

Oklahoma City420 W Main St., 8th Floor
Oklahoma City, OK 73102**Application Plan / Sheet Report****Application No. BLDC-2021-04311****Description : new office for building company****This site is zoned PUD-1029 and C-3****PRIVATE RR NEEDS TO COMPLY****Address : 16401 SONOMA PARK DR, OKLAHOMA CITY, OK, 73013****Record Type : Building - Commercial**Original Documents:

Document Name	Document ID
A5elevPremierREVISED.pdf	2148569
A6elevPremierREVISED.pdf	2148570
A7roofPremierREVISED2.pdf	2167937
A8 1electPremierREVISED2.pdf	2167938
A9detailsPremierREVISED2.pdf	2167940
A1site PremierREVISED2.pdf	2167935
A8 2electPremierREVISED.pdf	2148573
L1 LSPremierREVISED.pdf	2148576
A3floor1PremierREVISED2.pdf	2167936
A2foundPremierREVISED.pdf	2148566
A4Attic2PremierREVISED.pdf	2148568

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
David Cunningham	David.Cunningham1@okc.gov	405.297.2525

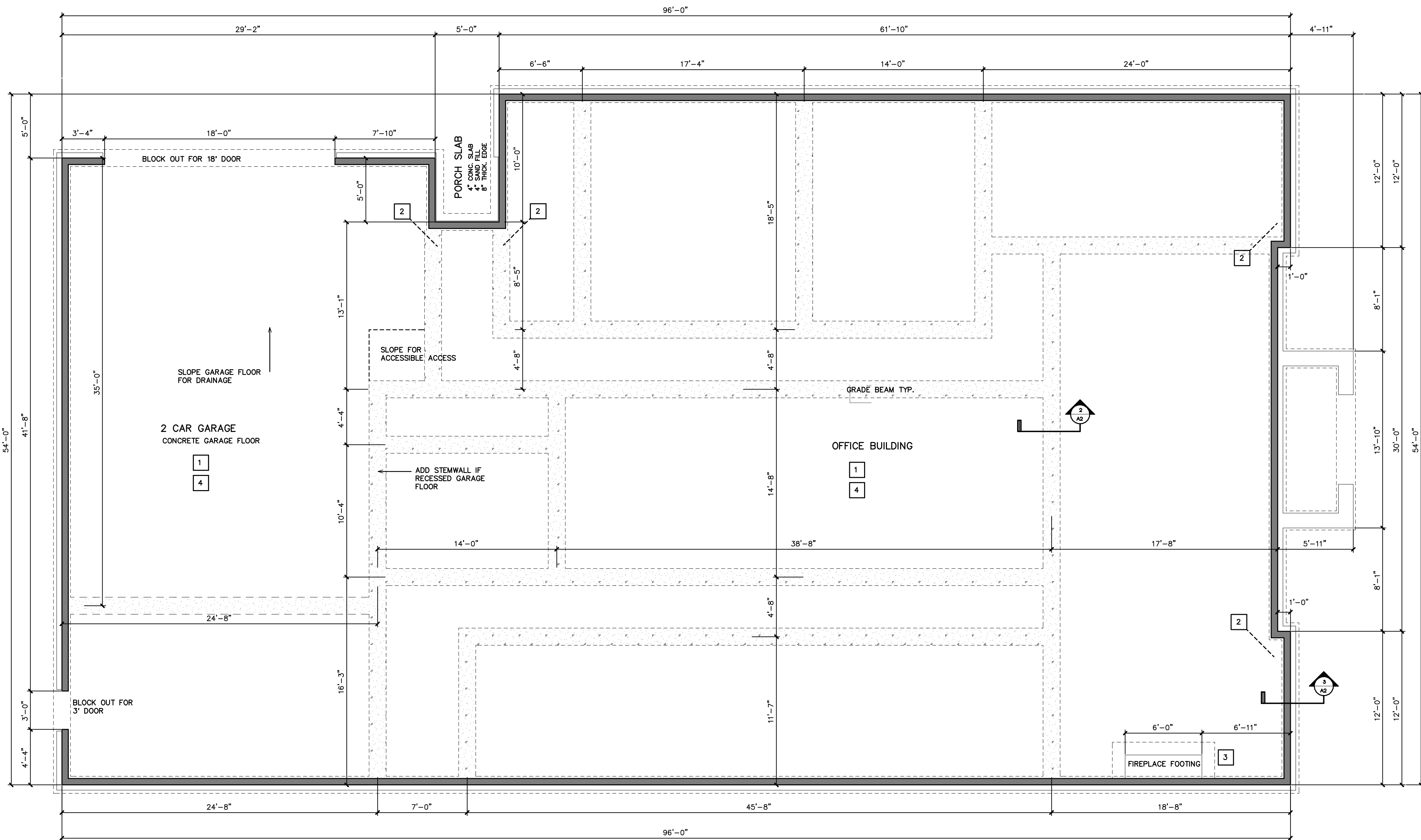
General Comments

Comment ID	Author : Department	Status	General Comments	Applicant Response Comments
6	David Cunningham : Development Services	Open	VB construction without fire suppression. No dumpster is approved by this permit. 24' DW 44' CC 62' SW SW against curb must be 6' wide. Provide an accessible route to the public way for both the entry and exit 1009.2 The garage floor must slope towards the vehicle door. No automobile servicing or repair for profit allowed in the garage.	
19	David Cunningham : Development Services	Open	Accessible parking to be 11x18 with 5 ft loading strip.	
32	David Cunningham : Development Services	Open	All fences/dumpster enclosures/retaining walls req separate permit.	
47	David Cunningham : Development Services	Open	Emergency egress lighting & illuminated exit signs req'd per Section 1013 including Tactile Exit Signs at req'd doors.	
48	David Cunningham : Development Services	Open	Restroom (s) to comply with ICC/ANSI Standard. 36" rear, 42" side and 18" vertical grab bars required in accessible stall. 16" min. and 18" max. req'd from wall to C.L. of WC. Maximum 34" height req'd for accessible sink(s) including breakroom sink. 60" clear required from WC wall to sink/ cabinet edge.	
49	David Cunningham : Development Services	Open	Accessible service counter req'd- Max. 36" high/ Min 36" wide.	
50	David Cunningham : Development Services	Open	Mounting heights of all accessible elements must comply with ICC/ANSI A117.1.	
51	David Cunningham : Development Services	Open	Attic draftstopping required at a maximum of 3000 sf intervals.	
52	David Cunningham : Development Services	Open	Vent Hoods not permitted within 18" of combustible mat. (including framing).	
93	David Cunningham : Development Services	Open	Private bath requires: 60" clear required from WC wall to sink/ cabinet edge. Backing required for HC grab bars. Lav does not require knee and toe space or 34" height. Roll-in shower must comply with ICC/ANSI A117.1 2009 sec 608 with the exceptions of seat is not required but the backing is, grab bars are not required but the backing is and the controls are to fully comply. Turning space is required in the room. Accessible door approach is required.	

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Page	Review Comments	Applicant Response Comments
0	01 REV2	Stamp	David Cunningham : Development Services	Open	1	DEV CENTER - Approved Plans	
0	01 REV2	Stamp	David Cunningham : Development Services	Open	1	DEV CENTER - Approved Sheet	
0	01 REV2	Stamp	David Cunningham : Development Services	Open	1	DEV CENTER - Conform to Code	

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Page	Review Comments	Applicant Response Comments
0	01 REV2	Stamp	David Cunningham : Development Services	Open	1	DEV CENTER - Notice of Plans	
0	02 REV	Stamp	David Cunningham : Development Services	Open	2	DEV CENTER - Approved Sheet	
0	03 REV2	Stamp	David Cunningham : Development Services	Open	3	DEV CENTER - Approved Sheet	
0	04 REV	Free text	David Cunningham : Development Services	Open	4	STAIR DELETED ATTIC ASSESS DOOR IN GARAGE CEILING ONLY	
0	04 REV	Stamp	David Cunningham : Development Services	Open	4	DEV CENTER - Approved Sheet	
0	05 REV	Stamp	David Cunningham : Development Services	Open	5	DEV CENTER - Approved Sheet	
0	06 REV	Stamp	David Cunningham : Development Services	Open	6	DEV CENTER - Approved Sheet	
0	07 REV2	Stamp	David Cunningham : Development Services	Open	7	DEV CENTER - Approved Sheet	
0	08 REV2	Stamp	David Cunningham : Development Services	Open	8	DEV CENTER - Approved Sheet	
0	09 REV	Free text	David Cunningham : Development Services	Open	9	STAIR DELETED	
0	09 REV	Stamp	David Cunningham : Development Services	Open	9	DEV CENTER - Approved Sheet	
0	10 REV2	Stamp	David Cunningham : Development Services	Open	10	DEV CENTER - Approved Sheet	
0	11 REV	Stamp	David Cunningham : Development Services	Open	11	DEV CENTER - Approved Sheet	

