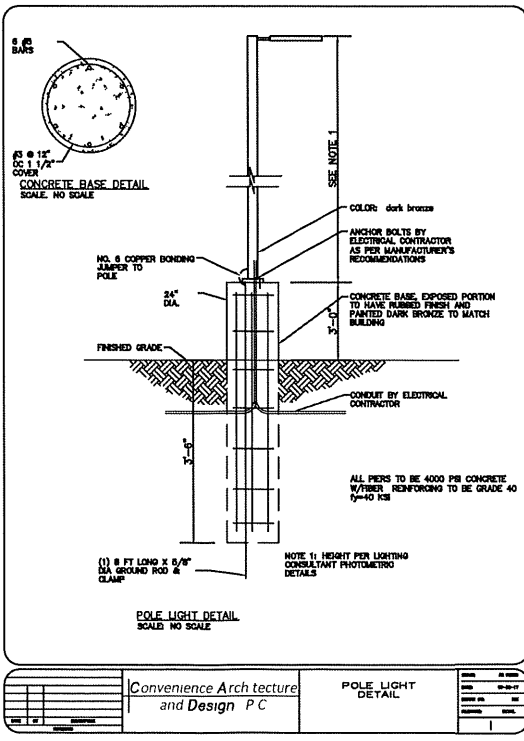
Convenience Architecture and Design P.C.	SHRUB PLANTING	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			



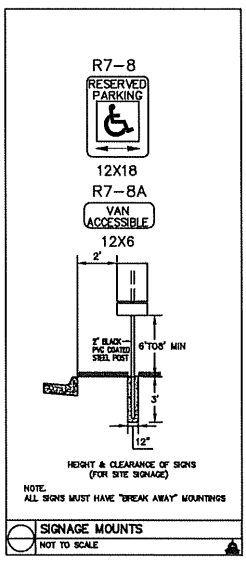
Convenience Architecture and Design P.C.	SITE AND STOREFRONT CURBING	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			



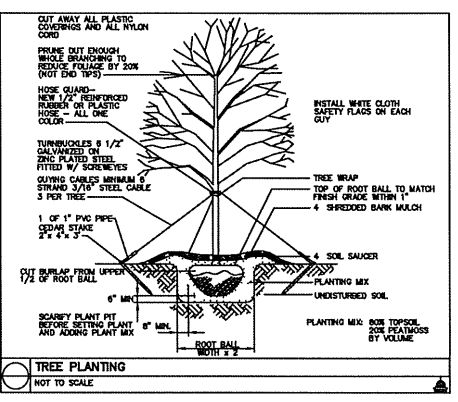
Convenience Architecture and Design P.C.	PENNSYLVANIA CONCRETE DETAILS	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			



Convenience Architecture and Design P.C.	POLE LIGHT DETAIL	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			

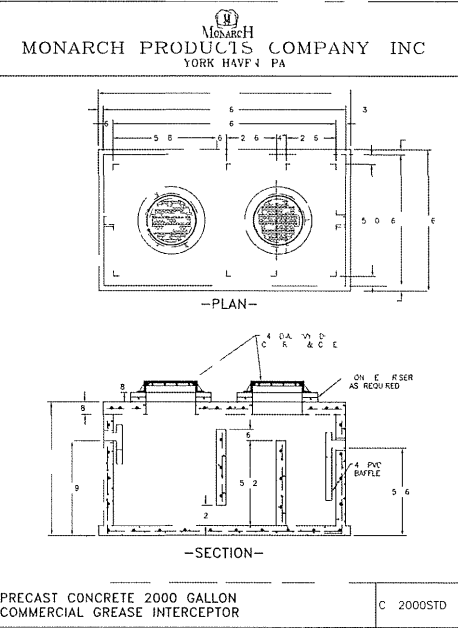


Convenience Architecture and Design P.C.	SIGNAGE MOUNTS	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			



Convenience Architecture and Design P.C.	TREE PLANTING	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			

