

Vacant Freestanding Retail Building For Sale Prime Federal Highway Owner-User Opportunity

2670 N Federal Highway
Lighthouse Point, FL 33064



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Property Overview

- The property consists of a vacant $\pm 4,268$ SF freestanding retail building situated on ± 0.36 acres along North Federal Highway in Lighthouse Point, Florida. The site benefits from approximately 80 feet of frontage, prominent pylon signage, and exposure to more than 60,000 vehicles per day.
- The building will be delivered vacant, creating a rare owner-user opportunity. The existing three-suite layout allows for full occupancy by a single user or the ability to lease a portion of the building for supplemental income.
- The property features 27 parking spaces, B-3A zoning, and recent capital improvements including a new roof, HVAC systems, and impact windows.



Offered at \$2,135,000

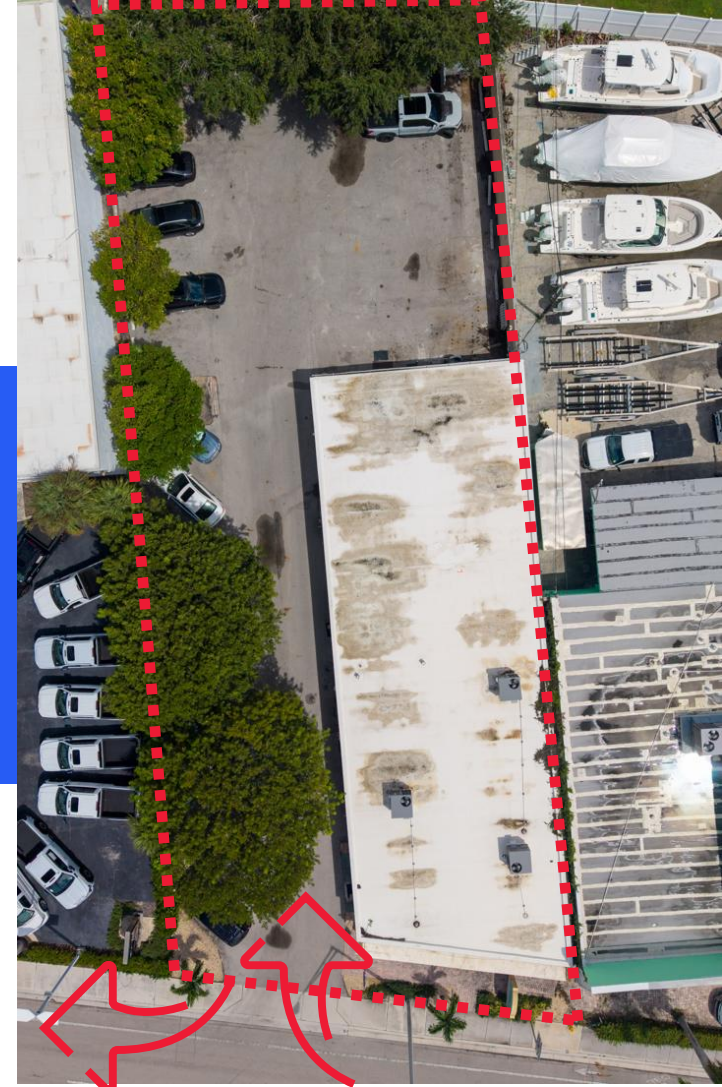
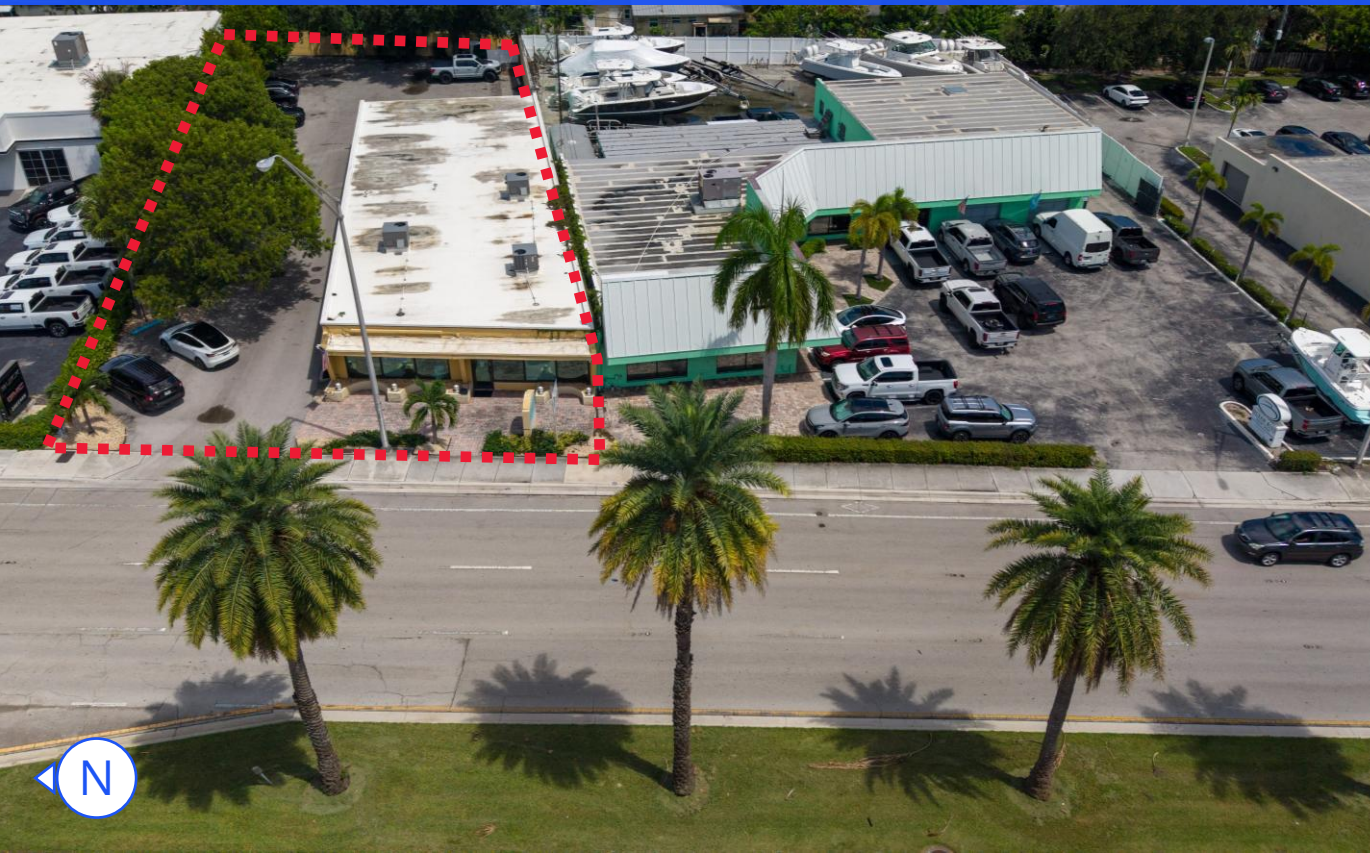
Property Information

Property Type:	Retail / Owner-User Opportunity
Building Size:	4,268 SF
Lot Size:	0.36 AC
Parking:	27 Spaces
Frontage:	80' on N Federal Highway
Zoning:	B-3A
Year Built / Renovated	1960 / 2023

☆ Property Highlights

2670 N Federal Highway benefits from a highly visible location in one of Broward County's most established commercial corridors. The property's flexible configuration, strong surrounding demographics, and multiple occupancy options create a compelling opportunity for both owner-users and investors.