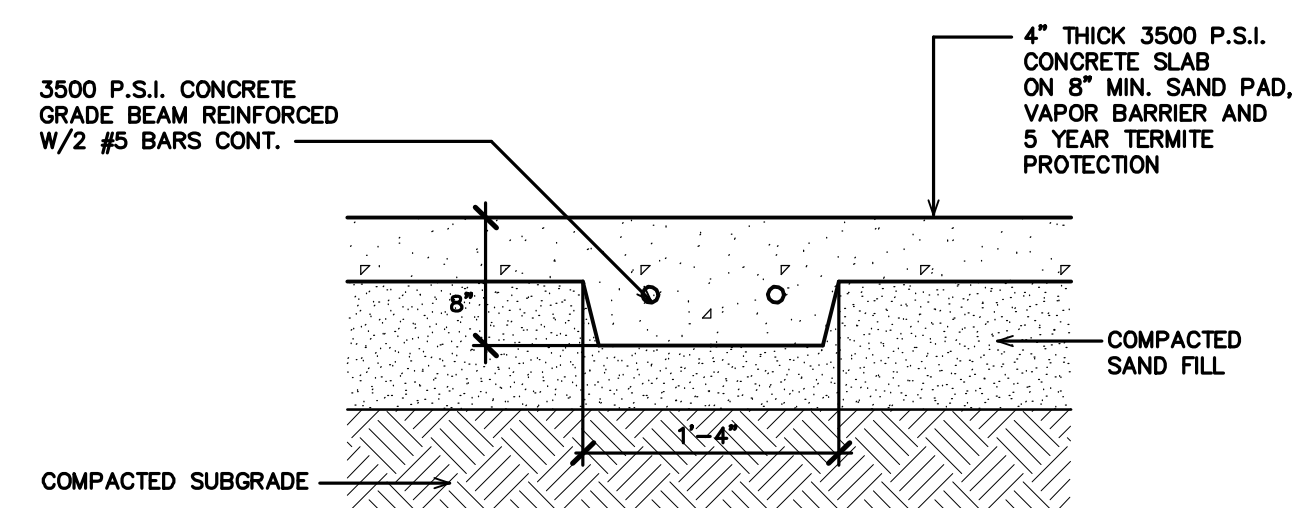


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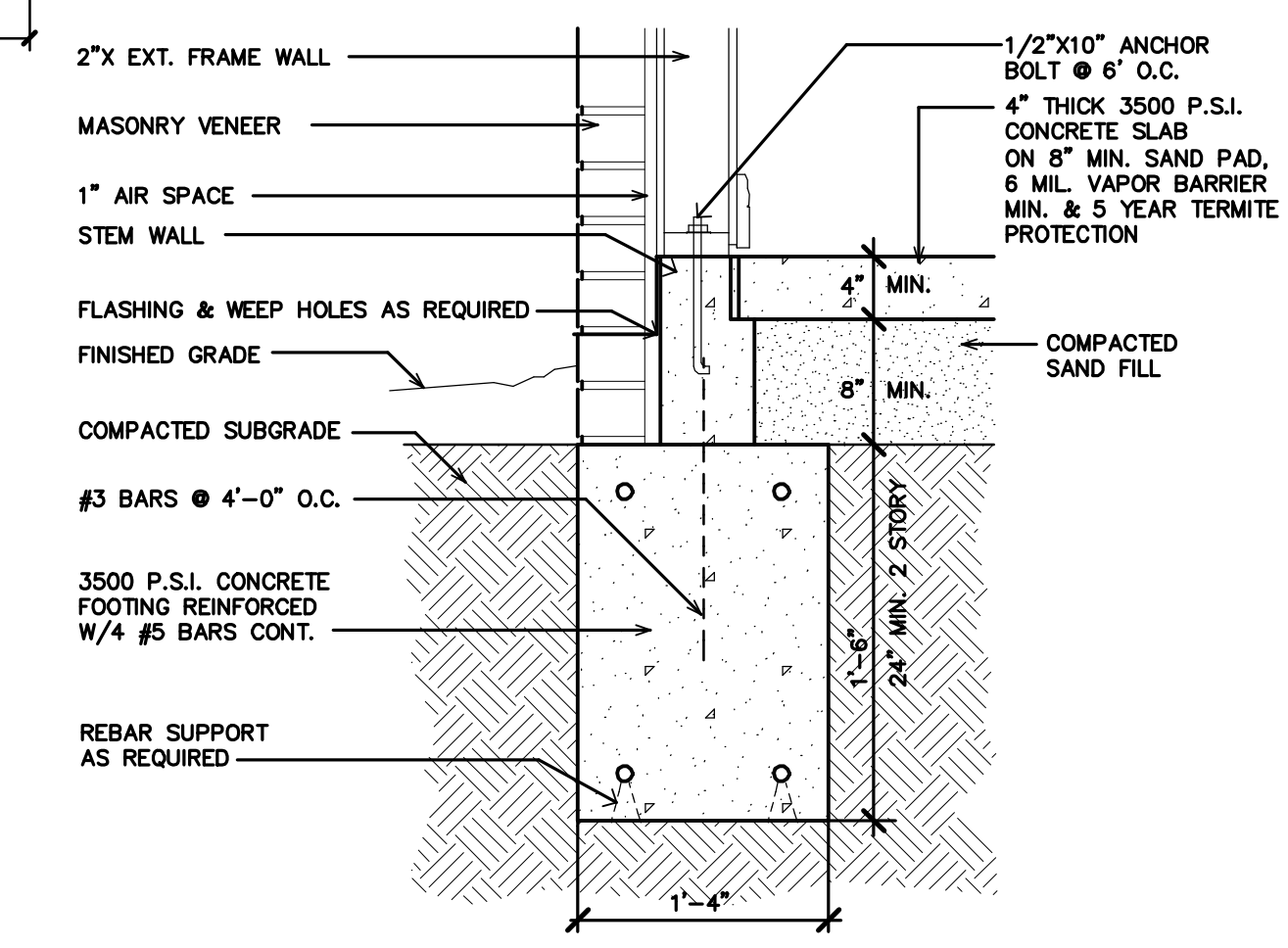
NOTE:
 FOUNDATION SHOWN IS A TYPICAL FOOTING AND STEMWALL CONSTRUCTION AND MAY NOT BE SUITED FOR YOUR LOCAL SOILS. CONSULT WITH YOUR LOCAL STRUCTURAL ENGINEER TO CONFIRM FOUNDATION TYPE. THE OWNER AND CONTRACTOR ASSUME THE RESPONSIBILITY TO MEET ALL LOCAL CODES.

1 FOUNDATION
 A2 SCALE: 1/4"=1'-0"

- NOTES:**
- 4" THICK MIN. 3500 P.S.I. CONCRETE SLAB ON 8" MIN. SAND PAD, VAPOR BARRIER AND 5 YEAR TERMITES PROTECTION.
 - 3'-0" X #3 BAR AT ALL INSIDE CORNERS IN SLAB.
 - FIREPLACE FOOTING: 18" DEEP CONCRETE FOOTING W/ #5'S AT 12" O.C. EACH WAY TOP AND BOTTOM. FOOTING SHALL BE 1'-0" LARGER THAN FIREPLACE ABOVE IN EACH DIRECTION.
 - CONTRACTOR TO DETERMINE PLACEMENT OF SAW CUT CONTROL JOINTS IN FIELD AS REQUIRED TO CONTROL CRACKING.
 - 18"x18"x18" DEEP SPOT FOOTING



2 FOUNDATION DETAIL
 A2 1"=1'-0" GRADE BEAM



3 FOUNDATION DETAIL
 A2 1"=1'-0" FOOTING

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 DATE: Monday, June 28, 2021
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Footage

