

# PARTICIPANTS

## OWNER:

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## ARCHITECT:

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## GENERAL CONTRACTOR/ CONSTRUCTION MANAGER:

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## An aerial photograph of a large, multi-winged building with a red-tiled roof. A significant portion of the central roof area is highlighted with a red and white checkered pattern. Two labels with arrows are present: 'ACCESS ROUTE' points to a narrow path between the building and a parking lot, while 'AREA OF WORK' points directly into the checkered section of the roof. The surrounding area includes parking lots with several vehicles, green lawns, and other buildings in the background.

AB	ANCHOR BOLT	DIA	DIAMETER	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	MO	MASONRY OPENING	SC	SOLID CORE
AC	AIR CONDITIONING	DIM	DIMENSION	GL	GLASS	MTL	METAL	SB	SECTION
ACT	ACOUSTIC CEILING TILE	DIV	DIVISION	GLULAM	GLUE LAMINATED TIMBER	MS	MICROWAVE	SE	50 SQ. FT.
AD	ADJUSTABLE	DOW	DOWN	GT	GUTTER	NO	NOT IN CONTRACT	SG	SQUARE FOOT
AFD	ALUMINUM FLOOR ABOVE FINISH FLOOR	DS	DRAWINGS	GB	GYPSTUM WALL BOARD	NR	NUMBER	SH	SHIRAZ
AFH	ALUMINUM FLOOR HARDWARE	DS	DISCOUNT	HDU	HARDWARE	NPT	NORMAL	SPEC	SPECIFICATION
AG	AGGREGATE	DW	DOWN	HLL	HOLLOW CORE	NS	NOT TO SCALE	STL	STEEL
AI	ALTERNATE	EA	EACH	HDR	HEADER	OC	OVERALL	STN	STATION
APPROX	APPROXIMATE	EFD	EXISTING FLOORING	HRT	HOT-ROLLED (STRUCTURAL)	OC	ON CENTER	STR	STRUCTURAL
ARCH	ARCHITECTURAL	EWST	EXISTING	HT	HEIGHT	OC	OVERLAP	SVCT	STRUCTURE
B	BOARD	EXP	EXTERIOR INSULATION FINISH	HT	HEIGHT	OPP	OPPOSITE	TBD	TO BE DETERMINED
BD	BUILT-IN	EXT	SYSTEM	HZ	HORIZONTAL	PERF	PERFORATED	TBD	TO BE DETERMINED
BL	BUILDING	EFS	EXPANSION OF EXPOSED	HZ	HORIZONTAL	PERF	PERFORATED	TOP	TOP OF
BOT	BOTTOM	ELEV	ELEVATION	HG	HEIGHT	PLM	PLASTIC LAMINATE	TGS	TONGUE & GROOVE
BOT	BOTTOM	EQUIP	EQUIPMENT	HVAC	HVAC	PLM	PLASTIC LAMINATE	TOP	TOP OF
BOT	BOTTOM	ELEV	ELEVATION	HG	HEIGHT	PLM	PLASTIC LAMINATE	TGS	TONGUE & GROOVE
BOT	BOTTOM	EQUIP	EQUIPMENT	HVAC	HVAC	PLM	PLASTIC LAMINATE	TOP	TOP OF
BOT	BOTTOM	ELEV	ELEVATION	HG	HEIGHT	PLM	PLASTIC LAMINATE	TGS	TONGUE & GROOVE
BOT	BOTTOM	EQUIP	EQUIPMENT	HVAC	HVAC	PLM	PLASTIC LAMINATE	TOP	TOP OF
BOT	BOTTOM	ELEV	ELEVATION	HG	HEIGHT	PLM	PLASTIC LAMINATE	TGS	TONGUE & GROOVE
BOT	BOTTOM	EQUIP	EQUIPMENT	HVAC	HVAC	PLM	PLASTIC LAMINATE	TOP	TOP OF
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BOT	BOTTOM	ELEV	ELEVATION	HG	HEIGHT	PLM	PLASTIC LAMINATE	TGS	TONGUE & GROOVE