- SHADE TREES AND LANDSCAPING NOTES**
1. THE TREES SHALL BE HARDEST GROWN IN A CLIMATE SIMILAR TO THAT OF THE LOCALITY OF THE PROJECT
  2. ALL TREES SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE SOUND, HEALTHY AND WOODRICH; THEY SHALL BE FREE FROM DISEASE, INSECTS, INJURY, AND LARVAE.
  3. THE CALIPER OF THE TRUNK, MEASURED AT A HEIGHT OF SIX (6) INCHES ABOVE FINISHED GRADE, SHALL BE A MINIMUM OF TWO (2) INCHES.
  4. ALL PLANTING SHALL BE PERFORMED IN CONFORMANCE WITH GOOD NURSERY AND LANDSCAPE PRACTICE INCLUDING PROPER GUYING AND STAKING.
  5. REQUIREMENTS FOR THE MEASUREMENTS, BRANCHING, GRADING, QUALITY BALLING, AND BURLAPPING OF TREES SHALL FOLLOW THE CODE OF STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN INC. IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSZA, 1973, AS AMENDED.
  6. LANDSCAPING PLAN SHALL INCLUDE FURNISHING AND INSTALLING MULCHED BEDS AND PLANT MATERIALS SHOWN ON THE LANDSCAPING SCHEDULE AND CORRELATE WITH THE LANDSCAPING NOTES AND PLANTING DETAILS.
  7. PLANT MATERIAL SHALL COMPLY WITH AHS 2901.1 1995. PLANT SIZES AND CONTAINER SIZES SHOWN ARE MINIMUM.
  8. CONTRACTOR SHALL LABEL AT LEAST ONE (1) PLANT OF EACH VARIETY WITH A SECURED, ATTACHED TAG BEARING THE LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME TO HELP CORRELATE PLANT TYPE.
  9. SUBSTITUTIONS, ADDITIONS, AND DELETIONS ARE PERMISSIBLE UPON APPROVAL FROM THE LANDSCAPE ARCHITECT AND MUNICIPALITY.
  10. LANDSCAPING CONTRACTOR TO WARRANT LANDSCAPE PLANTS FOR A TWENTY-FOUR (24) MONTH PERIOD COMMENCING FIVE DAYS FROM THE DATE OF INSPECTION OF THE PLANT MATERIALS INSTALLATION. CONTRACTOR TO WARRANT ALL PLANTS AGAINST DEFECTS INCLUDING DEATH AND UNDESIRABLE GROWTH. ALL PLANTS SHALL BE IN WOODRICH AND THIRING CONDITION AT THE END OF THE TWENTY-FOUR (24) MONTH PERIOD. FINAL INSPECTION OF THE SITE FOLLOWING THE TWENTY-FOUR (24) MONTH PERIOD WILL BE MADE AS DETERMINED BY THE TOWNSHIP ENGINEER OR HIS DESIGNEE. PLANTS FOUND TO BE IN POOR HEALTH OR LACKING NORMAL GROWTH HABIT DURING THE TWENTY-FOUR (24) MONTH GUARANTEE PERIOD SHALL BE REPLACED WITH NURSERY-GROWN PLANTS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, WITHIN THIRTY (30) DAYS OF BEING NOTICED BY THE TOWNSHIP. IF NOTIFICATION IS MADE OUT OF SEASON REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON. IF THE ORIGINAL PLANTS OCCUR SUBSTITUTE SPECIES ACCEPTABLE TO THE TOWNSHIP ENGINEER AND SUITABLE FOR THE SITE'S ENVIRONMENTAL CONDITIONS OR PLANTING SCHEME MAY BE USED AND A REVEALED LANDSCAPE PLAN SHALL BE FILED WITH THE TOWNSHIP ENGINEER AFTER INSTALLATION. ALL REPLACEMENT PLANTS SHALL BE SUBJECT TO A NEW TWENTY-FOUR (24) MONTH GUARANTEE PERIOD AND INSPECTIONS BY THE TOWNSHIP AS PRESCRIBED IN SUBSECTIONS 2 AND 3 ABOVE.
  11. MULCH IS TO BE SHREDDED BARK MULCH BED THICKNESS SHALL BE TWO (2) INCHES MINIMUM AFTER LIGHT TAMPING, EXCEPT THAT MULCH DEPTH AT ANNUAL FLOWERS SHALL BE 1 1/2\"/>
  - 12. ALL LANDSCAPE PLANTING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ACCEPTED PRACTICES AS RECOMMENDED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANTING AND MAINTENANCE OF VEGETATION SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO, PROVISIONS FOR PRUNING, MULCHING, WEEDING, AND WATERING.
  - 13. SHADE TREES SHALL HAVE A MINIMUM 8 FEET OF CLEAR TRUNK ABOVE FINISH GRADE.
  - 14. THE APPLICANT GUARANTEES THAT ALL REQUIRED LANDSCAPE IMPROVEMENTS SHALL BE MAINTAINED IN A HEALTHY AND SOUND CONDITION, OR OTHERWISE BE REPLACED BY EQUIVALENT IMPROVEMENTS, FOR A PERIOD OF TWENTY-FOUR (24) MONTHS FOLLOWING TOWNSHIP INSPECTION / APPROVAL.
  - 15. GROUND COVER SHRUBS, HERBACEOUS PERENNIALS, BULBS AND ANNUALS SHALL BE SPACED SO THAT 100 PERCENT OF THE BEDS ARE COVERED AFTER 3 YEARS GROWTH.
  - 16. TREES AND SHRUBS SHALL BE PLANTED BETWEEN SEPTEMBER 1 AND NOVEMBER 15 OR MARCH 1 AND MAY 31



Convenience Architecture and Design P.C.	PRECAST CONCRETE 2000 GALLON COMMERCIAL GREASE INTERCEPTOR	DATE: 06-03-19	SCALE: AS NOTED
THR	101-SD-LD-SHITZ DTL	JOB NO: 101-50	SCALE: AS NOTED
DATE: 06-03-19			

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NO.	DATE	REVISION	BY
1	7-3-19	PER JMT REVIEW DATED 7-1-19	THR
1	7-3-19	PER YPC REVIEW 6-27-19	THR
1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR
1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR

SHEET STORE #268  
 MINOR LAND DEVELOPMENT PLAN  
 SHEETZ, INC  
 3200 CAPE HORN ROAD  
 YORK COUNTY PENNSYLVANIA  
 YORK TOWNSHIP

