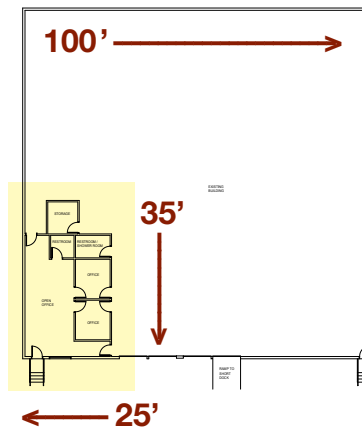
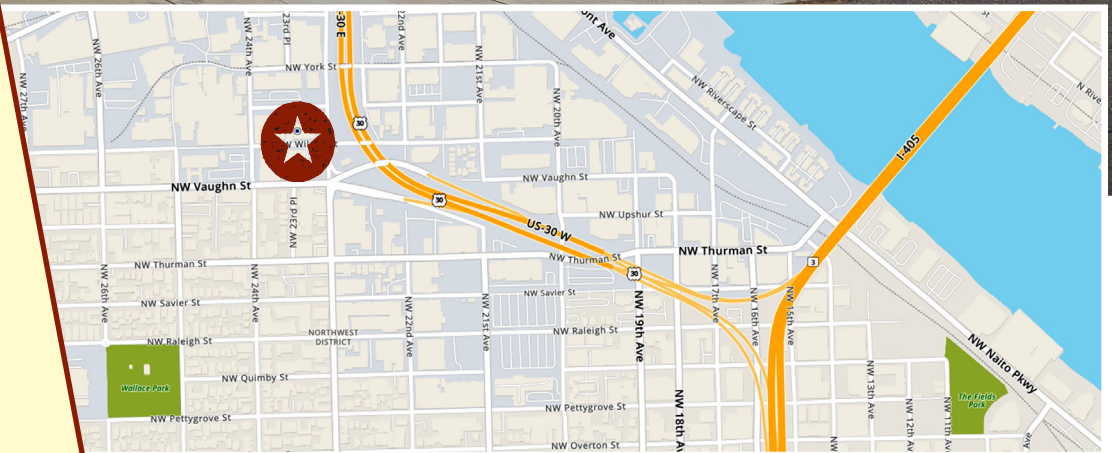
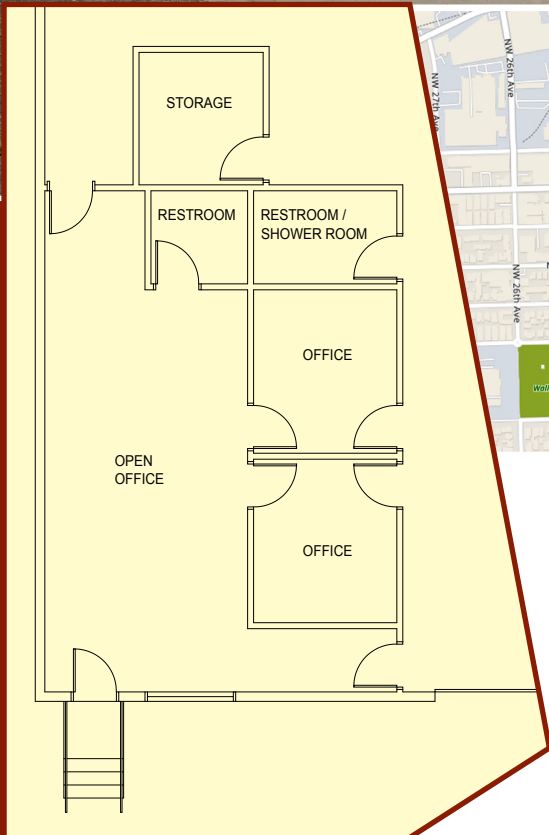


# FOR LEASE

CLOSE-IN NW | 9,603 SF WAREHOUSE  
OFFICE | GREAT FREEWAY ACCESS



- Location:** 2329 NW Wilson Street, Portland, Oregon 97209
- Zoning:** G1 (General Industrial) City of Portland
- Shell area:** 9,603 sf
- Office area:** 956 sf
- Clearance:** 18 ft
- Electrical:** 120/240 Volt 3 Phase
- Loading:** (4) dock height loading doors
- Lease rate:** \$11,000/month NNN (approx. 17¢ sf/mo)

For further information contact:  
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(503) 635-8668  
Lconn@jbcpx.com



The information herein is believed to be accurate but is not guaranteed by Jackson, Beall and Conn, Inc