GENERAL	
T1	TITLE SHEET
ARCHITECTURAL:	
D1.1 A1.1 A1.2 A1.3 AG1.1	DEMO FLOOR PLAN FLOOR PLAN REFLECTED CEILING PLAN ENLARGED TOILET ROOM PLAN, INTERIOR ELEVATIONS & SCHEDULES ACCESSIBILITY GUIDELINES
STRUCTURAL:	
NO STRUCTURAL MODIFICATIONS	
MECHANICAL:	
TO BE PREPARED & SUBMITTED BY DESIGN / BUILD CONTRACTOR UNDER SEPARATE COVER	
ELECTRICAL:	
TO BE PREPARED & SUBMITTED BY DESIGN / BUILD CONTRACTOR UNDER SEPARATE COVER	
PLUMBING:	
TO BE PREPARED & SUBMITTED BY DESIGN / BUILD CONTRACTOR UNDER SEPARATE COVER	
FIRE PROTECTION:	
TO BE PREPARED & SUBMITTED BY DESIGN / BUILD CONTRACTOR UNDER SEPARATE COVER	

BUILDING CODE: • ALL COMMERCIAL BUILDING CODE ADOPTION OF THE INTERNATIONAL CODES SUBJECT TO THE MODIFICATION SPECIFIED BY UI DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES, CHAPTER 361-366	
• INTERNATIONAL BUILDING CODE - 2015	
• INTERNATIONAL ENERGY CONSERVATION CODE - 2015	
• COMCHECK: 4.0.8	
• INTERNATIONAL MECHANICAL CODE - 2015	
• INTERNATIONAL FUEL GAS CODE - 2015	
• INTERNATIONAL EXISTING BUILDING CODE - 2015	
ACCESSIBILITY CODES:	
• INTERNATIONAL BUILDING CODE - 2015, CHAPTER II	
• ICC A117.1 - 2009	
• D.O.J. - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN	
MECHANICAL CODE:	
• REFER TO UI COMMERCIAL BUILDING CODE ELECTRICAL CODE:	
• INTERNATIONAL BUILDING CODE - 2015, CHAPTER 21	
• UI SAFETY & PROFESSIONAL SERVICES, CHAPTER 316 REFERENCE NATIONAL ELECTRIC CODE,	
• NFPA 70 - NATIONAL ELECTRIC CODE (NEC) - 2017 SUBJECT TO THE CHANGES, ADDITIONS OR OMISSIONS SPECIFIED IN SUB CH. III. OF SP9 CHAPTER 316	
PLUMBING CODE:	
• INTERNATIONAL BUILDING CODE - 2015, CHAPTER 29	
• UI SAFETY & PROFESSIONAL SERVICES, CHAPTER 381-381 FIRE PREVENTION:	
• UI SAFETY & PROFESSIONAL SERVICES, CHAPTER 314 REFERENCE NFPA	
• NFPA I, FIRE CODE - 2012 AND/OR LOCAL FIRE ORDINANCE IF APPLICABLE SUBJECT TO THE MODIFICATIONS AS SPECIFIED IN SP9 CHAPTER 314	
• INTERNATIONAL FIRE CODE - 2015 (AS REFERENCED BY THE IBC - 2015)	
EMERGENCY EGRESS LIGHTING:	
• THESE DOCUMENTS DENOTE AN EGRESS PLAN SHOWING THE PATH WHERE EXIT LIGHTS & EMERGENCY EGRESS LIGHTING MAY BE REQUIRED.	
• FOR NEW BUILDINGS, ADDITIONS OR ALTERATIONS THAT CREATE NEW EGRESS PATHS, THE ELECTRICAL DESIGNER SHALL PROVIDE, AT THE PROJECT SITE DURING CONSTRUCTION, EMERGENCY LIGHTING CUT-SHEETS, CALCULATIONS, PHOTOMETRICS OR OTHER MEANS TO SHOW COMPLIANCE WITH APPLICABLE CODES.	
LIGHTING ENERGY CONSERVATION:	
ELECTRICAL DESIGNER SHALL PREPARE A LIGHTING PLAN AND PROVIDE, AT THE PROJECT SITE DURING CONSTRUCTION, LIGHTING PLANS AS WELL AS FIXTURE CUT-SHEETS AND ENERGY CALCULATIONS TO SHOW COMPLIANCE WITH THE ENERGY CODE.	
ACCESSIBILITY NOTES:	
• THIS PROJECT INCLUDES AN ALTERATION TO AN AREA OF PRIMARY FUNCTION. THE ACCESSIBLE ROUTE INCLUDING TOILET AND DRINKING FACILITIES, LEADING TO THE AREA OF PRIMARY FUNCTION IS COMPLIANT WITH THE ACCESSIBILITY CODE TO THE EXTENT REQUIRED BY THE EXISTING BUILDING CODE.	

