

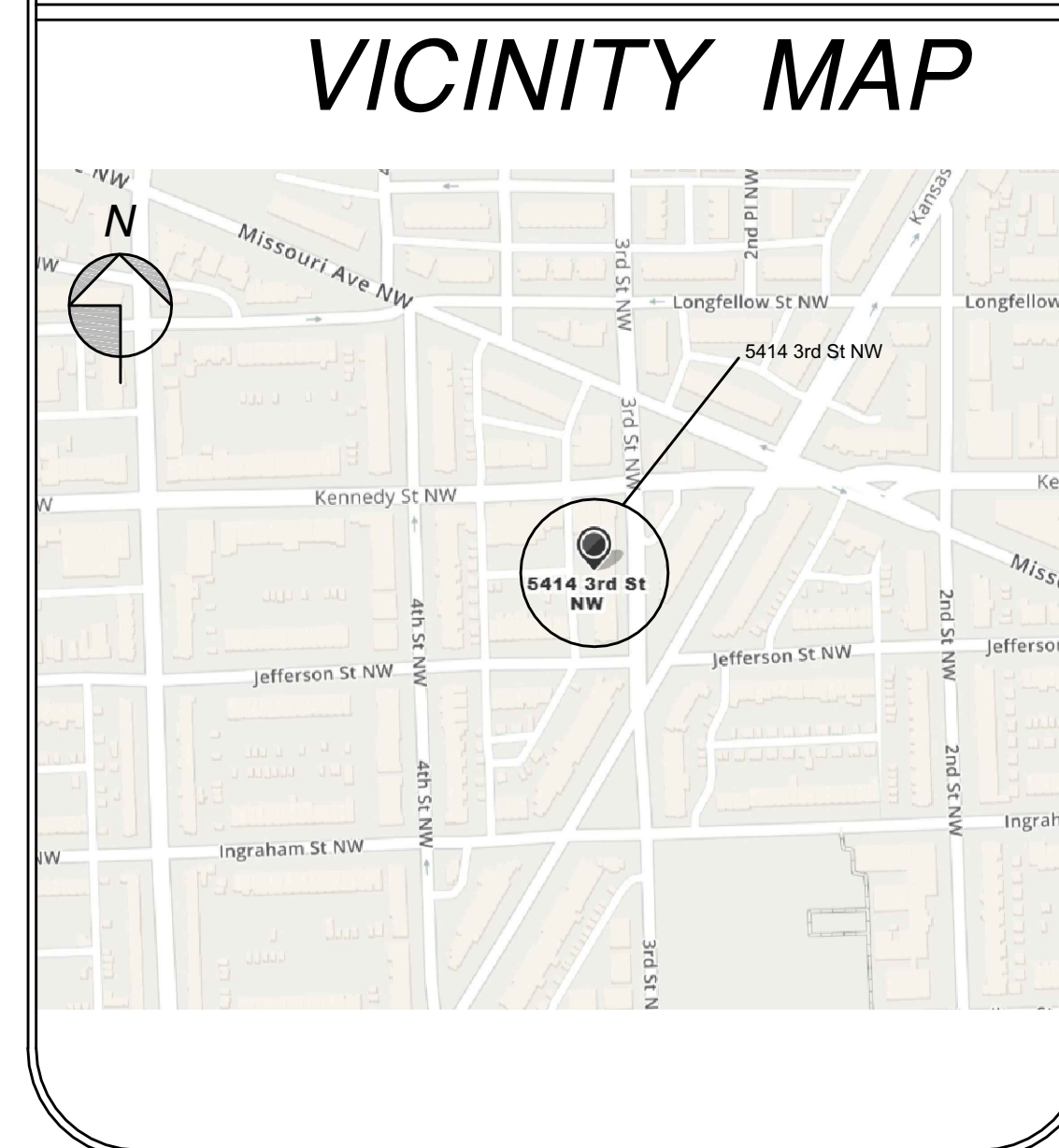
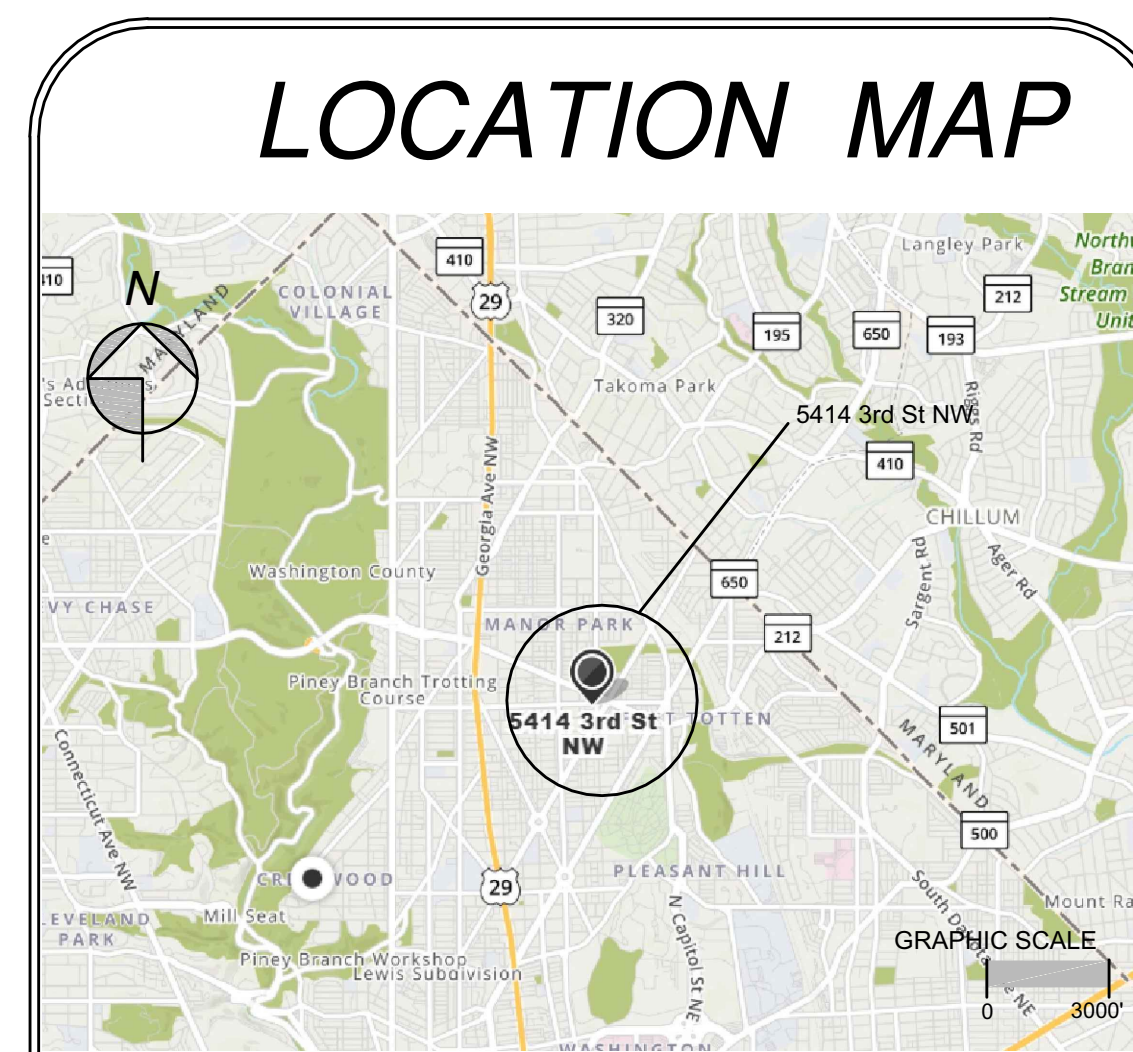
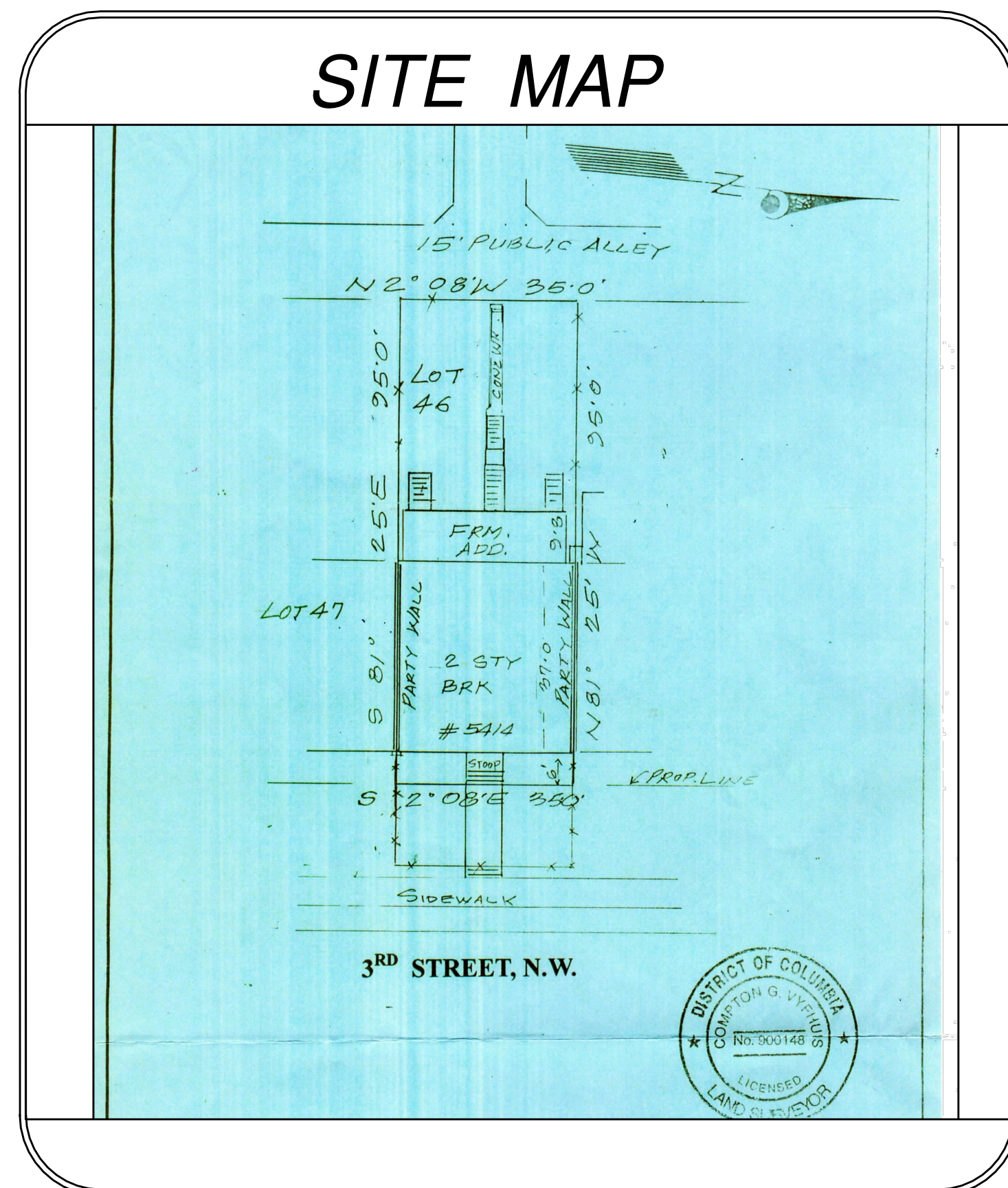
5414 3rd STREET NW LLC RENOVATIONS & ADDITIONS

5414 3rd Street NW
WASHINGTON, DC
SQUARE: 3296 - LOT: 046

GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
PLANS APPROVED
Permit No. 81902933 Date 01/18/23
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DRAWING LIST

	ARCHITECTURAL	ENERGY
A000 Cover Sheet	D100 Cellar & First Floor Existing & Demolition Plans	EV100 Energy Verification Sheet
A001 Code Analysis and Partition Types	D110 Second Floor Existing & Demolition Plan	EV110 Energy Details & Notes
	A100 Cellar and First Floor Plans	
CIVIL	A110 Second and Third Floor Plans	MECHANICAL, ELECTRICAL & PLUMBING
C001 Existing & Proposed Site Plan	A120 Roof Plan	M100 Cellar & First Floor Mechanical Plans
C020 Erosion & Sediment Control Plan	A200 Exterior Elevations	M110 Second & Third Floor Mechanical Plans
C030 Erosion & Sediment Control Notes	A300 Building Section	M200 Mechanical Specifications and Notes
	A310 Wall Section	
	A320 Wall Sections Details	P100 Cellar & First Floor Plumbing Plans
	A400 Finish, Door and Window Schedules	P110 Second & Third Floor Plumbing Plans
	A410 Enlarged Floor Plans & Interior Elevations	P200 Plumbing Risers Diagrams and Notes
	A500 Wall Bracing Details	
	STRUCTURAL	E100 Cellar & First Floor Electrical Plans
	S100 Foundation Plan	E110 Second & Third Floor Electrical Plans
	S110 First and Second Floor Framing Plans	E120 Roof Electrical Plan
	S120 Third Floor and Roof Framing Plans	E200 Electrical Schedules Notes and Details
	S130 Roof Deck Framing Plan	
	S140 TJI Details	
	S150 Contingency Bracing Details	
	S200 Structural Specifications	
	S210 Underpinning Notes & Statement of Special Inspections	