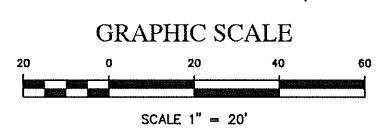
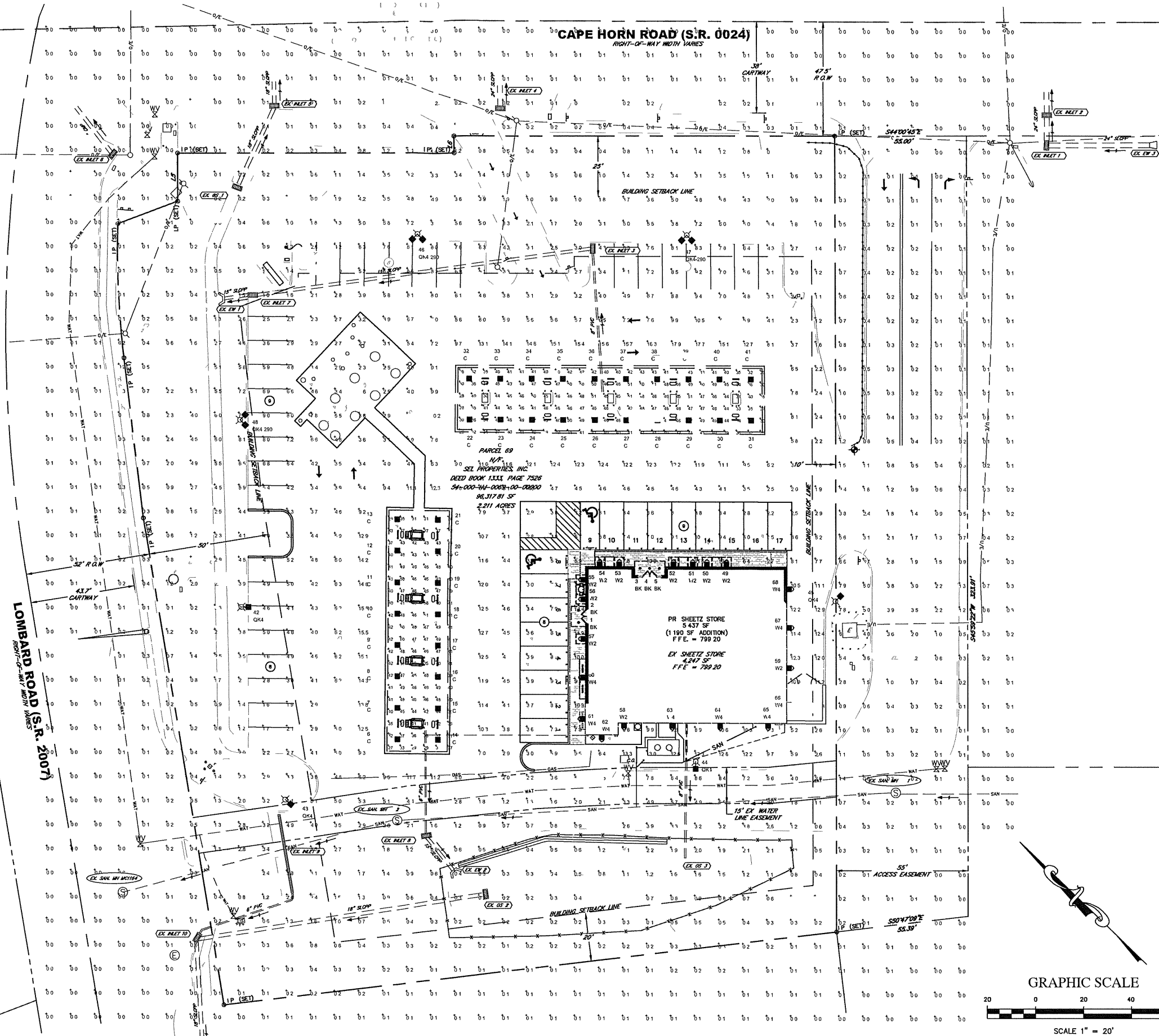
DRAWN BY: THR	CHECK BY: THR
CADD FILE NO: 101-SD-LD-SHITZ DTL	DATE: 06-03-19
JOB NO: 101-50	SCALE: AS NOTED

**LEGEND**

- ADJOINING PROPERTY LINE
- EASEMENT LINE
- CENTER LINE
- EXISTING GRADES
- EXISTING INDEX GRADES
- EXISTING CURB
- EXISTING DRAINAGE
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD TELEPHONE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING NATURAL GAS
- EXISTING SANITARY SEWER
- EXISTING WATER
- PROPERTY LINE
- RIGHT-OF-WAY
- STREAM
- 100 YEAR FLOOD PLAIN
- SOILS BOUNDARY
- ZONING BOUNDARY
- EXISTING TREE LINE
- PROPOSED CURB
- PROPOSED GRADES
- PROPOSED INDEX GRADES
- PROPOSED DRAINAGE
- PROPOSED SANITARY SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED NATURAL GAS
- PROPOSED WATER
- PROPOSED TREE LINE

- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- INLET

EXISTING      PROPOSED



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1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR

**SHEETZ STORE #268**  
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 YORK COUNTY, PENNSYLVANIA

**LIGHTING PLAN**

DRAWN BY	THR	CHECK BY	THR
CADD FILE NO.	101-SD.LD.LGT		
DATE	06-03-19	JOB NO.	101-SD
		SCALE	1" = 20'

**SHEET**  
**C-7**







# EROSION & SEDIMENTATION CONTROL PLAN

## SHEETZ STORE #268 YORK COUNTY, PENNSYLVANIA YORK TOWNSHIP

**EROSION NOTES**

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE YORK COUNTY CONSERVATION DISTRICT.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES INCREASING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND NOTIFY THE YORK COUNTY CONSERVATION DISTRICT.
- INSTALL EROSION & SEDIMENT CONTROLS PER THE CONSTRUCTION DETAILS AND LOCATIONS PROVIDED ON THE PLAN.

**STANDARD EROSION AND SEDIMENT CONTROL NOTES**

- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN DRAWINGS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION, COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHENEVER POSSIBLE PRIOR TO SEEDING.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE YORK COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE DISTRICT MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE EARTH DISTURBANCE ACTIVITY, OR FAILURE TO TAKE IMMEDIATE CORRECTION ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 802 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM USED ASPHALT DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
- ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
- ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY MANAGEMENT OF CLEAN FILL.
- CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THE AREA DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. ONLY DISTURB INITIALLY WHAT IS NEEDED TO INSTALL BMP'S.
- ALL WASTES AND MATERIALS DEPOSITED IN AND REMOVE FROM POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) BMP FACILITIES AND FROM IMPERVIOUS AREAS (EX. SWEEPING OF STREETS & PARKING LOTS) DURING OPERATION AND MAINTENANCE SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO WASTE MATERIALS SHALL BE BURIED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.

**MAINTENANCE PROGRAM**

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- ANY SEDIMENT REMOVED FROM BMPs DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND INCORPORATED INTO THE SITE GRADING.
- A LOG SHOWING THE DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE YORK COUNTY CONSERVATION DISTRICT OR OTHER REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.

