

**FOR
OR SALE
LEASE**

2469 RIO LINDA BLVD,
SACRAMENTO, CA



+/- 9,656 SQ.FT BUILDING FOR SALE

+/- 3,000 - 9,656 SQ.FT FOR LEASE

3-D Tour
Click Here 

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2469 RIO LINDA BLVD

FOR LEASE	SIZE	PRICING	NOTES
Suite A	+/- 3,000 SF	LEASE RATE: \$1.50 PSF, Modified Gross	Former Allmed Medical Center Space, features a reception area, 8 private offices, and a large open work area. There is a large waiting room area, reception room, two full sets of restrooms. The building is also equipped with ample parking, with spaces for both employees and visitors.
Suite B	+/- 6,656 SF	LEASE RATE: \$1.50 PSF, Modified Gross	Built out office space. Formerly used as a family resource center.
FOR SALE	SIZE	SALE PRICE	NOTES
2469 Rio Linda Blvd	9,656 SF multi-tenant building on 32,552 SF lot	CONTACT BROKER FOR PRICING	9,656 SF Vacant and available for an Owner User



PROPERTY ZONING - C-2
**GENERAL
 COMMERCIAL**
 SACRAMENTO COUNTY



263-0251-003-0000
 COMMERCIAL / MEDICAL BUILDING



+/- 35
SPACES

2469 RIO LINDA BLVD

PROPERTY DETAILS:

- **Location & Accessibility:** High-traffic area off Rio Linda Blvd & Easy access to I-80 and Hwy 160
- **Current Tenant & Multi-Use:** Sacramento Children's Home Family Resource Centers occupy +/- 6,656 SF, and the zoning is suitable for various commercial and medical uses
- **Dedicated for Medical Use:** Designed specifically for medical applications a prime opportunity for healthcare practitioners/investors
- **Amenities & Parking:** Central Sacramento location, Close to restaurants, shopping, and other amenities, secure, gated parking in the front & in the back is available
- **Potential for Growth:** Great for new medical practices, Suitable for expansion of existing practices, and Opportunity to diversify investment portfolio in Sacramento's growing region