- Established Lighthouse Point location
- Over 114,000 residents within 3 miles
- Affluent surrounding customer base
- Excellent visibility and brand exposure
- Signalized access points nearby
- Surrounded by national and local retailers
- Positioned between Boca Raton and Fort Lauderdale, serving multiple trade areas
- Flexible three-suite configuration
- Opportunity for full or partial occupancy
- Potential supplementary rental income
- Suitable for retail, showroom, service, office, or restaurant users
- Immediate occupancy available at closing
- Rare standalone offering along Federal Highway



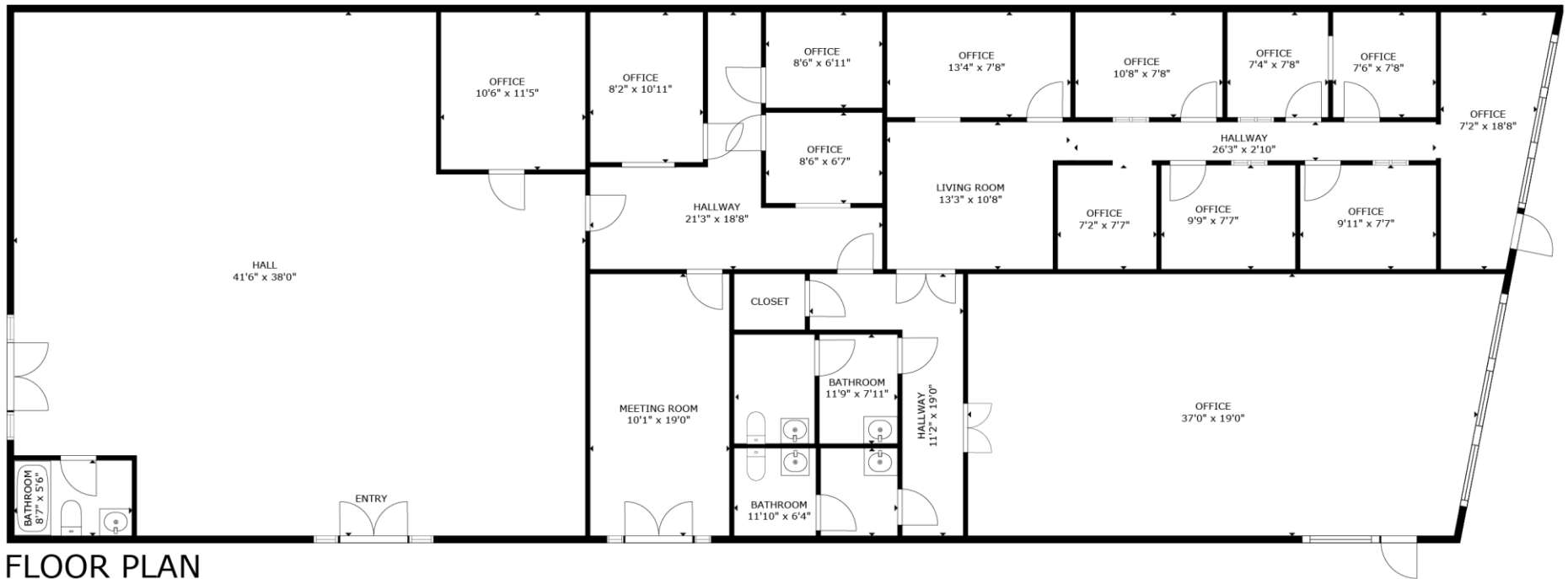
Flexible Layout. Immediate Occupancy.



