

FOR SALE

**1950 AVE 52,
LOS ANGELES, CA 90042**

1950 AVE 52, LOS ANGELES



**STUNNING HILLSIDE RETREAT
WITH UNPARALLELED DOWNTOWN LA VIEWS**

STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

Welcome to your opportunity to own a piece of paradise perched atop a picturesque hill, offering breathtaking views of the iconic Downtown Los Angeles skyline and the charming surrounding neighborhood. This rare gem of a property boasts a generous lot size of 13,182 square feet, providing ample space for your dream home.

PROPERTY HIGHLIGHTS

1. **Lot Size:** 13,182 square feet of prime real estate, perfect for crafting your vision of luxury living.
2. **Scenic Hillside Location:** Nestled on a serene hill, this property offers a tranquil escape from the bustling city while being just moments away from all the excitement that Downtown Los Angeles has to offer.
3. **Panoramic Views:** Enjoy awe-inspiring views of the dazzling Downtown LA skyline, a sight that will never cease to captivate and inspire.
4. **Future Home Potential:** Plans are already in progress for a stunning three-level, 3,557 square foot residence, designed to maximize the incredible vistas.

Please note that the plans are not yet ready to issue permits, providing you with the perfect opportunity to customize your future home to your exact specifications.

5. **City of Los Angeles:** The plans are currently in progress with the City of Los Angeles. As a potential buyer, you will have the chance to complete the plans according to your unique preferences and specifications.

6. **Due Diligence:** We encourage prospective buyers to conduct their own due diligence regarding the existing plans, allowing you to shape your dream home in harmony with the landscape and views.

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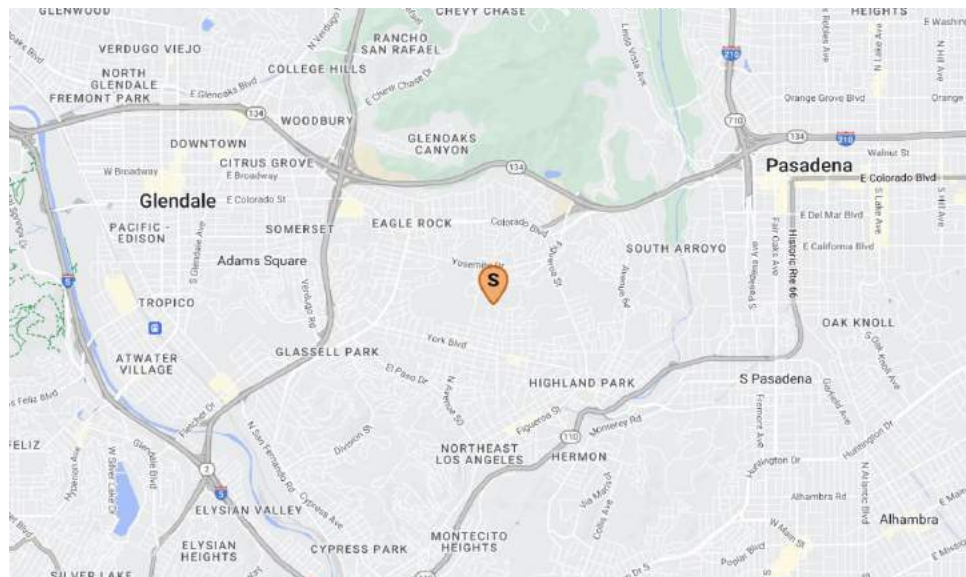
STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

OFFERING SUMMARY

ADDRESS	1950 Ave 5 Los Angeles, CA 90042
PRICE	\$280,000
APN	547-900-5041

DEMOGRAPHICS 1 MILE 3 MILE 5 MILE

2023 Population	34,256	219,774	618,115
2023 Median HH Income	\$98,561	\$91,022	\$85,787
2023 Average HH Income	\$131,511	\$132,045	\$126,019



LOCATION:

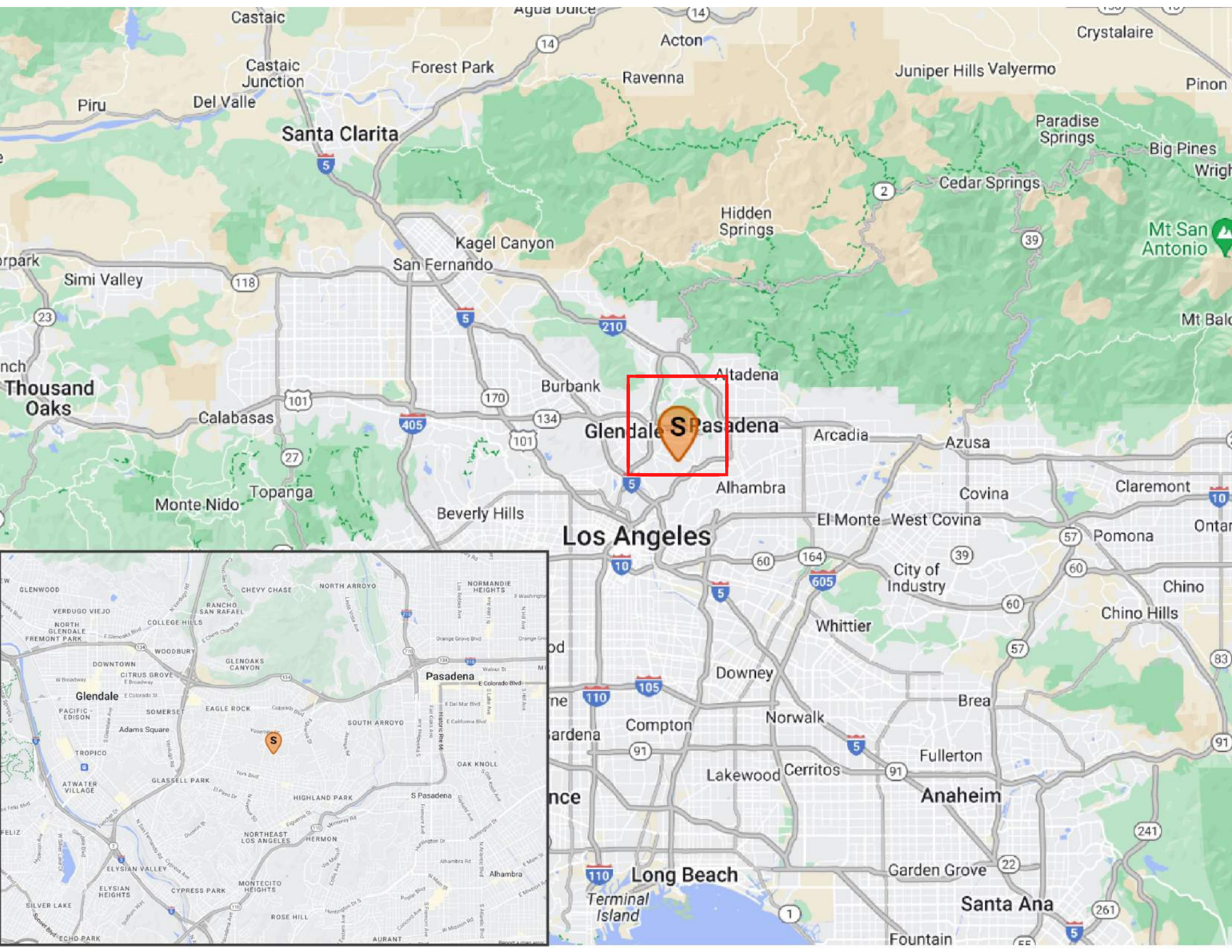
Situated in a desirable neighborhood, this property offers a peaceful retreat while still providing easy access to the vibrant culture, dining, and entertainment options that Downtown Los Angeles is renowned for. Enjoy the best of both worlds – the tranquility of hillside living and the excitement of city life at your doorstep.