ARCHITECT
MWB
M-W-B Architects, PC
4552 Argyle Terrace, NW Suite B-01
Washington, DC 20011-4253
V. 202 6741287
E-mail: atbanks@mwbarchitects.com

PROJECT NAME
5414 3rd Street NW LLC
Renovations & Additions
5414 3rd Street NW
Washington, DC 20011
Square 3296 Lot 046

CLIENT
5414 3rd Street NW LLC
1717 N Street NW Unit #1
Washington, DC 20036

REVISIONS
REVIEW CODE MODS 04/18/2022
REVIEW CODE MODS 08/12/2022
3
4
5

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Renovations & Additions
5414 3rd Street NW
WASHINGTON, D.C. 20011
Square 3296 - Lot 046

DRAWING TITLE
Cover Sheet

ATTESTATION STATEMENT
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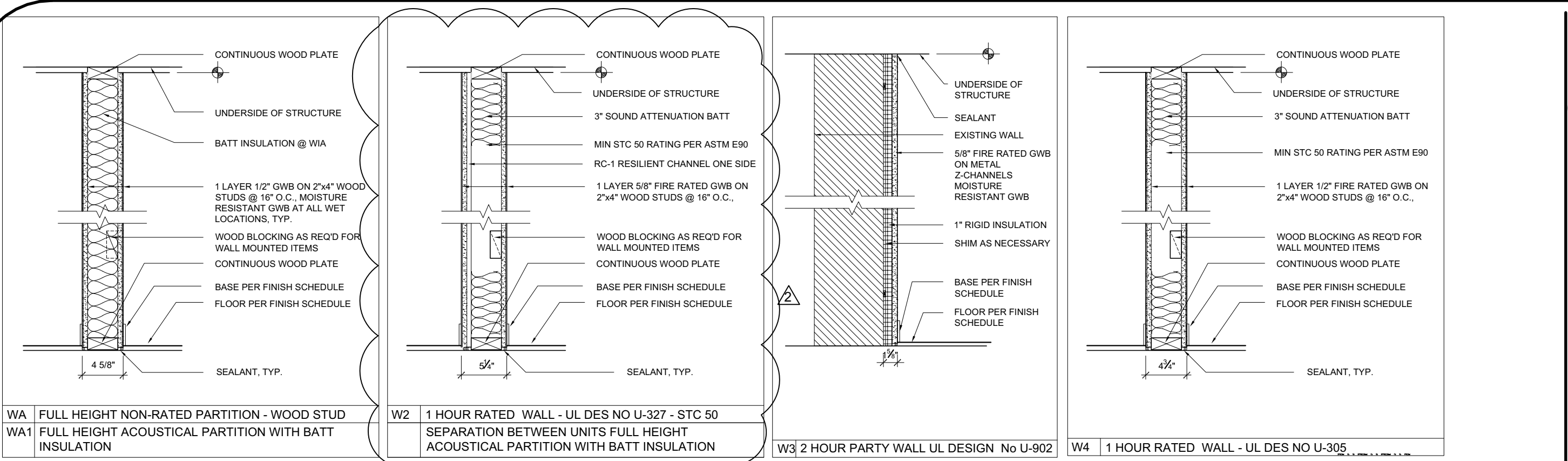


JULY 15, 2019
DATE OF ISSUE
ISSUED FOR PERMIT
DESCRIPTION
NTS MWB
SCALE DRAWN BY
21-2018 PROJECT # FILE NAME

DRAWING NUMBER

A000

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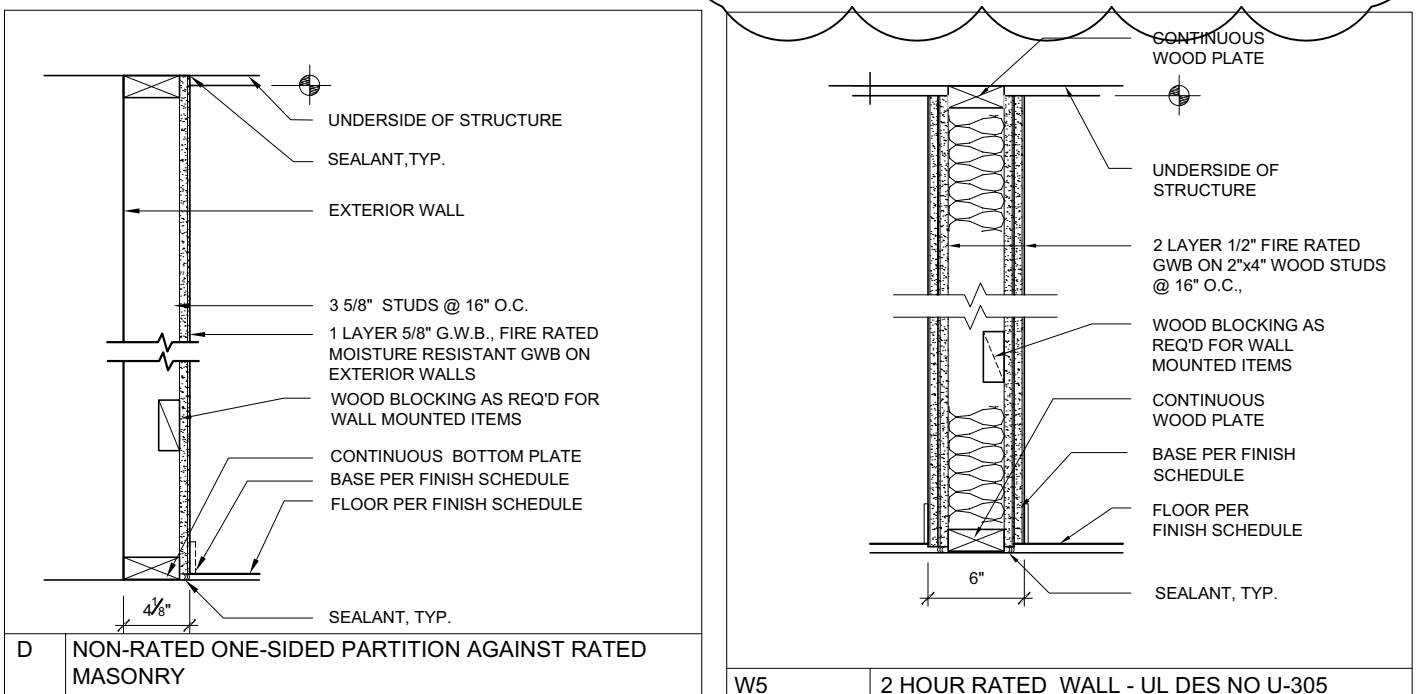


1 PARTITION TYPE DETAILS
 A001 SCALE: 1" = 1'-0"

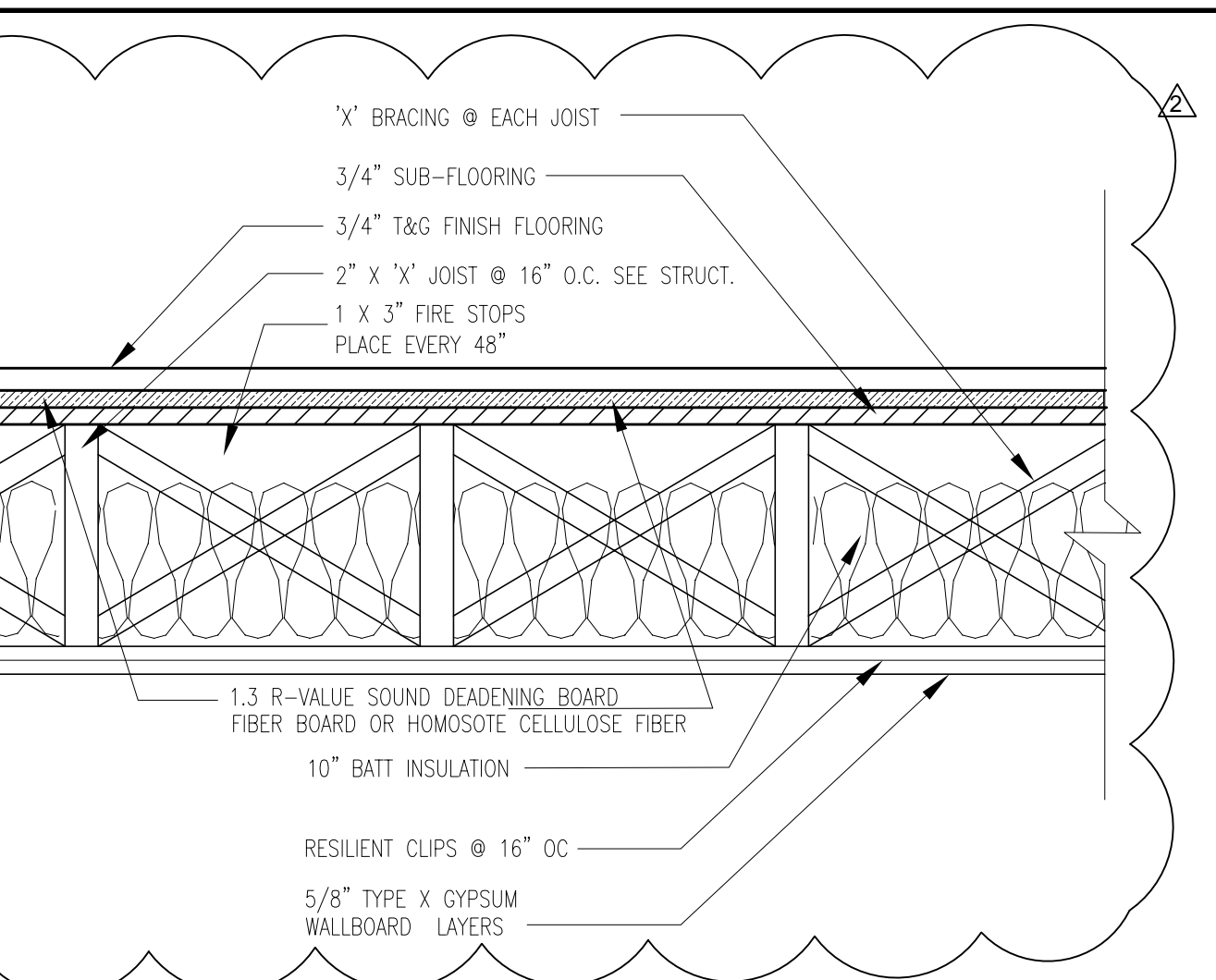
UNIT TYPE	AREA (SF)	No. of UNITS
UNIT #1 3 br + Den 3 baths + 2 1/2 baths	1,605 sf	1
UNIT #2 3 br + Den 3 baths + 2 1/2 baths	1,605 sf	1
UNIT #3 3 br + Den 3 baths + 2 1/2 baths	1,605 sf	1
UNIT #4 3 br + Den 3 baths + 2 1/2 baths	1,605 sf	1
Total		4