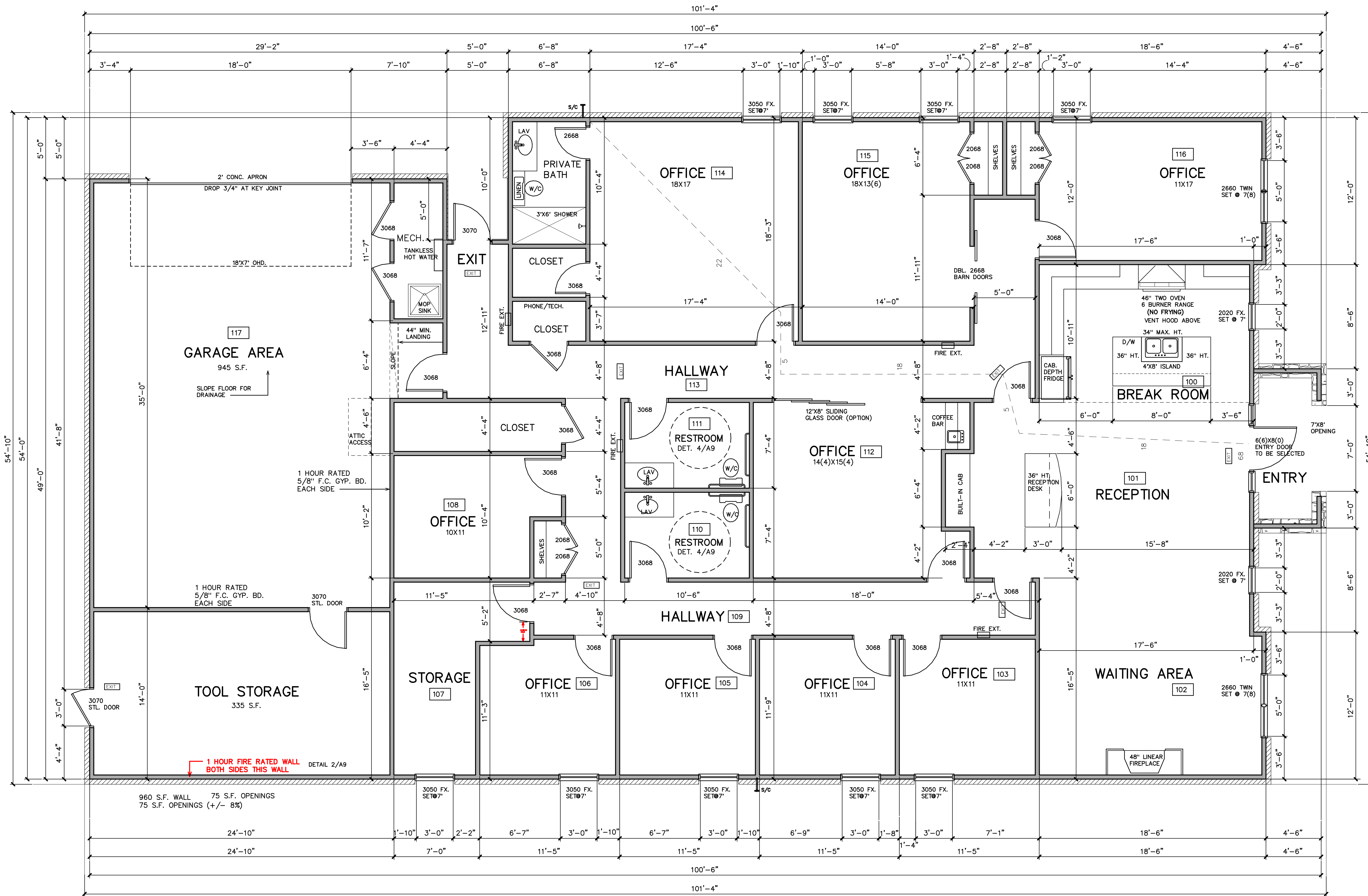
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STORAGE	335 S.F.
COV. PORCH	76 S.F.
BACK POR.	25 S.F.
FRAME DOWN	3660 S.F.
TTL. FRAME	4940 S.F.
TOTAL FRAME W/VENEER	5060 S.F.
UNDER ROOF	5161 S.F.

Index

SHEET	DESCRIPTION
A1	SITE PLAN
A2	FOUNDATION
A3	1ST FLOOR PLAN
A4	ATTIC PLAN
A5	ELEVATIONS
A6	ELEVATIONS
A7	ROOF PLAN
AB.1	1ST FLR. ELEC.
AB.2	2ND FLR. ELEC.
A9	DETAILS
L1	LANDSCAPE PLAN

Address: x
 Lot: 7 Block: 1
 Customer Name: MARK ABLE

Sheet Number
A2



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REVISED 7/12/2021

1 FLOOR PLAN
SCALE: 1/4"=1'-0"

- NOTES:
- 10' CEILINGS TYPICAL UNLESS NOTED OTHERWISE
 - 5/8" SHEETROCK WALLS
 - ALL FIRE EXTINGUISHER CABINETS SIMI-RECESSED
 - VERIFY ALL DOOR AND WINDOW ROUGH OPENINGS WITH SUPPLIER.
 - TANKLESS HOT WATER SYSTEM
 - WOOD OR WOOD LOOK TILE THROUGHOUT
 - 18" NON-COMBUSTABLE MAT. CLEARANCE AT VENT HOOD

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DESCRIPTION	SQ. FT.
GARAGE	945 S.F.
STORAGE	335 S.F.
COV. PORCH	76 S.F.
BACK POR.	25 S.F.
FRAME DOWN	3660 S.F.
TTL. FRAME	4940 S.F.
TOTAL FRAME W/VENEER	5060 S.F.
UNDER ROOF	5161 S.F.

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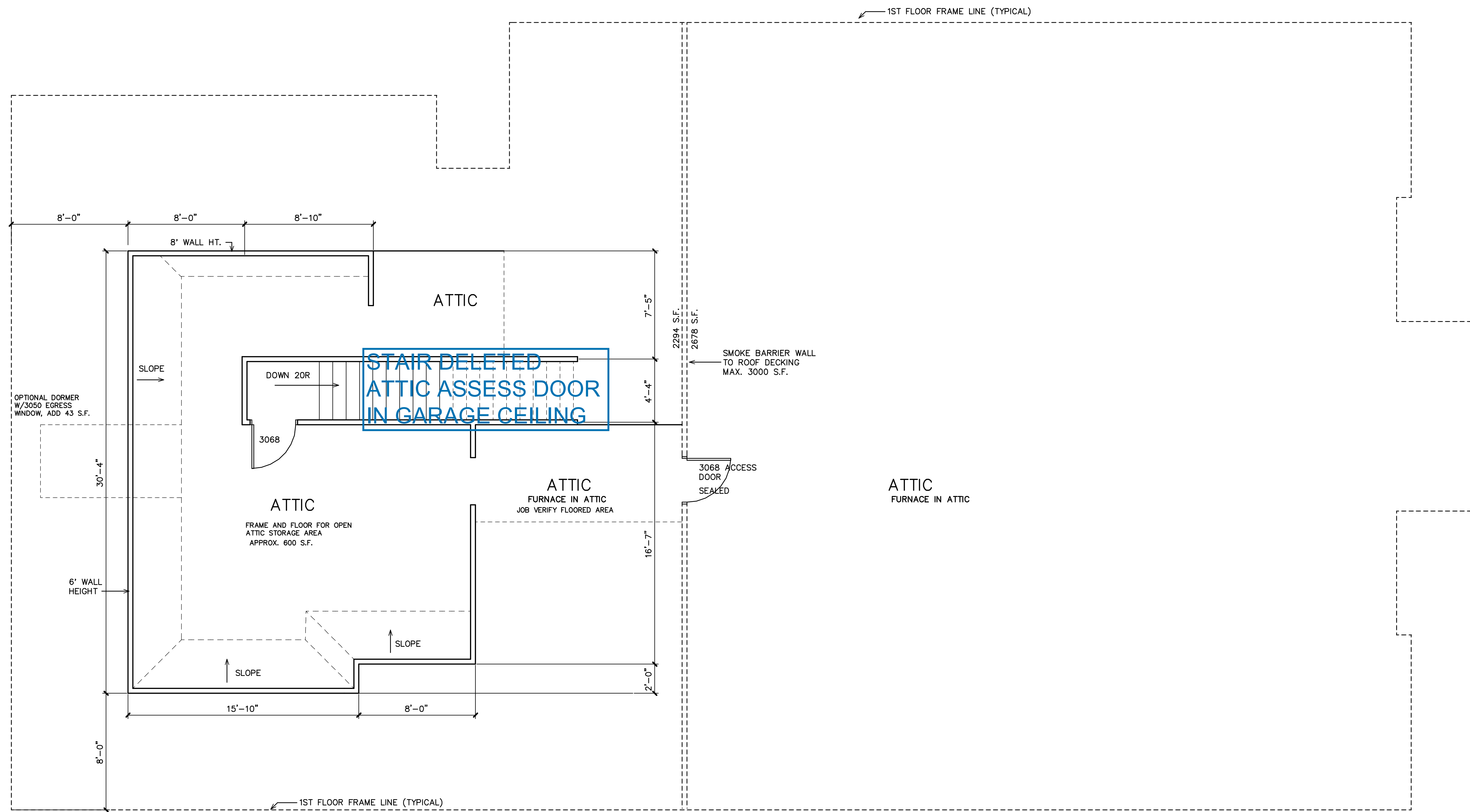
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A6	ELEVATIONS
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AB,1	1ST FLR. ELEC.
AB,2	2ND FLR. ELEC.
A9	DETAILS
L1	LANDSCAPE PLAN

Address: x Lot: 7 Block: 1
Customer Name: MARK ABLE
FLOOR PLAN

Sheet Number

A3

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1
A4 ATTIC PLAN
SCALE: 1/4"=1'-0"

