

New Interior Build-Out for: Poke Burri Restaurant

at:
Westside Station - Building C
12623 West Colonial Drive
Winter Garden, Florida 34787



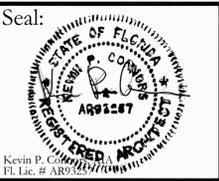
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Poke Burri

Westside Station - Building C
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Winter Garden, Florida

Revisions:

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ABBREVIATIONS

•	NUMBER
•	AT
A.C.T.	ACOUSTICAL CEILING TILE
ADDTL.	ADDITIONAL
AF	ABOVE FINISHED FLOOR
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
APPROX.	APPROXIMATELY
ARCH'L	ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY
BLDG.	BUILDING
BOTT.	BOTTOM
BRG.	BEARING
C.C.	CENTER TO CENTER
C.J.	CONTROL JOINT
CD	CONSTRUCTION DOCUMENT
CIP	CAST IN PLACE
CL	CENTERLINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CONT'D	CONTINUED
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DWG.	DRAWING
DWEL.	DOUEL
E.W.	EACH WAY
EA.	EACH
EL. OR ELEV.	ELEVATION
EMBED	EMBEDDED
EQ.	EQUAL
EQUIP.	EQUIPMENT
EQUIV.	EQUIVALENT
EXISTG.	EXISTING
EXP.	EXPANSION
EXT.	EXTERIOR
FIXT.	FIXTURE
FM	FACTORY MUTUAL
FT.	FEET OR FOOT
G.C.	GENERAL CONTRACTOR
GA.	GAUGE
GALV.	GALVANIZED
G.W.B. / GYP. BD.	GYP. BOARD
HM.	HOLLOW METAL
HORIZ.	HORIZONTAL
IDENT.	IDENTICAL
IN. OR INT.	INCHES INTERIOR
JOINT.	JOINT
LB(S)	POUND(S)
LG.	LONG
LT.	LIGHT
MANUF./ MANUF'R.	MANUFACTURED/ MANUFACTURER
MAX.	MAXIMUM
M.D.F.	MEDIUM DENSITY FIBERBOARD
MECH. OR MECH'L.	MECHANICAL
MEP.	MECHANICAL, ELECTRICAL, PLUMBING
MID.	MIDDLE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
N/A.	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
N.O.A.	NOTICE OF ACCEPTANCE
NUM.	NUMBER
O.C.	ON CENTER
OPP.	OPPOSITE
PLAM.	PLASTIC LAMINATE
PLUMB.	PLUMBING
PLYWD.	PLYWOOD
P.T.	PRESERVATIVE TREATED
R.	RELOCATE OR RELOCATED
RAD.	RADIUS
REF.	REFRIGERATOR
REINF.	REINFORCING
REQ'D	REQUIRED
REV.	REVISION
RM.	ROOM
S.F.	SQUARE FEET OR SQUARE FOOTAGE
S.F.S.	STOREFRONT SYSTEM
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
STRUCT.	STRUCTURAL
SYM.	SYMMETRICAL
S.Y.P.	SOUTHERN YELLOW PINE
T.O.B.	TOP OF BEAM
T.O.D.	TOP OF DECK
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
T.S.	THICKENED SLAB
TEMP.	TEMPORARY
THRU.	THROUGH
TRANS.	TRANSVERSE
TYP.	TYPICAL
UNO.	UNLESS NOTED OTHERWISE
UL.	UNDERWRITERS LABORATORY
V.I.F.	VERIFY IN FIELD
VERT.	VERTICAL
W.	WITH
WO	WITHOUT
WUF	WELDED WIRE FABRIC

GENERAL NOTES

GENERAL NOTES:

- IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION AS INDICATED ON THESE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
- ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY EACH CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- WHEN TWO OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT REQUIREMENT IS INTENDED AND WILL BE ENFORCED.
- CONTRACTOR SHALL MAKE NO CHANGES OR SUBSTITUTIONS WITHOUT WRITTEN APPROVAL BY ADDENDUM FROM THE ARCHITECT.
- CONTRACTOR SHALL MEET WITH THE BUILDING OWNER OR MANAGER PRIOR TO THE BID IN ORDER TO OBTAIN A COPY OF THE BUILDING STANDARD GUIDELINES AND TO DISCUSS THE BUILDING MANAGER'S REQUIREMENTS FOR PROTECTION OF PUBLIC SPACES, DAILY CLEANING, CONSTRUCTION STAGING, MATERIAL DELIVERIES, LOCATION OF CONSTRUCTION DUMPSTERS, PARKING, ETC. THE COST TO MEET THESE REQUIREMENTS SHALL BE INCLUDED IN BID.
- REPLIES TO ALL REQUESTS FOR CLARIFICATION WILL BE ISSUED TO ALL PRIME BIDDERS, AS ADDENDA TO THE DRAWINGS AND SPECIFICATIONS, AND WILL BECOME PART OF THE CONTRACT. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ORAL CLARIFICATION.
- ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO COMMENCING WORK.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES AND ALL SUBCONTRACTOR PERMIT FEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS. SHOULD PROBLEMS ARISE OUT OF A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN, NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT. SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE CONTRACTOR, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR HIS CONSULTANTS.
- ALL WORK DETAILED IN THESE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL SUBCONTRACT AND/OR ASSIGN PORTIONS OF THE WORK TO THE MOST QUALIFIED TRADE. FAILURE BY ANY SUBCONTRACTOR TO INCLUDE CERTAIN WORK REQUIRED SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF HIS RESPONSIBILITY AS PART OF THE CONTRACT FOR CONSTRUCTION TO PROVIDE A COMPLETE JOB.
- CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE SAME IN A MANNER WHICH LEAST IMPACTS THE ADJOINING COMMON AREAS IN ORDER TO MINIMIZE INCONVENIENCE TO THE EXISTING TENANTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY THOSE CONTROL MEASURES NECESSARY TO ENSURE THAT THE BUILDING COMMON AREAS AS WELL AS EXISTING TENANT SPACES ARE NOT IMPACTED BY AIRBORNE CONTAMINANTS CAUSED BY THE CONSTRUCTION OF THE TENANT SPACE. THE METHODS EMPLOYED SHALL COMPLY WITH THE INDOOR AIR QUALITY (IAQ) GUIDELINES FOR OCCUPIED BUILDINGS UNDER CONSTRUCTION 1ST EDITION, PUBLISHED BY SMACNA. QUALITY CONTROL METHODS USED TO MONITOR AIR QUALITY, I.E. TESTING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. SHOP DRAWINGS SHALL BE OF SUFFICIENT DETAIL AND SCALE TO DETERMINE COMPLIANCE WITH THE INTENT OF THE SPECIFIED QUALITY STANDARDS. INCOMPLETE SHOP DRAWINGS WILL BE RETURNED TO THE GENERAL CONTRACTOR WITHOUT REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT A SHOP DRAWING SCHEDULE INDICATING THE TYPE AND CRITICAL RETURN DATES TO THE ARCHITECT FOR REVIEW.
- GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT COPY OF ALL CONTRACT DOCUMENTS AT JOB SITE FOR ARCHITECT'S USE.
- A "FINCH LIST" SHALL BE PREPARED BY THE CONTRACTOR LISTING ALL ITEMS WHICH NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED AND SUBMITTED TO ARCHITECT/OWNER. THE ARCHITECT SHALL THEN VISIT THE SITE TO REVIEW AND, IF THE LIST IS NOT REASONABLY COMPLETE, SHALL DIRECT THE CONTRACTOR TO COMPLETE THE LIST. THE FINAL FINCH LIST SUBMITTED BY THE CONTRACTOR SHALL BE REVIEWED AND SUPPLEMENTED BY THE ARCHITECT/OWNER.
- CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTEES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE.
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS.
- ALL NEW CONSTRUCTION MUST MEET FEDERAL AND STATE BARRIER FREE REQUIREMENTS.
- MATERIAL OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMISHES, NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED HEREIN. COORDINATE WITH ARCHITECT AND OWNER/REPRESENTATIVE IN ADVANCE.
- DELIVERY AND STORAGE OF ALL MATERIAL SHALL BE ACCEPTABLE TO MANUFACTURER'S PRODUCT, REVIEW BY THE ARCHITECT AND SHALL PROVIDE COMPLETE PROTECTION OF PRODUCT.
- GENERAL CONTRACTOR SHALL COORDINATE DIRECTLY WITH OWNER/TENANT ALL WORK BY "OWNER" OR "TENANT" AS INDICATED ON PLANS AND ANY ATTACHED SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH ARCHITECT AND OWNER. SUBMIT SAMPLES FOR REVIEW.
- FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE DURING CONSTRUCTION.
- CONCRETE SLABS SHALL BE LEVELLED AND PREPARED TO RECEIVE FLOOR FINISH PER FINISH SCHEDULE.
- WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, AND ARE SEPARATED FURTHER ON THE BELOW SCALE THAN BY A SINGLE INTERMEDIATE METAL, THE CONTACTING SURFACES SHALL BE INSULATED FROM EACH OTHER BY A BITUMINOUS COATING, BIT ASPHALT SATURATED FELT OR OTHER ARCHITECT APPROVED MEANS. METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN ON STEEL, LEAD (HARD), STAINLESS STEEL, COPPER, MONEL.
- GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETRY, SHELVING, TOILET ACCESSORIES, PLUMBING/LIGHTING FIXTURES, ETC.
- ALL WOOD FRAMING AND BLOCKING LOCATED WITHIN CONCEALED SPACES, SUCH AS PARTITIONS ABOVE CEILINGS, ETC. SHALL BE FIRE RETARDANT.
- ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK".
- ALL WALLS SCHEDULED TO RECEIVE WALLCOVERING SHALL BE PREPARED TO RECEIVE WALLCOVERING BY APPLYING A FLAT OIL BASE PRIMER TO PROVIDE FULL COVERAGE TO PROHIBIT 'TELEGRAPHING' THROUGH THE WALLCOVERING.
- GENERAL CONTRACTOR AND THE APPROPRIATE SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF OUTLETS, SWITCHES, THERMOSTATS, ETC. WITH THE FURNITURE LAYOUT AND WITH CONSIDERATION GIVEN TO THE PLACEMENT OF ART, PICTURES, PLAQUES, ETC. THIS SHALL BE REVIEWED WITH THE ARCHITECT AND TENANT.
- PRIOR TO FINAL COMPLETION, CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES.
- SIGNS AND LOGOS NOT IN THIS CONTRACT.
- ALL INTERIOR FINISHES SHALL COMPLY WITH THE FLORIDA BUILDING CODE AND THE LIFE SAFETY CODE, WHICHEVER IS MORE RESTRICTIVE FOR FIRE RESISTANCE STANDARDS. MINIMUM CLASS "C" FINISHES PER IBC TABLE 63.3.
- WHERE NOTED TO "INSTALL", G.C. TO PROVIDE & INSTALL SPECIFIED PRODUCT OR COMPONENT, UNLESS OTHERWISE NOTED
- TO THE BEST OF THIS ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES.

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General Notes & Abbreviations

Scale: N.A.