SCALE: NTS

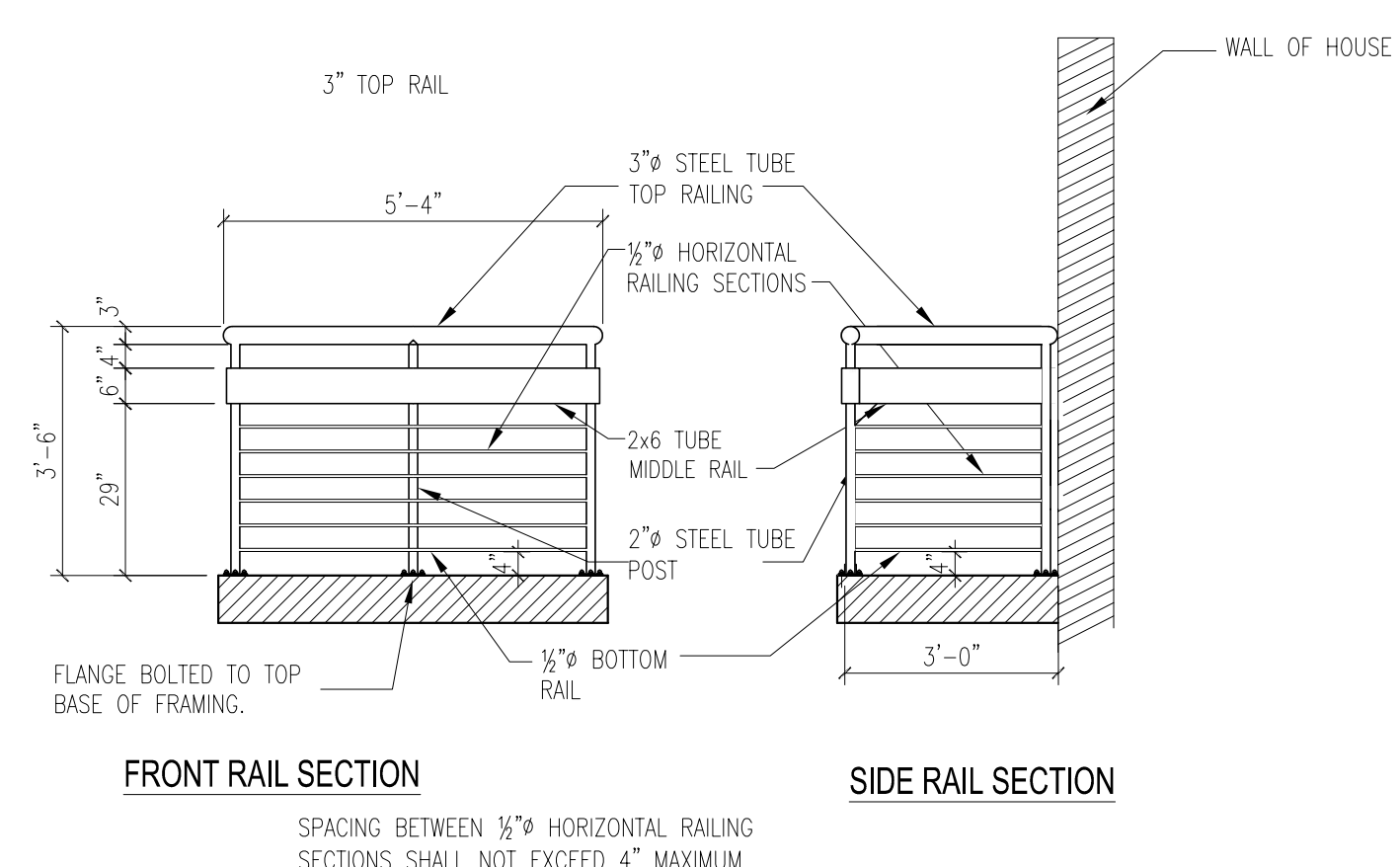
2 UNIT BREAKDOWN & DISTRIBUTION
 A001 SCALE: NTS



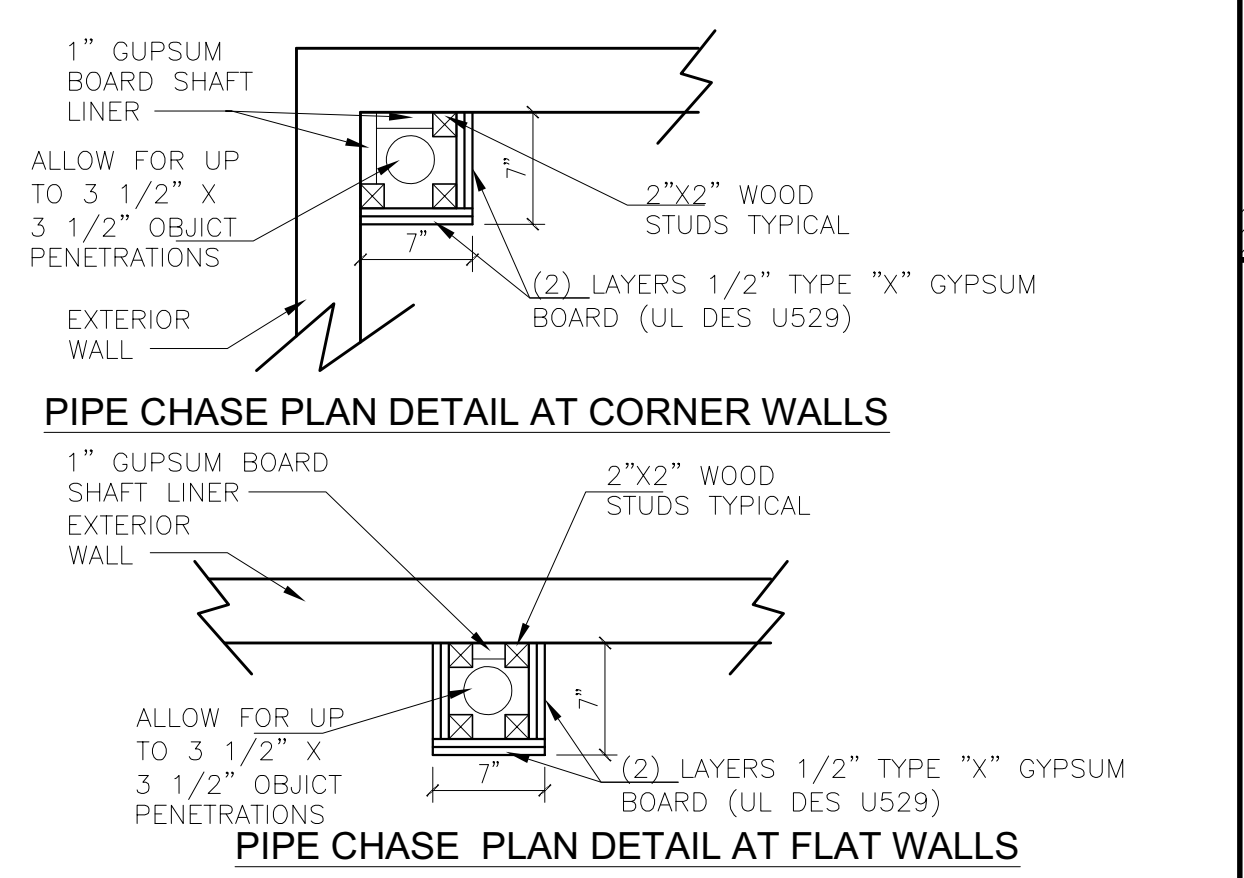
3 WOOD FRAMING SOFFIT DETAIL
 A001 SCALE: NTS
 1 HOUR FIRE RATED SOFFIT ASSEMBLY AT CEILING BETWEEN UNITS