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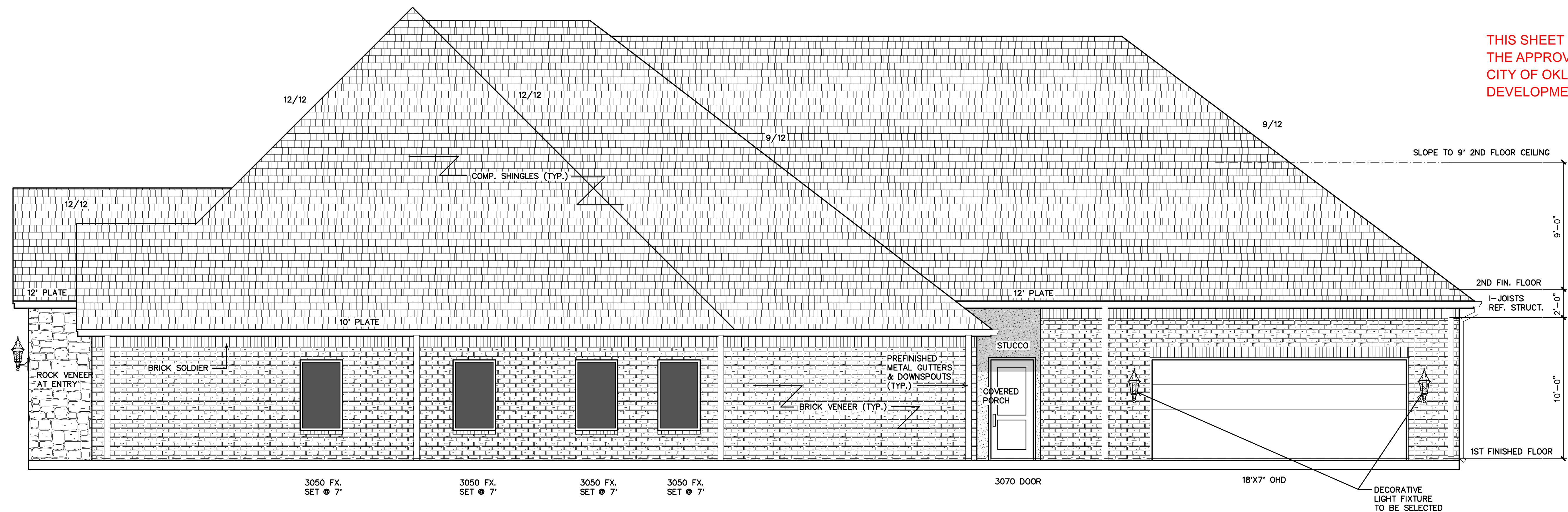
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STORAGE	335 S.F.
COV. PORCH	76 S.F.
BACK POR.	25 S.F.
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A8.1	1ST FLR. ELEC.
A8.2	2ND FLR. ELEC.
A9	DETAILS
L1	LANDSCAPE PLAN

Address: x
Lot: 7 Block: 1
Customer Name: MARK ABLE
2ND FLOOR PLAN

Sheet Number
A4



2 NORTH ELEVATION
A5 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
A5 SCALE: 1/4"=1'-0"

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Footage

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STORAGE	335 S.F.
COV. PORCH	76 S.F.
BACK POR.	25 S.F.
FRAME DOWN	3660 S.F.
TTL. FRAME	4940 S.F.
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A8.2	2ND FLR. ELECT.
A9	DETAILS
L1	LANDSCAPE PLAN

Address: x Block: 1
Lot: 7
Customer Name: MARK ABLE
ELEVATIONS

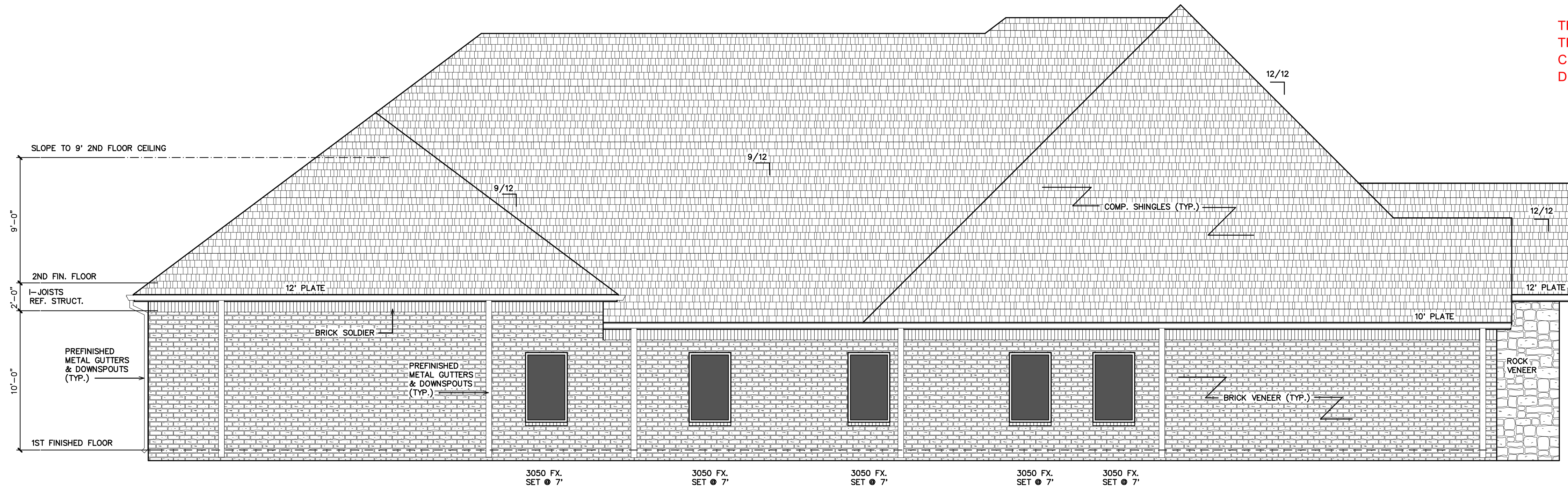
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A5

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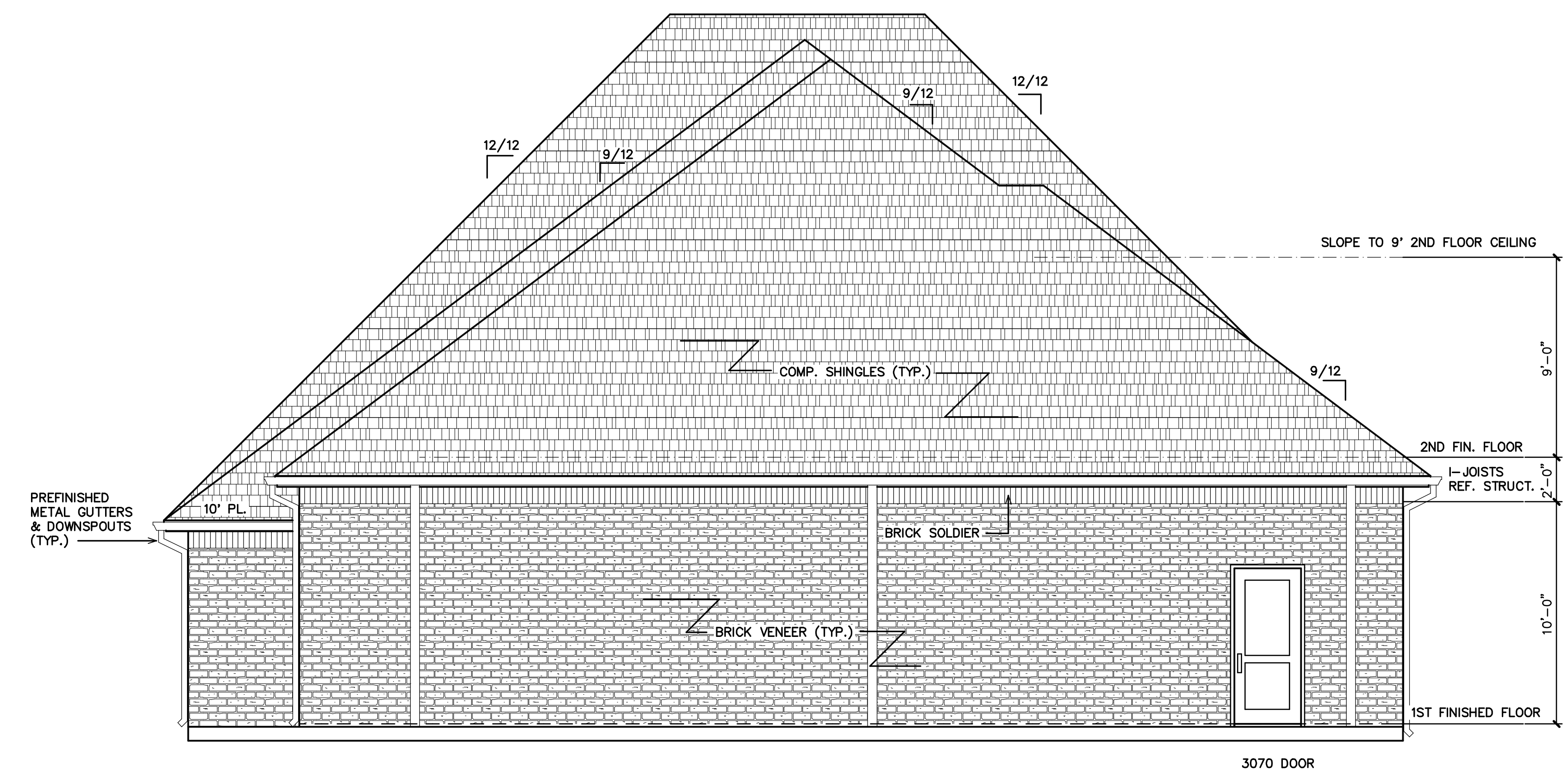
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2 SOUTH ELEVATION
 A6 SCALE: 1/4"=1'-0"



1 WEST ELEVATION
 A6 SCALE: 1/4"=1'-0"

Footage

DESCRIPTION	SQ. FT.
GARAGE	945 S.F.
STORAGE	335 S.F.
COV. PORCH	78 S.F.
BACK POR	25 S.F.
FRAME DOWN	3660 S.F.
TTL. FRAME	4940 S.F.
TOTAL FRAME W/VENEER	5060 S.F.
UNDER ROOF	5161 S.F.