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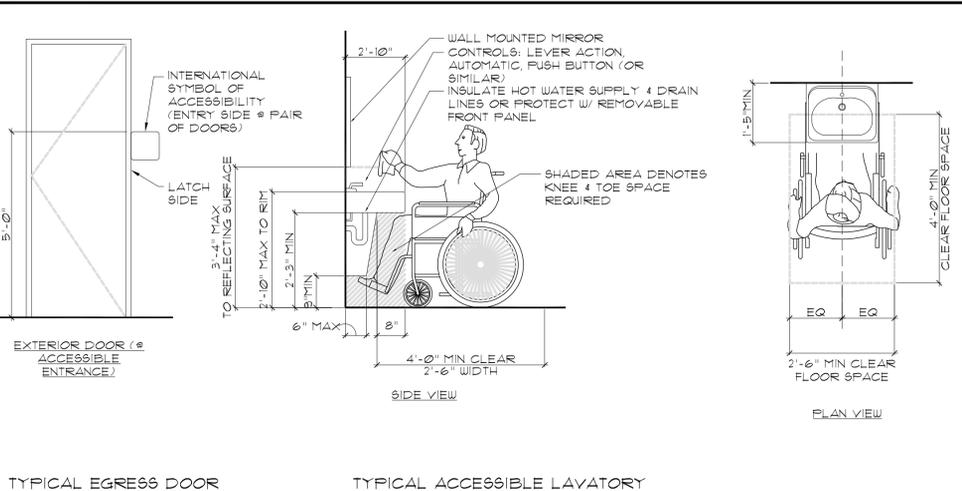
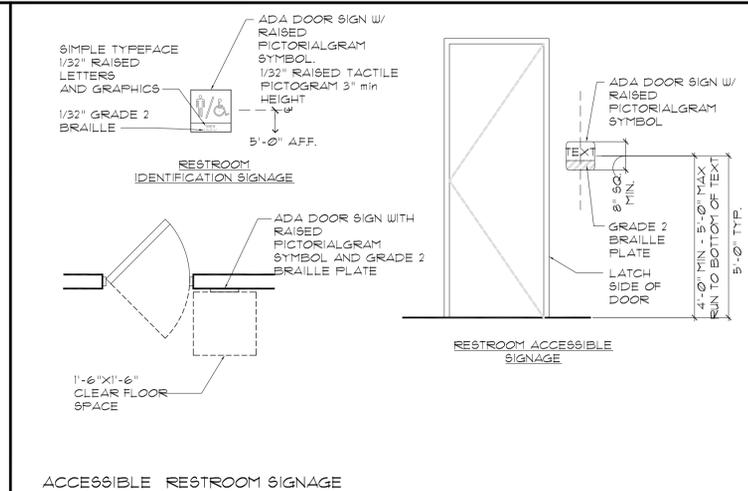
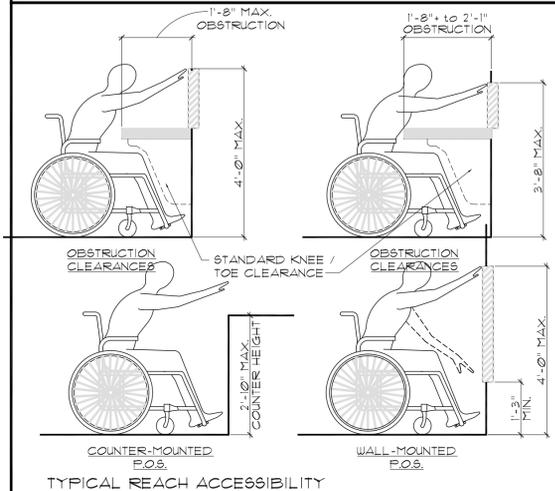
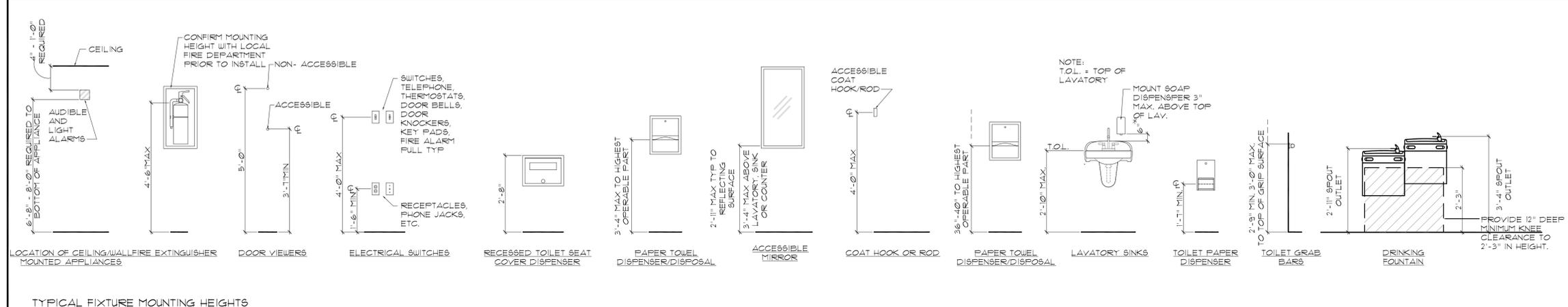
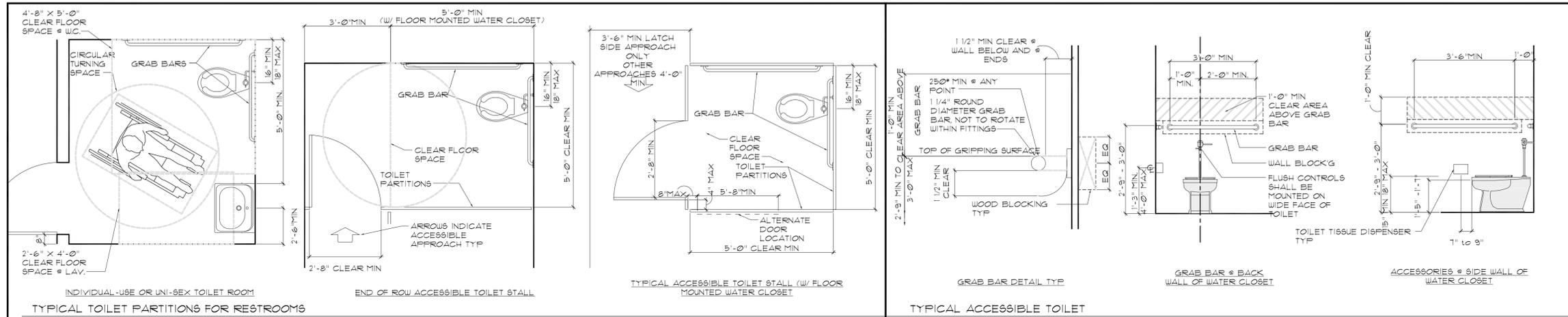
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ACCESSIBILITY DETAILS
NOT TO SCALE

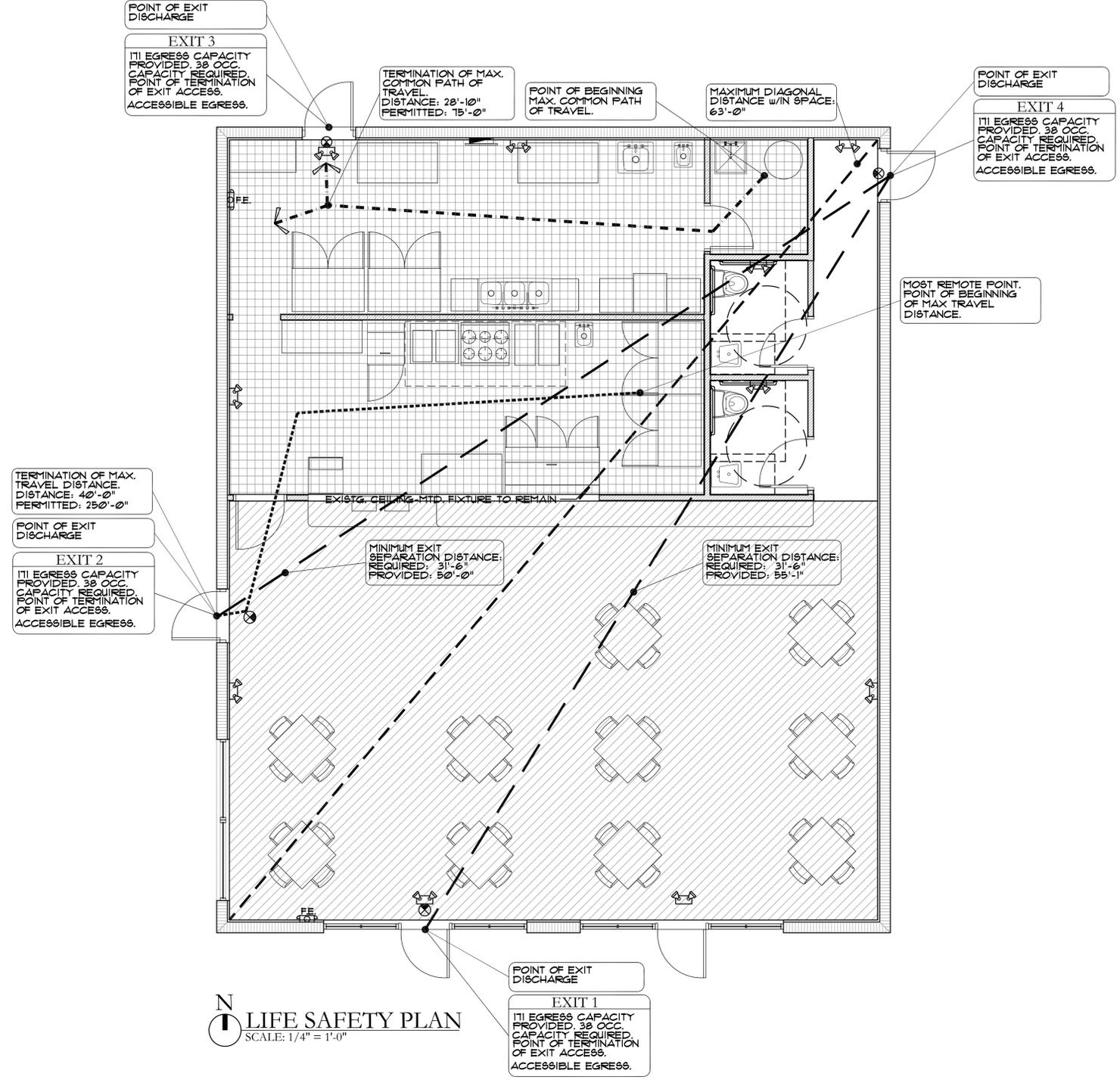
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LIFE SAFETY PLAN
 SCALE: 1/4" = 1'-0"