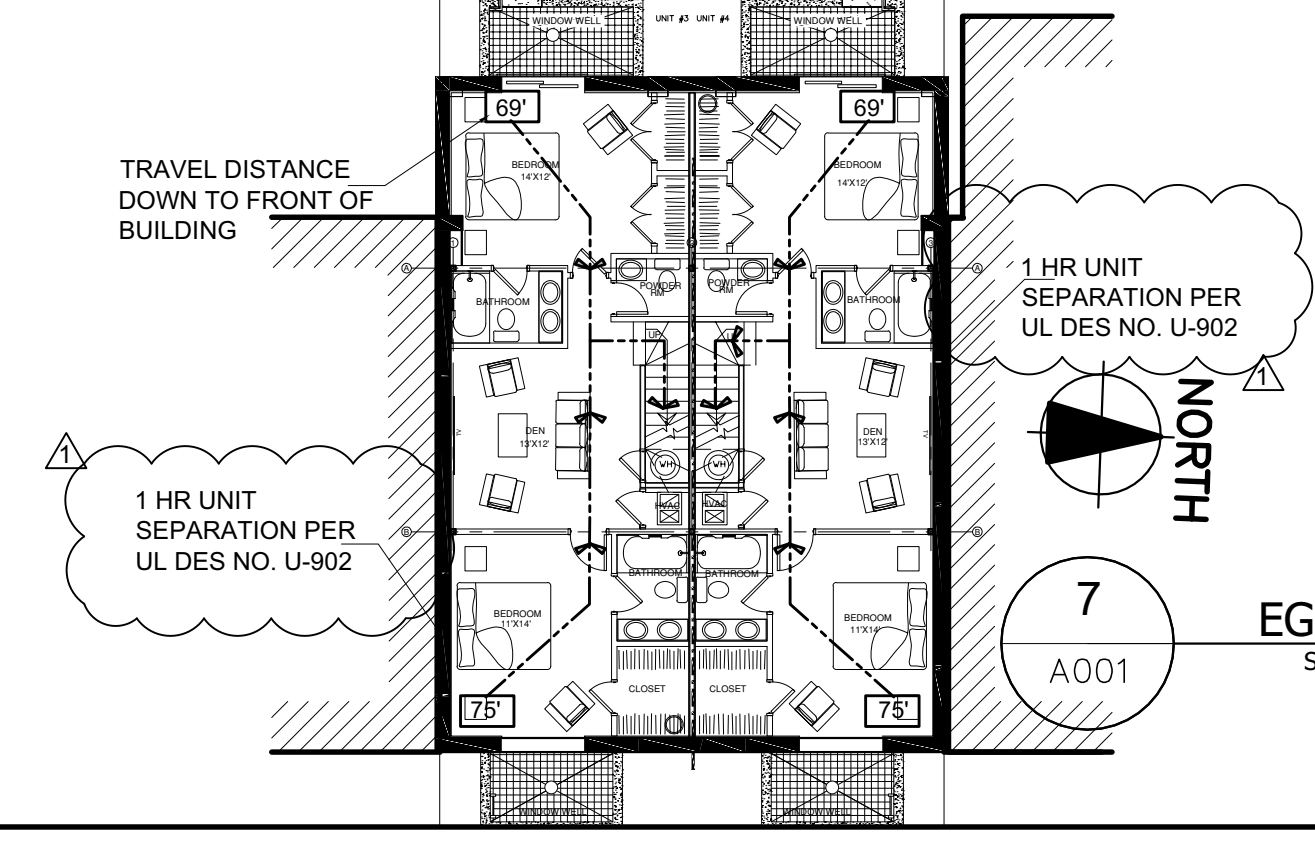
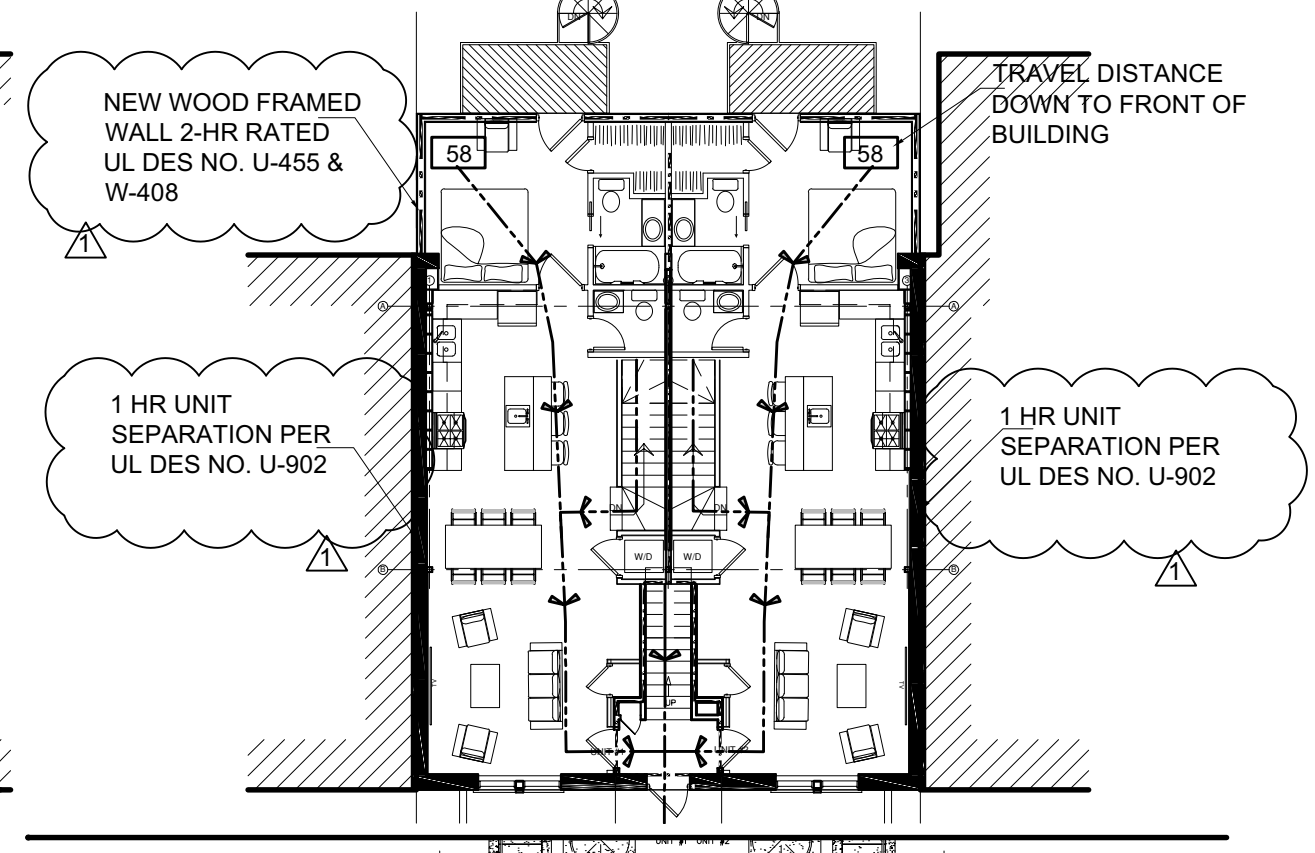
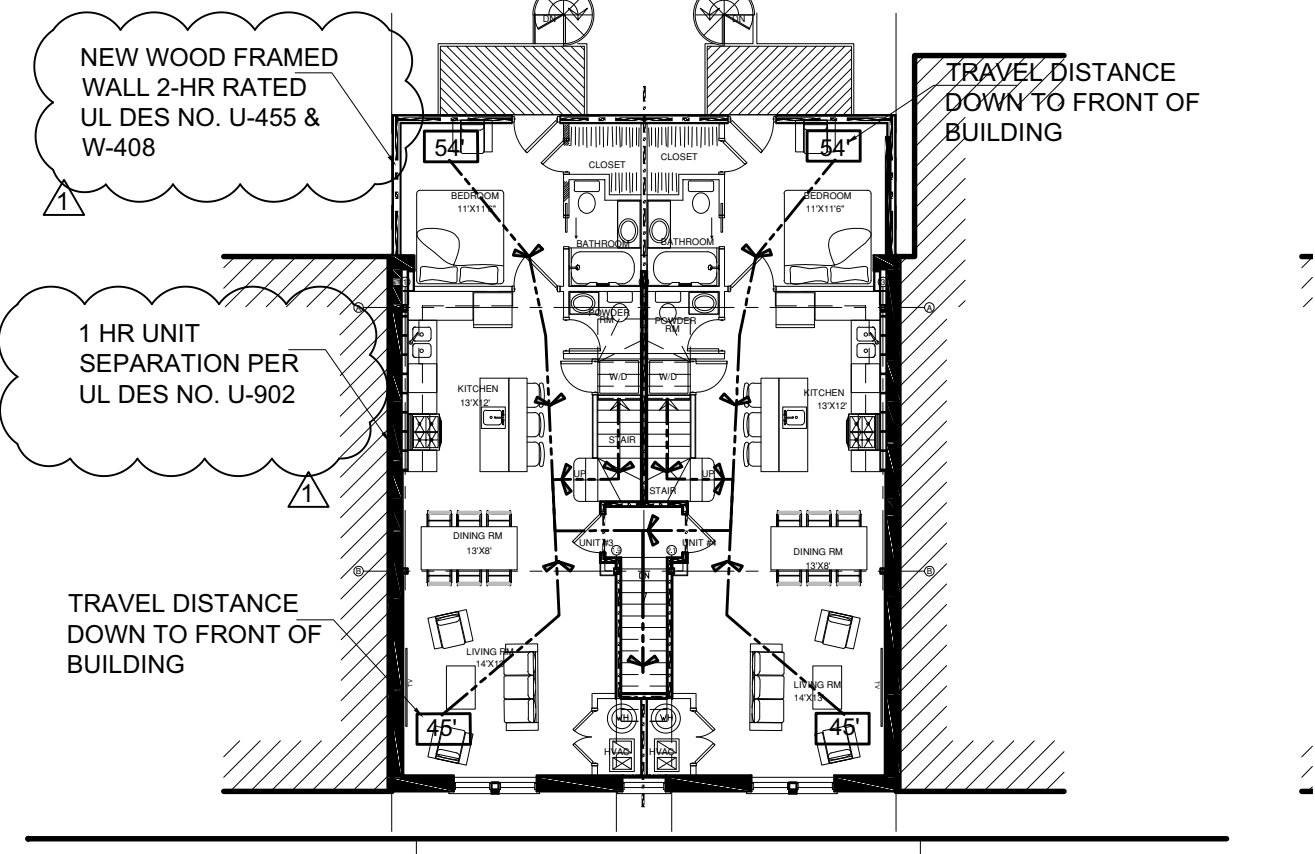
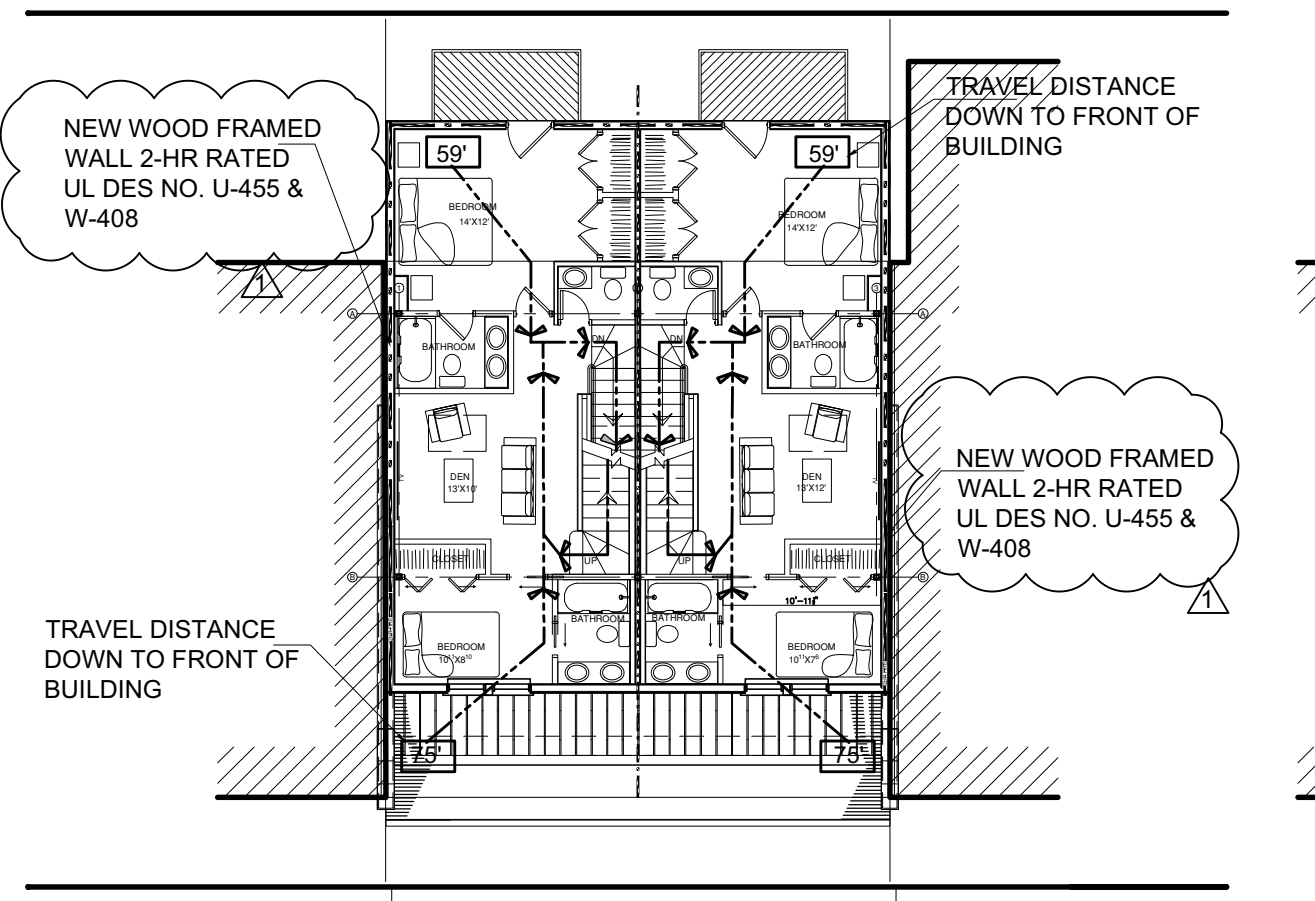
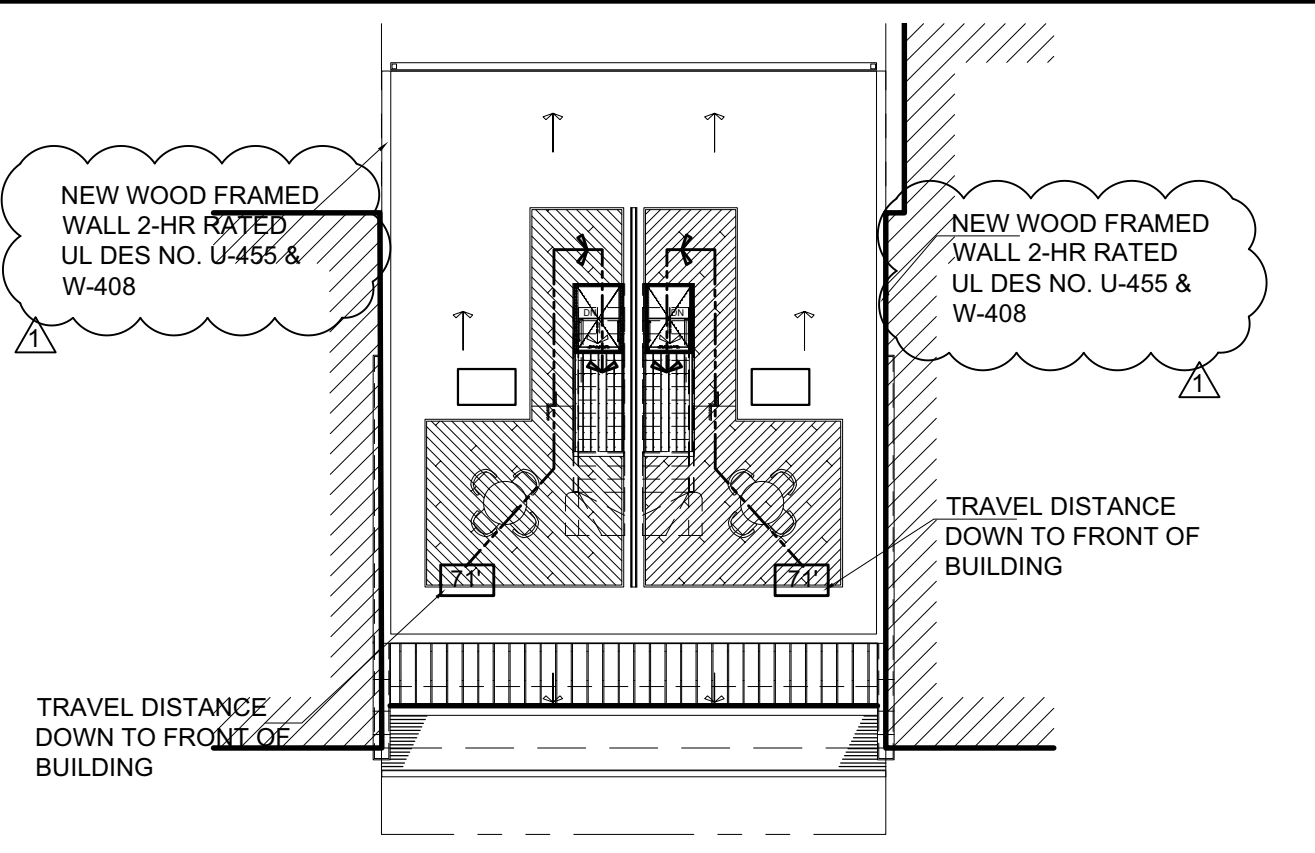
4 FLOOR CEILING SEPARATION BETWEEN UNITS DETAIL
 A001 SCALE: 1 1/2" = 1'-0"



5 TYPICAL RAILING @ BALCONY & PATIO DOOR RAILING
 A001 SCALE: 3/8" = 1'-0"



6 SHAFT WALL & CHASE DETAILS
 A001 SCALE: 3/8" = 1'-0"



8 CODE ANALYSIS
 A001 SCALE: NTS

SCOPE OF WORK:

1. THE EXISTING 2 STORY PLUS CRAWL SPACE FOUR UNIT BUILDING WILL BE TOTALLY RENOVATED AND CONVERTED INTO 4 TWO STORY EACH FLATS. THE REAR PORCH SPACE WILL BE REBUILT, THE CRAWL SPACE WILL BE UNDERPINNED AND EXPANDED TO A FULL CELLAR, AND A THIRD STORY ADDITION WILL BE ADDED.
2. THE KITCHENS AND BATHS WILL BE REPLACED WITH NEW CONSTRUCTION, AND ALL INTERIOR FINISHES WILL BE INSTALLED.
3. THE FLOOR OF THE CELLAR LEVEL WILL BE LOWERED, INCLUDING UNDERPINNING THE ADJACENT PARTY WALLS, AND ADDING A THIRD FLOOR OVER THE EXISTING 2 STORY + CELLAR STRUCTURE.
4. THE NEW PROJECT WILL HAVE UPGRADED MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS, AND THE INSTALLATION OF NEW SPRINKLER SYSTEM AND INTERIOR AND EXTERIOR FINISHES.