AVERAGE
\$77,115

WITHIN 3 MILES
HOUSEHOLD INCOME

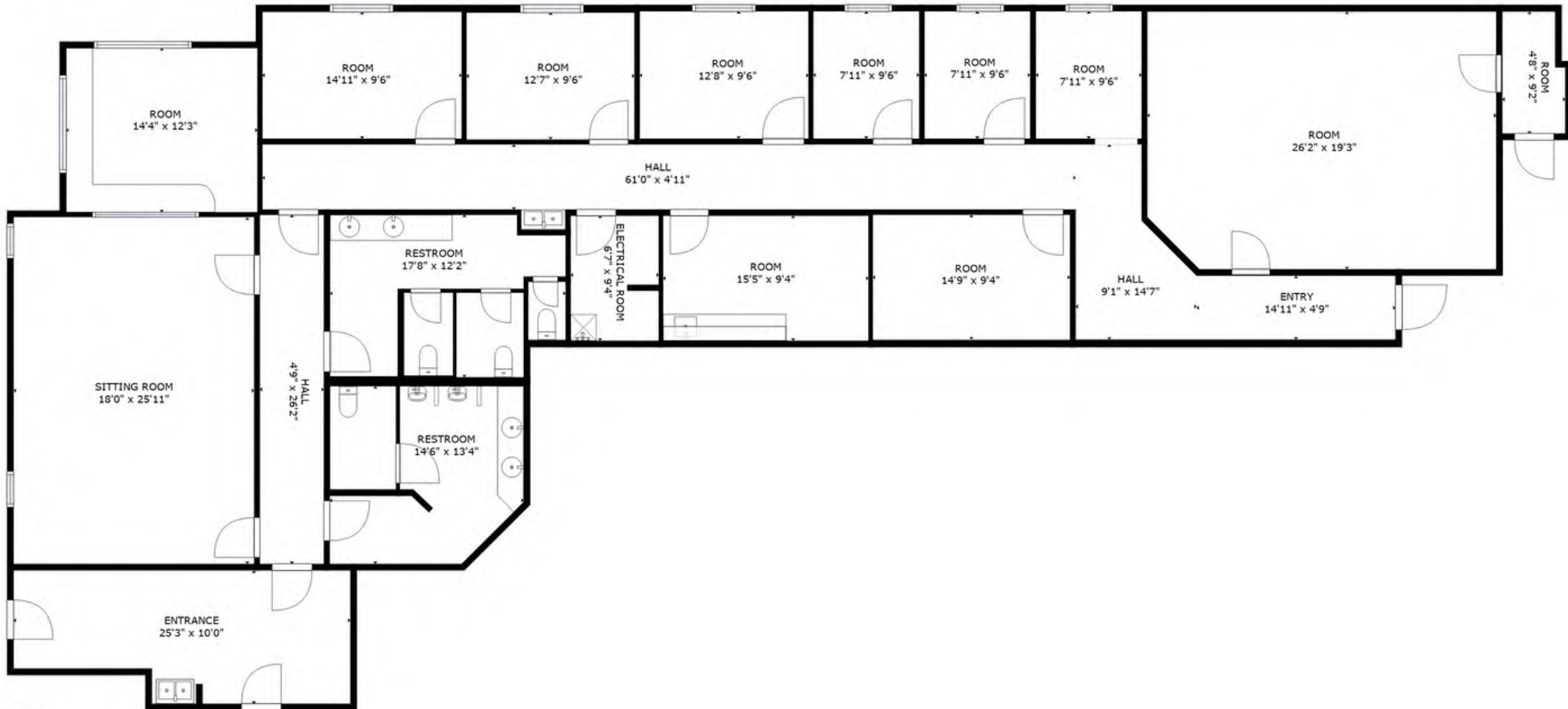
TRAFFIC COUNTS



RIO LINDA BLVD: 7,235 ADT
EL CAMINO AVE: 16,622 ADT

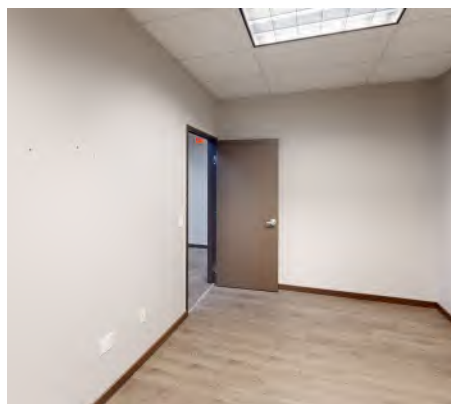
FLOOR PLAN: SUITE A

3-D Tour
Click Here