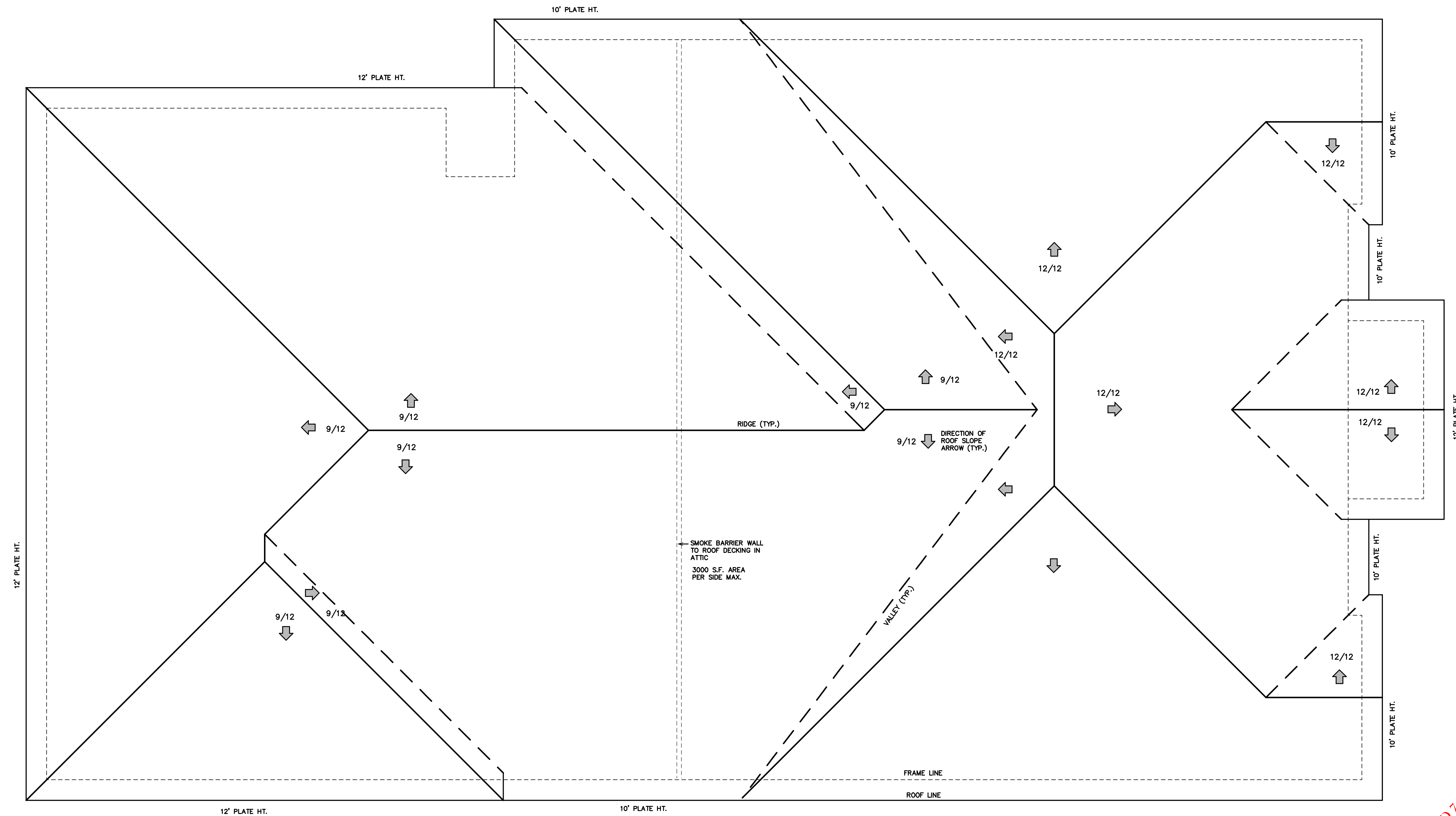
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L1	LANDSCAPE PLAN

Address: _____ Block: 1
 Lot: 7 Customer Name: MARK ABLE
 ELEVATIONS

Sheet Number

A6



12' PLATE HT.

12' PLATE HT.

10' PLATE HT.

12' PLATE HT.

10' PLATE HT.

FRAME LINE

ROOF LINE

SMOKE BARRIER WALL TO ROOF DECKING IN ATTIC
3000 S.F. AREA PER SIDE MAX.

1 ROOF PLAN
A7 SCALE: 1/4"=1'-0"

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AB,1	1ST FLR. ELEC.
AB,2	2ND FLR. ELEC.
A9	DETAILS
L1	LANDSCAPE PLAN

Address: x _____ Block: 1 _____
Lot: 7 _____ Customer Name: MARK ABLE
ROOF PLAN

Sheet Number
A7

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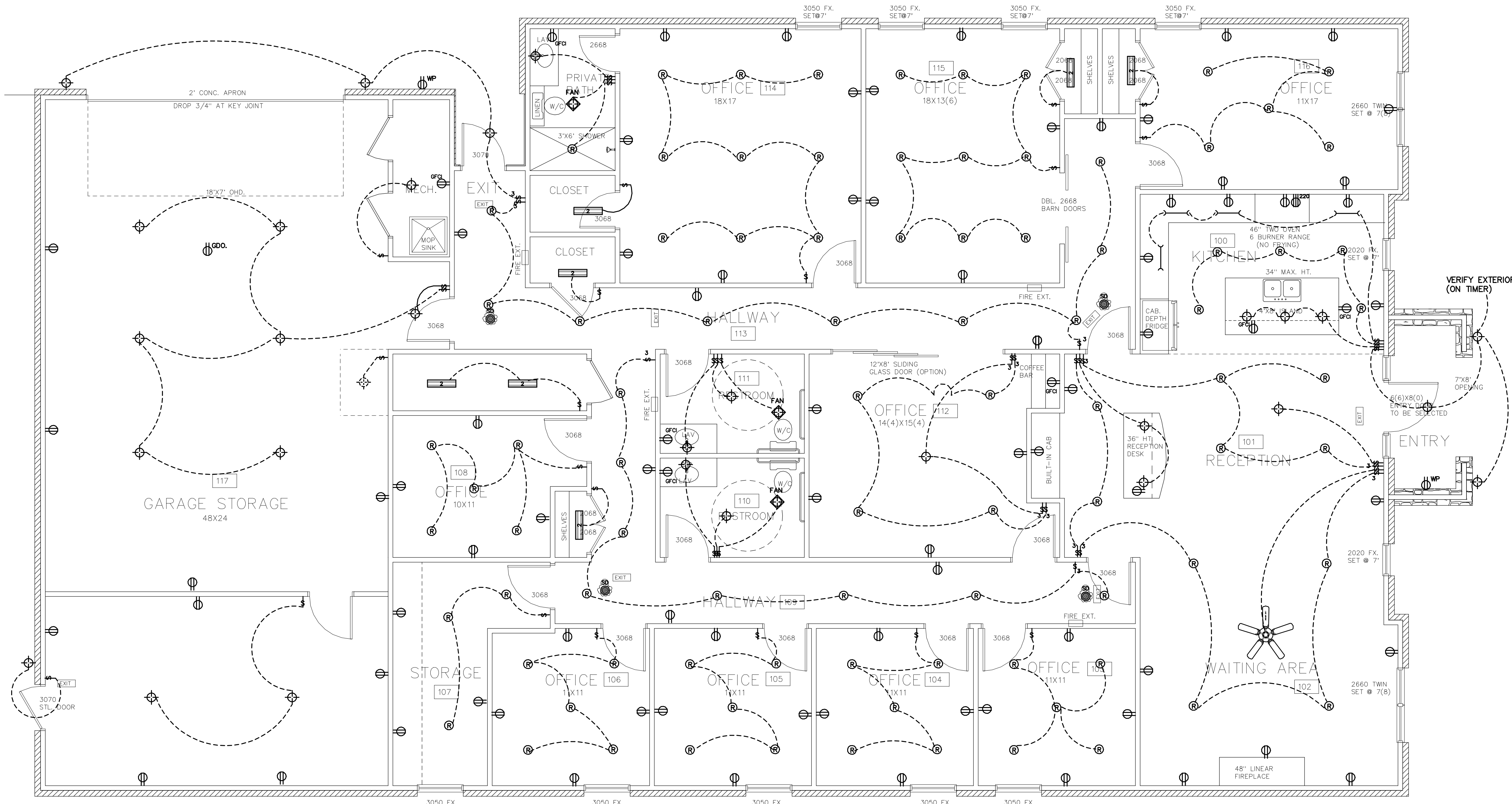
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Address: x _____ Block: 1
 Lot: 7 _____ Customer Name: MARK ABLE
1ST FLOOR ELECTRIC

Sheet Number

A8.1

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LEGEND

	ELECTRICAL OUTLET
	GFCI OUTLET
	220V OUTLET
	WATER PROOF OUTLET
	CEILING OUTLET GARAGE DOOR OPENER
	FLOOR OUTLET
	SWITCH
	3 WAY SWITCH
	LIGHT FIXTURE
	VANITY LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	DIRECTIONAL LIGHT FIX. EYEBALL
	HEAT/VENT LIGHT
	FAN/VENT LIGHT
	ABOVE/BELOW CABINET LIGHTING, VERIFY
	FLOOD LIGHT
	PHONE OUTLET
	T/V-CABLE OUTLET
	SMOKE DETECTOR
	24\"/>
	48\"/>
	CEILING FAN WITH LIGHT KIT

COORDINATE LIGHTING AND POWER WITH BUILDER. ESTIMATED LIGHTING LOCATIONS SHOWN, VERIFY PRIOR TO START OF CONSTRUCTION.