CODE COMPLIANCE DATA

PROJECT NAME: 5414 - 3RD STREET NW LLC, RENOVATIONS & ADDITIONS
 PROJECT LOCATION: 5414 - 3RD STREET, NW WASHINGTON, DC 20011
 ARCHITECTS: M'W'B ARCHITECTS, PC 4231 BLAGDEN AVENUE, NW WASHINGTON, D.C. 20011

CODES USED FOR DESIGN PURPOSES: ICC 2012 WITH 2013 CORRESPONDING DC SUPPLEMENT CONSTRUCTION/BUILDING CODES
 BUILDING CODE: IBC 2012 AND DCMR 12A SUPPLEMENT 2013
 MECHANICAL CODE: IMC 2012 AND DCMR 12E SUPPLEMENT 2013
 PLUMBING CODE: IPC 2012 AND DCMR 12F SUPPLEMENT 2013
 ELECTRICAL CODE: NFPA (70) NEC 2011 AND DCMR 12C SUPPLEMENT 2013
 FIRE CODE: NFPA 13R AND DCMR 12H SUPPLEMENT 2013
 ENERGY CODE: IECC 2015 AND DCMR 12I SUPPLEMENT 2017
 FUEL GAS CODE: IFGC 2012 AND DCMR 12D SUPPLEMENT 2013
 EXISTING BUILDING CODE IEBC 2012 AND DCMR 12J SUPPLEMENT 2013
 GREEN CONSTRUCTION CODE ICC 2012 AND DCMR 12K SUPPLEMENT 2013
 ACCESSIBILITY: ANSI A117.1 2009 AND DCMR 12A SUPPLEMENT 2013
 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG): 2010 AND 2013 DCMR 12A CHAPTER SUPPLEMENT

5414 - 3RD STREET NW

EXISTING CONSTRUCTION	PROPOSED CONSTRUCTION
CELLAR - 00 SQ. FT.	- 1,660 SQ. FT.
FIRST FLOOR - 1,628 SQ. FT.	- 1,660 SQ. FT.
SECOND FLOOR - 1,628 SQ. FT.	- 1,660 SQ. FT.
THIRD FLOOR - 0000 SQ. FT.	- 1,660 SQ. FT.
TOTAL BUILDING AREA - 3,256 SQ. FT.	6,640 SQ. FT.

FIRE PROTECTION: SMOKE DETECTORS-HARD WIRED, INTERCONNECTED FULL SPRINKLER SYSTEM: Per NFPA 13R

USE GROUP CLASSIFICATION: GROUP R2 - RESIDENTIAL FLATS

CONSTRUCTION REQUIREMENTS: CONSTRUCTION CLASSIFICATION: TYPE V-A

FIRERESISTANCE RATING OF STRUCTURAL ELEMENTS (Table 601)

Exterior Loadbearing Wall Rating Required:	1 Hr
Exterior Loadbearing Wall Rating Provided:	1 Hr
Interior Loadbearing Wall Rating Required:	1 Hr (0Hr (Sprinkler Allowance))
Interior Loadbearing Wall Rating Provided:	0 Hr
Floor Construction Rating Required (Section 711.3):	1 Hr (0 Hr Sprinkler Allowance)
Floor Construction Rating Provided:	1 Hr
Roof Construction Rating Required:	1 Hr (0 Hr Sprinkler Allowance)
Roof Construction Rating Provided:	0 Hr
Shaft Enclosure Rating Required:	1 Hr
Shaft Enclosure Rating Provided:	1 Hr
Fire Separation Assemblies (Section 707.0)	
Exit Stair Enclosure: Rating Required (Section 707.4)	1 Hr
Exit Stair Enclosure Rating Provided:	1 Hr
Fire Partitions (Section 708.0)	
Exit Access Corridors (Use Group R-2): Rating Req'd	1 Hr
Exit Access Corridor Wall Rating Provided:	1 Hr
Tenant / Dwelling Unit Separations: Rating Required	1 Hr
Tenant / Dwelling Unit Separation Rating Provided:	1 Hr
ZONING: RF-1	1 Hr

RF-1 PERMITS ATTACHED DWELLINGS ON SMALL LOTS.

LOT OCCUPANCY: ALLOWABLE 60%
 SITE AREA: 3,325 SQ. FT.
 ALLOWABLE LOT OCCUPANCY: 1995 SQ. FT. (60%)
 ACTUAL LOT OCCUPANCY: 1792 SQ. FT. (54%)

MAXIMUM ALLOWABLE HEIGHT: 35'
 PRIMARY BUILDING HGT: 31'
 REAR YARD SETBACK REQUIRED: 20'
 REAR YARD SETBACK PROVIDED: 42'
 MAXIMUM ALLOWABLE STORIES: 3
 NUMBER OF STORIES PROVIDED: 3

ARCHITECT
M'W'B Architects, PC
 4552 Argyle Terrace, NW Suite B-01
 Washington, DC 20011-4253
 V. 202 6741287
 E-mail: atbanks@mwbarchitects.com

PROJECT NAME
 5414 3rd Street NW LLC
 Renovations & Additions
 5414 3rd Street NW
 Square 3296 Lot 046

CLIENT
 5414 3rd Street NW LLC
 1717 N Street NW Unit #1
 Washington, DC 20036

REVISIONS
 1 REVIEW CODE MODS 12-23-2020
 2 REVIEW CODE MODS 04-18-2022
 3 REVIEW CODE MODS 12-08-2022
 4
 5

5414 3rd Street NW LLC
 Renovations & Additions
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DRAWING TITLE
 CODE ANALYSIS
 &
 PARTITION TYPES

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DRAWING NUMBER

A001
 OF ..

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LEGEND

- *ALL EXTERIOR WALL STUDS TO BE FIRE TREATED
- EXISTING WALL TO REMAIN
- CONCRETE WALL
- WOOD STUD WALL
- BRICK VENEER OVER STUDS
- WINDOW TAG
- DOOR TAG
- PARTITION TAG

NOTE:
 ALL INTERIOR STAIRS SHALL HAVE A MAXIMUM RISE OF 7 3/4" AND A MINIMUM TREAD OF 10" AND SHALL HAVE HANDRAILS AT EACH SIDE AT 36" HIGH.

ARCHITECT
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- REVIEW CODE MODS 12/08/2022

5414 3rd Street NW LLC
Renovations & Additions
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 WASHINGTON, D.C. 20011
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DRAWING TITLE
 CELLAR
 AND
 FIRST FLOOR
 PLANS

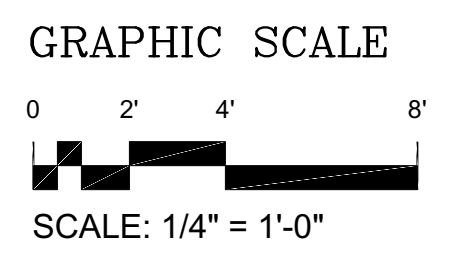
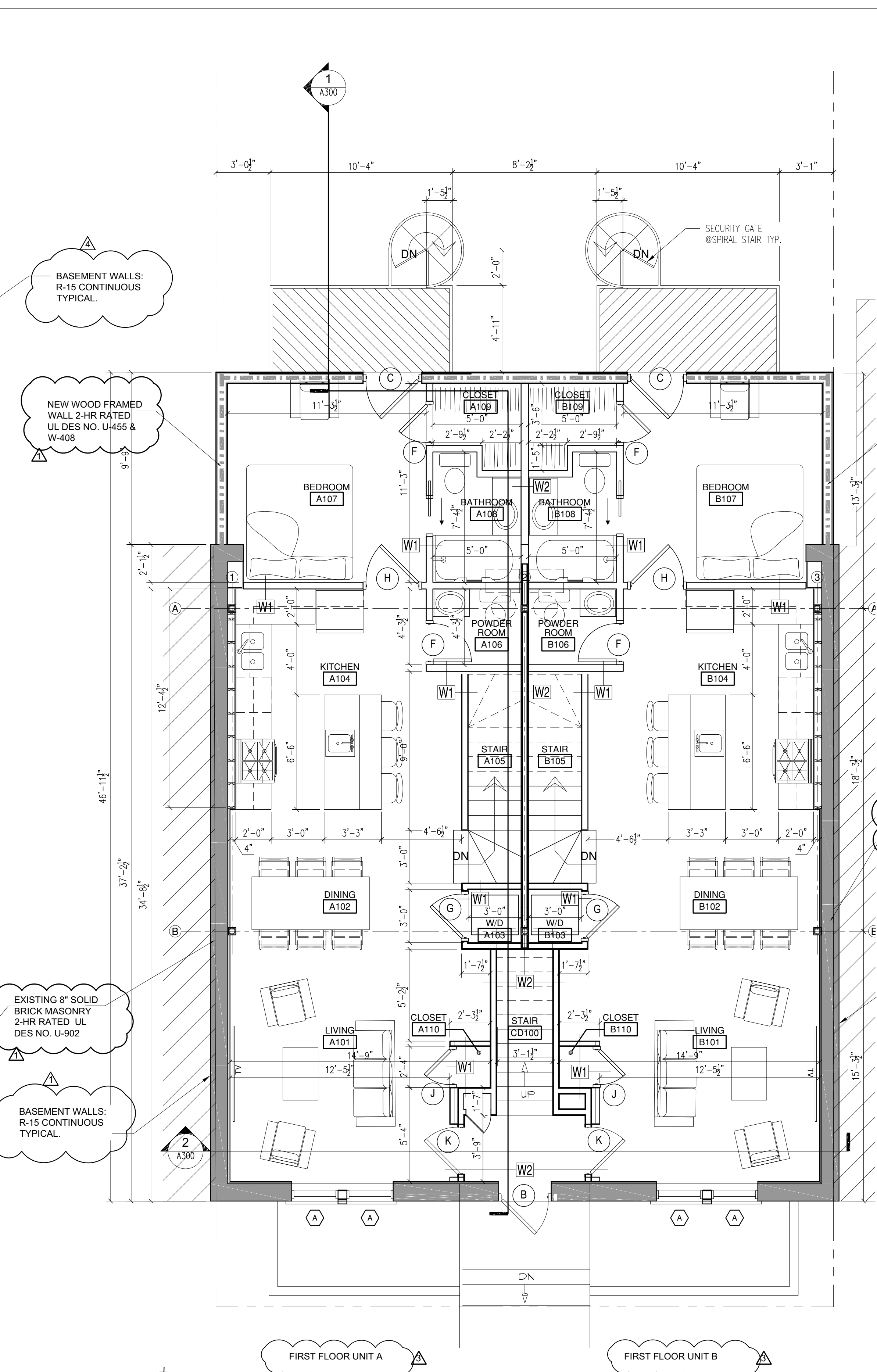
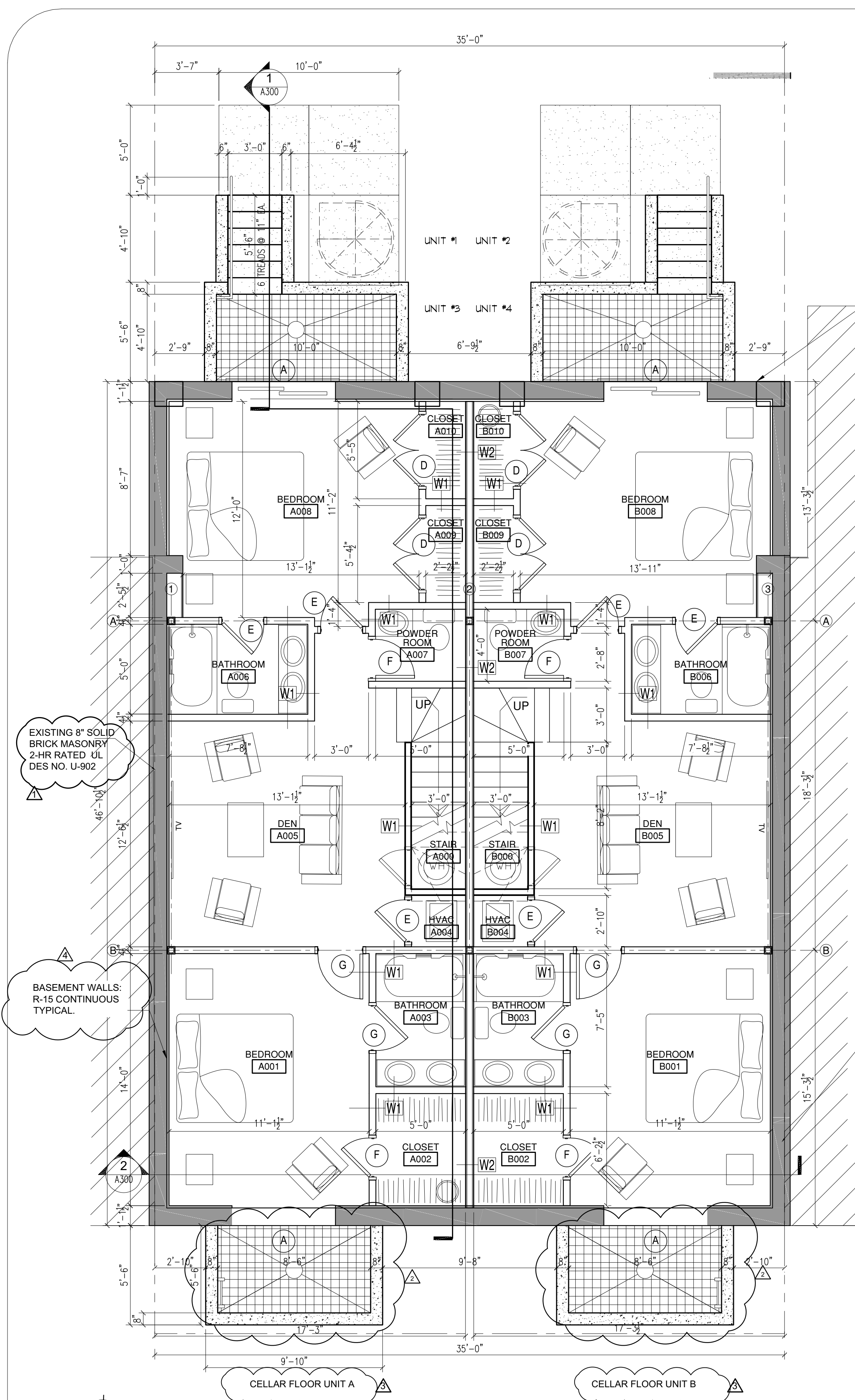
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A100