Don't miss this exceptional opportunity to own a piece of paradise with endless potential. Create your own sanctuary in the heart of Los Angeles, surrounded by awe-inspiring views and the promise of a dream home that's uniquely yours. Contact us today to explore the possibilities and make this rare offering yours.

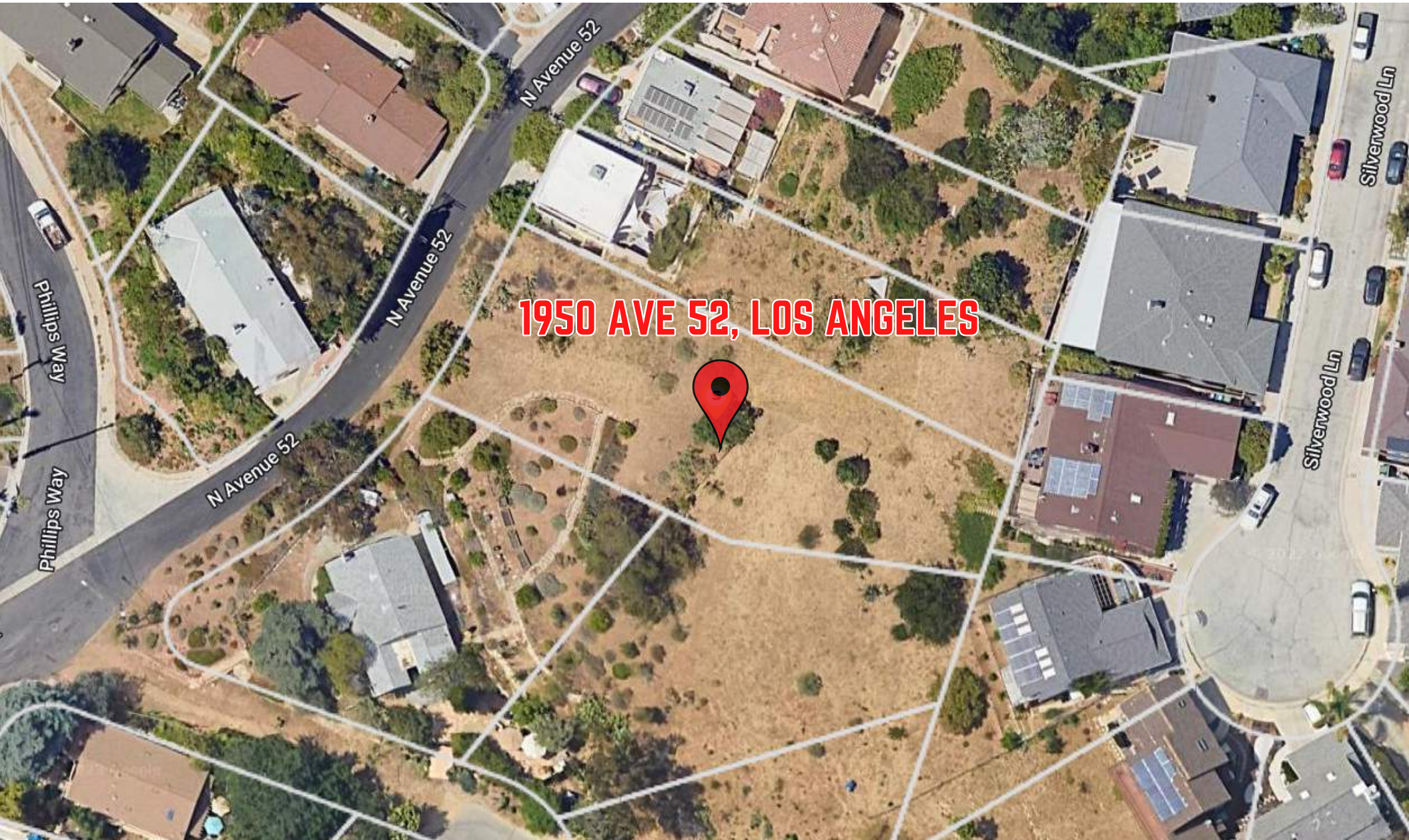
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PLOT PLAN:

PROJECT DATA

ADDRESS 1950 N. AVE. 52 CA 90042
 APN#: 5479-005-041
 TR 8251 LAND DESC IN DOC 111579, 100126
 LOT 13 AND POR OF LOTS 11 AND 12
 ZONE: RE 11
 ALLOWED LOT COVERAGE: AX45%-13,061X45%-5,877 SQFT
 ALLOWED FLOOR AREA: 3,557.27 SQFT.
 HEIGHT LIMIT: 36 FT.
 REQUIRE COVERED PARKING: 2

PROPOSED BUILDING DATA

THIRD FLOOR AREA 1,029.50
 SECOND FLOOR AREA 937.75
 GROUND FLOOR AREA 429.50
 TOTAL LIVING AREA 2,396.75 SQFT<3,557 SQFT
 SECOND FLOOR DECK AREA 420.00
 TOTAL DECK AREA 420.00 SQFT
 GARAGE AREA 370.50 SQFT
 LOT COVERAGE: 3,485<5,877 SQFT

STRUCTURAL: RAY LIU ASSOCIATES, CORP. 3452 E. FOOTHILL BLVD. STE # 620 CA 91107
 RAY LIU TEL.: 626-529-3858

SOILS: GSS ENGINEERING, INC. 90670 11823 ALAUSON AVE., #46, SANTA FE SPRING, CA
 ALLEN LEE TEL: 562-696-6062

CIVIL: TRITECH ASSOCIATES 135 N SAN GABRIEL BLVD., #100 SAN GABRIEL, CA 91775
 (GRADING, DRAINAGE, SURVEY) JOHN WONG TEL: 626-570-1918

MECHANICAL: PERFECT DESIGN (ENERGY,) 2416 W. VALLEY BLVD., ALHAMBRA, CA 91803
 RAYMOND H. ZHONG TEL: 626-289-8808

MECHANICAL: SUPERIOR FIRE PROTECTION INC. (FIRESPRINKLER) 18120 ROWLAND ST., INDUSTRY, CA91748
 TEL: 626-965-6900

SHEET INDEX

A1 PLOT PLAN	S5 STRUCTURAL COVER SHEET
A2 GROUND & SECOND FLOOR PLAN	S-GN STRUCTURAL GENERAL NOTES
A3 THIRD FLOOR & ROOF PLAN	S-1 GROUND FLOOR FOUNDATION PLAN
A4 FRONT & RIGHT ELEVATION PLAN	S-2 2ND FLOOR FRAMING AND FOUNDATION PLAN
A5 REAR & LEFT ELEVATION PLAN	S-3 3RD FLOOR FRAMING AND FOUNDATION PLAN
A6 SECTION PLAN	S-4 ROOF FRAMING PLAN
A7 DIAGONAL SECTION PLAN	S-1 GROUND FLOOR FOUNDATION PLAN (SHORING PLAN)
A8 DOOR & WINDOW SCHEDULES	SH-1 SHORING PLAN
N1 NOTE	SD1 STRUCTURAL DETAILS
N2 NOTE	SD2 STRUCTURAL DETAILS
N3 NOTE (GREEN CODE)	SD3 STRUCTURAL DETAILS
N4 NOTE (GREEN CODE)	SD4 STRUCTURAL DETAILS
L1 LANDSCAPE PLAN	HF01 HARDY FRAME ANCHORAGE DETAILS
	HF02 HARDY FRAME FRAMING DETAILS
	HF03 HARDY FRAME FLOOR SYSTEM DETAILS

PROJECT ADDRESS: NEW 3-STORIES RESIDENCE
SHEET TITLE: PLOT PLAN
JOB NO.: 1950 AVE 52
ISSUED DATE: 11/03/2017
SHEET: A-1
 A 01

STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

PLOT PLAN:



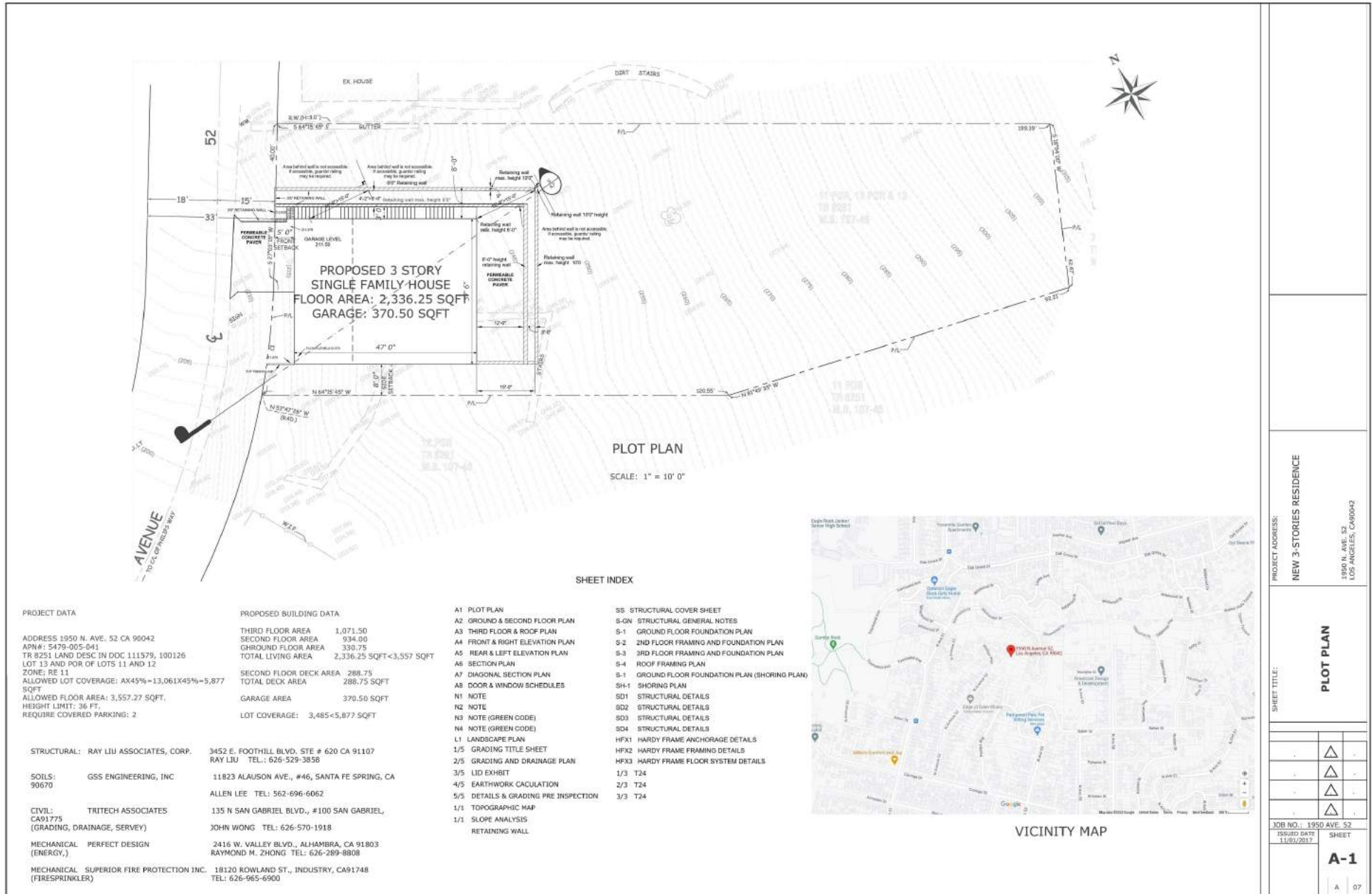
STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