PROJECT DESCRIPTION:	
BUILDING CODE:	LEVEL 2 INTERIOR ALTERATIONS IBC/EBC/UI-SP9 361-366
AREA OF WORK	- 6,585 SF
LAND LORD:	- 950 SF
SUITE A: OCCUPANT LOAD	- 1051 SF / 100SF = 11 PERSONS
SUITE B: OCCUPANT LOAD	- 1938 SF / 100SF = 20 PERSONS
SUITE C: OCCUPANT LOAD	- 2,556 SF / 100SF = 26 PERSONS
USE 1 OCCUPANCY:	
MAJOR USE:	B (BUSINESS)
GENERAL BUILDING DATA:	EXISTING:
APPROX HEIGHT:	EXST.
GROSS BUILDING AREA:	14,828 SF
NUMBER OF STORIES:	1
NUMBER OF FLOORS:	1
TYPE OF CONSTRUCTION:	SMILAR TO VB
FIRE RESISTANCE RATED CONST.:	EXST.
EXTERIOR WALL OPENINGS:	EXISTING NO MODIFICATION
FIRE PROTECTION SYSTEMS:	
AUTOMATIC SPRINKLER:	EXST. - MODIFY AS NECESSARY
COVERAGE:	COMPLETE
STANDARD:	NFPA 13
MONITORING:	REQUIRED
FIRE ALARM:	NOT APPLICABLE
OCCUPANT NOTIFICATION:	EXST.
MEANS OF EGRESS IN WORK AREA:	
TOTAL OCCUPANT LOAD	REQUIRED
TOTAL EGRESS WIDTH:	114
TOTAL STAIRWAY WIDTH:	N/A
EXIT TRAVEL DISTANCE:	250' MAX
MEN:	REQUIRED ACTUAL
WATERCLOSETS:	2 1
URNAL LAVATORIES	0 1
WOMEN:	
WATERCLOSETS	2 2
LAVATOIRES	1 2
DRINKING FOUNTAINS:	1 0
TENANT PROVIDED BOTTLED WATER DISPENSER	
OTHER - SERVICE/PREP SINKS:	1 1