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 E-mail: atbanks@mwbarchitects.com

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 Renovations & Additions
 5414 3rd Street NW
 Washington, DC 20011
 Square 3296 Lot 046

CLIENT
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 1717 N Street NW Unit #1
 Washington, DC 20036

REVISIONS

- REVIEW CODE MODS 12-23-2020
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5414 3rd Street NW LLC
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 WASHINGTON, D.C. 20011
 Square 3296 - Lot 046

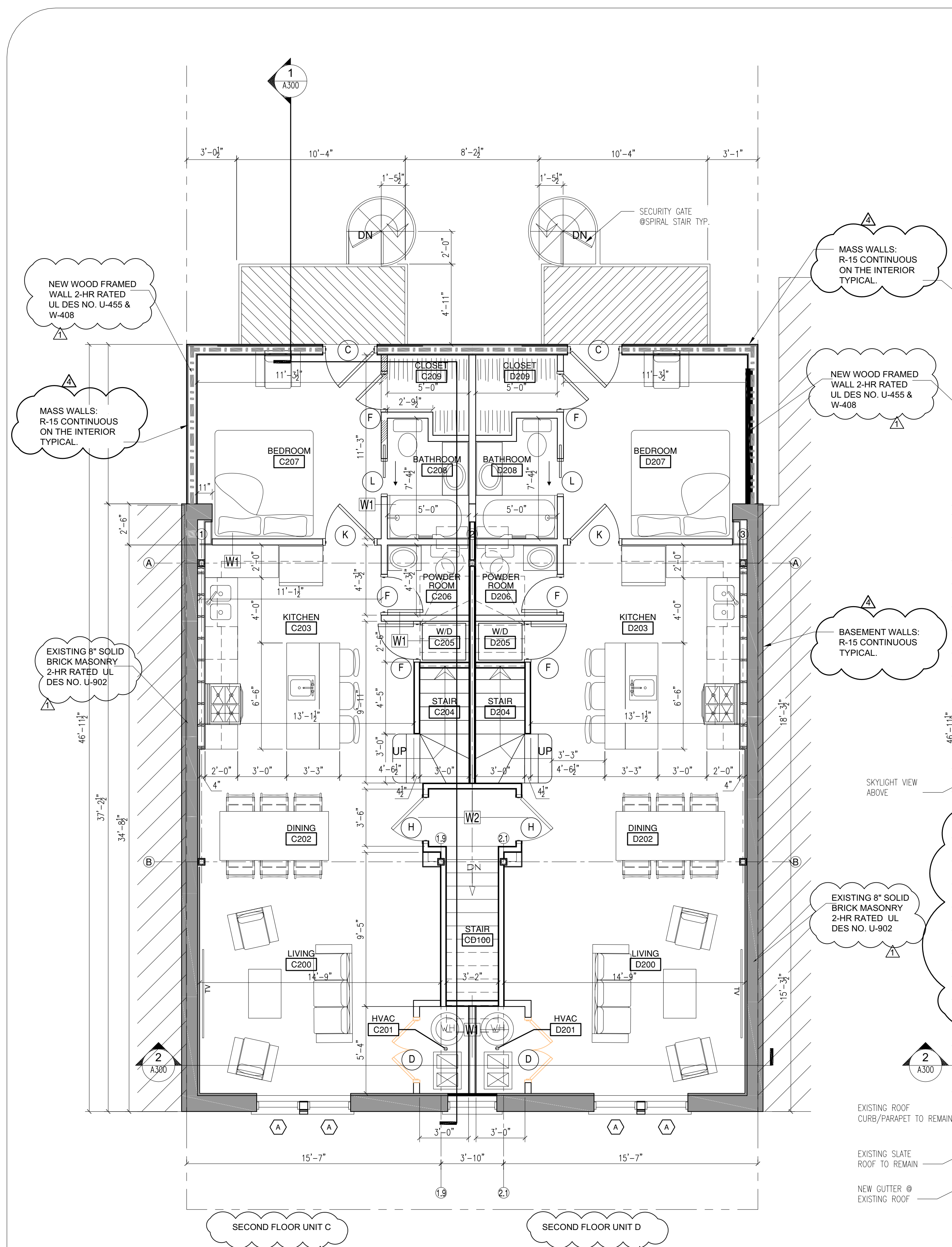
DRAWING TITLE
 SECOND AND
 THIRD FLOOR
 PLANS

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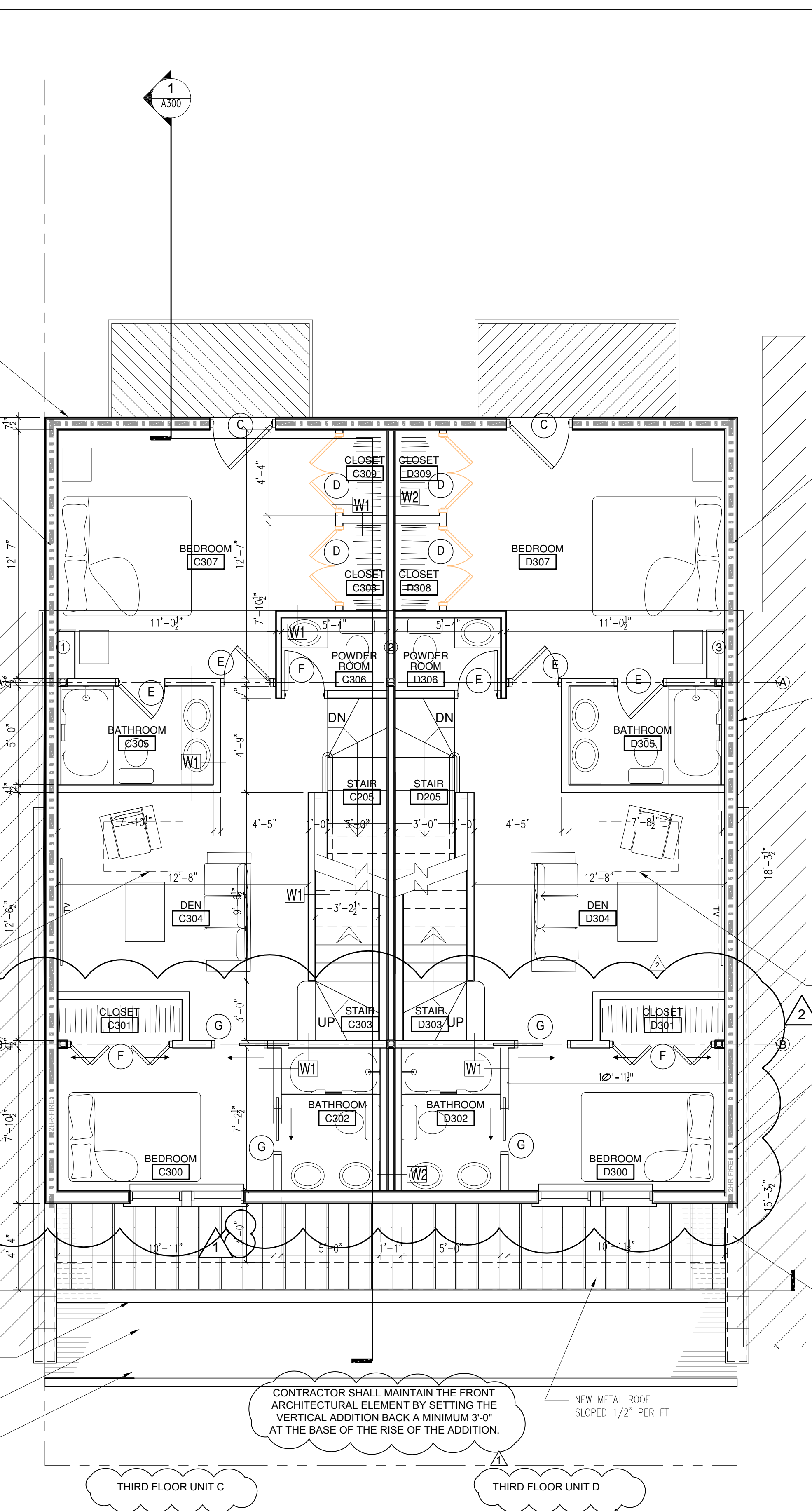
PROFESSIONAL SEAL
 DISTRICT OF COLUMBIA
 ANDREI T. BANKS
 No. 6281
 REGISTERED ARCHITECT

JULY 15, 2019
 DATE OF ISSUE
 ISSUED FOR PERMIT
 DESIGNED BY
 AS SHOWN JLF
 SCALE DRAWN BY
 21-2018 PROJECT # FILE NAME

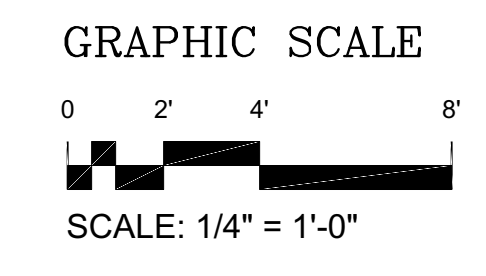
DRAWING NUMBER
 A110



1
 NORTH
 A110
SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



2
 NORTH
 A110
THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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CLIENT
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 1717 N Street NW Unit #1
 Washington, DC 20036

REVISIONS
 04/28/2019 REVIEW RESPONSE
 REVIEW CODE MODS 08/25/2021
 REVIEW CODE MODS 05/18/2021
 REVIEW CODE MODS 04/18/2022
 REVIEW CODE MODS 12/08/2022
 REVIEW CODE MODS 01/04/2022