PLOT PLAN:



STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

PLOT PLAN:



STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

GROUND AND SECOND FLOOR PLAN:

GENERAL REQUIREMENTS

NOTE:

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, HULL BOX, TRANSFORMERS, WALLS, PUMPS, VALVES, METERS, APPLIANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITION EXPENSES.

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METERS AND BE PROPERLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.135) (SEPARATE PLUMBING PERMIT IS REQUIRED).

3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO SANITARY SEWERS OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)

4. KITCHEN SINK, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. (R306.4)

5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 8 FEET ABOVE THE FLOOR (R307.2).

6. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

7. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 907.3.1.APC)

8. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

9. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)

10. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARM SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)

11. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENING IN ACCORDANCE WITH SECTION R301.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELS OVER THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R301.1)

12. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) (701A.3.7201.2.7207)

NOTE:

1. (ROOF) (ATTIC) EXTERIOR WALL VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4 BENCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN BAYS AND CORNICES (706A.1, 706A.2, 706A.3, 707.3)

2. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROTECT FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SPM 12-7A-1 (707A.3.1)

3. EXTERIOR WALL COVERING SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED BAYS, TERMINATE AT THE ENCLOSURE (708A.3.1)

4. EXTERIOR WINDOWS, WINDOW WALLS, GLAZE DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM ONE-TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO NFPA 257, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SPM 12-7A-2 (708A.2.1)

5. EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SPM 12-7A-1 OR SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAIL NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FILL PANEL. THICKNESS NO LESS THAN 1 1/2 INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 848. (EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-RESISTANT TREATED WOOD VEHICLE ACCESS DOORS) (708A.3)

6. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACES WITHIN 30 FEET (3048MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON-COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC. 709A.3

7. THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 705A.2.

FIRE PROTECTION

NOTE:

1. THE FIRE SPRINKLER SYSTEM IS A DEFERRED PERMIT AND SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. THE FIRE SPRINKLER CONSULTANT SHALL PROVIDE NFPA 13-P.

PLUMBING AND DESIGN

NOTE:

1. THE PANEL OR SUBPANEL SHALL HAVE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE BY CHARGING AS **BY CAPABLE**. THE BAY(S) TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED **BY CAPABLE**.

ENERGY EFFICIENCY

NOTE: (0)

1. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT OPPOSITE END FROM THE MAIN FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARK AS FOR FUTURE SOLAR ELECTRIC.

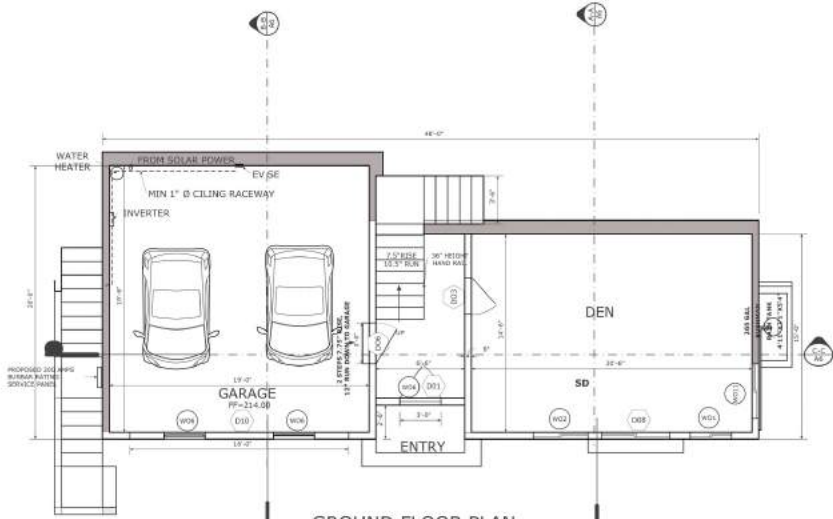
NOTE: (1)

A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPANION DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(B) THROUGH 110.10(G) SHALL BE PROVIDED TO THE OCCUPANT. (ENERGY CODE SECTION 110.10(H))

WATER EFFICIENCY AND CONSERVATION

NOTE: (1)(1)

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM **600-13** SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.