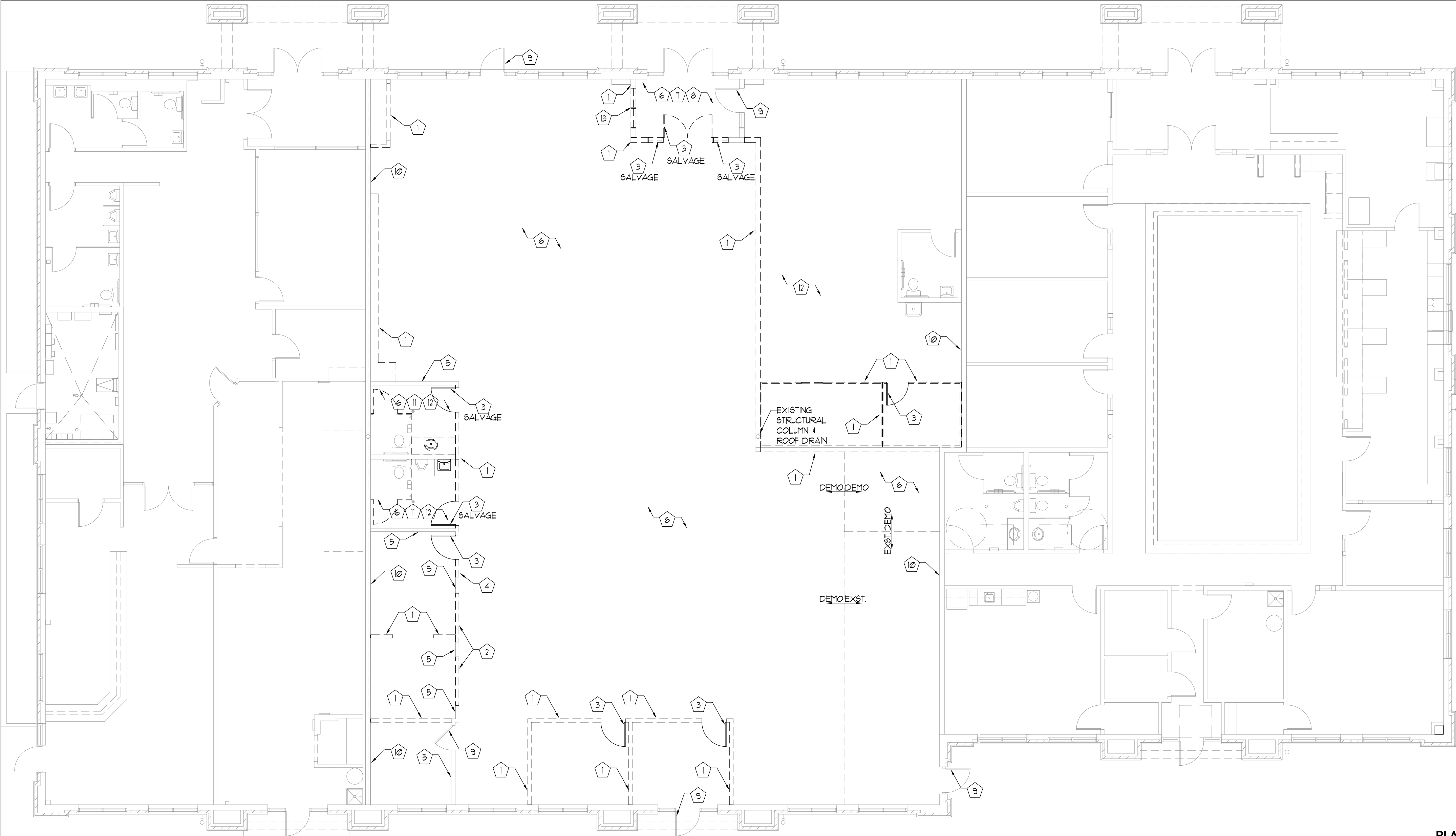
**FULL SIZE PRINT = 24" x 36" SHEET**

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 <p><b>PERSPECTIVE DESIGN, INC.</b> 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781</p>	<p>Project:</p>		<p>REV. #</p>	<p>REV. DATE</p>	<p>DESCRIPTION</p>	<p>REV. BY:</p>
				1-16-19	Owner/Tenant Review	
<p>Interior Alteration For:</p> <p><b>WaterStone Bank</b> 1230 George Town Dr, Pewaukee, WI 53072</p>						
<p>Drawing Title:</p> <p><b>TITLE SHEET</b></p>						
<div style="float: right; border: 1px solid black; padding: 2px;"> <p>THIS BOX IS 1/2" x 1/2"</p> </div>						
Date:		1/16/19				
Scale:		NOTED				
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Job:		18-088				
Sheet:		<p><b>T1</b></p>				

- PRELIMINARY -  
FOR ESTIMATING AND REVIEW ONLY





**GENERAL PROJECT NOTES:**

1) CONSTRUCTION IS TO BE IN COMPLIANCE W/ ALL GOVERNING CODES, ORDINANCES, & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION W/ THE PERFORMANCE OF THIS CONTRACT. REFER TO IBC CH. 33 (SAFEGUARDS DURING CONSTRUCTION) FOR SPECIFIC CODE RELATED SAFETY REQUIREMENTS.

2) ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE, OR CONSTRUCTION ISSUES ARISING DUE TO GENERAL CONTRACTOR(S) OWNERS FAILURE TO DISTRIBUTE ALL DOCUMENTS TO EACH SUBCONTRACTOR OR MATERIAL SUPPLIER. SUBCONTRACTORS & MATERIAL SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCUMENTS BEFORE BIDDING, FABRICATING, OR INSTALLING WORK.

3) ALL CONTRACTORS SHALL BECOME FAMILIAR WITH SITE PRIOR TO BIDDING. GENERAL CONTRACTOR, SUBCONTRACTORS, AND MATERIAL SUPPLIERS MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING, OR INSTALLING WORK.

4) ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

5) MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING W/ ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT ASSUMES NO LIABILITY.

6) ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/ EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER ASSUME FULL RESPONSIBILITY FOR MAINTENANCE/ OPERATION AFTER OCCUPANCY.

7) THE INSTALLATION AND EXECUTION OF ALL PRODUCTS & MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS, INSTRUCTIONS AND SPECIFICATIONS.

8) ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LIMITING THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH. WASTE MATERIALS SHALL BE REMOVED FROM PREMISES DAILY.

9) DIMENSIONS ARE TO BE FIELD VERIFIED & ADJUSTED ACCORDINGLY. THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WITH WORK.

10) HAZARDOUS MATERIAL (INCLUDING ASBESTOS) ASSESSMENT AND ABATEMENT WILL BE COORDINATED BY GC.

**GENERAL PROJECT NOTES (CONTINUED):**

11) PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE CH. 906. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 15' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW. IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED, AN OTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR. EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR & BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.

12) ALL CONCRETE FLATWORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL DRAWINGS FOR CURING COMPOUND SPECIFICATIONS (SUBMIT CURING COMPOUND TECHNICAL DATA TO ARCHITECT FOR APPROVAL BEFORE PLACING CONCRETE). CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.

13) LEAD PAINT ASSESSMENT, TESTING, AND ABATEMENT WILL BE COORDINATED BY GC.

14) DO NOT SCALE THESE DRAWINGS.

15) REVIEW ALL DRAWINGS INCLUDING DRAWING DIMENSIONS PRIOR TO BIDDING, FABRICATING OR CONSTRUCTING ANY WORK.

**GENERAL DEMOLITION NOTES:**

1) ALL STATE AND LOCAL PRACTICES & REGULATIONS, INCLUDING BUT NOT LIMITED TO OSHA REGULATIONS, FOR DEMOLITION SHALL BE FOLLOWED FOR SAFETY & ALL OTHER MEASURES ASSOCIATED WITH DEMOLITION. IF ANY HAZARDOUS MATERIALS ARE FOUND AFTER THE INITIAL SURVEY OF EXISTING CONDITIONS OCCUR, IMMEDIATELY CONTACT THE GENERAL CONTRACTOR & STOP WORK FOR ASSESSMENT.

2) ITEMS TAGGED FOR DEMO SHOULD BE CONSIDERED FOR REFERENCE ONLY. ALL CONDITIONS SHOULD BE VERIFIED IN FIELD BEFORE WORK BEGINS.

3) ALL DEMOLITION SHOULD BE EXECUTED TO THE MINIMUM EXTENTS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. CARE SHOULD BE TAKEN DURING DEMOLITION TO LEAVE EXISTING STRUCTURE UNDISTURBED AND STILL ACCOMMODATE NEW CONSTRUCTION.

4) ENGAGE A PROFESSIONAL ENGINEER TO SURVEY CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING AN ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION OPERATIONS.

5) NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.

6) INTERIOR WALLS AFFECTED / DAMAGED BY DEMO WORK SHOULD BE REPAIRED BY GC.

7) USE REPAIR MATERIALS IDENTICAL TO EXISTING MATERIALS. IF IDENTICAL MATERIALS ARE UNAVAILABLE OR CANNOT BE USED FOR EXPOSED SURFACES, USE MATERIALS THAT VISUALLY MATCH EXISTING ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE.