DESIGN STANDARDS & CODE REQUIREMENTS

ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS AND GOVERNING AUTHORITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 FLORIDA BUILDING CODE (2020 EDITION)
 FLORIDA ACCESSIBILITY CODE (2020 EDITION)
 FLORIDA PLUMBING CODE (2020 EDITION)
 FLORIDA MECHANICAL CODE (2020 EDITION)
 FLORIDA FIRE PREVENTION CODE 2020 (NFPA 1 & NFPA 101) (7th EDITION w/ FLORIDA AMENDMENTS)
 NATIONAL ELECTRIC CODE NEC (2017 EDITION)
 LIFE SAFETY CODE - NFPA 101 (2018 EDITION)
 OCCUPANCY CLASSIFICATION - PER FBC: GROUP "A-2" - ASSEMBLY (RESTAURANT).
 PROJECT CLASSIFIED AS NEW CONSTRUCTION (INTERIOR-ONLY FIT-UP OF NEW SHELL BUILDING).
 BUILDING CONSTRUCTION TYPE: VB (1-STORY BUILDING, 3000 SF. PER FLOOR, 2 STORIES, 40'-0" MAX. BUILDING HEIGHT ALLOWABLE). TOTAL SF. OF 1-STORY BUILDING: 2,100.
 PROJECT SQUARE FOOTAGE IN SCOPE OF WORK: 2,100 GROSS.
 OCCUPANT LOAD WITHIN BUILDING IN SCOPE OF WORK: 16.
 MINIMUM EXIT REQUIREMENTS: 2 REQUIRED, 4 PROVIDED.

LIFE SAFETY LEGEND

- ILLUMINATED EXIT SIGN/EMERGENCY EGRESS LIGHTING FIXTURE TO BE INSTALLED.
- FIRE EXTINGUISHER CABINET w/ CLASS 2-A/10-B EXTINGUISHER TO BE INSTALLED.
- EMERGENCY EGRESS LIGHTING FIXTURE TO BE INSTALLED.
- AREA A: UNCONCENTRATED ASSEMBLY - TABLES & CHAIRS: 1,051 SF. = 10 OCCUPANTS.
- AREA B: EMPLOYEE-ONLY SPACE - COMMERCIAL KITCHEN: 697 SF. = 6 OCCUPANTS.
- AREA C: UNOCCUPIED ACCESSORY AREAS PER "FLOOR AREA - NET" FBC SECT. 202: NO OCCUPANT LOAD.

LIFE SAFETY GENERAL NOTES

THIS STRUCTURE CONTAINS LIGHT GAUGE ROOF OR FLOOR FRAMING SYSTEMS PER FAC 69A-60.0001, SYMBOL IDENTIFYING STRUCTURE AS NOTED TO BE INSTALLED AT EXTERIOR WALL, TO RIGHT OF MAIN ENTRY PAIR OF DOORS = 5'-0" ABOVE GRADE.

PLUMBING FIXTURE TABULATION

MINIMUM REQUIRED FACILITIES PER FLORIDA BUILDING CODE: PLUMBING 2020 EDITION - CHAPTER 4, SECTION 403, TABLE 403.1
 GROUP "A" OCCUPANCY, 52 TOTAL OCCUPANTS DIVIDED EQUALLY
 PER FBC PLUMBING SECTION 403.1.1 = 38 MALE, 38 FEMALE OCCUPANTS.
 REQUIRED MINIMUM PLUMBING FIXTURE COUNT:
 2 WATER CLOSETS, 2 LAVATORIES, 1 UTILITY SINK
 PROVIDED PLUMBING FIXTURE TABULATION:
 2 WATER CLOSETS, 2 LAVATORIES, 1 UTILITY SINK