GROUND FLOOR PLAN

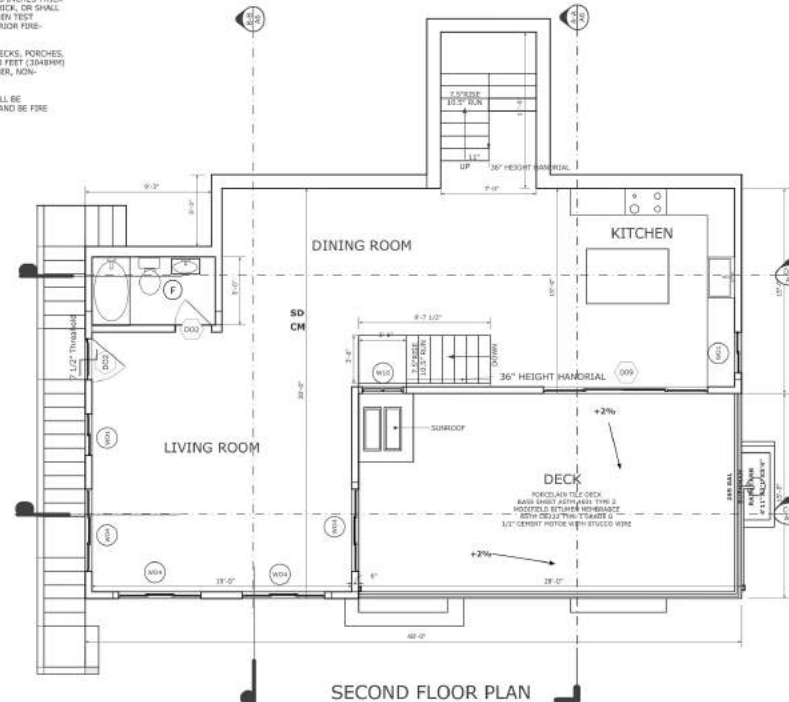
SCALE: 1/4" = 1' 0"

FLOOR AREA: 429.50 SQFT. = (27x15+3.5x9.625+3x3)

GARAGE AREA: 370.50 SQFT. = (19.5x19)

LEGEND

- STUD WALL
- CONCRETE/RETAINING WALL
- ENERGY STAR EXHAUST FAN
- SD SMOKE DETECTOR R214
- CM CARBON MONOXIDE ALARM R315



SECOND FLOOR PLAN

SCALE: 1/4" = 1' 0"

FLOOR AREA: 937.75 SQFT. = (48.30+7x11.42+9.25x5.25+5.25+28x15)+(3.5x9.625+7x11.42)(deduct stair)

DECK AREA: 420.00 SQFT. = 15.00x28

PROJECT ADDRESS:
NEW 3-STORIES RESIDENCE

GROUND & SECOND FLOOR PLAN

1950 N. AVE. 52
LOS ANGELES, CALIFORNIA

SHEET TITLE:



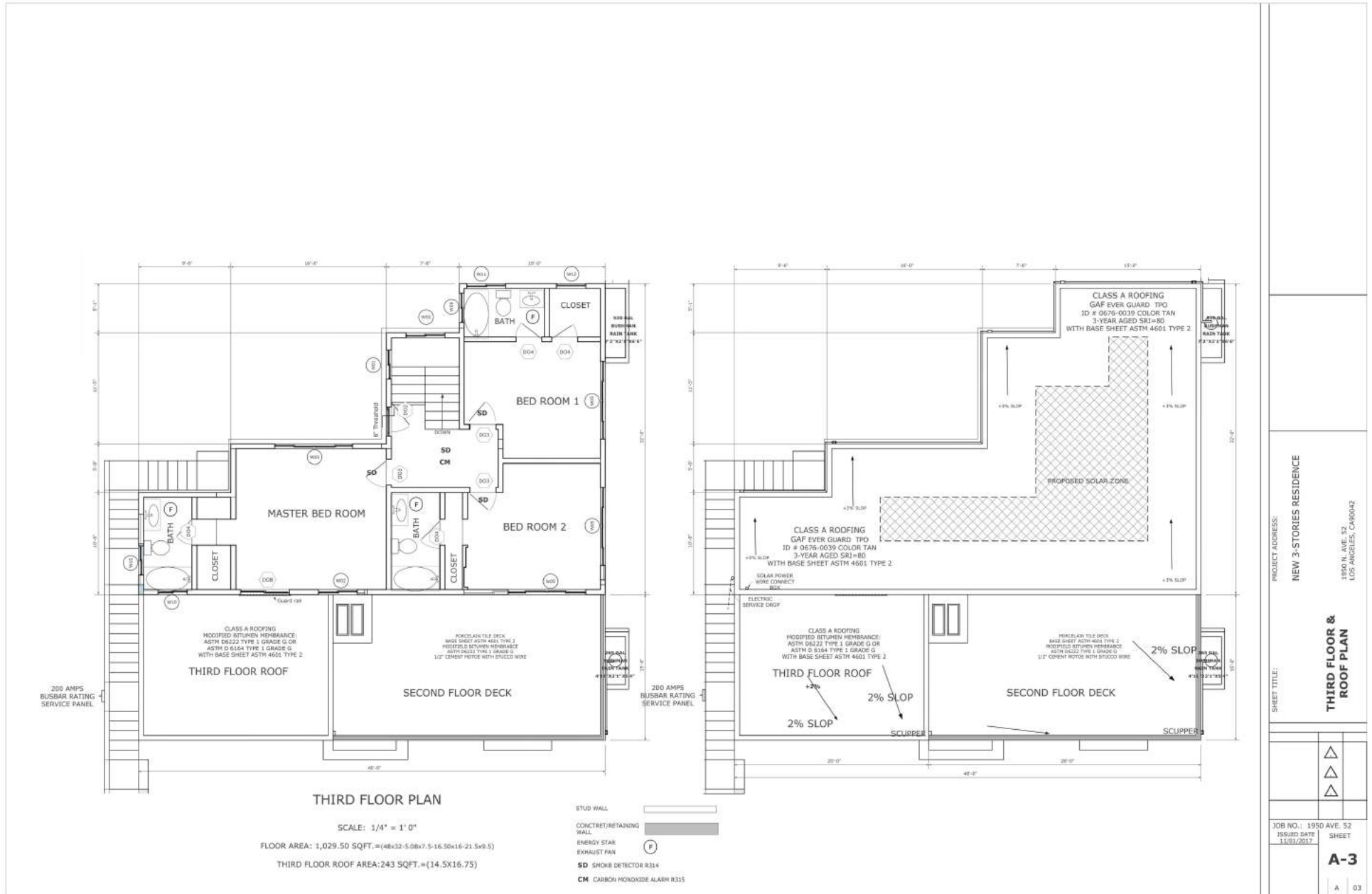
JOB NO.: 1950 AVE 52
ISSUED DATE: 11/03/2017