**SOILS LIMITATIONS AND RESOLUTIONS**

- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOO, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

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FCE # 101-50  
DATE: 06-03-19  
PROJECT MANAGER: JMG  
DRAWN BY: THR  
CHECKED BY:

**PA ONE CALL**

PA ONE CALL ID NUMBER FOR THIS JOB IS 20171212258.  
LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DRAWINGS, AND/OR SURFACE EVIDENCE ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM (1-800-242-1778), A MINIMUM OF 3 DAYS PRIOR TO EXCAVATION AS REQUIRED BY PA ACT 121 (Oct. 2009).

**HANDLING OF MATERIALS WITH POTENTIAL TO CAUSE POLLUTION**

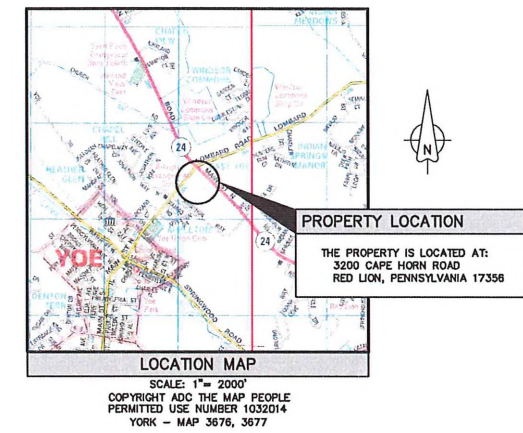
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES INCREASING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND CONTACT THE YORK COUNTY CONSERVATION DISTRICT TO ENSURE THAT THE BMPs INSTALLED IS SUFFICIENT FOR THE SITUATION.

**STABILIZATION SPECIFICATIONS**

- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.

**CONSTRUCTION SEQUENCE**

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE THE FOLLOWING STAGE IS INITIATED. TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ONLY DISTURB INITIALLY WHAT IS NEEDED TO INSTALL THE BMP'S.
- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE YORK COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1778 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- FIELD MARK THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLAN. INSTALL WEIGHTED SEDIMENT FILTER TUBE WHERE INDICATED ON THE PLAN. INSTALL INLET PROTECTION IN EXISTING INLETS WHERE INDICATED ON THE PLAN. INSTALL COMPOST FILTER SOCK WHERE INDICATED ON THE PLAN.
- BEGIN THE CONSTRUCTION OF THE BUILDING EXPANSION. TAKE CARE TO PREVENT CONSTRUCTION DEBRIS FROM ACCUMULATING ON SITE.
- EXCAVATE AND REMOVE CONCRETE UNDER FUEL CANOPY AND EXISTING PETROLEUM PIPING FROM THE UNDER GROUND TANKS TO THE FUEL CANOPY. REPLACE PUMP ISLAND AND DISPENSERS AND REPLACE CONCRETE PAVING AS INDICATED ON THE PLAN.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNERS AND/OR OPERATORS SHALL CONTACT THE YORK COUNTY CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL OF THE BMP'S.
- ONCE SITE IS PERMANENTLY STABILIZED (PERMANENT STABILIZATION IS DEFINED AS: A MINIMUM OF 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH DENSITY SUFFICIENT TO RESIST EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS) AND WITH CONSENT FROM THE YORK COUNTY CONSERVATION DISTRICT, REMOVE THE REMAINING SEDIMENT CONTROLS FROM THE SITE AND SEED AND MULCH ANY DISTURBED AREAS CAUSED BY THEIR REMOVAL.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMP'S AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE YORK COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION.
- THE ORDER OF THE ABOVE SCHEDULE IS SUBJECT TO CHANGE DUE TO SITE-SPECIFIC CONDITIONS AND CONSTRUCTION METHODS. ANY CHANGES SHOULD BE MADE UNDER THE DIRECTION OF A REPRESENTATIVE FROM THE YORK COUNTY CONSERVATION DISTRICT.



**E&S SHEET LIST TABLE**

SHEET NUMBER	SHEET TITLE
ES-CS	EROSION & SEDIMENTATION COVER SHEET
ES-1	EROSION & SEDIMENTATION CONTROL PLAN
ES-2	EROSION & SEDIMENTATION CONTROL DETAILS

**ENGINEER'S CERTIFICATION**

I, JACOB M. DORTCH, A REGISTERED PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN WAS PREPARED USING ACCEPTED ENGINEERING METHODS AND TO THE BEST OF MY KNOWLEDGE, REPRESENTS THE EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS AS SURVEYED AND PLOTTED UNDER MY DIRECTION FOR THE OWNERS OR AGENTS.

