



FOR LEASE | **357,075 SF**
2333 MCCALL STREET | **DAYTON, OH**

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PROPERTY HIGHLIGHTS



RENOVATED IN 2023



**BUILDING EXPANSION
POTENTIAL**



2.5 MILES TO I-75 CORRIDOR



**OUTDOOR STORAGE
POTENTIAL**



PROPERTY DETAILS

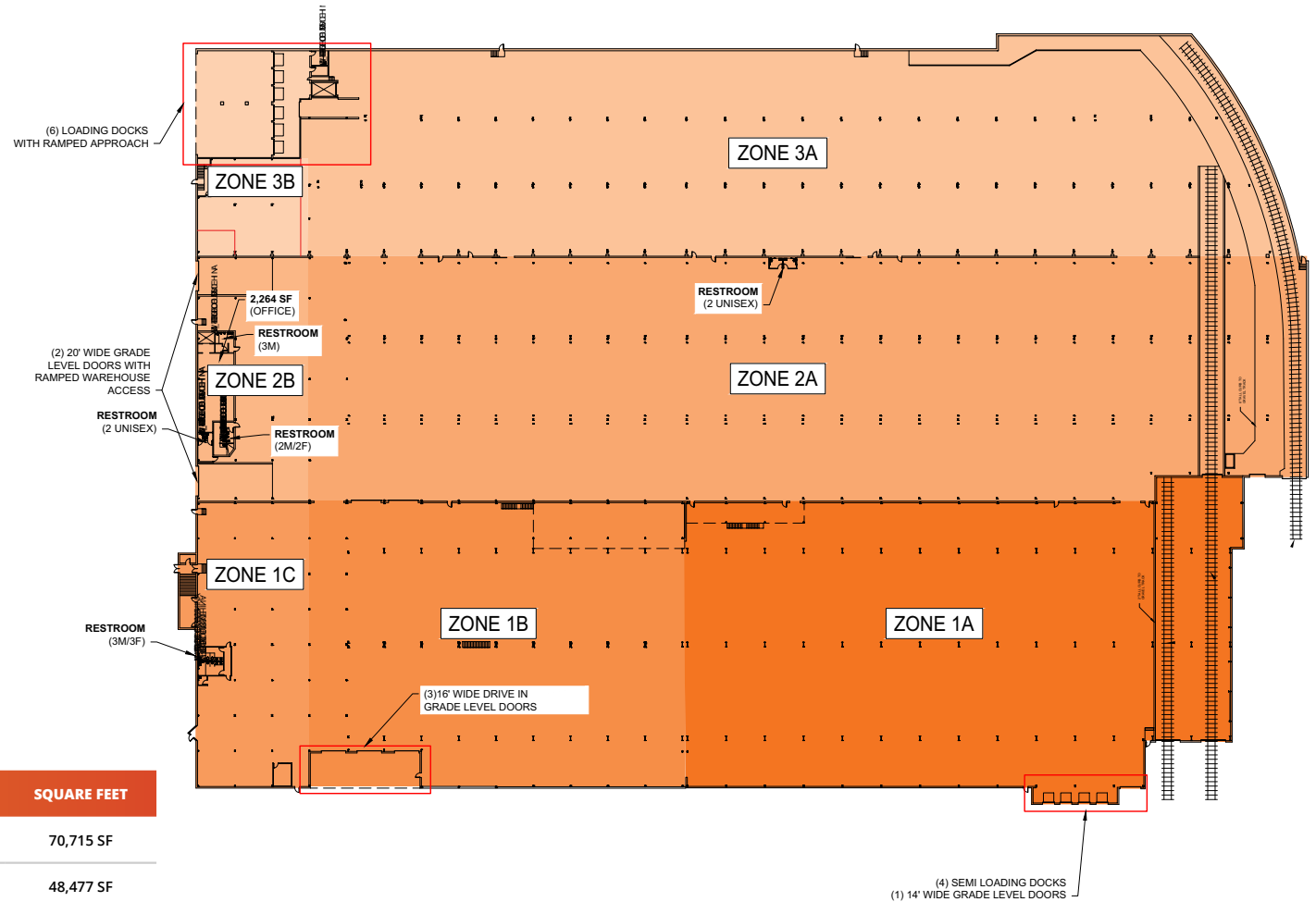
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AVAILABLE SPACE	357,075 SF (Available 1/1/2027)
MINIMUM DIVISIBLE	150,000 SF
DOCK DOORS	10
DRIVE-IN DOORS	6
CLEAR HEIGHT	26' 2" - 33' 5"
COLUMN WIDTH/DEPTH	26' x 63' 26' x 48' 26' x 42'
ROOF	TPO
WALLS	Concrete Block & Insulated Metal
FLOORS	6" - 10" Reinforced Concrete
YEAR BUILT	1960
YEAR RENOVATED	2023
FIRE SUPPRESSION	100% ESFR
PARKING	78+ Spaces
POWER	480 Volt 3-phase, 1,200 Amps
LAND AREA	22 Acres
ZONING	I-1 Industrial
RAIL	Potential via CSX
PARCEL ID	R72-09107-0066
OPEX ESTIMATE	\$0.83/SF