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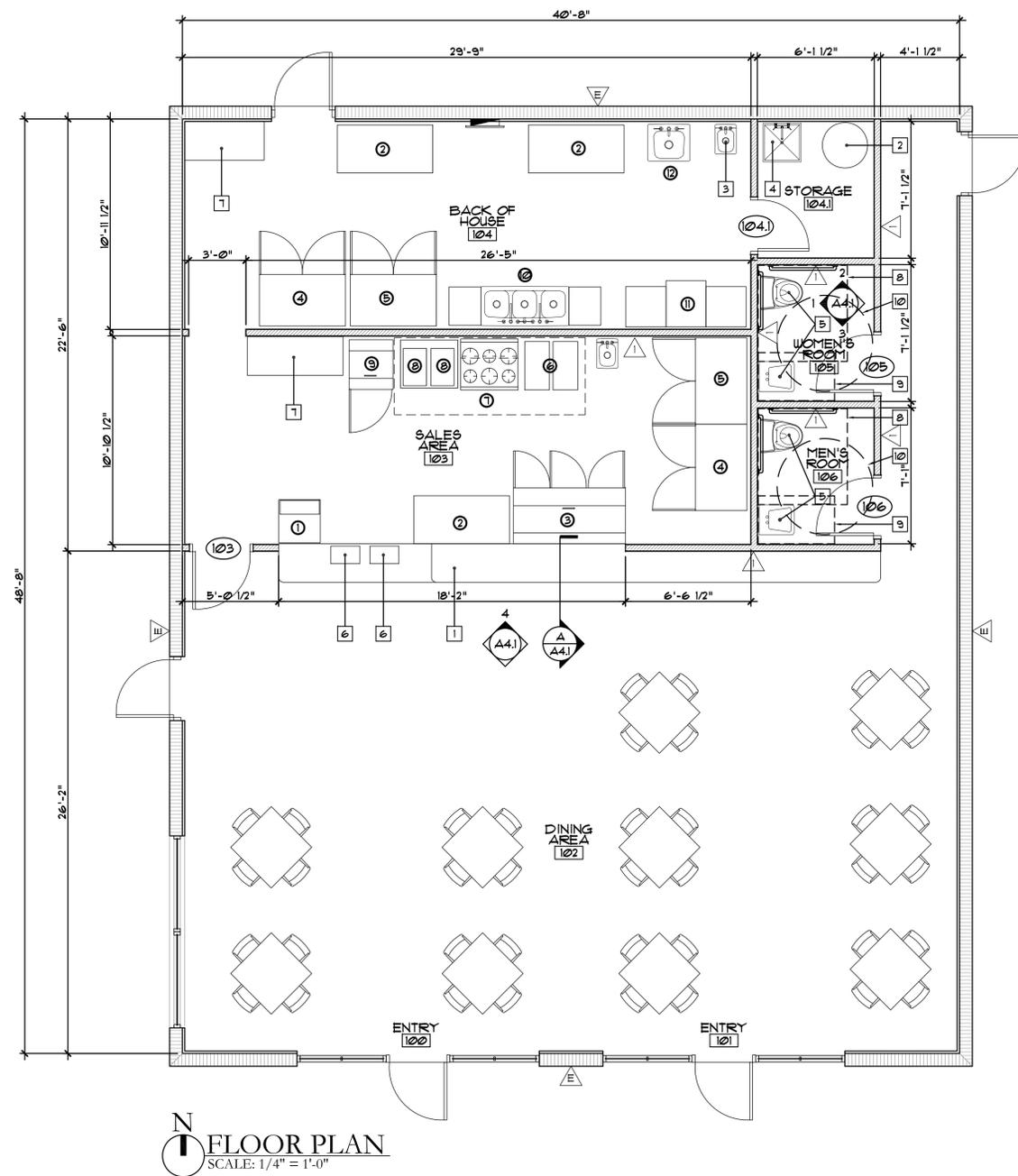
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PLAN SYMBOLS	
	NEW ROOM NAME & NUMBER DESIGNATION
	NEW DOOR DESIGNATION. DOORS NOT LABELED ARE EXISTG. TO REMAIN.
	INTERIOR ELEVATION INDICATION
WALL TYPE LEGEND	
	NEW INTERIOR PARTITION OF 3-5/8" 25 Gs. METAL STUDS @ 16" O.C. w/ 5/8" PAINTED GYP. BD. FINISH. EXTEND PARTITION TO STRUCTURE ABOVE. SEE PARTITION TYPE 1/A3.1.
	EXISTING EXTERIOR MASONRY WALL TO REMAIN
FLOOR PLAN GENERAL NOTES	
<p>1. ALL NEW MILLWORK TO BE PER A.I.U. CUSTOM GRADE REQUIREMENTS. GC TO COORDINATE DESIGN, FABRICATION & INSTALLATION w/ OWNER.</p> <p>2. PAINT ALL NEW GYP. BD. INTERIOR FINISHES, COLOR & FINISH TO BE SELECTED BY OWNER. PROVIDE ONE PRIME COAT & TWO FINISH COATS.</p> <p>3. INSTALL NEW DOORS, FRAMES & DOOR HARDWARE PER MANUFACTURER'S SPECIFICATIONS.</p> <p>4. GC TO INSTALL ALL NEW INTERIOR FINISHES. COORDINATE ALL FINISHES w/ OWNER.</p> <p>5. GC TO RECEIVE, STORE & COORDINATE NEW FURNITURE, APPLIANCES & EQUIPMENT TO BE INSTALLED & PROVIDED BY OWNER. ALL FREESTANDING FURNITURE & APPLIANCES TO BE PROVIDED BY OWNER.</p> <p>6. DIMENSIONS SHOWN ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.</p>	
FLOOR PLAN KEY NOTES	
<p>1 NEW CUSTOM-GRADE MILLWORK TO BE INSTALLED.</p> <p>2 NEW ELECTRIC HOT WATER HEATER TO BE INSTALLED.</p> <p>3 NEW HAND WASHING SINK TO BE INSTALLED.</p> <p>4 NEW FLOOR-MOUNTED UTILITY SINK TO BE INSTALLED.</p> <p>5 NEW ACCESSIBLE RESTROOM PLUMBING FIXTURE TO BE INSTALLED.</p> <p>6 NEW OWNER-PROVIDED POINT-OF-SALE TERMINALS TO BE INSTALLED.</p> <p>7 NEW OWNER-PROVIDED WIRE SHELVING TO BE INSTALLED.</p> <p>8 5'-0" x 4'-8" CLEAR FLOOR SPACE.</p> <p>9 2'-6" x 4'-0" CLEAR FLOOR SPACE.</p> <p>10 5'-0" CLEAR TURNING DIAMETER.</p>	
EQUIPMENT SCHEDULE	
<p>NOTE: SEE COMPLETE MANUFACTURER'S PRODUCT CUTSHEET SUBMITTAL, UNDER SEPARATE COVER</p> <p>1 ICE MACHINE</p> <p>2 STAINLESS STEEL PREP TABLE</p> <p>3 FLIP TOP/BOTTOM REACH-IN PREP COOLER (LARGE)</p> <p>4 REACH-IN REFRIGERATOR</p> <p>5 REACH-IN FREEZER</p> <p>6 FRYERS</p> <p>7 RANGE/OVEN</p> <p>8 TABLETOP WARMERS</p> <p>9 FLIP TOP/BOTTOM REACH-IN PREP COOLER (SMALL)</p> <p>10 3-COMPARTMENT SINK</p> <p>11 AUTOMATIC WAREWASHING MACHINE</p> <p>12 PREP SINK</p>	