JACOB M. DORTCH, PROFESSIONAL ENGINEER, PA NO. PE084945

DATE: \_\_\_\_\_

No.	DATE	REVISION	BY

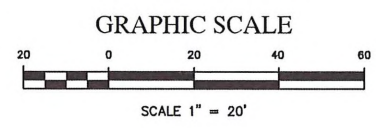
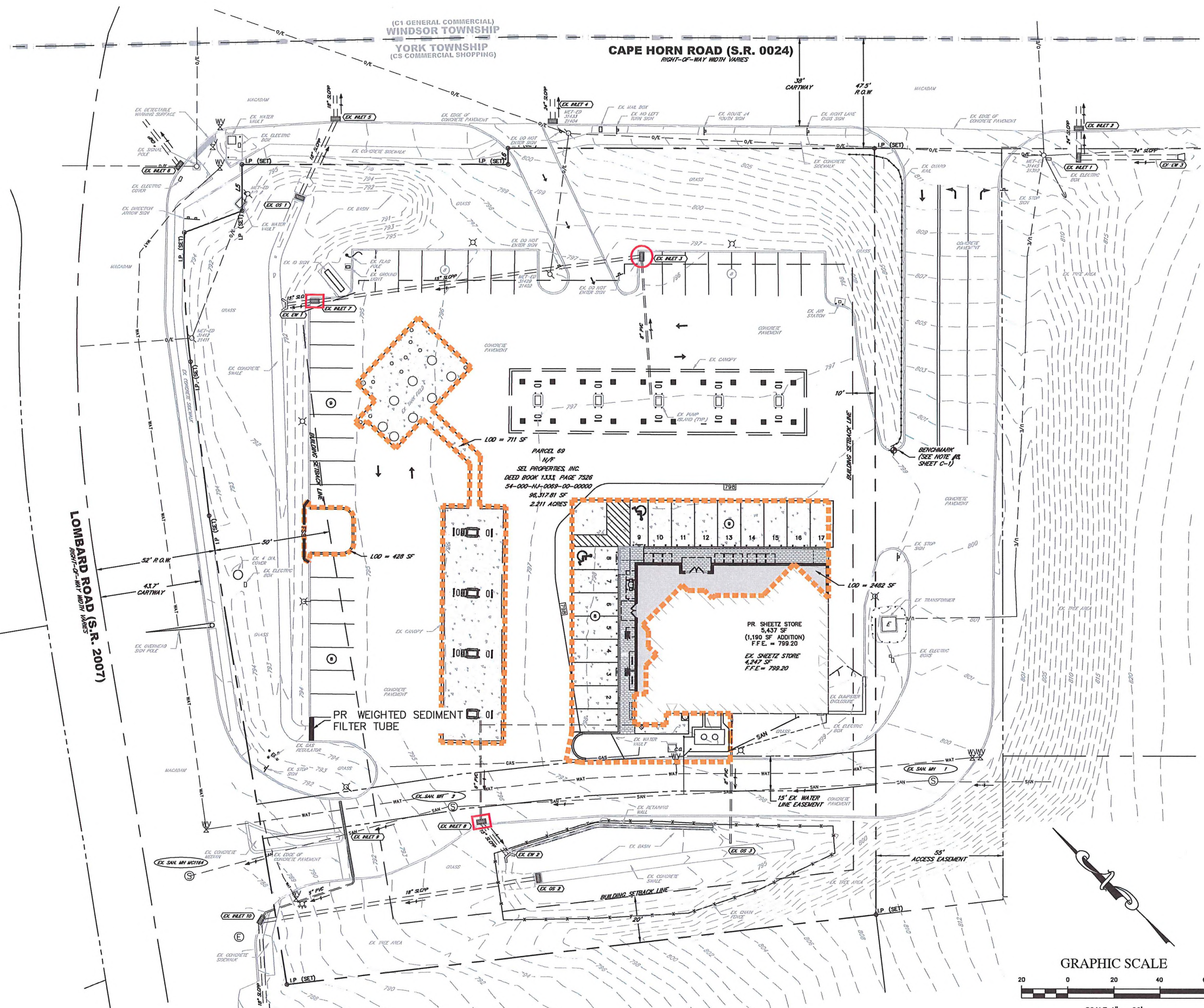
**LEGEND**

ADJOINING PROPERTY LINE	---
EASEMENT LINE	---
CENTER LINE	---
EXISTING GRADES	---
EXISTING INDEX GRADES	---
EXISTING CURB	---
EXISTING DRAINAGE	---
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EXISTING NATURAL GAS	---
EXISTING SANITARY SEWER	---
EXISTING WATER	---
PROPERTY LINE	---
RIGHT-OF-WAY	---
STREAM	---
100 YEAR FLOOD PLAIN	---
SOILS BOUNDARY	---
ZONING BOUNDARY	---
EXISTING TREE LINE	---
PROPOSED CURB	---
PROPOSED GRADES	---
PROPOSED INDEX GRADES	---
PROPOSED DRAINAGE	---
PROPOSED SANITARY SEWER	---
PROPOSED UNDERGROUND ELECTRIC	---
PROPOSED NATURAL GAS	---
PROPOSED WATER	---
PROPOSED TREE LINE	---

SANITARY SEWER MANHOLE	⊙
STORM DRAIN MANHOLE	⊙
INLET	⊙
RCP	---
CO	---
CMP	---
WEIGHTED SEDIMENT FILTER TUBE	---
12" FILTREXX SILT SOXX	---
LIMIT OF DISTURBANCE	---
FILTER BAG INLET PROTECTION	---
STONE INLET PROTECTION	---

REFERENCE PLAN SHEET C-1 FOR GENERAL CONSTRUCTION AND SOILS LIMITATION NOTES.

DISTURBED AREA 11,905 SQ FT / 0.27 ACRES



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1	7-3-19	PER JMT REVIEW DATED 7-1-19	THR
1	7-3-19	PER YOPC REVIEW 6-27-19	THR
1	7-3-19	PER GANNETT FLEMING REVIEW 6-24-19	THR

**SHEETZ STORE #268**  
 MINOR LAND DEVELOPMENT PLAN  
 SHEETZ, INC.  
 3200 CAPE HORN ROAD  
 YORK TOWNSHIP YORK COUNTY, PENNSYLVANIA

**EROSION & SEDIMENTATION CONTROL PLAN**

DRAWN BY	SSP
CHECK BY	SSP
CADD FILE NO.	101-SD-ES-CRD
JOB NO.	101-SD
DATE	06-03-19
SCALE	1" = 20'

SHEET  
**ES-1**

**SEEDING & STABILIZATION**

THE CONTRACTOR SHALL PLACE TOPSOIL, TO A MINIMUM OF 6 INCHES, IN THOSE AREAS WHICH HAVE BEEN DISTURBED BY WORK.  
IT SHALL BE RAKED AND TRIMMED TO TRUE LINES, AND SHALL BE FREE FROM UNSIGHTLY VARIATIONS. IF SEEDING IS NOT POSSIBLE, SWALES AND ALL OTHER DISTURBED AREAS THAT WOULD NORMALLY BE SEEDING MUST BE COVERED WITH JUTE MATTING UNTIL SEEDING IS EFFECTIVE.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON GERMINATION PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

