

FOR LEASE ±16,948 SF INDUSTRIAL BUILDING



131 BREA CANYON RD | WALNUT, CA 91789



±16,948 SF | INDUSTRIAL BUILDING FOR LEASE

PROPERTY INFORMATION

BUILDING	±16,948 SF
OFFICE	±4,300 SF
LAND	±44,855 SF
CLEARANCE HEIGHT	18' Minimum Clearance
POWER	1,600A / 480V / 3P / 4W
GROUND LEVEL DOORS	2
LOADING DOCKS	2
YEAR BUILT	1991
PARKING SPACES	36
ZONING	LCM11/2*



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Excellent Street Frontage on
Brea Canyon Rd



Premier Location



Immediate 60-Freeway Access



Freestanding Warehouse



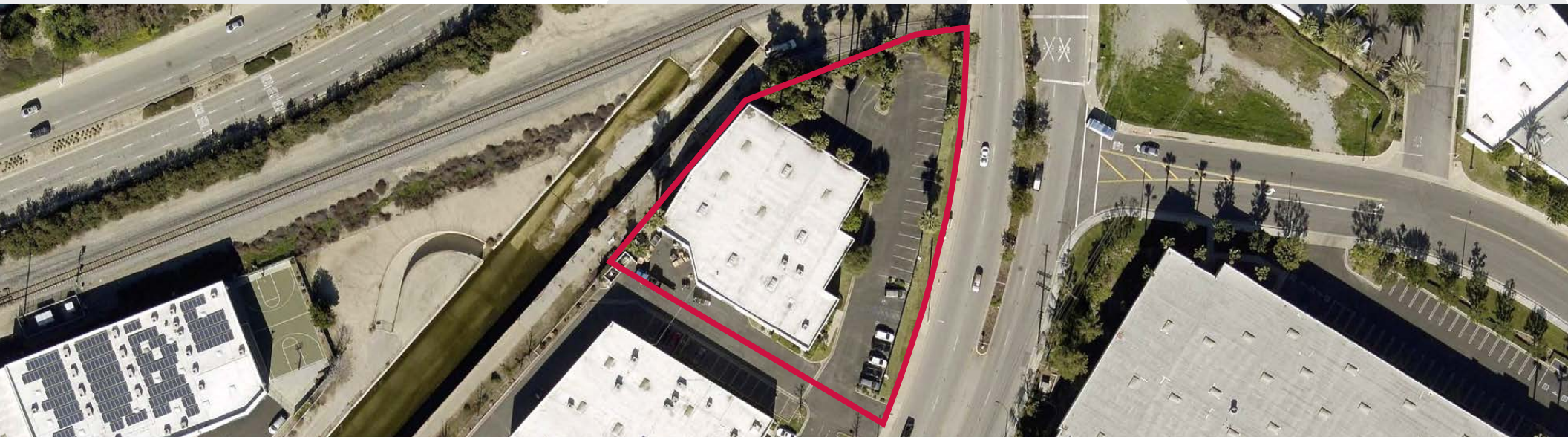
Ideal for Manufacturing and
Distribution



