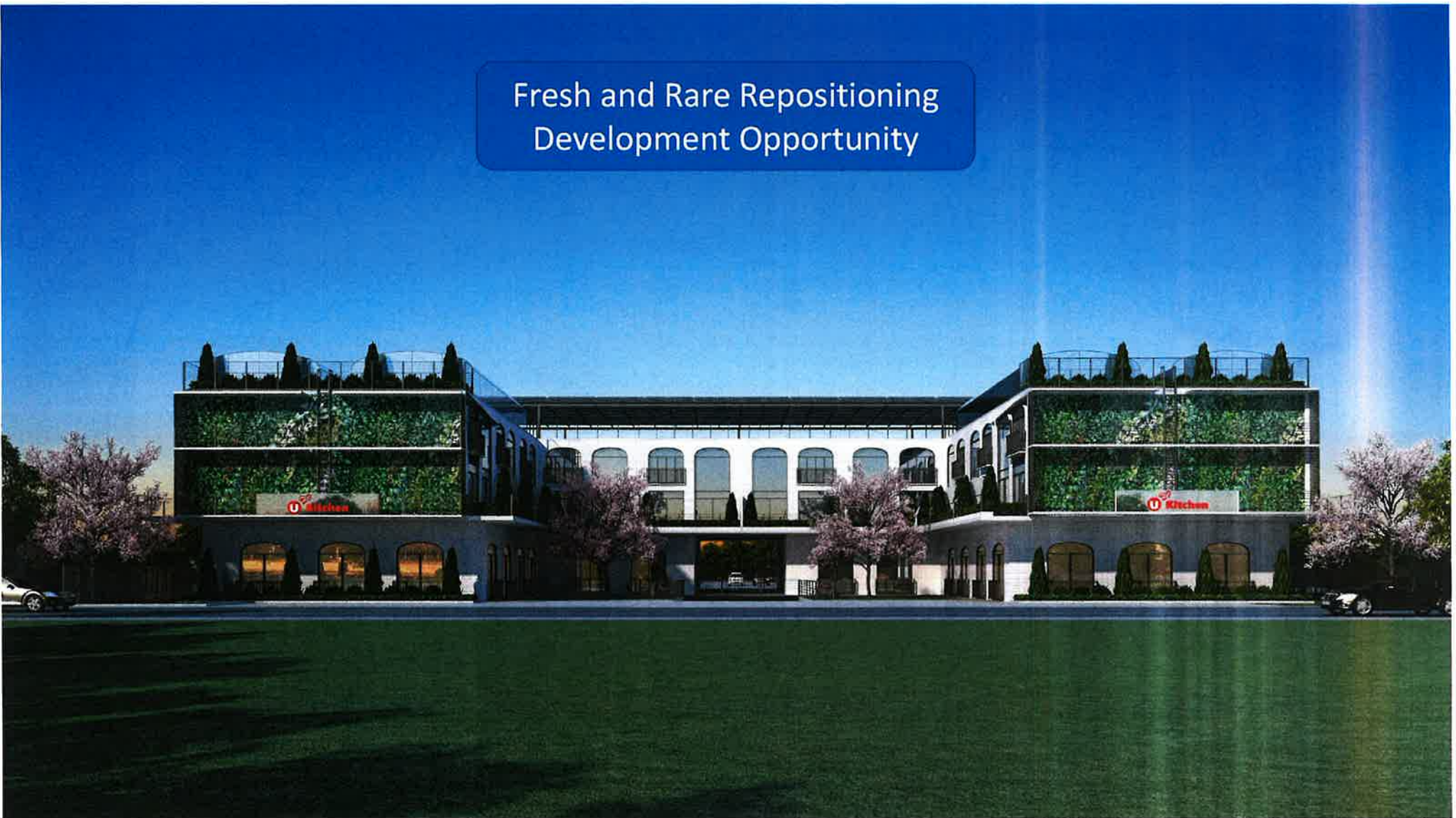


Fresh and Rare Repositioning
Development Opportunity



Access To Premier Retail & Dining

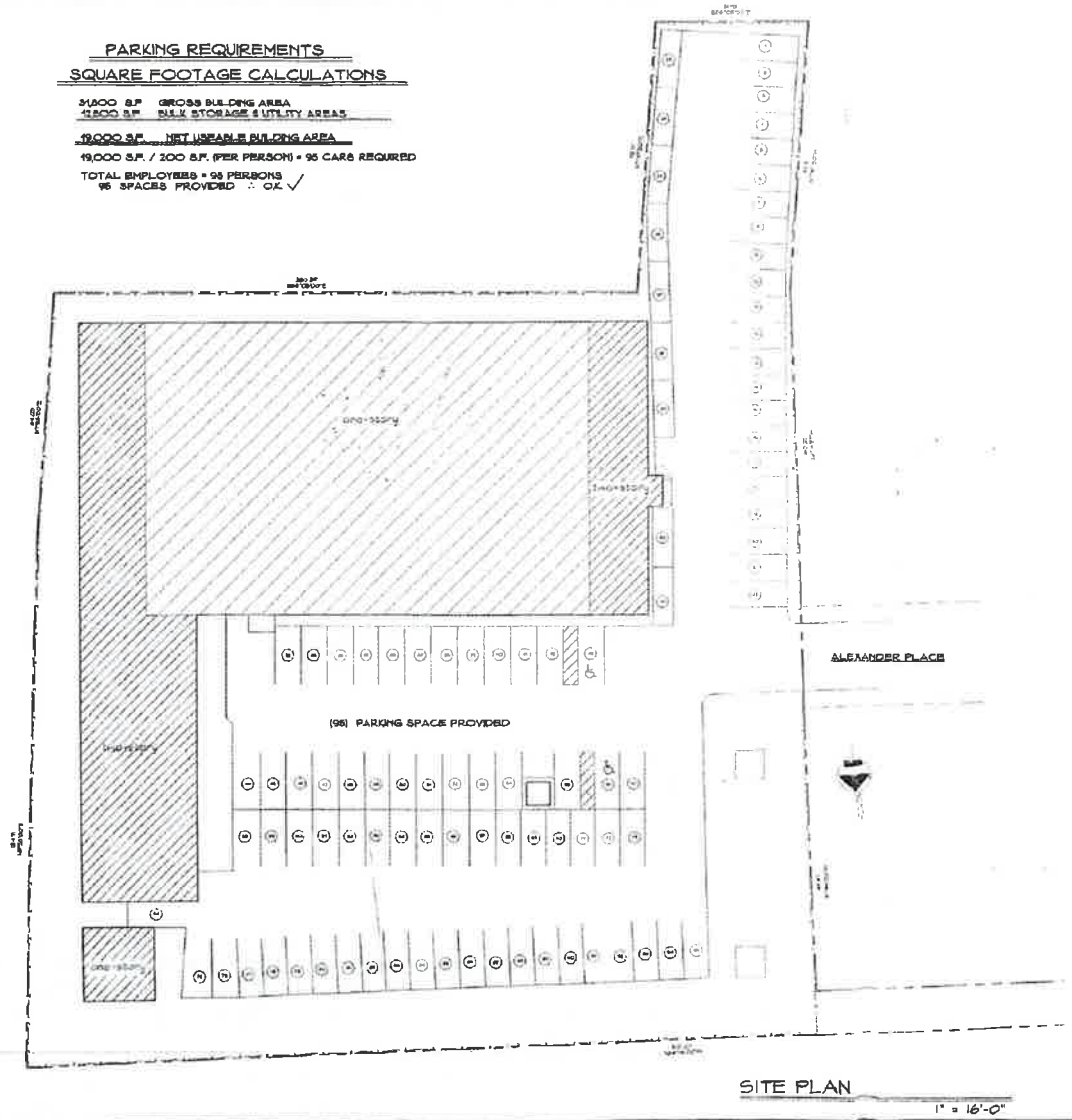
1 Alexander Place within
downtown Glen Cove, known
for the variety and quality of
its 200+ retail and service
establishments that draw
shoppers from well beyond
town and state lines.