8) MAINTAIN EXISTING UTILITIES IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.

9) ALL HVAC EQUIPMENT & RELATED COMPONENTS (INCLUDING BUT NOT LIMITED TO DUCT WORK) SHALL BE VERIFIED BY HVAC CONTRACTOR & GENERAL CONTRACTOR PRIOR TO ANY REMOVAL OF SUCH ITEMS.

10) ALL ELECTRICAL EQUIPMENT & RELATED COMPONENTS (INCLUDING BUT NOT LIMITED TO PANELS, FIXTURES, OUTLETS, SWITCHES, ETC.) SHALL BE VERIFIED BY ELECTRICAL CONTRACTOR & GENERAL CONTRACTOR PRIOR TO ANY REMOVAL OF SUCH ITEMS.

11) PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER SELECTIVE DEMOLITION OPERATIONS ARE COMPLETE.

12) ERECT & MAINTAIN DUST PROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DUST & DIRT MIGRATION AND TO SEPARATE AREAS FROM FUMES AND NOISE.

**GENERAL DEMOLITION NOTES (CONTINUED):**

13) OWNER WILL OCCUPY PORTIONS OF BUILDING IMMEDIATELY ADJACENT TO SELECTIVE DEMOLITION AREA. CONDUCT SELECTIVE DEMOLITION SO OWNERS OPERATIONS WILL NOT BE DISRUPTED. PROVIDE NO LESS THAN 12 HOURS' NOTICE TO OWNER OF ACTIVITIES THAT WILL AFFECT OWNERS OPERATIONS.

14) THE ENTIRE BUILDING WILL REMAIN OCCUPIED & OPERATIONAL DURING ALL PHASES OF CONSTRUCTION. ACCOMMODATIONS MUST BE MADE TO ENSURE CONTINUED OPERATION, CUSTOMER ACCESS, TENANT ACCESS, HEATING, COOLING, FIRE PROTECTION, & SECURITY. ACCOMMODATIONS SHALL ALSO BE MADE TO PROTECT THE TENANTS, CUSTOMERS & TENANT'S PROPERTY/MERCHANDISE AS REQ'D. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: DUST PROTECTION, NOISE PROTECTION, & FALLING CONSTRUCTION DEBRIS PROTECTION.

**GENERAL NOTES** **2**

- DEMOLITION KEYED NOTES:**
- 1 REMOVE EXISTING STUD WALL CONSTRUCTION - PATCH & REPAIR EXISTING ADJACENT CONSTRUCTION TO REMAIN AS NECESSARY.
  - 2 CUT OPENING IN EXISTING STUD WALL CONSTRUCTION FOR NEW WINDOW INSTALLATION - PATCH & REPAIR ADJACENT CONSTRUCTION TO REMAIN AS NECESSARY. VERIFY SIZE W/ WINDOW MANUFACTURER.
  - 3 REMOVE EXISTING DOOR FRAME, GLAZING & ALL RELATED CONSTRUCTION & SALVAGE (AS NOTED) FOR RE-USE IN NEW LOCATION - R/T DOOR SCHEDULE.
  - 4 CUT OPENING IN EXISTING STUD WALL CONSTRUCTION FOR NEW PASSAGE - PATCH & REPAIR ADJACENT CONSTRUCTION TO REMAIN AS NECESSARY. VERIFY SIZE W/ WINDOW MANUFACTURER.
  - 5 EXISTING WALLS TO REMAIN UNO. REMOVE ALL ACCESSORIES AND UNUSED ITEMS FROM WALLS. PATCH/REPAIR ALL WALL FINISHES TO PROVIDE SMOOTH PAINTABLE SURFACE.
  - 6 REMOVE ALL EXISTING FLOOR FINISH MATERIALS AND WALL BASE THROUGHOUT. (SEE PLAN FOR AREA TO REMAIN) PREPARE SURFACE FOR NEW FINISHES, TYP.
  - 7 EXISTING STOREFRONT TO REMAIN UNO. STOREFRONT TO BE FREE OF CRACKS, WINDOW FILM, OR OTHER OBSTRUCTIONS.
  - 8 EXISTING VESTIBULE CONSTRUCTION AND FINISHES TO BE REMOVED AND BE REUSED. PREPARE FINISH SURFACES AS NECESSARY TO ACCEPT NEW FINISHES.
  - 9 EXISTING DOOR TO REMAIN. VERIFY THAT ALL HARDWARE IS IN GOOD WORKING ORDER, REPAIR OR REPLACE AS NEEDED. R/T DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
  - 10 EXISTING DEMISING WALL FURRING WALL CONSTRUCTION TO REMAIN UNO. REMOVE ALL ACCESSORIES AND UNUSED ITEMS FROM WALLS. PATCH/REPAIR ALL WALL FINISHES TO PROVIDE SMOOTH PAINTABLE SURFACE.
  - 11 EXISTING TOILET ROOM FINISHES AND ACCESSORIES TO REMAIN AND BE REUSED TO MAXIMUM EXTENT POSSIBLE. ASSESS ALL ACCESSORIES & EQUIPMENT FOR GOOD WORKING ORDER AND ACCESSIBILITY COMPLIANCE, R/T SHEET AG11 FOR ACCESSIBILITY GUIDELINES AND REPLACE EQUIPMENT AS NECESSARY.
  - 12 REMOVE PORTION OF EXISTING CEILING GRID & TILE IN EXISTING OPEN OFFICE AREA AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION - R/T NEW PLAN FOR EXTENTS OF DEMOLITION.
  - 13 REMOVE EXISTING WINDOW, GLAZING & ALL RELATED CONSTRUCTION.