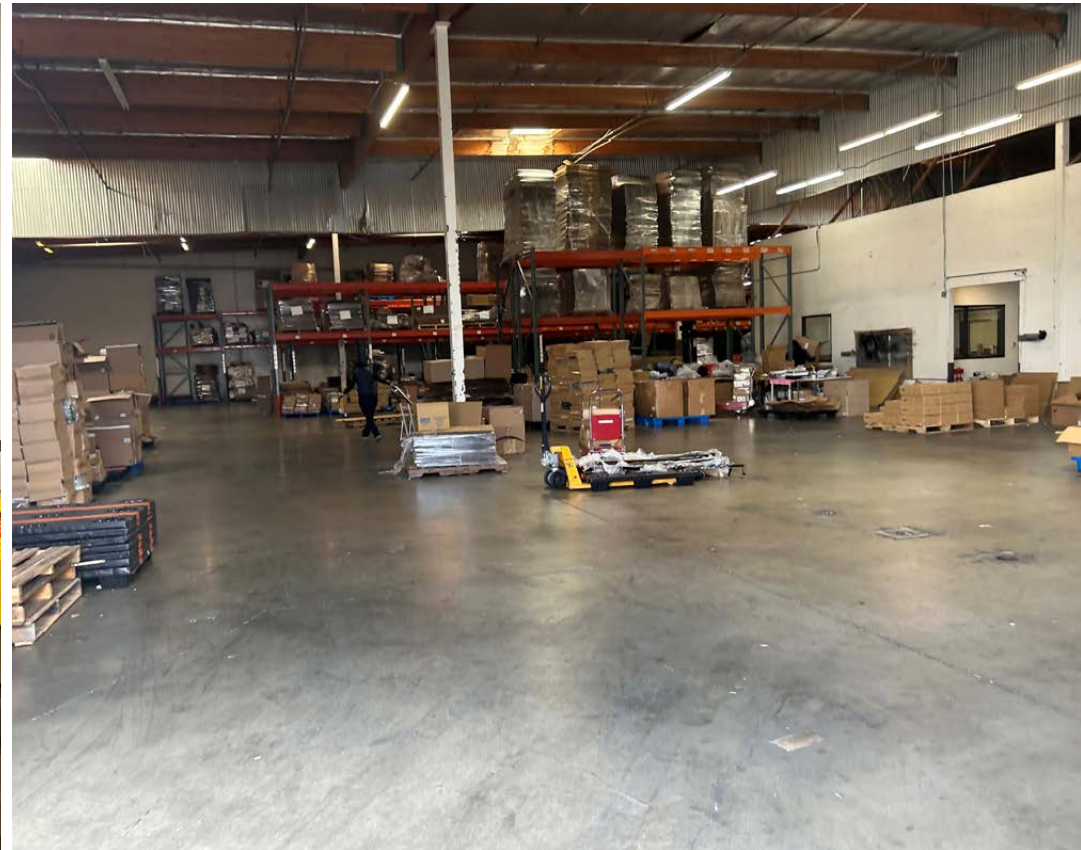
1,600 Amps of Power



2 Loading Docks and
2 Ground Level Doors

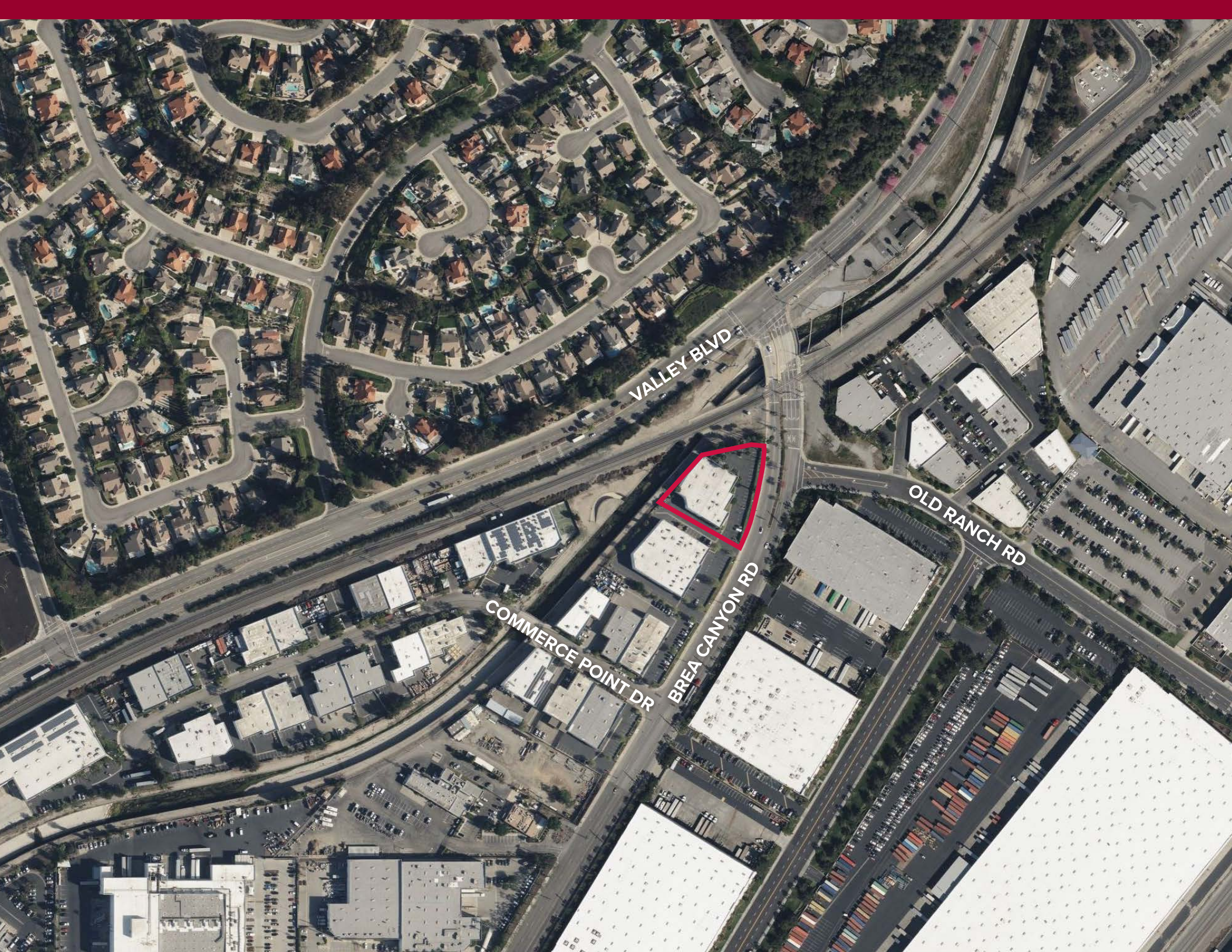


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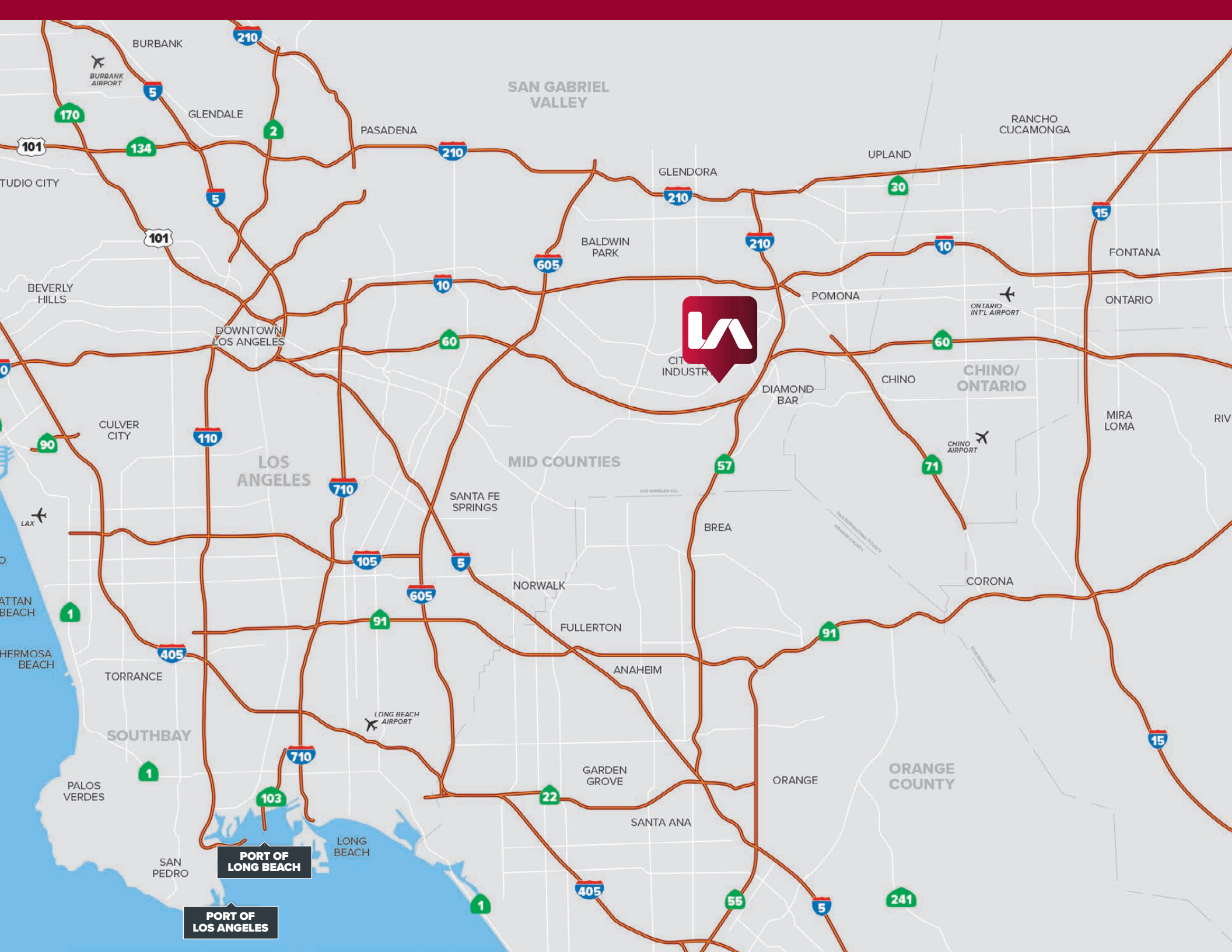


VALLEY BLVD

OLD RANCH RD

COMMERCE POINT DR

BREA CANYON RD



PORT OF LONG BEACH

PORT OF LOS ANGELES

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Buyer/Tenant should verify all aspects of this brochure and material facts concerning the property including, but not limited to: square footage and composition of offices, building & land; whether the square footage includes interior dock or mezzanine areas; loading dock and door construction, size and condition; age and construction of building and all improvements; physical and structural condition of the building and all systems, including the HVAC, any elevators and roof; adequacy of floor loads for Buyer/Tenant's intended use; ceiling and door clearance; ADA compliance; power; sprinkler calculations; zoning; permits, unpermitted improvements and permitted uses; taxes; whether the location of the property is within an incentive zone; and any other consideration that the Buyer/Tenant deems to be material to its decision whether to purchase or lease the property. It is strongly recommended that Buyer/Tenant utilize the services of professionals such as attorneys, accountants, architects, environmental consultants, surveyors, structural engineers and contractors to complete their due diligence prior to waiving any contingencies. It is also recommended that Buyer/Tenant obtain any use permits or business licenses that may be material to the operation of their business prior to the waiver of any contingencies. Seller to verify all tax implications of the sale with the accountant or attorney of their choice.