FLOOR PLAN

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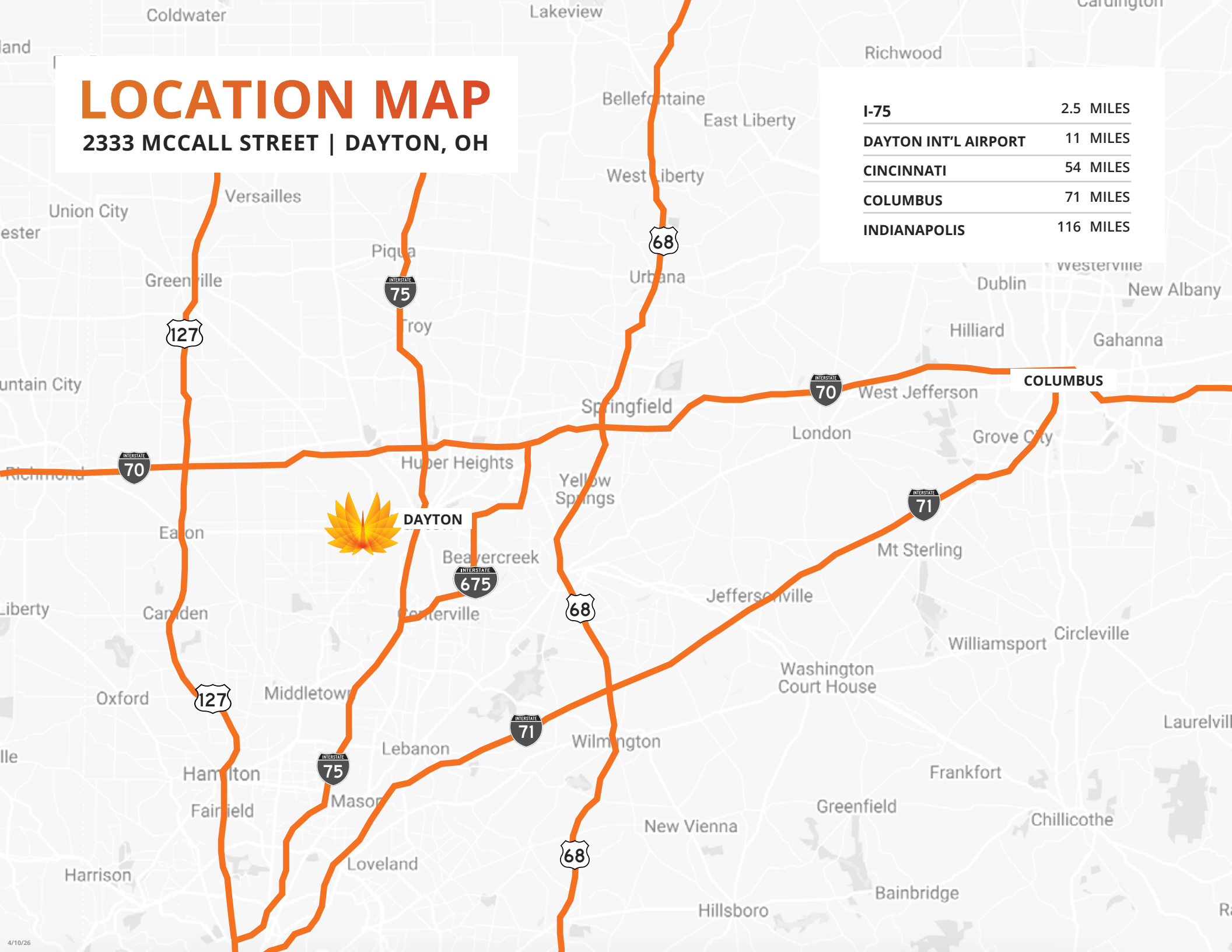
NUMBER	CLEAR HEIGHT	COLUMN SPACING	SQUARE FEET
ZONE 1A	26' 2" - 34' 2"	26' x 63'	70,715 SF
ZONE 1B	30' 8" - 33' 5"	26' x 63'	48,477 SF
ZONE 1C	12'	26' x 63'	15,284 SF
ZONE 2A	30' 8" - 33' 2"	26' x 48'	108,690 SF
ZONE 2B	12'	26' x 48'	12,570 SF
ZONE 3A	34' 2"	26' x 42'	90,919 SF
ZONE 3B	12'	26' x 42'	10,419 SF
TOTAL			357,075 SF

LOCATION MAP

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Richwood

I-75	2.5 MILES
DAYTON INT'L AIRPORT	11 MILES
CINCINNATI	54 MILES
COLUMBUS	71 MILES
INDIANAPOLIS	116 MILES



DAYTON

COLUMBUS