**5414 3rd Street NW LLC
 Renovations & Additions**
 5414 3rd Street NW
 WASHINGTON, D.C. 20011
 Square 3296 - Lot 046

DRAWING TITLE
ROOF DECK PLAN

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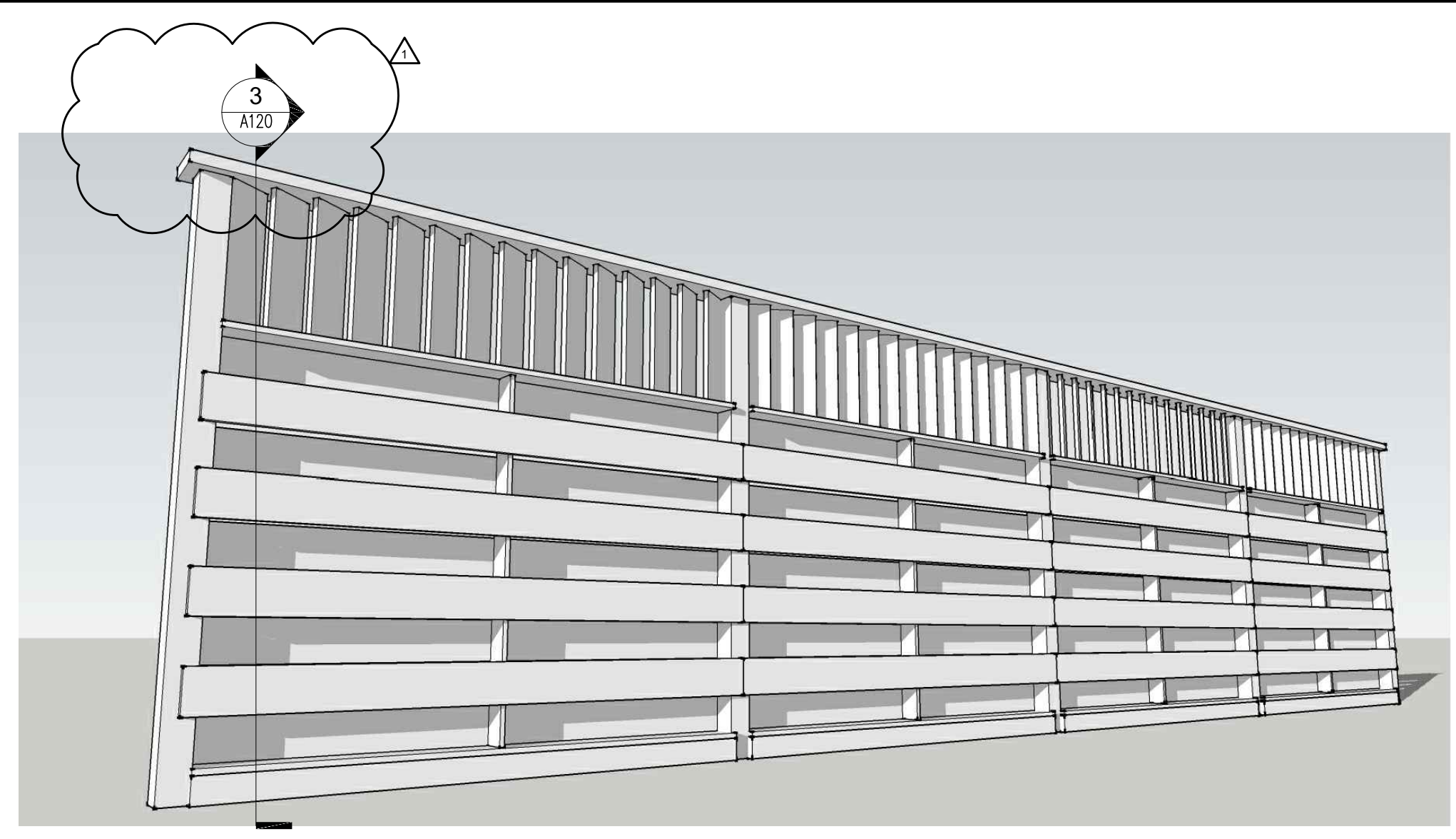
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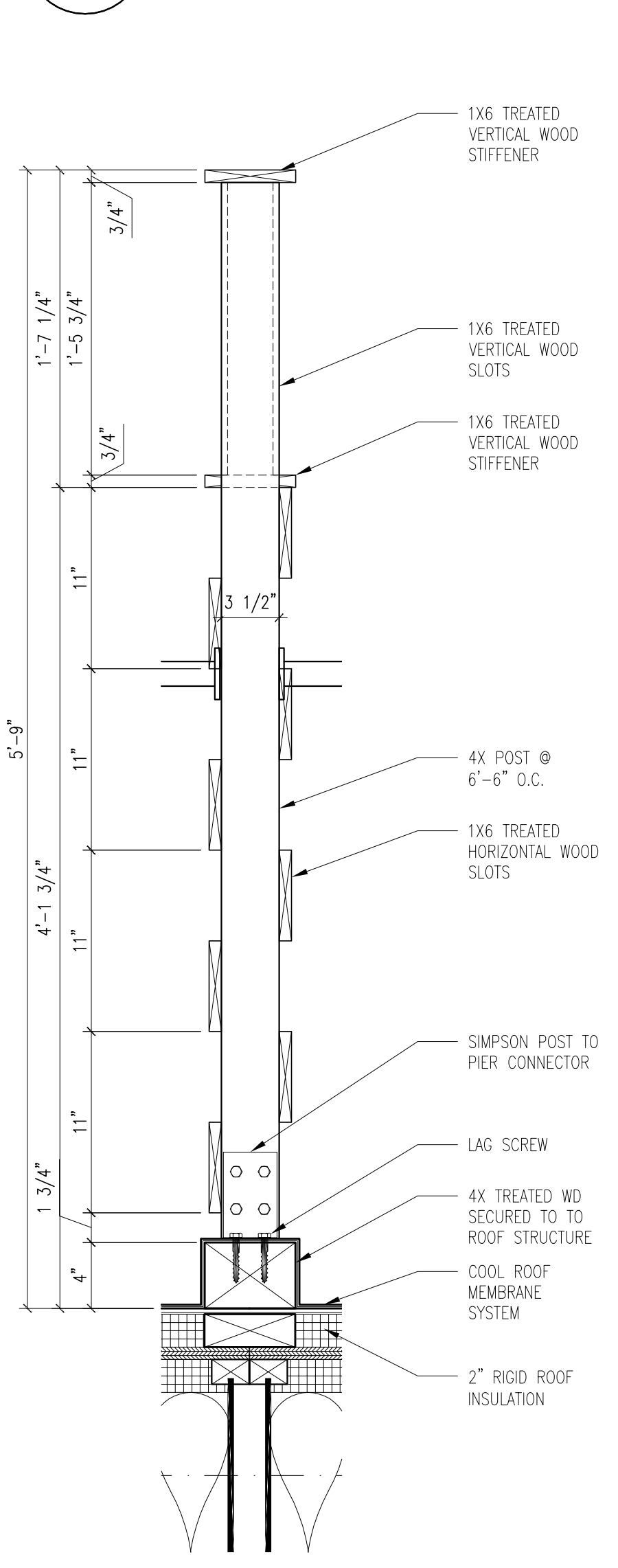
DRAWING NUMBER
A120

- LEGEND**
- *ALL EXTERIOR WALL STUDS TO BE FIRE TREATED
 - EXISTING WALL TO REMAIN
 - CONCRETE WALL
 - WOOD STUD WALL
 - BRICK VENEER OVER STUDS
 - WINDOW TAG
 - DOOR TAG
 - PARTITION TAG

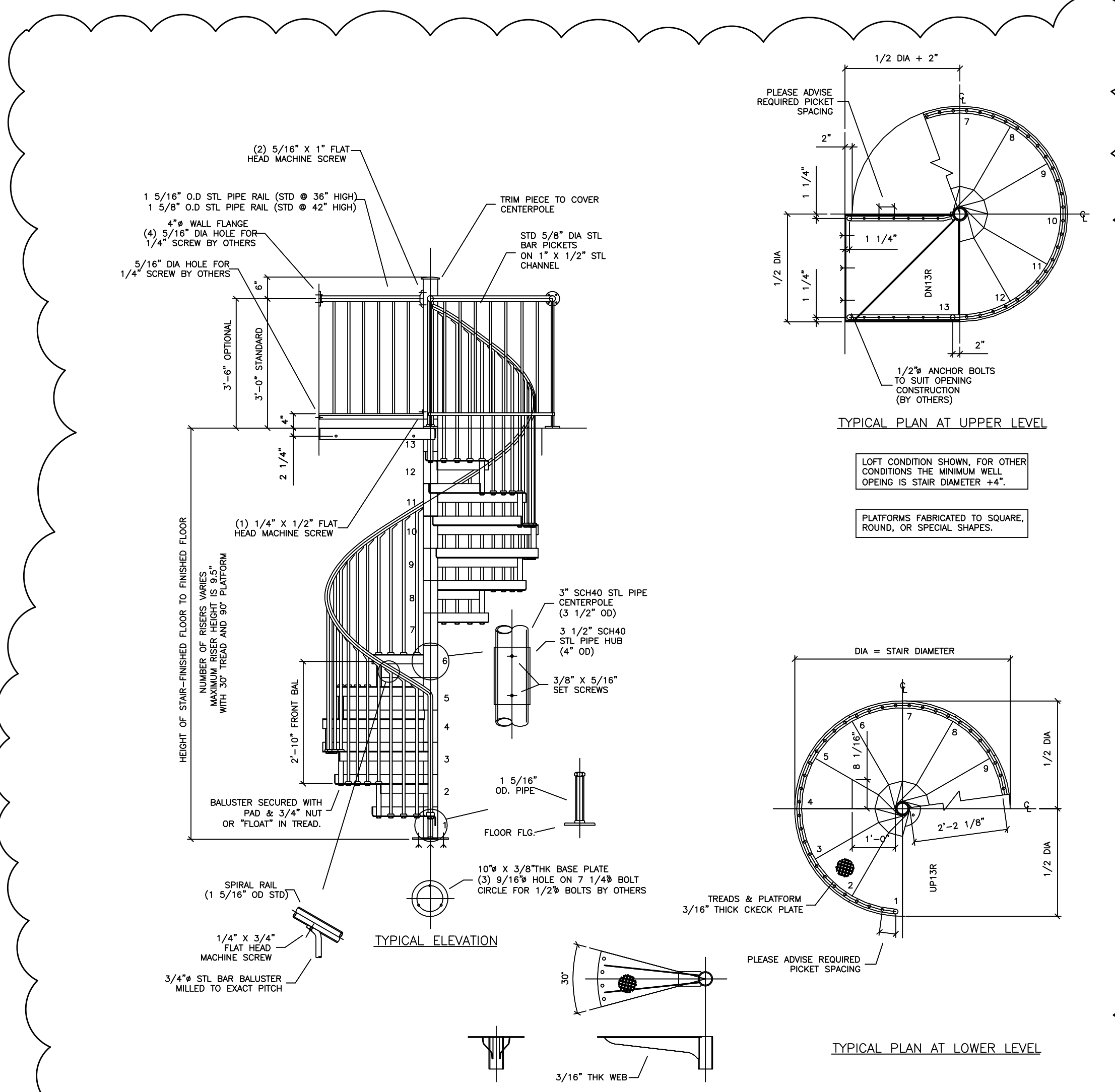
NOTE:
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2 PRIVACY FENCE @ ROOF - PERSPECTIVE VIEW
 SCALE: 1 1/2" = 1'-0"



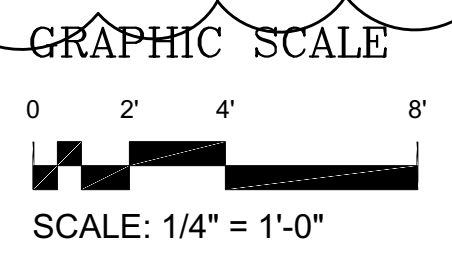
3 PRIVACY FENCE @ ROOF
 SCALE: 1 1/2" = 1'-0"