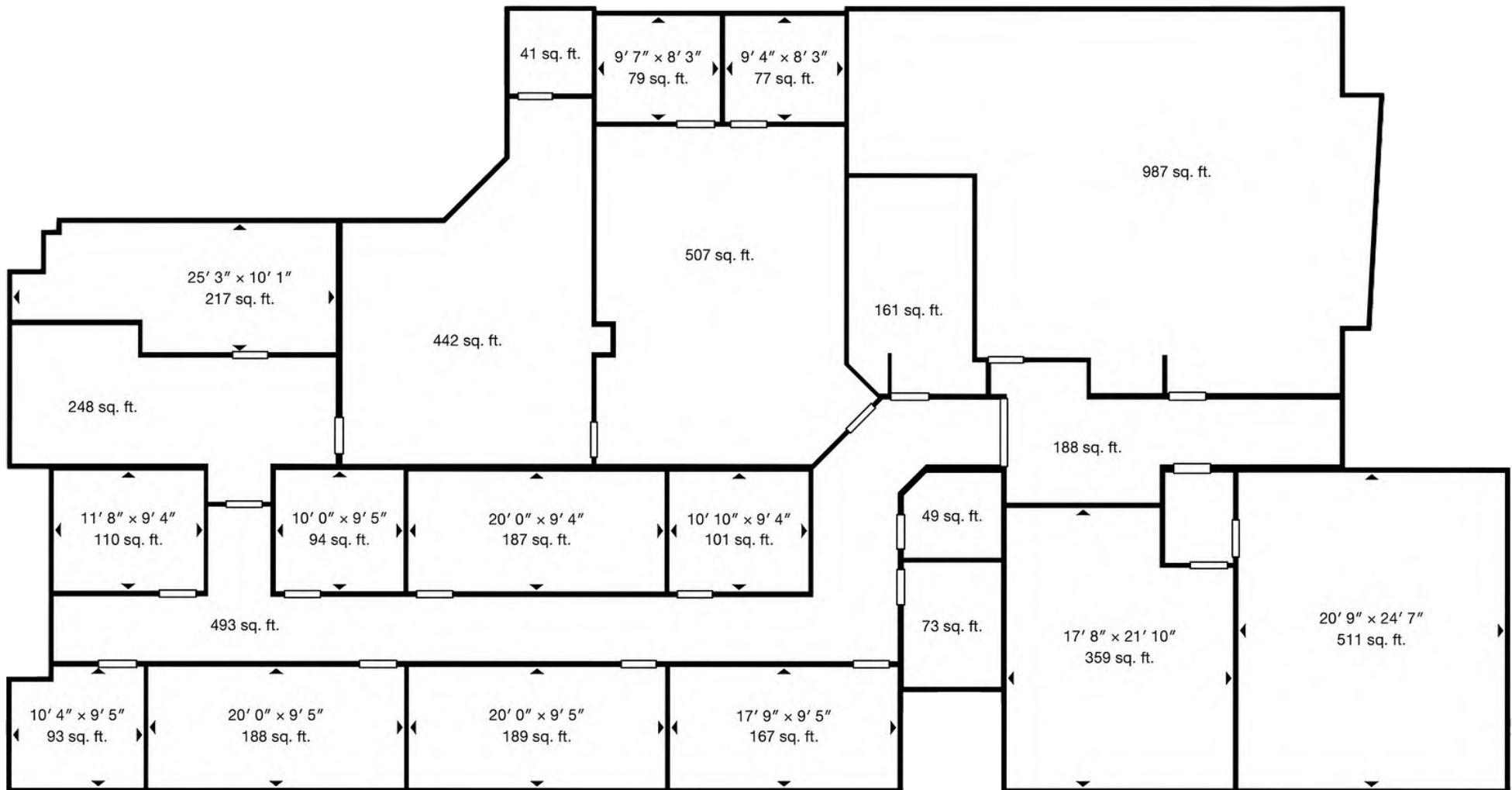
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INTERIOR PICTURES



FLOOR PLAN: SUITE B

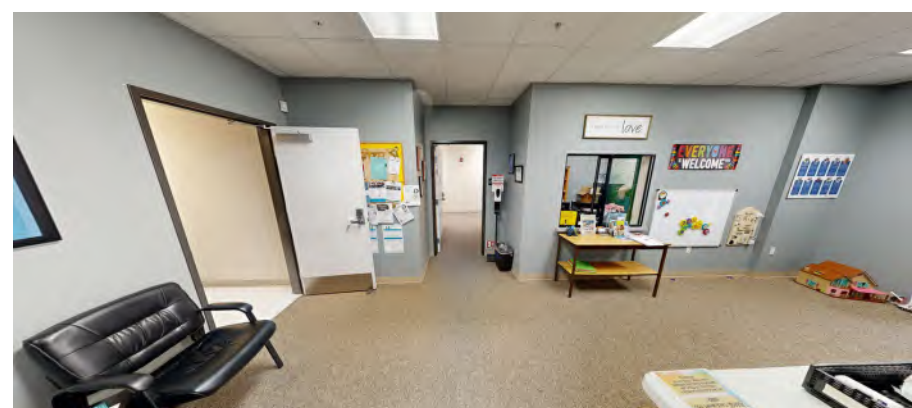
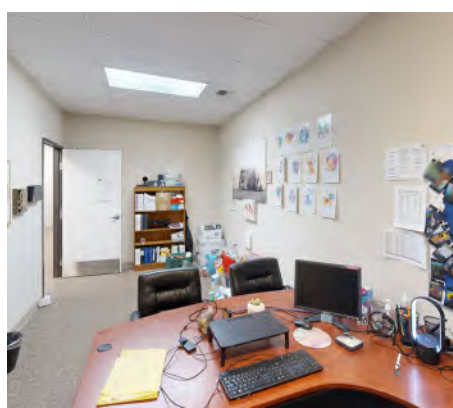
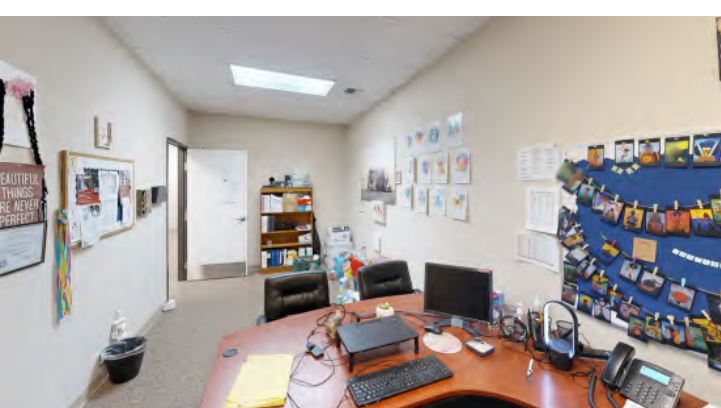
3-D Tour
Click Here