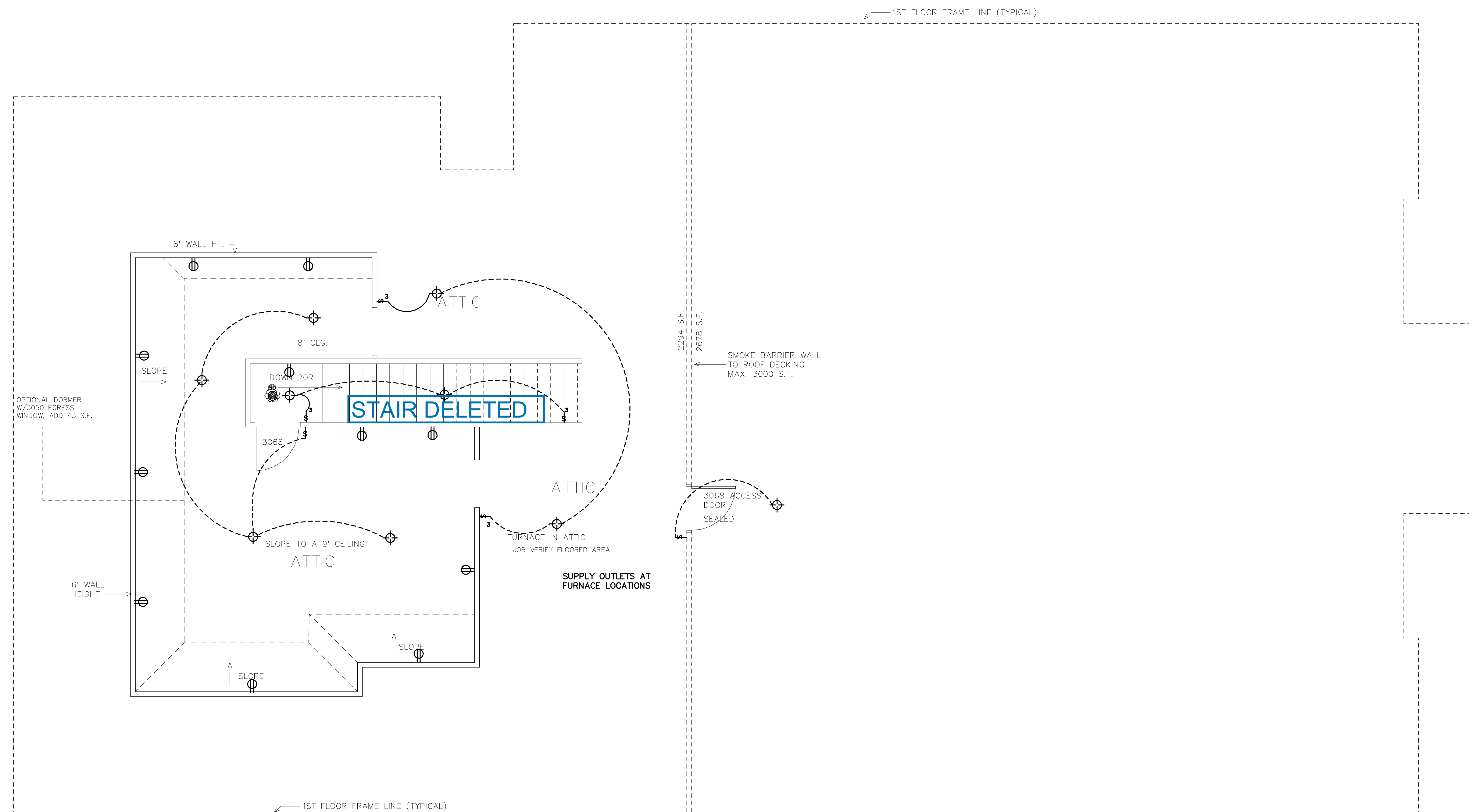
NOTE:
 INSTALL GFCI OUTLETS AT ALL WET AREA LOCATIONS AS REQUIRED.
 ELECTRICAL, TV, PHONE SUBJECT TO BUILDER/BUYER WALK THROUGH.

EMERGENCY EXIT LIGHTING AS REQUIRED

REVISED 7/12/2021

1 1ST FLOOR ELECTRIC
 SCALE: 1/4"=1'-0"

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1 ATTIC ELECTRIC
A8.2 SCALE: 1/4"=1'-0"

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PROJECT NO. Sonoma/bbe/2021 2
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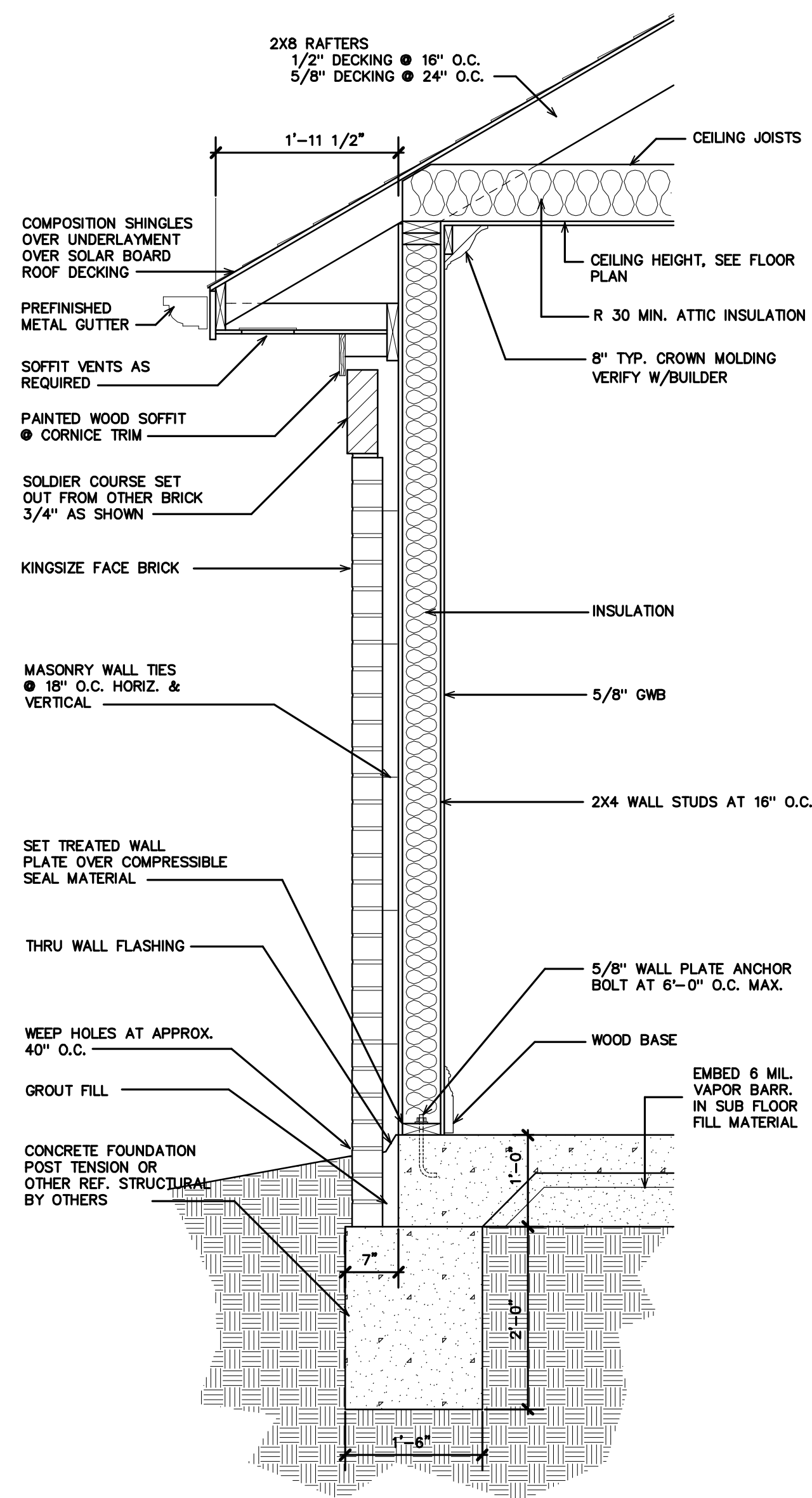
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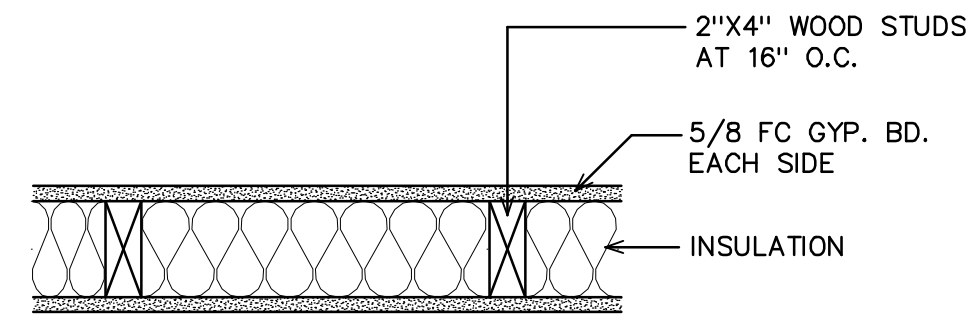
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Address: x Block: 1
Lot: 7 Customer Name: MARK ABLE
2ND FLOOR ELECTRIC