**DEMOMEMO**  
**PLAN NORTH**  
**SCALE: 1/8" = 1'-0"**  
**3**

**DEMOMEMO KEYED NOTES** **1**

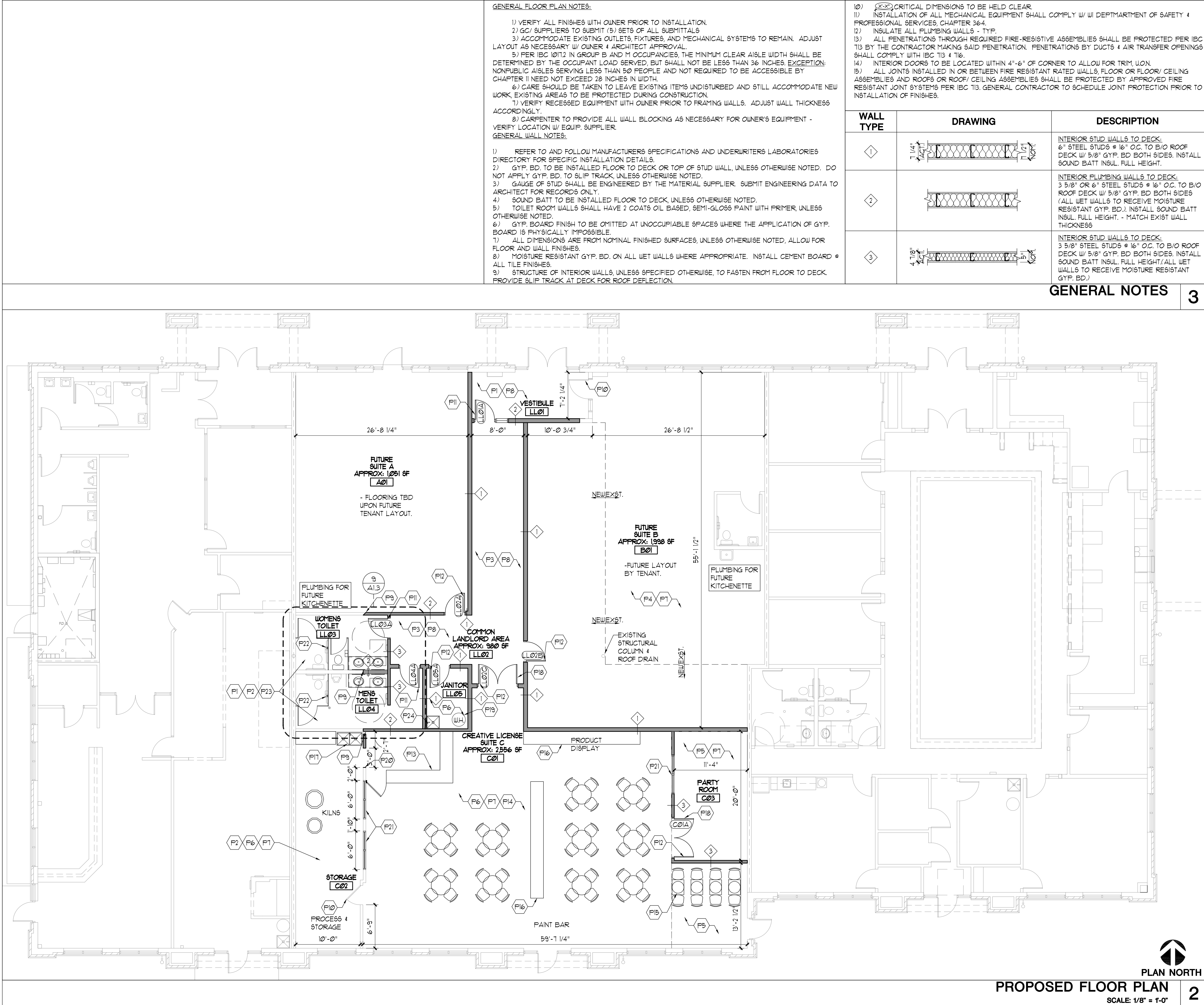
FULL SIZE PRINT = 24" x 36" SHEET

DO NOT SCALE THESE DRAWINGS

REV. #	REV. DATE	DESCRIPTION	REV. BY:
1	1-16-19	Owner/Tenant, Rev/ew	
Project:			
Interior Alteration For:			
<b>WaterStone Bank</b> 1230 George Town Dr. Pewaukee, WI 53072			
<b>PERSPECTIVE DESIGN, INC.</b> 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781			
Drawing Title:			
<b>DEMOMEMO FLOOR PLAN</b>			
Date: 1/16/19			
Scale: NOTED			
Drawn: JMM			
Job: 18-088			
Sheet:			
<b>D1.1</b>			

- PRELIMINARY -  
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GENERAL FLOOR PLAN NOTES:		