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INTERIOR PICTURES



Carl's Jr.
SHELL
LOUISIANA KITCHEN
POPEYES
EL FORASTERO
MEXICAN FOOD

CVS
pharmacy

Colos
SOUTHERN
Cafe
GROCERY OUTLET
bargain market



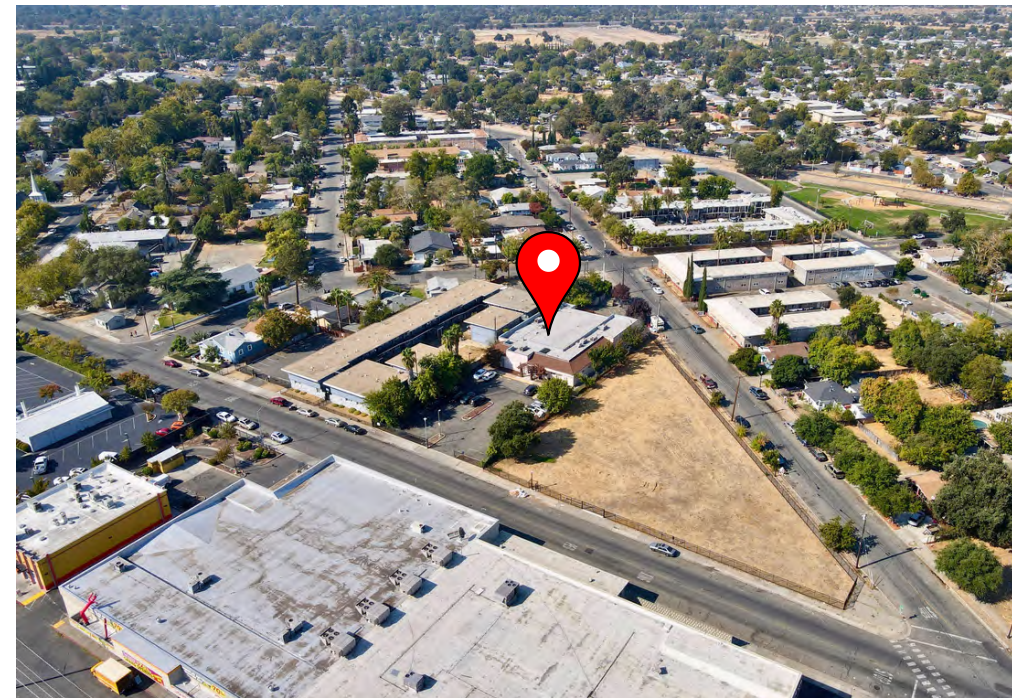
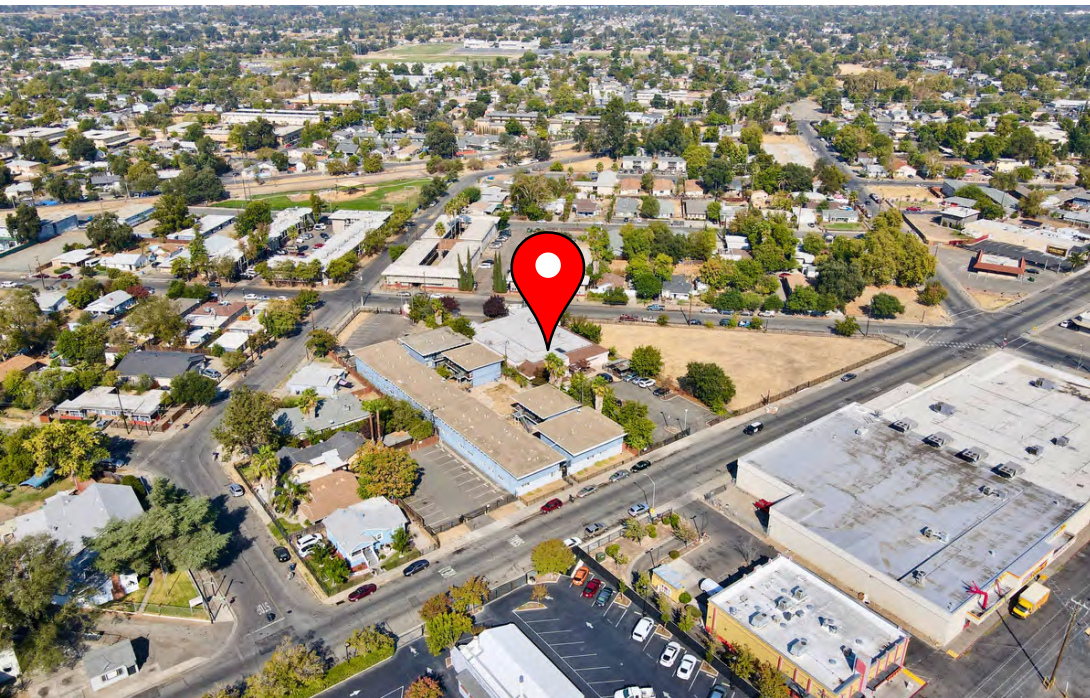
McDonald's