Sheet Number
A8.2



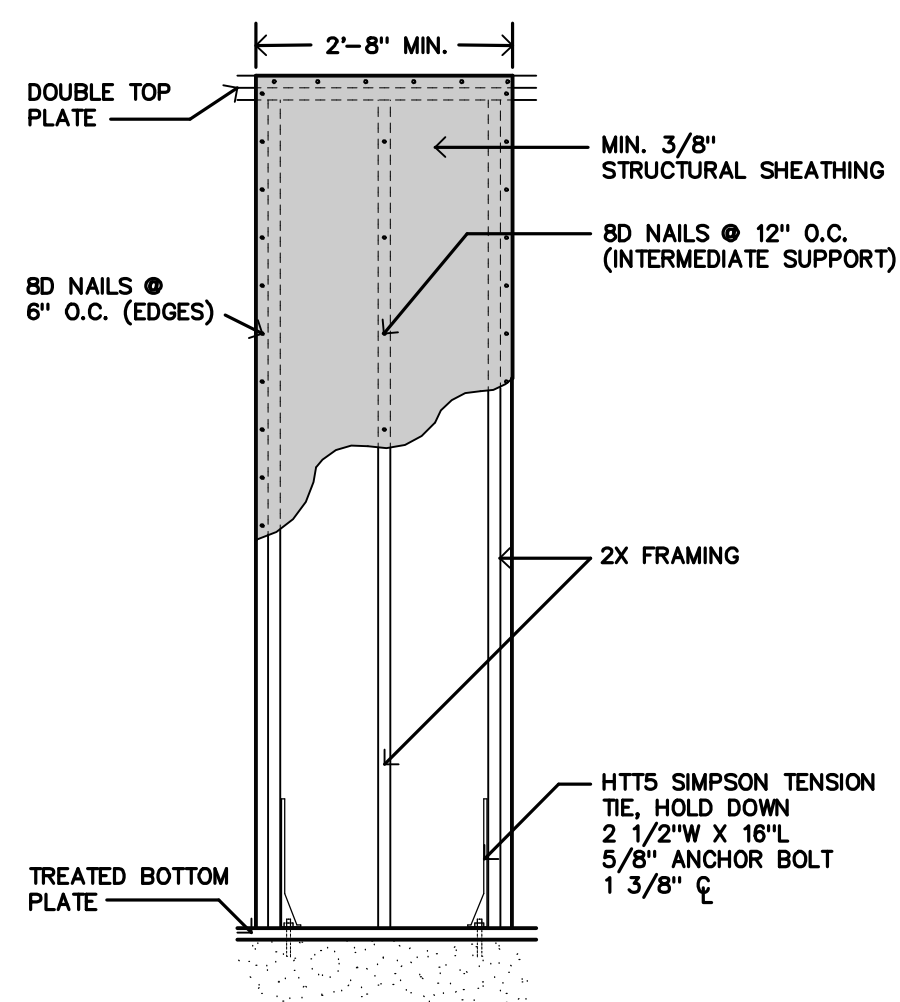
1 WALL SECTION
SCALE: 3/4"=1'-0"



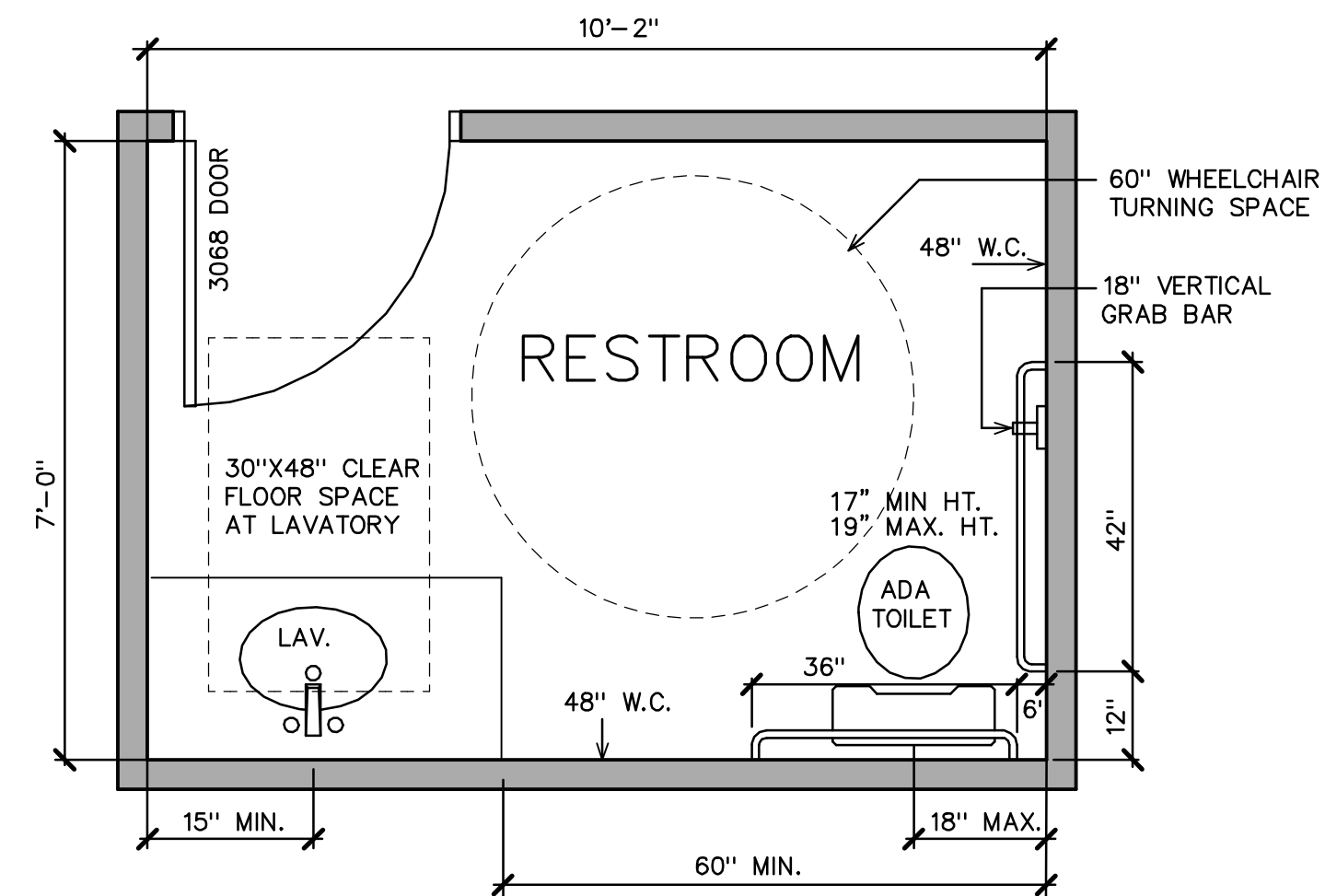
1 LAYER 5/8" FIRE-RATED GYPSUM PANELS APPLIED TO EACH SIDE OF 2"x4" WOOD STUDS 16" O.C. WITH 1 7/8" 6D COATED NAILS SPACED 7" O.C. JOINTS STAGGERED.

2 UL U305 FIREWALL
SCALE: nts

NOTE: ALTERNATE EXTERIOR SIDE 5/8" DENSGLASS FIREGUARD OR TOUGHROCK FIREGUARD SHEATHING APPLIED VERTICALLY OR HORIZ. TO 2"x4" WOOD STUDS AT 16" O.C. WITH 1 3/4" GALVANIZED ROOFING NAILS 7" O.C. EXT. SURFACE COVERED WITH EXPOSED CLADDING OR FINISH SYS.