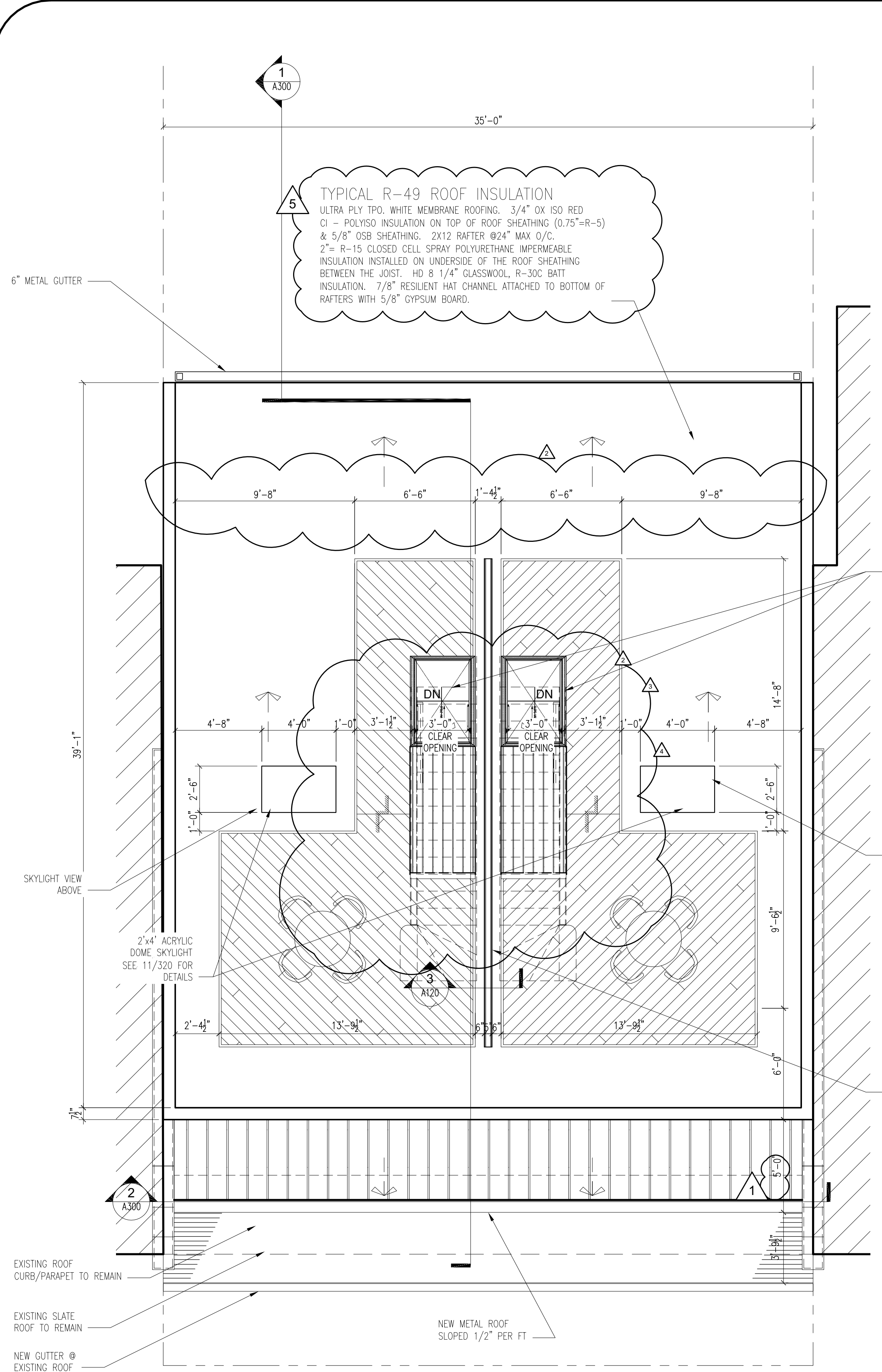
SPIRAL STAIR SYSTEM:
 SPIRAL STAIR SYSTEM SHALL BE A PRE-ENGINEERED SYSTEM AND SYSTEM DETAILS, ANCHORING, AND SHOP DRAWINGS & CALCULATIONS SHALL BE SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE DISTRICT AND SUBMITTED TO THE EOR AND THE BUILDING OFFICIAL AND APPROVED BEFORE CONSTRUCTION OF STAIRS IS BEGUN.

DUVINA CORPORATION
 P.O. BOX 888-66 WEST OAK RIDGE DR. HAGERSTOWN, MD 21740
 TYPICAL STAIR DETAIL DIAMETER TBD UPON ORDER

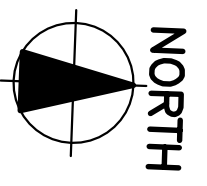
4 SPIRAL STAIRS
 SCALE: 1/2" = 1'-0"



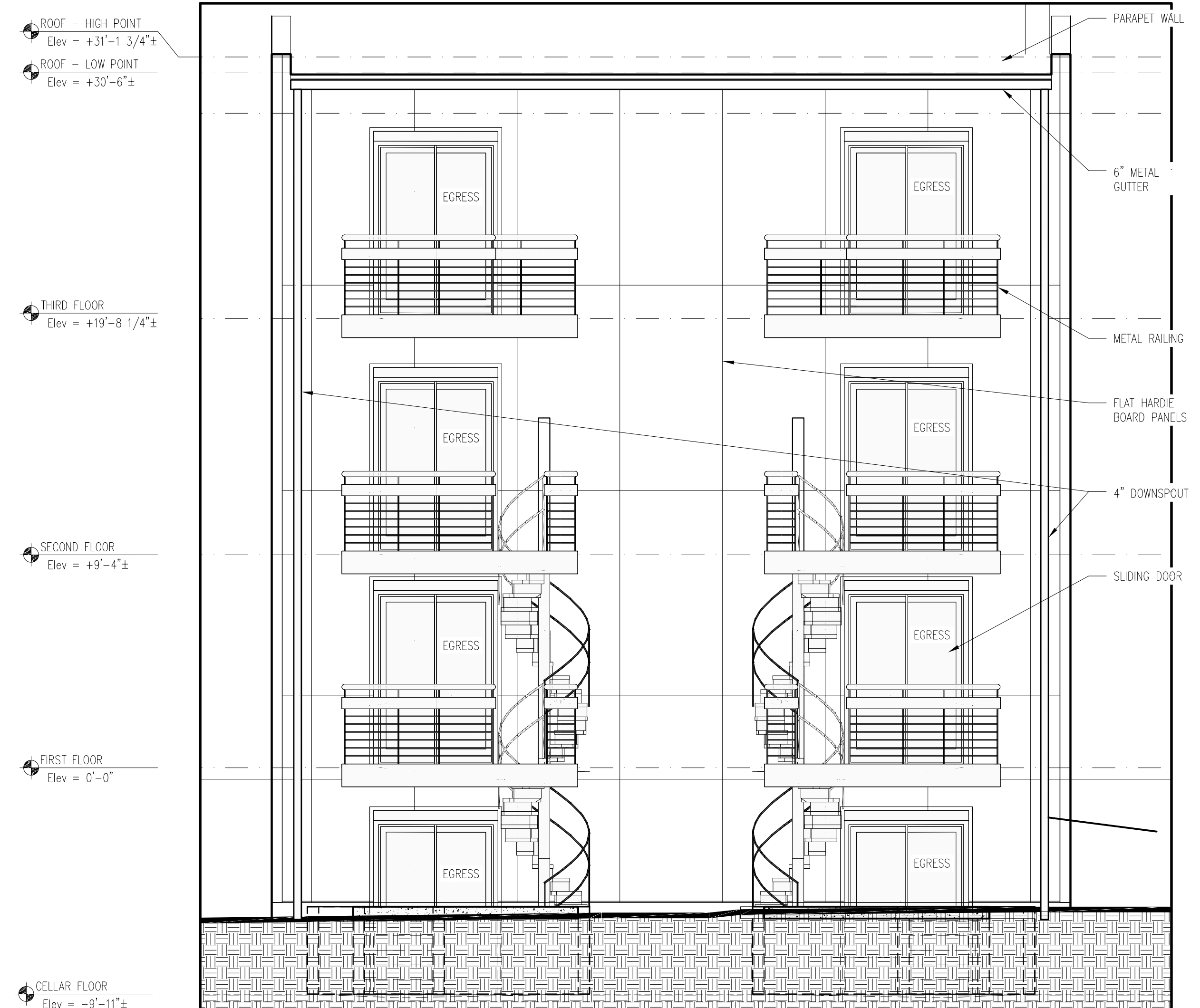
TYPICAL R-49 ROOF INSULATION
 ULTRA PLY TPO, WHITE MEMBRANE ROOFING, 3/4" OX ISO RED CI - POLYISO INSULATION ON TOP OF ROOF SHEATHING (0.75"=R-5) & 5/8" OSB SHEATHING. 2X12 RAFTER @24" MAX O/C. 2"= R-15 CLOSED CELL SPRAY POLYURETHANE IMPERMEABLE INSULATION INSTALLED ON UNDERSIDE OF THE ROOF SHEATHING BETWEEN THE JOIST. HD 8 1/4" GLASSWOOL, R-30C BATT INSULATION. 7/8" RESILIENT HAT CHANNEL ATTACHED TO BOTTOM OF RAFTERS WITH 5/8" GYPSUM BOARD.



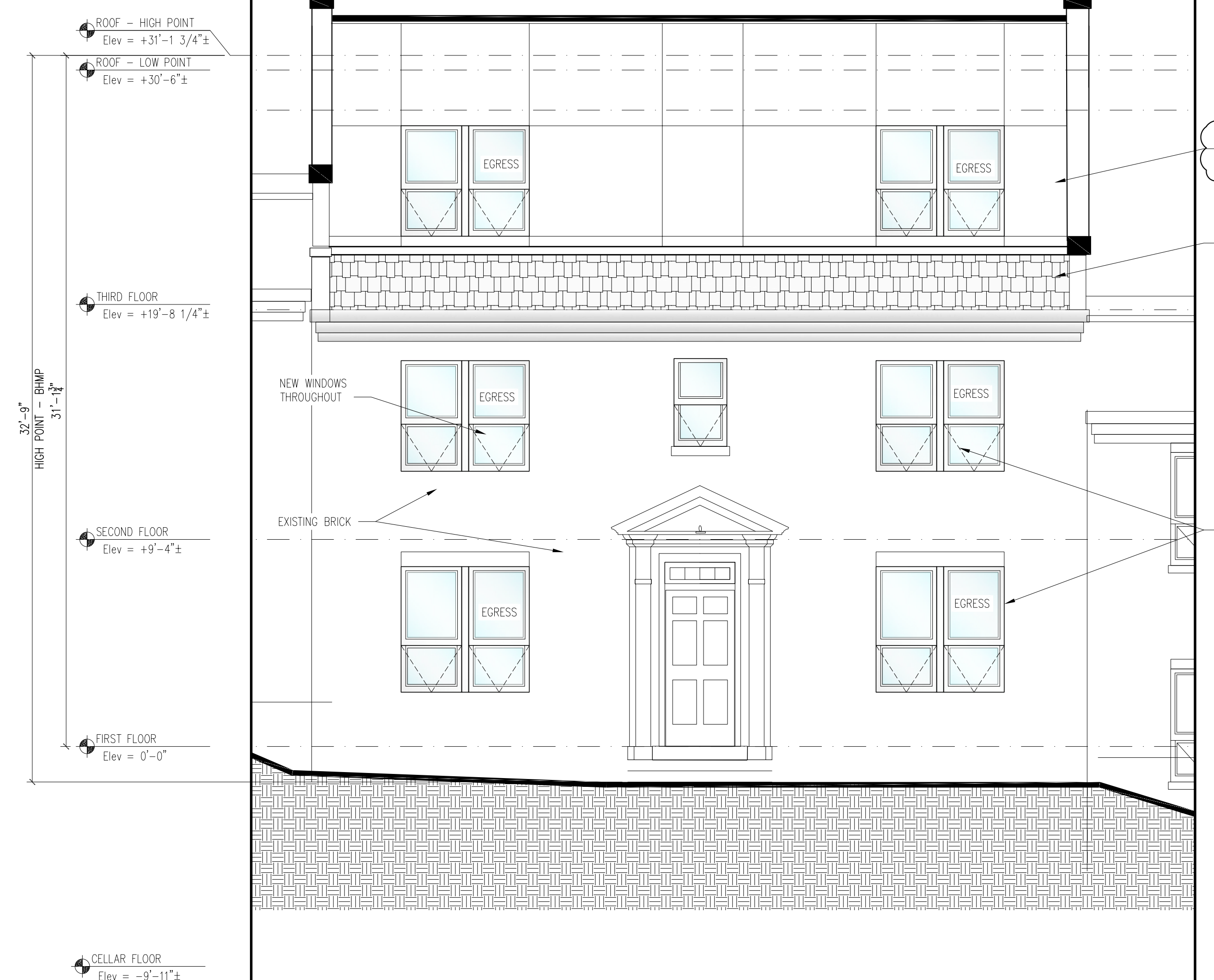
1 ROOF DECK PLAN
 SCALE: 1/4" = 1'-0"



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3
 A200 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



1
 A200 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

BED ROOM ESCAPE WINDOWS ARE MARKED WITH THE WORK EGRESS

ARCHITECT
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REVISIONS

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DRAWING TITLE
 EXTERIOR
 ELEVATIONS

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 I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of, the architectural designs included in this application.



JULY 15, 2019
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