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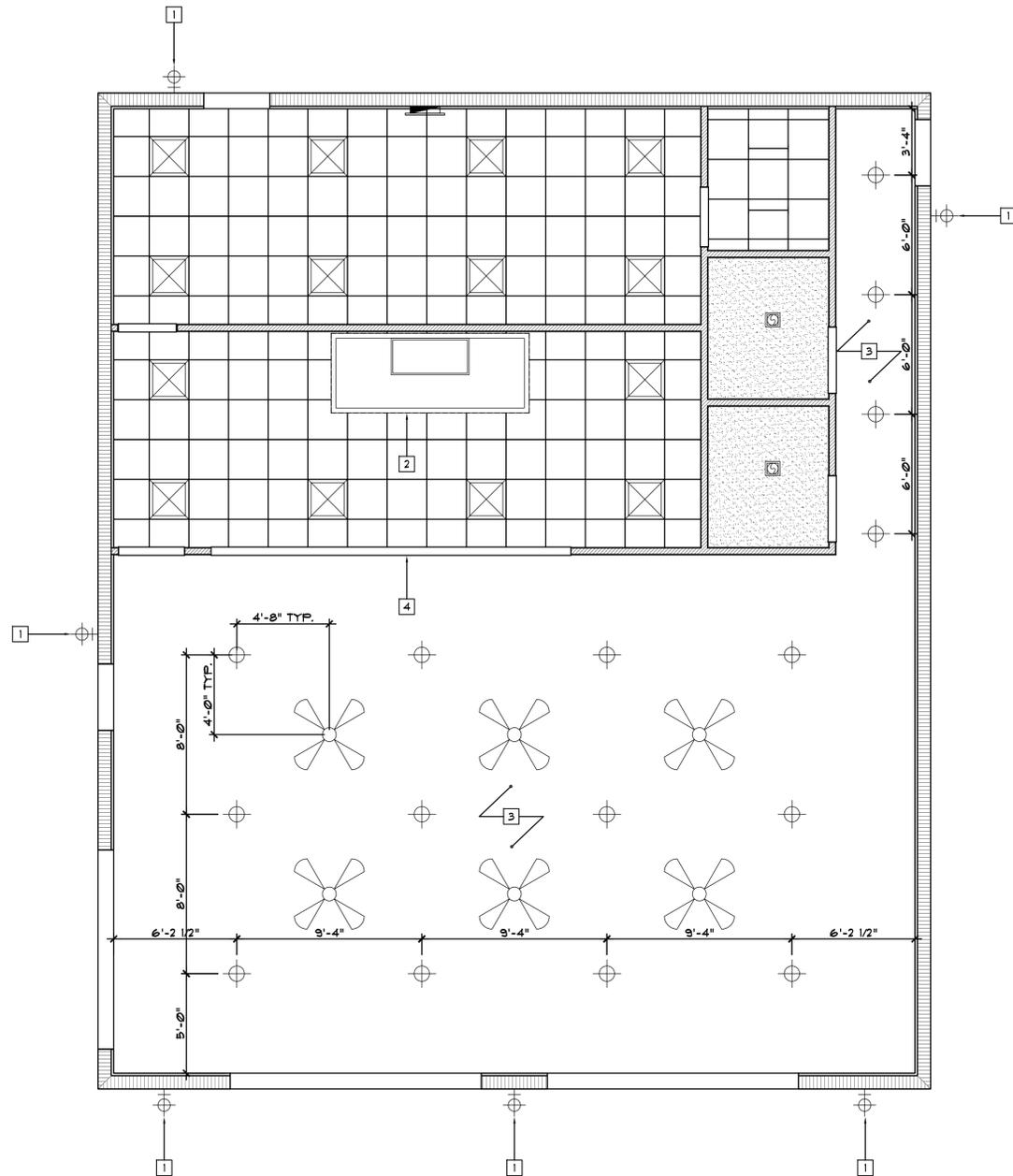
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05/01/2023 4:39:39 PM

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Consultant:

Permit Submittal Set
CDG Project #: 23.02
Floor Plan
Scale: 1/4" = 1'-0"

Date: 04.07.23
Drawn By: KPC
Drawing Number:
A1.1



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND	
	NEW 5/8" GYP. BD. CEILING TO BE INSTALLED, AFFIXED TO 3-5/8" 22 Ga. METAL FRAMING MEMBERS @ 16" O.C. PAINTED FINISH. INSTALL @ 9'-0" AFF.
	NEW ACOUSTICAL CEILING TILE w/ LAY-IN GRID TO BE INSTALLED. USE ARMSTRONG "KITCHEN ZONE" WASHABLE TILE. (or EQ.) w/ ASSOCIATED 15/16 GRID SYSTEM. INSTALL @ 9'-0" AFF. UNO.
	NEW 2' X 2' LED LAY-IN LIGHT FIXTURE TO BE INSTALLED.
	NEW DECORATIVE PENDANT-MOUNTED LIGHT FIXTURE TO BE INSTALLED. SMALODY "VINTAGE FARMHOUSE" (or EQ.)
	NEW EXTERIOR WALL or COLUMN-MOUNTED, WET-LOCATION LIGHT FIXTURE TO BE INSTALLED.
	NEW EXHAUST FAN/ LIGHT KIT TO BE INSTALLED.
	NEW SURFACE-MOUNTED STRIP FLUORESCENT LIGHT FIXTURE TO BE INSTALLED.
	NEW CEILING FAN TO BE INSTALLED. HUNTER 50010 "PRESTO" 52" (or EQ.) MATTE BLACK FINISH

REFLECTED CEILING PLAN GENERAL NOTES	
1.	NEW ACOUSTICAL CEILING TILE TO BE INSTALLED TO COMPLY w/ ASTM E84 CLASSIFICATION.
2.	TO THE FULLEST EXTENT POSSIBLE, ALIGN CENTERLINE OF CEILING TILE w/ CENTER LINE OF SPACE, IN BOTH DIRECTIONS.

REFLECTED CEILING PLAN KEYNOTES	
1	ALL EXTERIOR LIGHT FIXTURES TO BE WET LOCATION COMPLIANT.
2	NEW EXHAUST HOOD SYSTEM TO BE INSTALLED. COORD. w/ MECHANICAL & ELECTRICAL DRAWINGS.
3	OPEN TO STRUCTURE/ROOF DECK ABOVE. NO FINISHED CEILING IN THIS AREA. ALL SURFACES TO BE PAINTED FLAT BLACK.
4	FRAMED HEADER TO 8'-8" AFF. TYP. TYPE I PARTITION FRAMING.

Seal:

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Poke Burri

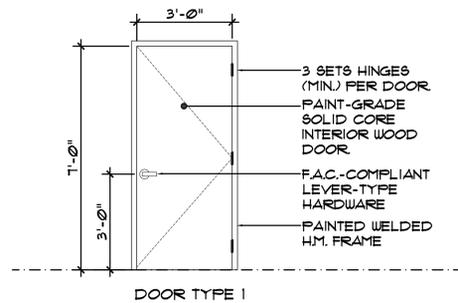
Westside Station - Building C
12623 West Colonial Drive
Winter Garden, Florida

Revisions:

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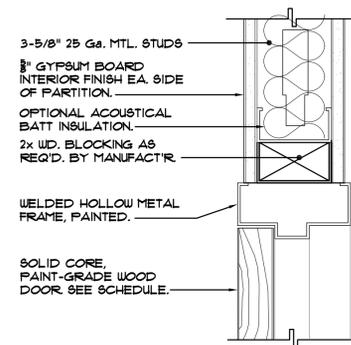


DOOR ELEVATION
SCALE: 3/8" = 1'-0"