SHEET
A-2

A 02

STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

THIRD FLOOR AND ROOF PLAN:



STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

POPULATION	1 MILE	3 MILE	5 MILE
2000 Population	38,484	234,531	635,607
2010 Population	37,163	228,047	626,760
2023 Population	34,256	219,774	618,115
2028 Population	33,740	218,023	617,584
2023 African American	625	4,774	22,434
2023 American Indian	528	3,088	8,820
2023 Asian	6,395	40,307	125,152
2023 Hispanic	16,929	93,916	253,894
2023 Other Race	8,987	50,714	136,337
2023 White	11,600	86,496	232,905
2023 Multiracial	6,079	34,208	91,831
2023-2028: Population: Growth Rate	-1.50 %	-0.80 %	-0.10 %

2023 HOUSEHOLD INCOME	1 MILE	3 MILE	5 MILE
less than \$15,000	721	7,694	25,296
\$15,000-\$24,999	681	4,933	15,309
\$25,000-\$34,999	613	4,607	13,306
\$35,000-\$49,999	882	6,073	17,811
\$50,000-\$74,999	1,606	11,125	32,456
\$75,000-\$99,999	1,388	9,615	28,899
\$100,000-\$149,999	2,171	14,824	42,582
\$150,000-\$199,999	1,582	9,400	24,885
\$200,000 or greater	2,012	14,003	36,576
Median HH Income	\$98,561	\$91,022	\$85,787
Average HH Income	\$131,511	\$132,045	\$126,019

HOUSEHOLDS	1 MILE	3 MILE	5 MILE
2000 Total Housing	12,035	80,888	228,441
2010 Total Households	11,677	78,902	224,416
2023 Total Households	11,657	82,273	237,122
2028 Total Households	11,573	82,367	239,294
2023 Average Household Size	2.79	2.63	2.56
2000 Owner Occupied Housing	6,028	34,372	87,976
2000 Renter Occupied Housing	5,506	43,142	131,223
2023 Owner Occupied Housing	6,385	36,359	91,257
2023 Renter Occupied Housing	5,272	45,914	145,865
2023 Vacant Housing	627	4,248	13,635
2023 Total Housing	12,284	86,521	250,757
2028 Owner Occupied Housing	6,438	36,964	92,737
2028 Renter Occupied Housing	5,135	45,403	146,558
2028 Vacant Housing	741	4,655	14,451
2028 Total Housing	12,314	87,022	253,745
2023-2028: Households: Growth Rate	-0.70 %	0.10 %	0.90 %

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STUNNING HILLSIDE RETREAT WITH UNPARALLELED DOWNTOWN LA VIEWS

2023 POPULATION BY AGE	1 MILE	3 MILE	5 MILE
2023 Population Age 30-34	2,539	16,464	48,915
2023 Population Age 35-39	2,401	16,146	48,073
2023 Population Age 40-44	2,429	15,298	44,527
2023 Population Age 45-49	2,216	14,089	39,463
2023 Population Age 50-54	2,120	14,159	39,285
2023 Population Age 55-59	1,915	13,432	36,904
2023 Population Age 60-64	1,910	13,253	36,057
2023 Population Age 65-69	1,713	11,912	32,074
2023 Population Age 70-74	1,431	10,116	26,901
2023 Population Age 75-79	1,014	7,057	19,293
2023 Population Age 80-84	642	4,551	12,642
2023 Population Age 85+	586	4,372	12,701
2023 Population Age 18+	27,522	176,806	498,625
2023 Median Age	38	40	39

2023 INCOME BY AGE	1 MILE	3 MILE	5 MILE
Median Household Income 25-34	\$96,802	\$85,243	\$83,801
Average Household Income 25-34	\$128,698	\$116,676	\$112,720
Median Household Income 35-44	\$127,531	\$107,380	\$101,346
Average Household Income 35-44	\$160,444	\$148,581	\$142,324
Median Household Income 45-54	\$121,948	\$112,666	\$107,194
Average Household Income 45-54	\$155,268	\$156,236	\$150,536
Median Household Income 55-64	\$101,885	\$102,088	\$96,056
Average Household Income 55-64	\$132,392	\$145,162	\$140,437
Median Household Income 65-74	\$74,317	\$79,585	\$73,910
Average Household Income 65-74	\$109,825	\$120,950	\$114,216
Average Household Income 75+	\$81,870	\$92,209	\$83,695

2028 POPULATION BY AGE	1 MILE	3 MILE	5 MILE
2028 Population Age 30-34	2,458	16,201	46,901
2028 Population Age 35-39	2,530	16,237	47,492
2028 Population Age 40-44	2,309	15,603	45,932
2028 Population Age 45-49	2,312	14,800	42,656
2028 Population Age 50-54	2,109	13,677	37,947
2028 Population Age 55-59	1,998	13,565	37,533
2028 Population Age 60-64	1,735	12,369	34,018
2028 Population Age 65-69	1,659	11,720	32,068
2028 Population Age 70-74	1,469	10,414	28,235
2028 Population Age 75-79	1,178	8,402	22,460
2028 Population Age 80-84	771	5,595	15,564
2028 Population Age 85+	696	5,219	14,928
2028 Population Age 18+	27,470	177,495	504,204
2028 Median Age	39	41	40