3 BRACE WALL DETAIL
SCALE: 1/2"=1'-0"
SINGLE STORY ALTERNATE BRACED WALL



RESTROOM NOTES

- HEIGHT TO LAVATORY RIM, 34" MAX.- HEIGHT TO BOTTOM OF APRON, 29" MIN.
- PAPER TOWEL DISPENSER HEIGHT TO OPENING 48" MAX.
- TOILET PAPER DISPENSER HEIGHT, 26" DISTANCE FROM TOILET, 9"
- GRAB BARS, HT. TO TOP OF BAR, 33" TO 36"
- HANDI-CAP TOILET HEIGHT TO TOP OF SEAT, 17"-19"
- PROVIDE 36" REAR GRAB BAR, 42" SIDE GRAB BAR AND AN 18" VERTICAL GRAB BAR PER CODE REQUIREMENTS
- TILE WAINSCOT OR OTHER WASHABLE SURFACE 48" MIN. HEIGHT WET AREA WALLS

4 RESTROOM DETAIL
SCALE: 1/4"=1'-0"

THIS SHEET IS PART OF THE APPROVED PLANS. CITY OF OKLAHOMA CITY DEVELOPMENT CENTER

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PROJECT NO. SonomaAbn2021 3
DATE: Monday, July 12, 2021
DRAWN BY: DON BREWER
CHECKED BY:

Footage

DESCRIPTION	SQ. FT.
GARAGE	945 S.F.
STORAGE	335 S.F.
COV. PORCH	76 S.F.
BACK POR.	25 S.F.
FRAME DOWN	3660 S.F.
TTL. FRAME	4940 S.F.
TOTAL FRAME W/VENEER	5060 S.F.
UNDER ROOF	5161 S.F.

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A2	FOUNDATION
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A5	ELEVATIONS
A6	ELEVATIONS
A7	ROOF PLAN
A8.1	1ST FLR. ELEC.
A8.2	2ND FLR. ELEC.
A9	DETAILS
L1	LANDSCAPE PLAN

Address: x _____ Block: 1
Lot: 7 _____ Customer Name: MARK ABLE
DETAILS

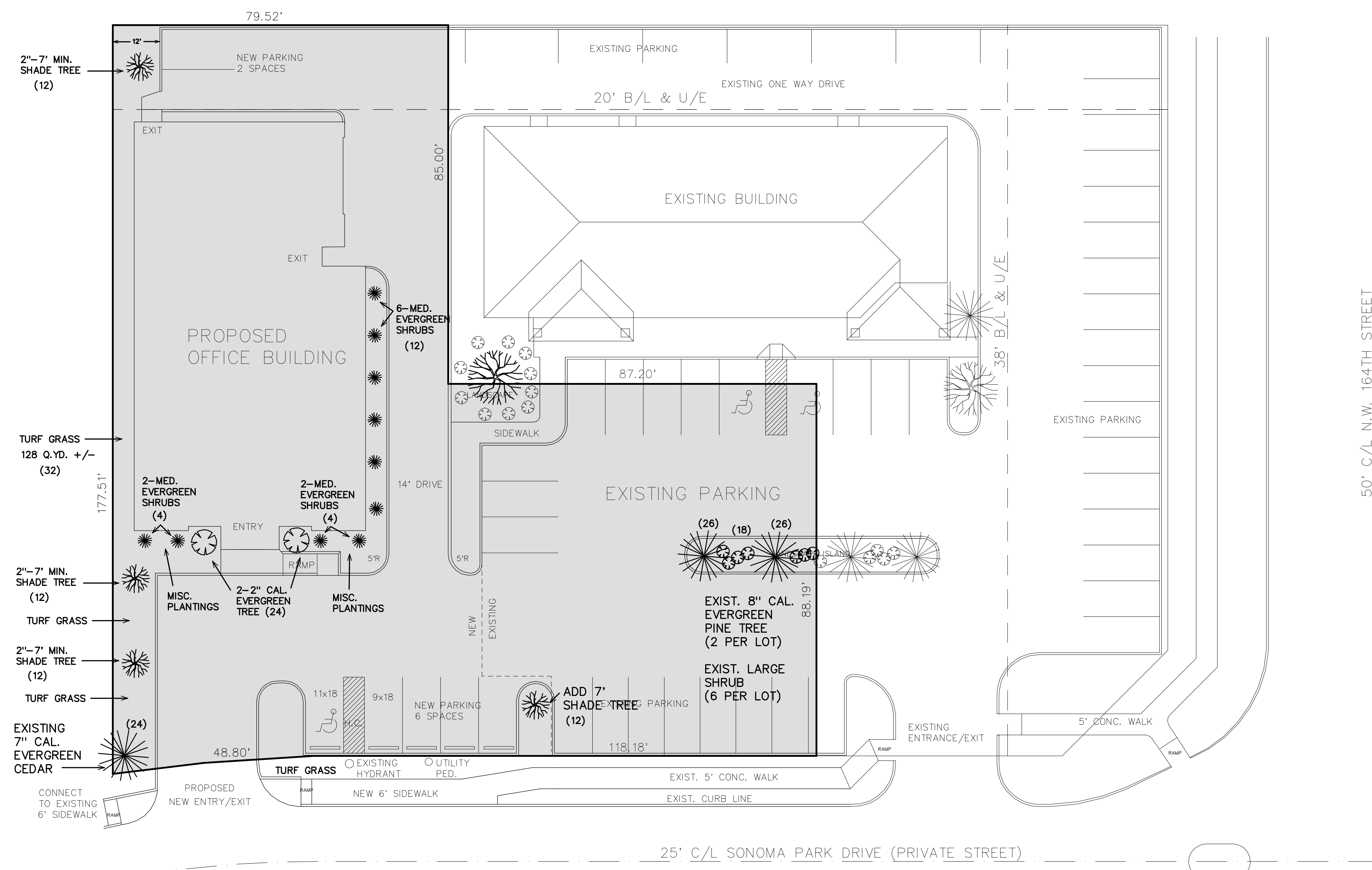
Sheet Number

A9

THIS SHEET IS PART OF
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CITY OF OKLAHOMA CITY
DEVELOPMENT CENTER

NOTE:
AUTOMATIC IRRIGATION OR HOSE BIBBS
WITHIN 100' OF ALL PLANT MATERIAL.

1 APPROVED 2" MIN. SHADE TREE REQUIRED
WITHIN 75' OF ALL PARKING SPACES. (PROVIDED)



POINT SYSTEM CALCULATIONS	
DEVELOPED AREA = 21,533 SQ. FT.	
REQUIRED PARKING = 22 SPACES	
SITE POINTS FOR 5,000 SQ. FT.	25
ADDITIONAL 16,533/200	83
SITE POINTS	108
TWO (2) POINTS X 22 REQ. PARKING SPACES	44
TOTAL POINTS REQUIRED	152

MINIMUM 60% EVERGREEN FRONT AND SIDE YARDS =(92 POINTS)
MAX. 25% POINTS FOR TURF GRASS =(38 POINTS)

PLANT MATERIAL LIST AND CALCULATIONS			
QUANTITY	PLANT NAME	POINTS EA.	TTL. POINTS
2	EXISTING 8"-10" EVERGREEN PINE TREE	26	52
1	EXISTING 7"-10"HT EVERGREEN CEDAR TREE	24	24
6	EXISTING LARGE EVERGREEN JUNIPER BUSH	3	18
2	NEW-2" MIN. (7"HT) SHADE TREE LACEBARK ELM	12	24
2	NEW-2" MIN. (7"HT) EVERGREEN NELLIE STEVENS HOLLY	12	24
2	NEW-2" MIN. (7"HT) SHADE TREE, REDBUD	24	12
10	MED. 3 GAL. EVERGREEN SHRUB, BOXWOOD/NANDINA	2	20
128 S.Y.	TURF GRASS 38 POINTS MAX.	1/4 POINT PER YARD	32
TOTAL POINTS PROVIDED			218

TOTAL EVERGREEN REQUIRED (91) PROVIDED (138)
TURF GRASS MAX. ALLOWED (38) PROVIDED (32)

- PLANTING NOTES**
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND AVOIDING ALL SITE UTILITIES.
 - FIELD ADJUST PLANT LOCATIONS AS NECESSARY. PLANT SPACING AND LOCATIONS SHOWN ARE APPROXIMATE.
 - BUILDER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS AS NECESSARY WITH PLANTING OF EQUAL OR GREATER POINT VALUES.
 - ALL LANDSCAPED AREAS TO BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM.

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Premier Custom Homes
(405) 212-4747
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PROJECT NO. SonomaAba2021 2
DATE: Monday, June 28, 2021
DRAWN BY: DON BREWER
CHECKED BY:

Footage

DESCRIPTION	SQ. FT.
GARAGE	945 S.F.
STORAGE	335 S.F.
COV. PORCH	76 S.F.
BACK PORCH	25 S.F.
FRAME DOWN	3660 S.F.
TTL. FRAME	4940 S.F.
TOTAL FRAME W/VENEER	5060 S.F.
UNDER ROOF	5161 S.F.

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A8.2	2ND FLR. ELEC.
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L1	LANDSCAPE PLAN

Address: x
Lot: 7 Block: 1
Customer Name: MARK ABLE
LANDSCAPE

Sheet Number

L1

SCALE: 1/16" = 1'-0"