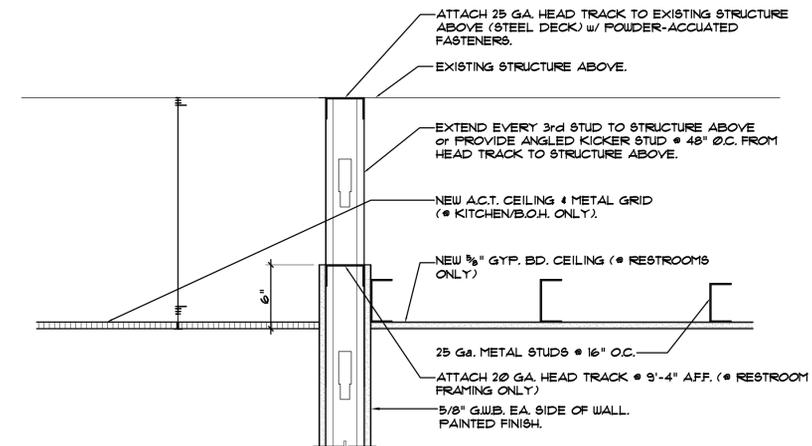
DOOR SCHEDULE												
DOOR NUMBER	DOOR TYPE	DOOR				FRAME		DETAILS			REMARKS	
		WIDTH	HEIGHT	TK	MAT'L	FINISH	MAT'L	FINISH	HEAD	JAMB		SILL
103	1	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	H.M.	PAINT	A/A31	A/A31	B/A31	
104	1	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	H.M.	PAINT	A/A31	A/A31	B/A31	
105	1	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	H.M.	PAINT	A/A31	A/A31	B/A31	
106	1	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	H.M.	PAINT	A/A31	A/A31	B/A31	

GENERAL DOOR NOTES											
1. G.C. TO VERIFY ALL HARDWARE REQUIREMENTS W/ OWNER.											
2. PROVIDE SILENCERS & STOPS (WALL OR FLOOR MOUNTED) @ EA. DOOR.											
3. ALL INTERIOR DOORS SHALL BE 1 3/4" SOLID CORE, PAINT GRADE.											
4. EACH DOOR LEAF SHALL RECEIVE 1 1/2" BUTT HINGES, 3 HINGES PER DOOR.											
5. COORDINATE ALL DOOR HARDWARE FINISH & FUNCTION W/ OWNER.											
6. PROVIDE NEW ACCESSIBLE LEVER-TYPE HARDWARE SETS ON ALL DOORS.											

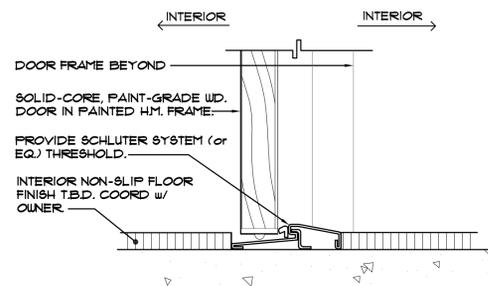
INTERIOR FINISH NOTES											
1. G.C. TO COORDINATE ALL FINISH SELECTIONS WITH OWNER.											
2. ALL FINISHES TO COMPLY WITH CLASS C FINISH RATING PER FBC.											
3. ALL FLOOR FINISHES TO PROVIDE NON-SLIP CHARACTERISTICS.											
4. FLOORING TRANSITIONS NOT TO EXCEED 1/4" VERTICAL. PROVIDE SCLUTER SYSTEM TRANSITIONS AS BASIS FOR SELECTIONS.											



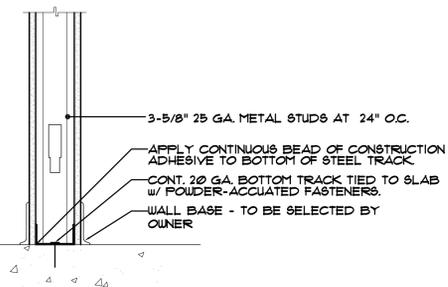
A NEW INTERIOR DOOR HEAD/JAMB
SCALE: 3" = 1'-0"



1 NEW INTERIOR PARTITION TYPE 1
SCALE: 1-1/2" = 1'-0"



B NEW INTERIOR DOOR SILL
SCALE: 3" = 1'-0"



Seal:

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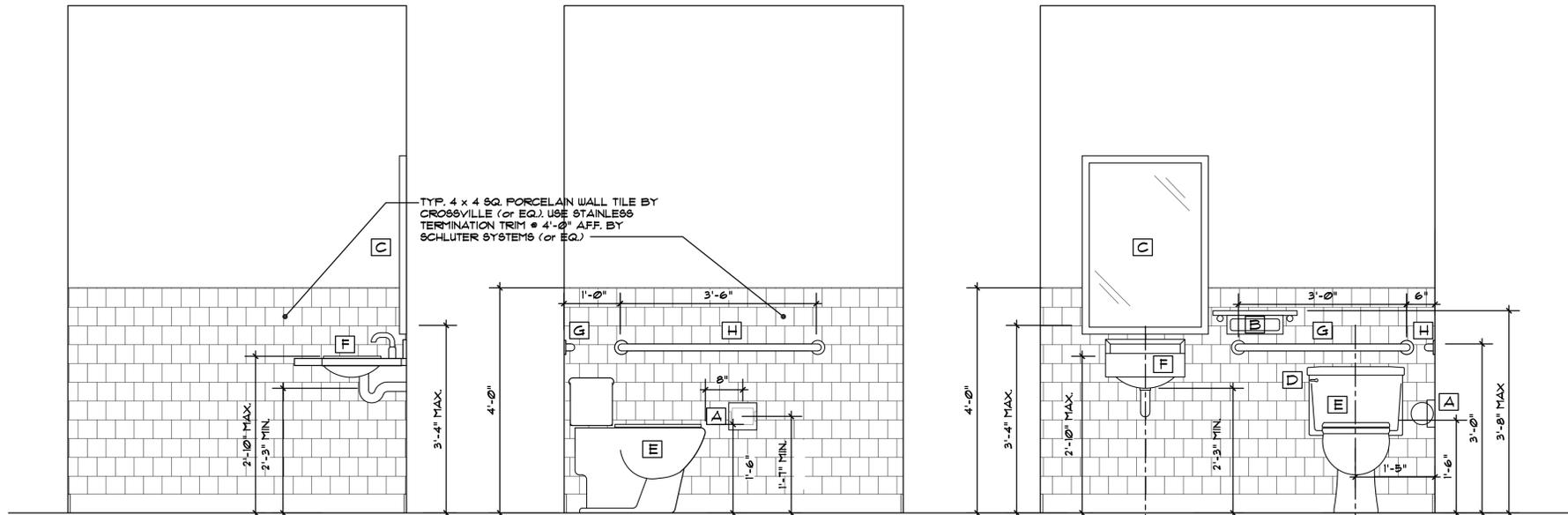
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		CDG Project #: 23.02 Door Schedule & Details Scale: As Noted	A3.1

TOILET ROOM ACCESSORIES

- A WALL-MOUNTED DOUBLE ROLL TOILET PAPER HOLDER, BOBRICK #B-697
- B SURFACE MOUNTED SOAP DISPENSER, BOBRICK #B-412
- C MIRROR WITH 5/8" CHANNEL FRAME, BOBRICK #B-135
- D RECESSED PAPER TOWEL DISPENSER, BOBRICK #B-363
- E NEW ACCESSIBLE WATER CLOSET, COORDINATE w/ PLUMBING DRAWINGS.
- F NEW ACCESSIBLE LAVATORY, COORDINATE w/ PLUMBING DRAWINGS.
- G NEW 36" STAINLESS STEEL GRAB BAR, BOBRICK B-6806 x 36.
- H NEW 42" STAINLESS STEEL GRAB BAR, BOBRICK B-6806 x 42.