Existing Parking Stalls: 95

PARKING REQUIREMENTS
SQUARE FOOTAGE CALCULATIONS

31,000 S.F. GROSS BUILDING AREA
 12,000 S.F. BULK STORAGE & UTILITY AREAS
 19,000 S.F. NET USABLE BUILDING AREA
 19,000 S.F. / 200 S.F. PER PERSON = 95 CARS REQUIRED
 TOTAL EMPLOYEES = 95 PERSONS
 95 SPACES PROVIDED ∴ O.K. ✓



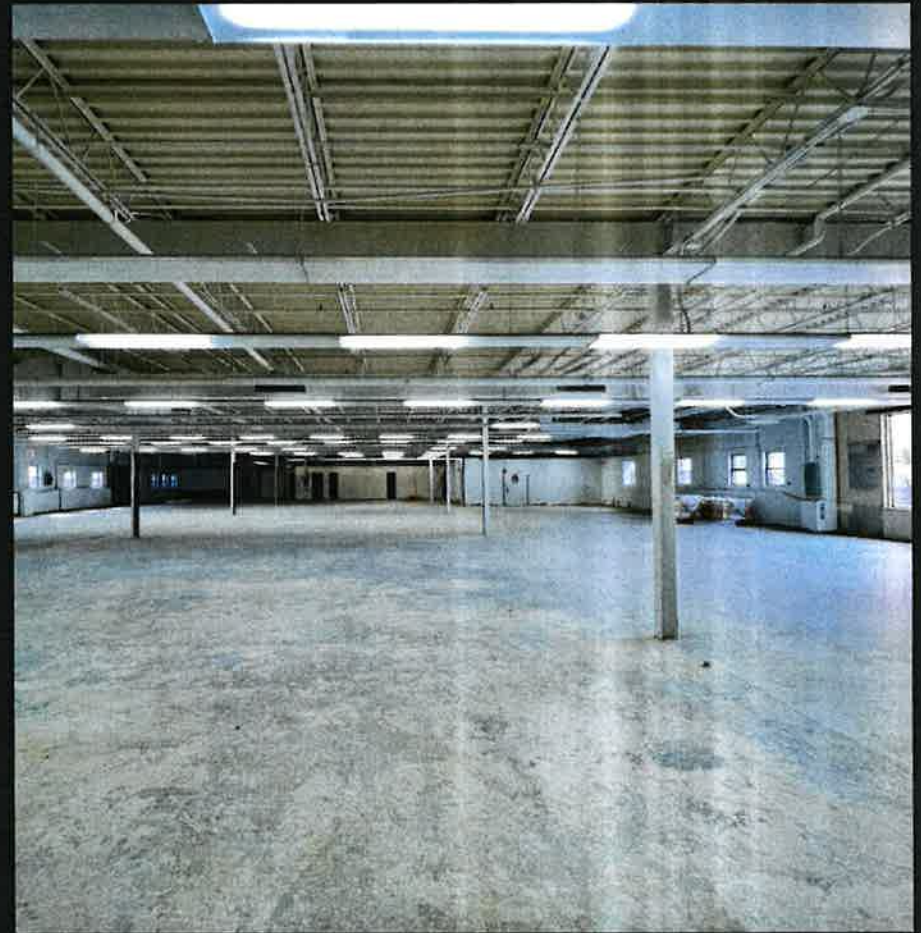


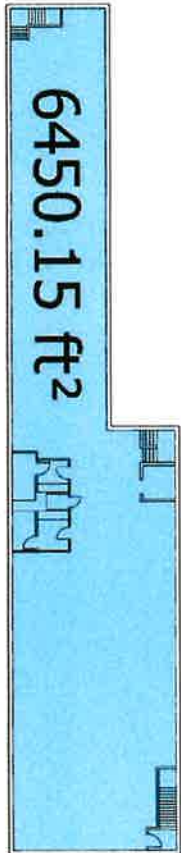
2 Sets of 10 FT Height Brand New Electric Roll-Up Doors