**TEMPORARY SEEDING**

1. SEEDBED PREPARATION - LOOSEN UPPER 3 INCHES BY DISCING, RAKING, OR OTHER ACCEPTABLE MEANS
2. SEEDING - FOR THE PERIOD OF MARCH 1 THRU OCTOBER 31 APPLY 10 LBS./1,000 SQ. YDS. "FAST GROW" ANNUAL RYEGRASS AND FOR THE PERIOD OF NOVEMBER 1 THRU FEBRUARY 28 APPLY 10 LBS./1,000 SQ. YDS. WINTER RYEGRASS.
3. MULCHING - CLEAN HAY OR STRAW APPLY MULCH UNIFORMLY AT A MINIMUM RATE OF 3 TONS/ACRE FOR TEMPORARY AND PERMANENT SEEDING. PROPERLY ANCHOR THE MULCH. MULCHING MUST ALSO BE PROVIDED FOR THE STABILIZATION OF DISTURBED AREAS DURING THE NON-GROWING SEASON.
4. APPLY LIME, FERTILIZER, AND MULCH AS FOLLOWS: PULVERIZED AGRICULTURAL LIMESTONE, 1 TON/ACRE, 5-5-5 COMMERCIAL ANALYSIS FERTILIZER, 1,000 LBS./ACRE. MULCH, 3 TONS/ACRE.

**PERMANENT SEEDING & MULCHING**

1. SITE PREPARATION
  - 1.1. INSTALL EROSION CONTROL PRACTICES SHOWN ON PLAN
  - 1.2. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, ANCHORING AND MAINTENANCE
2. SEEDBED PREPARATION

FLAT AREAS AND SLOPES UP TO 3 TO 1 GRADE SHALL BE LOOSE AND FRIABLE TO A DEPTH OF AT LEAST 2 INCHES. THE TOP LAYER OF SOIL SHALL BE LOOSENED BY RAKING, DISCING, OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

**3. SOIL AMENDMENTS**

APPLY 4 TONS/ACRE OF PULVERIZED AGRICULTURAL LIMESTONE, 1000 LBS./ACRE. OF 10-20-20 COMMERCIAL ANALYSIS FERTILIZER.

**4. SEEDING**

SEED MIXTURE	SEED WEIGHT	PURITY	MINIMUM % GERMINATION
MARQUIS KENTUCKY BLUEGRASS	30	98	85
RIVERA PERENNIAL RYEGRASS	30	95	85
PENNLAWN RED FESCUE	20	98	85

WHENEVER SEEDING IS TO BE DONE ON SLOPES STEEPER THAN 3:1, SEED MIXTURES SHOULD BE SELECTED THAT ARE APPROPRIATE FOR STEEP SLOPES. TABLE 4 IN THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND AND TABLE 4 (SECTION 804.2(b)) IN PADOT PUBLICATION 208 IDENTIFY SEED MIXTURES SUITABLE FOR STEEP SLOPE CONDITIONS.

PA DOT FORMULA D IN AREAS OF THE STORMWATER DETENTION BASIN

APPLY SEED AT A MINIMUM OF 20 LBS. PER 1,000 S.Y. SPECIFIC SEED MIX TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. PERMANENT SEEDING TO BE DONE BETWEEN MARCH 15 AND OCTOBER 15 AND PREFERRED PERIODS ARE MARCH 15 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15.

NOTE: EQUIVALENT SEED MIXTURES AND APPLICATION RATES MAY BE USED PROVIDED THEY ARE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

**5. MULCHING**

CLEAN HAY OR STRAW APPLY MULCH UNIFORMLY AT A MINIMUM RATE OF 3 TONS/ACRE FOR TEMPORARY AND PERMANENT SEEDING. PROPERLY ANCHOR THE MULCH. MULCHING MUST ALSO BE PROVIDED FOR THE STABILIZATION OF DISTURBED AREAS DURING THE NON-GROWING SEASON.

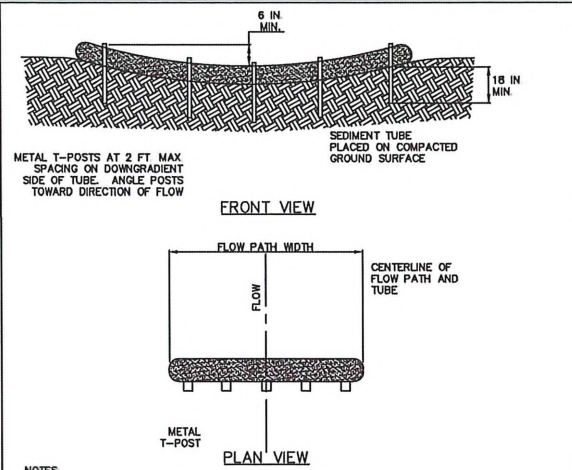
**6. IRRIGATION**

IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDLINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED, IF FEASIBLE. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON IN ABNORMALLY DRY OR HOT SEASONS OR ON ADVERSE SITES.

**7. MAINTENANCE**

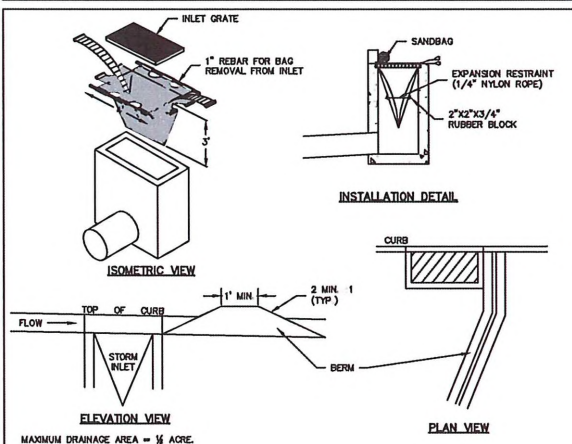
- 7.1. IRRIGATION - IF SOIL MOISTURE BECOMES DEFICIENT, IRRIGATE TO PREVENT LOSS OF STAND OF PROTECTIVE VEGETATION, IF FEASIBLE.
- 7.2. REPAIRS - INSPECT ALL SEED AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE.
  - 7.2.1. IF STAND IS INADEQUATE FOR EROSION CONTROL, OVERSEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY APPLIED.
  - 7.2.2. IF STAND IS OVER 60% DAMAGE, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER, SEEDBED PREPARATION AND SEEDING RECOMMENDATIONS.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED EROSION CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
9. ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 271.1 et seq., AND 287.1 et seq. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.
10. THE PERMITTEE AND CO-PERMITTEE SHALL TAKE ALL REASONABLE STEPS TO MINIMIZE OR PREVENT ANY DISCHARGE IN VIOLATION OF THIS PERMIT WHICH HAS A LIKELIHOOD OF ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT.
11. IF FUEL OR OTHER DANGEROUS CHEMICALS ARE STORED ON SITE, THEN A PREPAREDNESS, PREVENTION AND CONTINGENCY (PPC) PLAN MUST BE DEVELOPED AND KEPT ON SITE.
12. PRIOR TO THE COMMENCEMENT OF EARTH DISTURBANCE ACTIVITIES FOR ADDITIONAL PHASE OR PORTION OF THE PROJECT, THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR EACH ADDITIONAL PHASE OR PORTION OF THE PROJECT FOR REVIEW AND AUTHORIZATION BY THE DISTRICT.