Floor Plan



[Click here for a virtual tour](#)

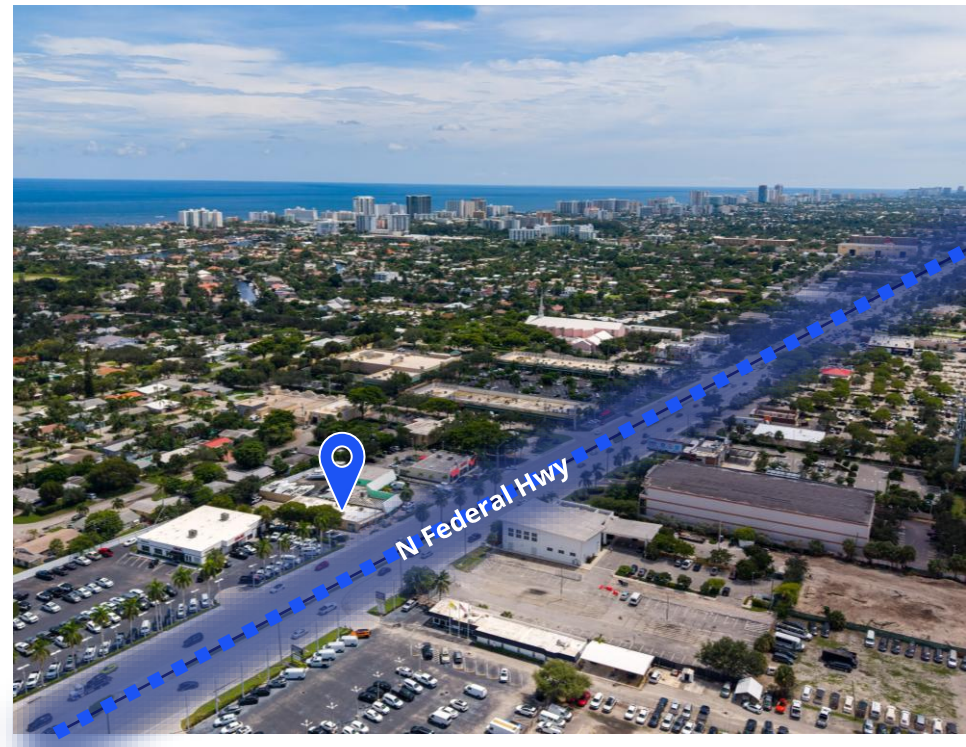
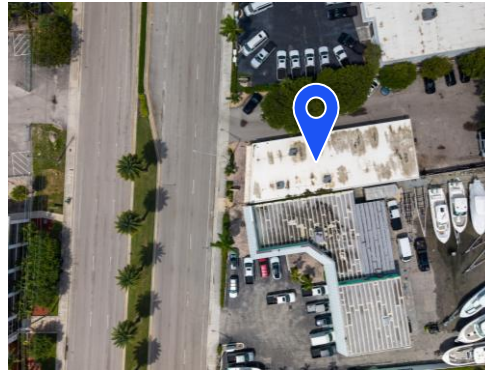


Perfect use for:

- Retail Showroom
- Restaurant / Café
- Medical Office
- Office
- Service Retail
- Financial Services
- Personal Care
- Fitness / Wellness
- Owner-User



Aerial Photos





Parcel Overview



Pompano City Center



Pompano Community Park



Pompano Beach Golf Course
Pompano Beach Tennis and
Pickleball Courts
Pompano Beach Executive Airport

E Copans Road



Publix

NE 25th AVE



Sheehan
BUICK GMC

N Federal Hwy

Safeguard
self storage

CAROLINE
pompano beach

356 Apartments
Delivered 2026

Pompano Pointe S.C.