GENERAC
INDUSTRIAL
POWER

Large Amps
Generator



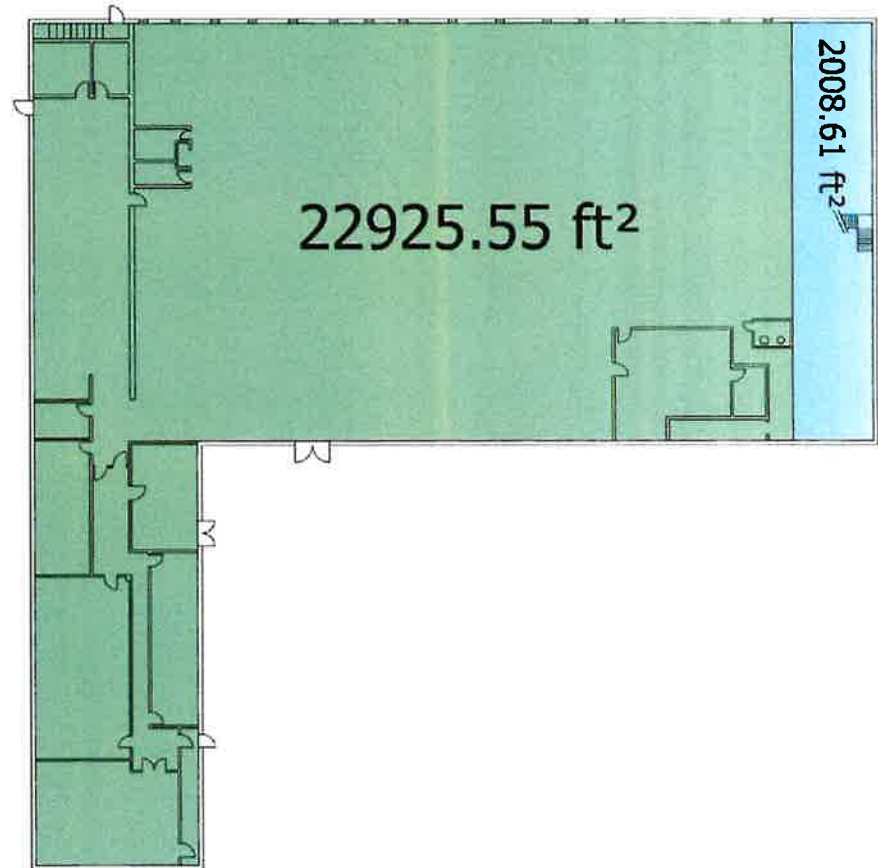




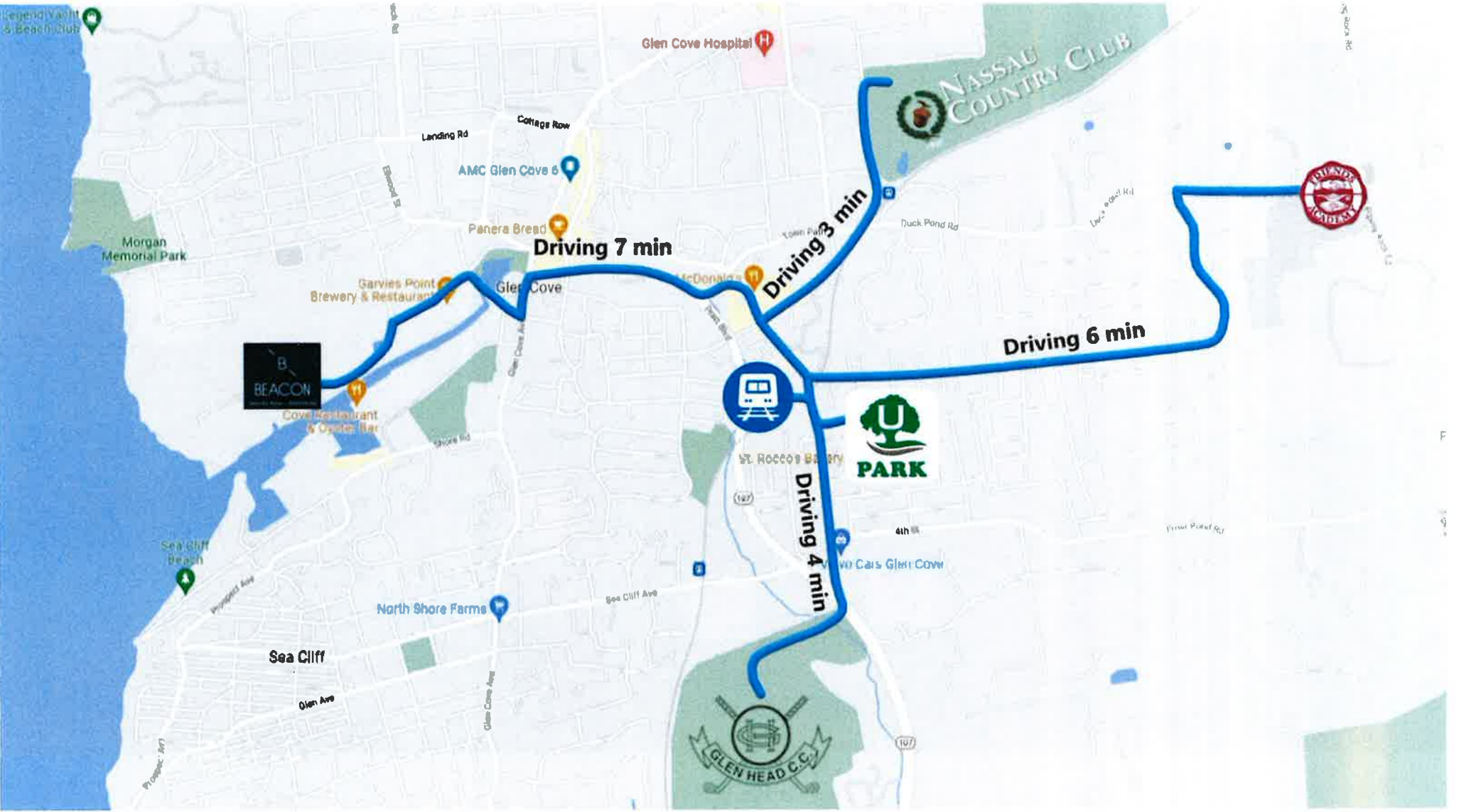
**First Floor Warehouse
22925.55 SQFT**

**First Floor Office
2008.61 SQFT**

**Second Floor Office
8475.94 SQFT**







ASKING FOR \$7,720,000



Irreplaceable Downtown Industry Location on Cedar Swamp Road, Vacant for next Ownership



Building Size:	31,800 sq. ft.	Sewers:	Public
Lot Size:	1.98 acres	Height:	12' under steel, 14' under slab
Built:	1961, Reno 2002	Power:	1600 Amps
Construction:	Steel/masonry	Sprinklers:	Full
A/C:	Full	Loading:	Possible to construct 3 Recently
Parking:	95 spaces on site	Roof:	replaced

Irreplaceable Downtown Industry Location on Cedar Swamp Road, Vacant for next Ownership