FORMULA AND SPECIES	% BY WEIGHT	MINIMUM %		MAX. % WEED SEED	SEEDING RATE LBS PER 1000 SY
		PURITY	GERMINATION		
FORMULA D - MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 15					21.0 TOTAL
• TALL FESCUE (FESTUCA ARUNDINACEA VAR KENTUCKY 31)	70	98	85	0.15	15.0
• CREEPING RED FESCUE OR CHEWINGS FESCUE	30	98	85	0.15	6.0



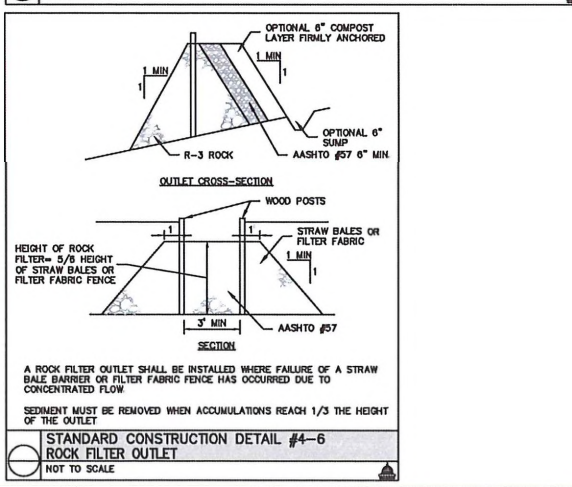
**STANDARD CONSTRUCTION DETAIL #4-4**  
**WEIGHTED SEDIMENT TUBE INSTALLATION IN A CONCENTRATED FLOW AREA**  
NOT TO SCALE

NOTES:  
THIS DETAIL APPLICABLE TO FLOW PATHS WITH WIDTHS LESS THAN OR EQUAL TO ONE TUBE LENGTH.  
METAL T-POSTS SHALL BE INSTALLED AT THE CENTER AND AT EACH END OF THE TUBE. ADDITIONAL T-POSTS SHALL BE INSTALLED AS NEEDED TO MEET THE MAXIMUM 2-FOOT SPACING.  
SEDIMENT TUBES SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT  
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE TUBE AND DISPOSED AS DIRECTED ELSEWHERE IN THE E&S PLAN.  
DAMAGED TUBES SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION. A SUPPLY OF TUBES SHALL BE KEPT ON SITE FOR THIS PURPOSE.



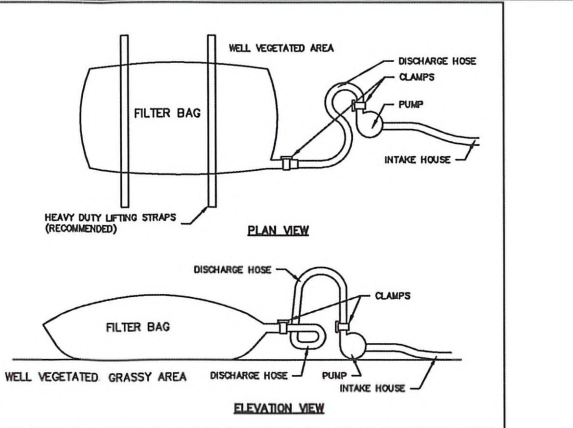
**STANDARD CONSTRUCTION DETAIL #4-15**  
**INLET PROTECTION - TYPE C INLET**  
NOT TO SCALE

MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
THIS DETAIL TO BE USED FOR INLETS 1, 2, 3, 4, 6, 8, 10, 12, 13, 14, 15, 17, 18, 20, 21, 22, 23, 24, 25, AND EX. INLET B.  
INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENTATION BASIN OR TRAP BERMS REQUIRED FOR ALL INSTALLATIONS.  
EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED.  
SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.  
AT A MINIMUM THE FABRIC SHALL HAVE A MINIMUM ORAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI AND A MINIMUM TRIPE-SDIA. TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.  
INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT BAGS SHALL BE EMPTIED AND REUSED OR REPLACED WHEN 1/2 FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED 50 AS TO CAUSE FLOODING BYPASSING OF THE INLET DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.  
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS



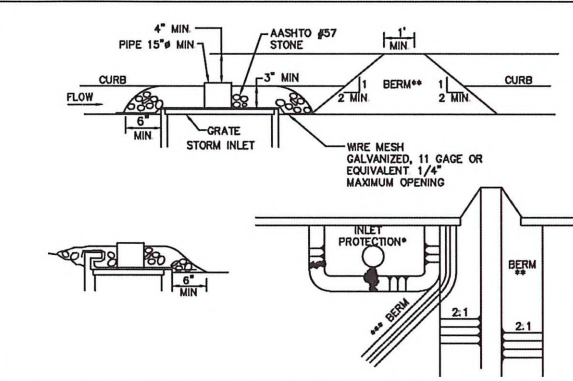
**STANDARD CONSTRUCTION DETAIL #4-6**  
**ROCK FILTER OUTLET**  
NOT TO SCALE

A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A STRAW BALE BARRIER OR FILTER FABRIC FENCE HAS OCCURRED DUE TO CONCENTRATED FLOW.  
SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.