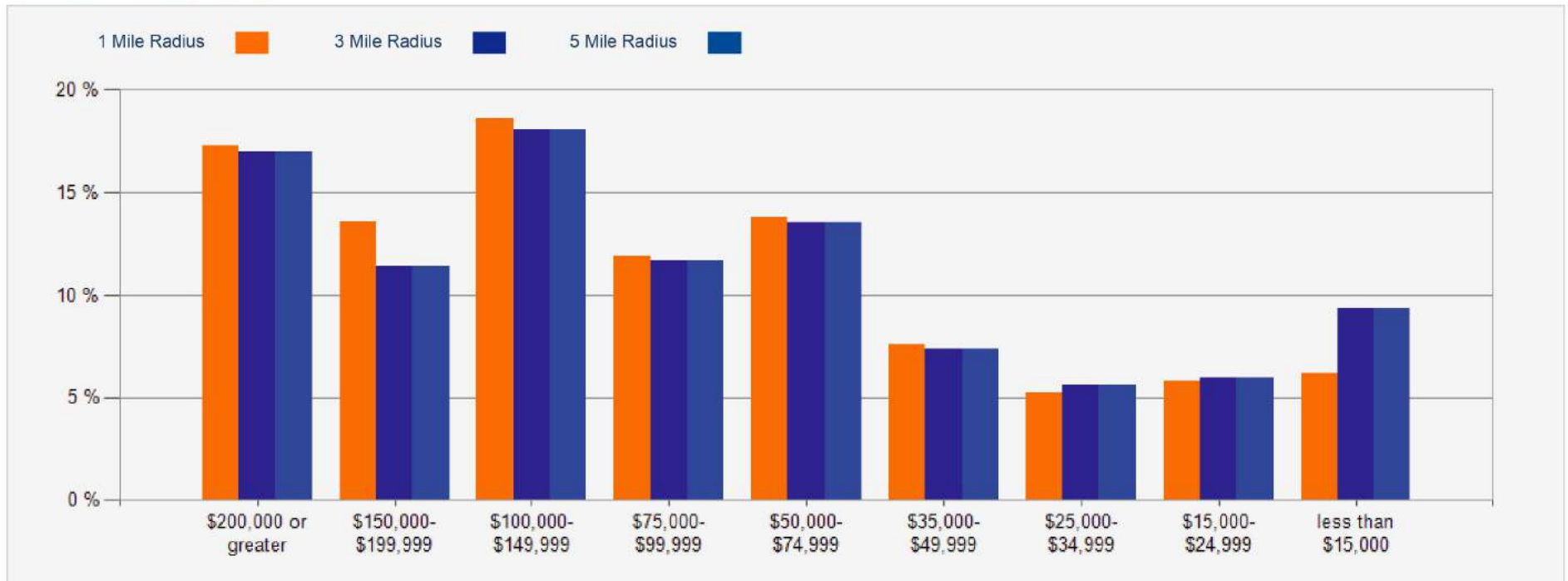
2028 INCOME BY AGE	1 MILE	3 MILE	5 MILE
Median Household Income 25-34	\$110,347	\$101,214	\$96,956
Average Household Income 25-34	\$150,749	\$138,210	\$132,676
Median Household Income 35-44	\$148,902	\$123,479	\$115,211
Average Household Income 35-44	\$183,195	\$171,028	\$164,380
Median Household Income 45-54	\$138,011	\$128,926	\$120,597
Average Household Income 45-54	\$176,553	\$179,144	\$171,730
Median Household Income 55-64	\$116,590	\$116,260	\$110,380
Average Household Income 55-64	\$155,089	\$165,761	\$160,699
Median Household Income 65-74	\$91,439	\$97,605	\$90,699
Average Household Income 65-74	\$133,281	\$142,631	\$135,882
Average Household Income 75+	\$104,974	\$114,010	\$104,495

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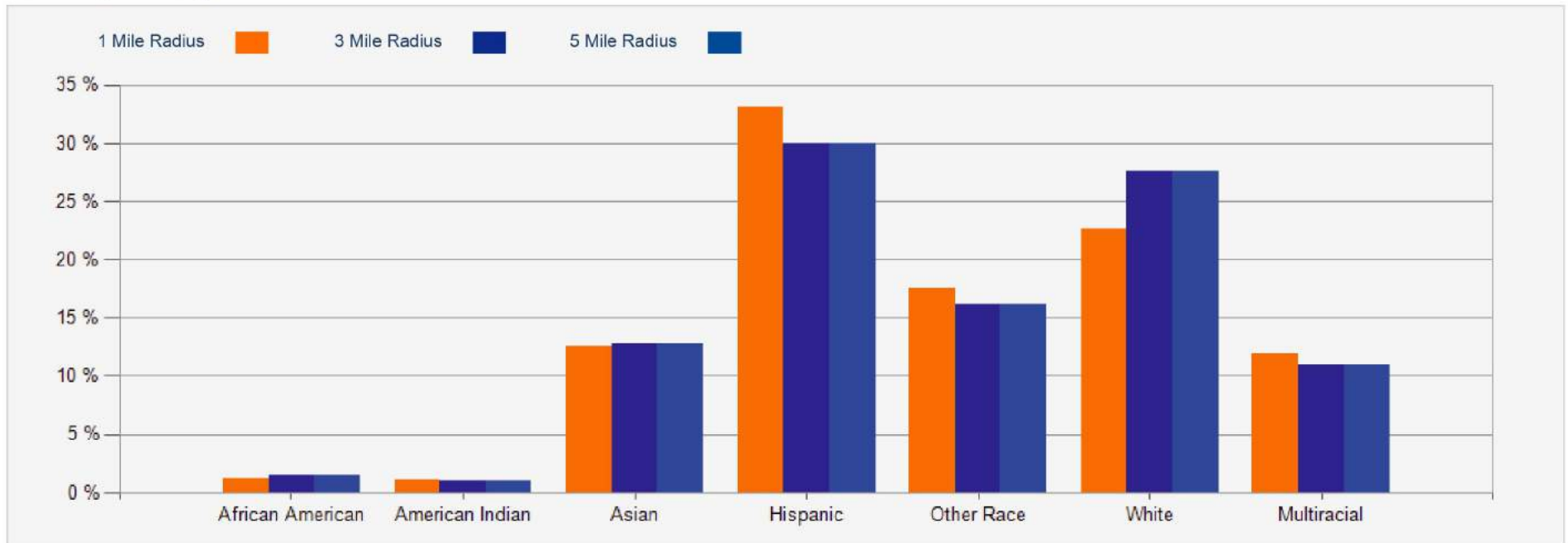
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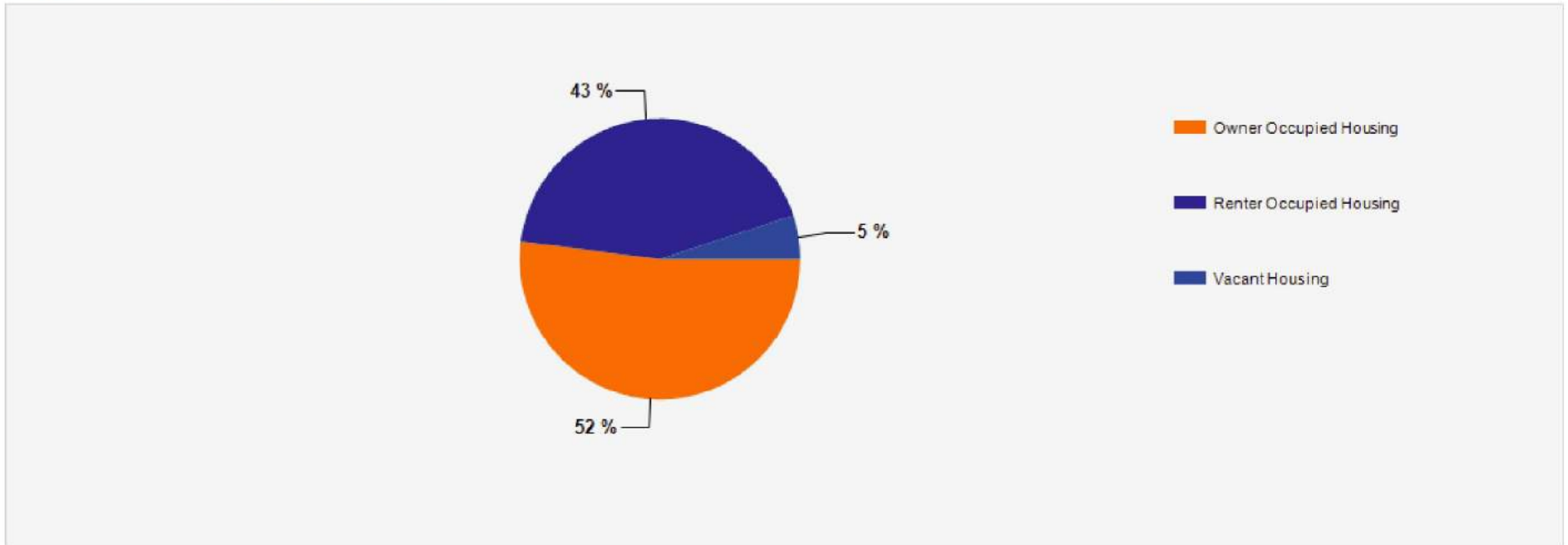
2023 Household Income