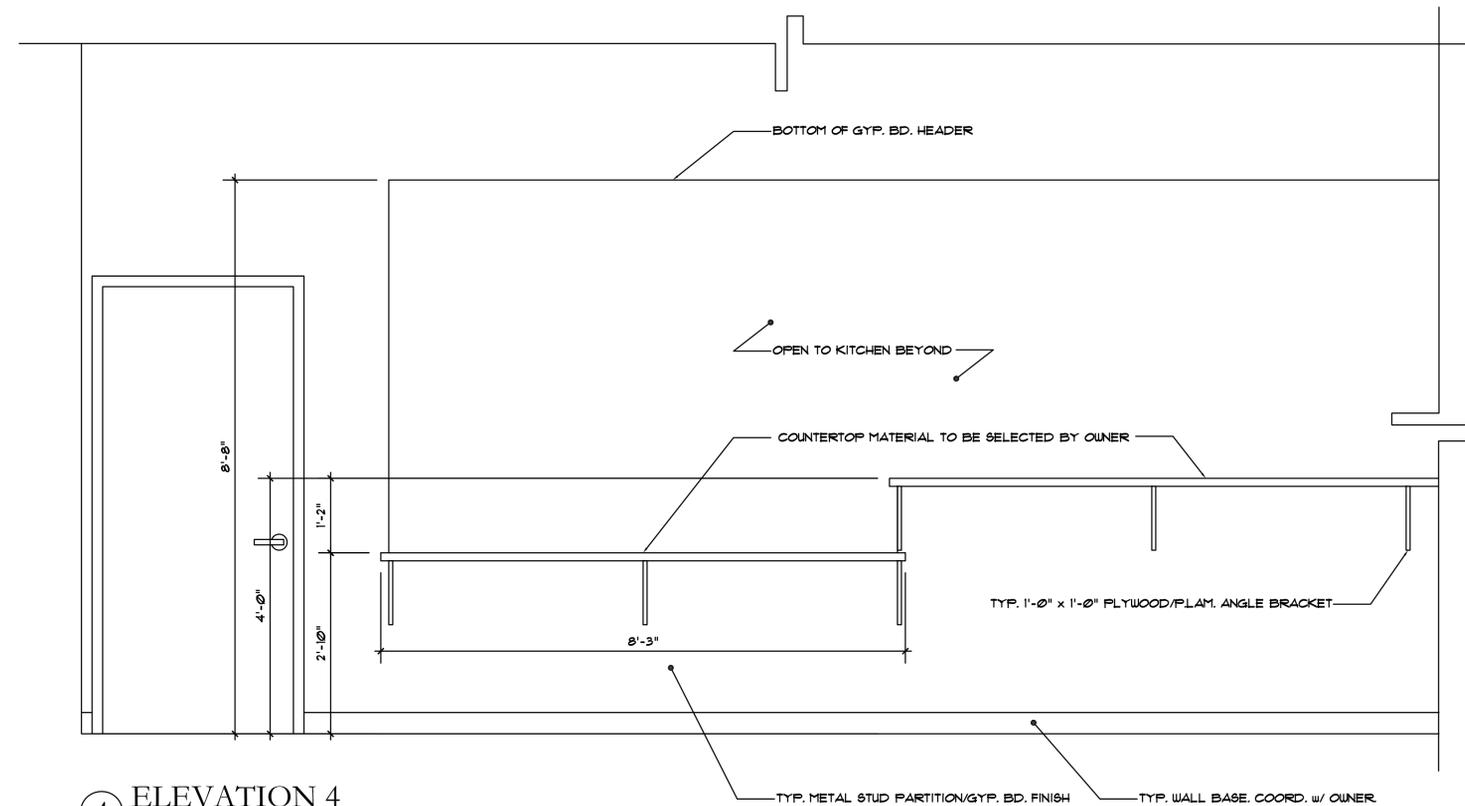


3 ELEVATION 3
SCALE: 3/4" = 1'-0"

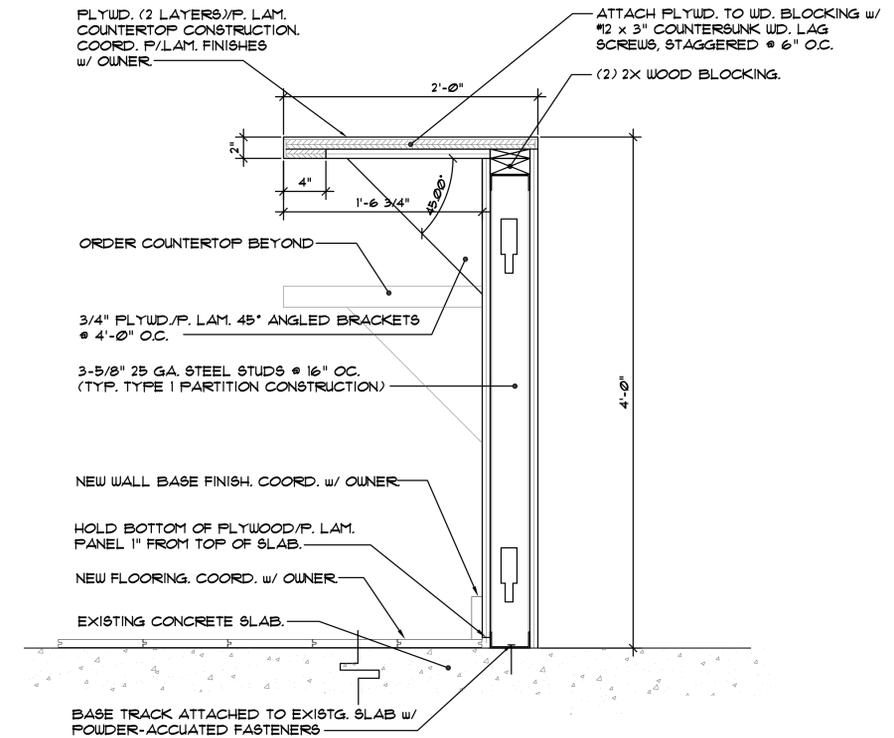
2 ELEVATION 2
SCALE: 3/4" = 1'-0"

1 ELEVATION 1
SCALE: 3/4" = 1'-0"

NOTE: ELEVATIONS @ MEN'S ROOM 106 IDENTICAL TO ELEVATIONS 1, 2 & 3.



4 ELEVATION 4
SCALE: 3/4" = 1'-0"



A SECTION A
SCALE: 1-1/2" = 1'-0"

Seal:

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Consultant:

Permit Submittal Set

CDG Project #: 23.02

Restroom Elevations,
Millwork Elev.
Scale: 3/4" = 1'-0"

Date: 04.07.23
Drawn By: KPC
Drawing Number:

A4.1