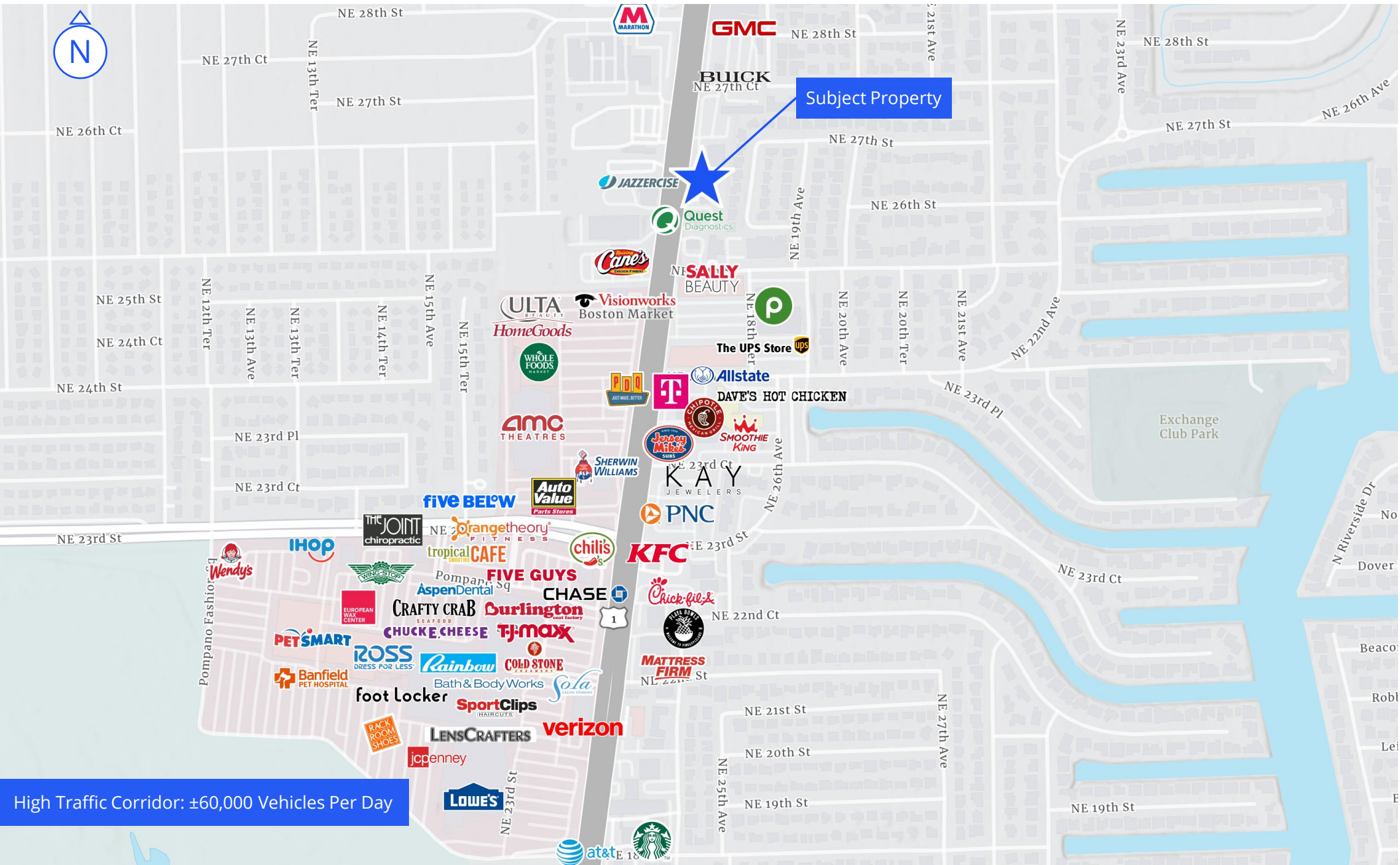
HomeGoods®



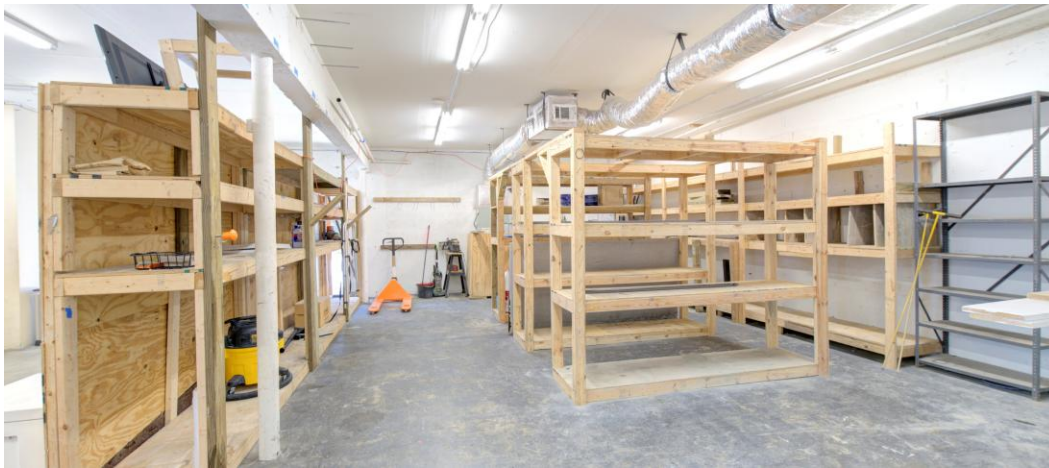
High Traffic Corridor: ±60,000 Vehicles Per Day



Parcel Overview



Interior Photos



Demographic Overview

Population	1 Mile	3 Mile	5 Mile
2026 Population	16,184	114,270	237,967
2031 Population	16,104	115,711	241,892
Annual Population Growth	-0.10%	0.25%	0.33%
Median Age	47.4	44.4	46.1

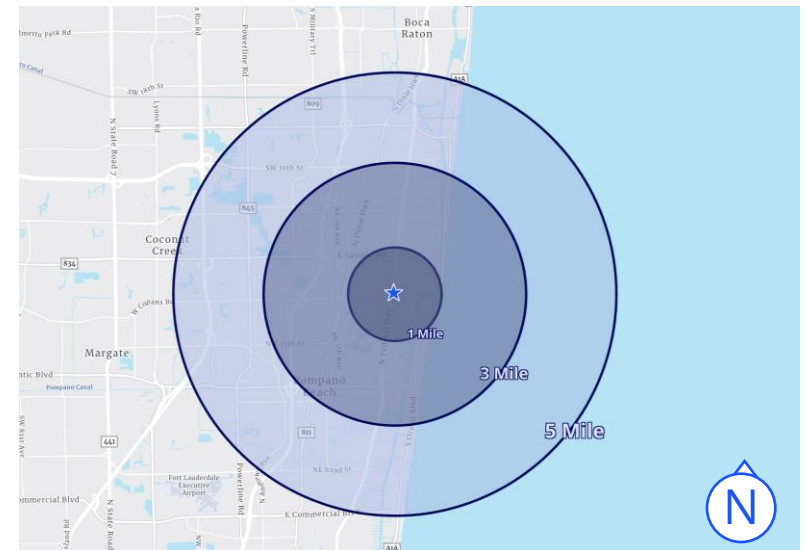
Households	1 Mile	3 Mile	5 Mile
2026 Total Households	6,886	48,767	106,640
2031 Total Households	6,910	49,846	109,328
Annual Household Growth	0.07%	0.44%	0.50%
Average Household Size	2.33	2.31	2.18

Median Household Income	1 Mile	3 Mile	5 Mile
2026 Median HH Income	\$85,390	\$77,642	\$75,390
2031 Median HH Income	\$102,084	\$93,943	\$90,569
Annual Income Growth	3.64%	3.89%	3.74%

Average Household Income	1 Mile	3 Mile	5 Mile
2026 Average HH Income	\$125,678	\$116,017	\$114,700
2031 Average HH Income	\$146,749	\$135,513	\$134,204

LIGHTHOUSE POINT OVERVIEW

Lighthouse Point is an established coastal community with approximately 15,270 residents and steady population growth projected through 2030. The housing market is predominantly owner-occupied, with nearly 72% of residents owning their homes, reflecting long-term stability and neighborhood commitment. Median household income averages around \$81,000, and more than 40% of households earn \$100,000 or more annually, indicating strong purchasing power. The population trends older, with a median age of 48.5 and continued growth among residents aged 55 and over, supporting demand for stable residential and service-oriented uses.





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