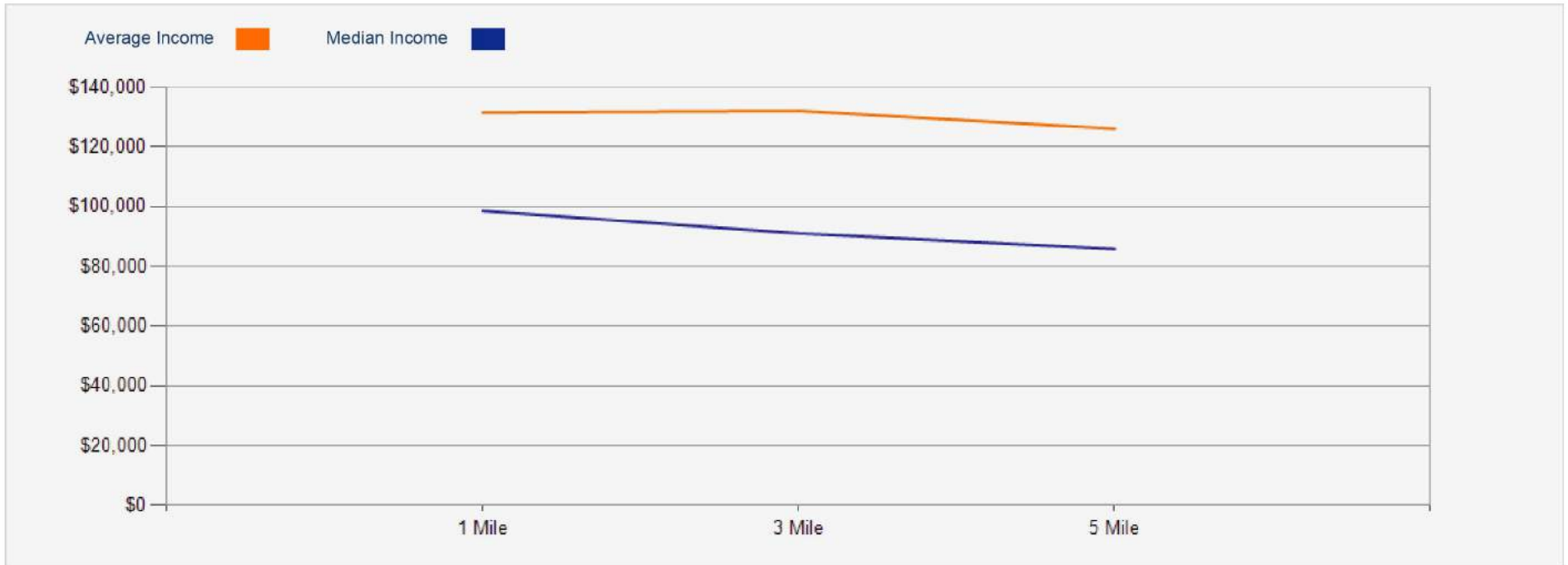
2023 Population by Race



2023 Household Occupancy - 1 Mile Radius



2023 Household Income Average and Median



1950 Ave 52
Los Angeles, CA 90042

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The information contained in this offering memorandum has been obtained from sources we believe reliable; however, Coldwell Banker Commercial has not verified, and will not verify, any of the information contained herein, nor has Coldwell Banker Commercial conducted any investigation regarding these matters and makes no warranty or representation whatsoever regarding the accuracy or completeness of the information provided. All potential buyers must take appropriate measures to verify all of the information set forth herein. Prospective buyers shall be responsible for their costs and expenses of investigating the subject property.

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