O'Reilly
AUTO PARTS
OVERSTOCK
OUTLET

SITE PLAN



EXTERIOR PICTURES



**arden fair
MALL 150+ Retailers**


HOBBY LOBBY 

KOHL'S

 **petco**
THE HEALTH + WELLNESS CO.

OLD NAVY

Arden Way



CAL EXPO



El Camino Ave

GENERAL AUTO SALES CORP

PROPERTY
LOCATION

Del Paso Blvd



  **COSTCO**
WHOLESALE 

BAD BAKERS  **Quick Quack**
CAR WASH

GROCERY OUTLET
bargain market

O'Reilly    **RITE AID**

IMMEDIATE VICINITY AERIAL

DEMOGRAPHIC SUMMARY REPORT

2469 RIO LINDA BLVD, SACRAMENTO, CA 95815



POPULATION 2023 ESTIMATE

1-MILE RADIUS	18,562
3-MILE RADIUS	152,113
5-MILE RADIUS	369,908

POPULATION 2028 PROJECTION

1-MILE RADIUS	19,087
3-MILE RADIUS	156,872
5-MILE RADIUS	380,881



HOUSEHOLD INCOME 2023 AVERAGE

1-MILE RADIUS	\$57,610.00
3-MILE RADIUS	\$77,115.00
5-MILE RADIUS	\$87,574.00

HOUSEHOLD INCOME 2023 MEDIAN

1-MILE RADIUS	\$37,764.00
3-MILE RADIUS	\$55,636.00
5-MILE RADIUS	\$63,601.00



POPULATION 2023 BY ORIGIN

	1-MILE RADIUS	3-MILE RADIUS	5-MILE RADIUS
WHITE	11,870	93,430	235,486
BLACK	2,313	22,280	46,235
HISPANIC ORIGIN	8,811	55,635	107,844
AM.INDIAN & ALASKAN	515	3,806	7,776
ASIAN	2,286	18,962	48,934
HAWAIIAN/PACIFIC ISLAND	285	2,737	4,759
OTHER	1,292	10,899	26,717

CONTACT US!

TO LEARN MORE ABOUT
THIS OPPORTUNITY



Chase Burke

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