**STANDARD CONSTRUCTION DETAIL #3-16**  
**PUMP WATER FILTER BAG**  
NOT TO SCALE

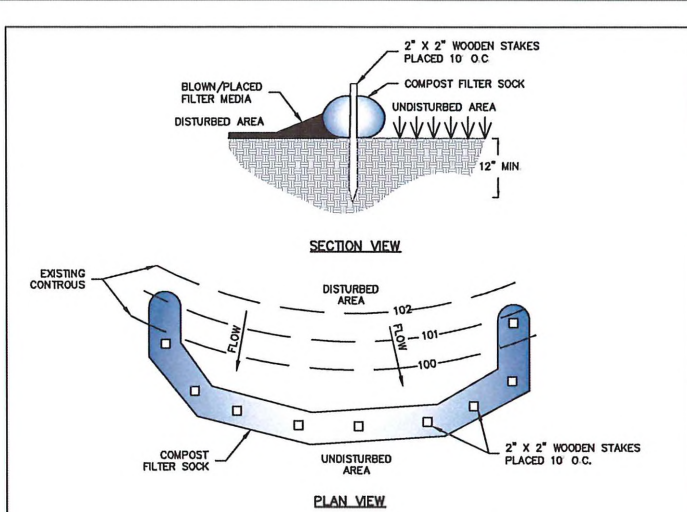
FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.  
A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. IT IS RECOMMENDED THAT BAGS BE PLACED ON STRAPS TO FACILITATE REMOVAL.  
BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS WHERE THIS IS NOT POSSIBLE. A GEOTEXTILE UNDERLAMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 6% FOR SLOPE EXCEEDING 6% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLATING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.  
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHOULD BE INSTALLED BELOW BAGS LOCATED WITHIN 50 FEET OF RECEIVING STREAM OR WHERE GRASSY ARE IS NOT AVAILABLE. A COMPOST BERM OR COMPOST FILTER SOCK SHALL BE PLACED BELOW ANY BAG DISCHARGING TO A SPECIAL PROTECTION SURFACE WATER.  
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.  
THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATED AND SCREENED.  
FILTER BAGS SHOULD BE INSPECTED DAILY IF ANY PROBLEM IS DETECTED PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.



**STANDARD CONSTRUCTION DETAIL #4-19**  
**STONE INLET PROTECTION AND BERM - TYPE C INLET**  
NOT TO SCALE

\* STONE PROTECTION IS NOT REQUIRED FOR INLETS TRIBUTARY TO SEDIMENTATION BASINS AND SEDIMENT TRAPS. BERMS ARE REQUIRED FOR ALL INSTALLATIONS.  
\*\* EARTHEN BERM TO BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM TO BE MAINTAINED UNTIL ROADWAY IS PAVED.  
\*\*\* SIX INCH MINIMUM ASPHALT BERM TO BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.  
ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 OVERFLOW PIPE AND 4 HEAD.  
A PERFORATED PLATE WELDED TO A METAL RISER MAY NOT BE SUBSTITUTED FOR THE WIRE MESH. A SLOTTED PLATE WELDED TO THE RISER MAY BE USED IN CONJUNCTION WITH THE WIRE MESH IF CALCULATIONS ARE PROVIDED TO SHOW SUFFICIENT CAPACITY OF THE INLET TO ACCEPT THE PEAK RUNOFF FOR A 2-YEAR STORM EVENT FROM THE TRIBUTARY DRAINAGE AREA. FOR SYSTEMS DISCHARGING TO AN HQ OR EV SURFACE WATER, ADD 6 INCH THICK COMPOST LAYER OVER TOP AND UPSTREAM SIDE OF STONE.  
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.  
SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.  
FOR SYSTEMS DISCHARGING TO AN HQ OR EV SURFACE WATER A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED OVER TOP AND UPSTREAM SIDE OF STONE. COMPOST SHALL MEET THE FOLLOWING STANDARDS:

ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/MAXIMUM



**STANDARD CONSTRUCTION DETAIL #4-1**  
**COMPOST FILTER SOCK**  
NOT TO SCALE

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.  
COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.  
TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.  
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
BIODEGRADABLE FILTER SOCK SHALL BE PLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.  
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND MULCH SPREAD AS A SOIL SUPPLEMENT.

MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MPPF)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18"	12" 18"	12" 18"	12" 18"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	3/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR	23% AT 1000 HR		100% AT 1000 HR	100% AT 1000 HR
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

INNER CONTAINMENT NETTING	HDPE BIAXIAL NET CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES 3/4" X 3/4" MAX APERTURE SIZE
OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH) 3/8" MAX. APERTURE SIZE

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 1" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/M (MHOS/CM) MAXIMUM

**STANDARD CONSTRUCTION DETAIL #4-1**  
**COMPOST FILTER SOCK**  
NOT TO SCALE

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NO.	DATE	BY	REVISION
1	7-3-18	THR	PER AIT REVIEW DATED 7-1-18
1	7-3-18	THR	PER YDPC REVIEW 6-27-18
1	7-3-18	THR	PER GANNETT FLEMING REVIEW 6-24-18

SHEETZ STORE #268  
MINOR LAND DEVELOPMENT PLAN  
SHEETZ, INC.  
3200 CAPE HORN ROAD  
YORK COUNTY, PENNSYLVANIA  
YORK TOWNSHIP

**EROSION & SEDIMENTATION CONTROL DETAILS**

DRAWN BY	SSP	CHECK BY	SSP
CADD FILE No.	101-SD-ES-DTL	JOB No.	101-SD
DATE	06-03-19	SCALE	N.T.S.