1) VERIFY ALL FINISHES WITH OWNER PRIOR TO INSTALLATION. 2) GC/ SUPPLIERS TO SUBMIT (5) SETS OF ALL SUBMITTALS 3) ACCOMMODATE EXISTING OUTLETS, FIXTURES, AND MECHANICAL SYSTEMS TO REMAIN. ADJUST LAYOUT AS NECESSARY W/ OWNER & ARCHITECT APPROVAL. 5) PER IBC 10112 IN GROUP B AND M OCCUPANCIES, THE MINIMUM CLEAR AISLE WIDTH SHALL BE DETERMINED BY THE OCCUPANT LOAD SERVED, BUT SHALL NOT BE LESS THAN 36 INCHES. EXCEPTION: NONPUBLIC AISLES SERVING LESS THAN 50 PEOPLE AND NOT REQUIRED TO BE ACCESSIBLE BY CHAPTER 11 NEED NOT EXCEED 28 INCHES IN WIDTH. 6) CARE SHOULD BE TAKEN TO LEAVE EXISTING ITEMS UNDISTURBED AND STILL ACCOMMODATE NEW WORK. EXISTING AREAS TO BE PROTECTED DURING CONSTRUCTION. 7) VERIFY RECESSED EQUIPMENT WITH OWNER PRIOR TO FRAMING WALLS. ADJUST WALL THICKNESS ACCORDINGLY. 8) CARPENTER TO PROVIDE ALL WALL BLOCKING AS NECESSARY FOR OWNER'S EQUIPMENT - VERIFY LOCATION W/ EQUIP. SUPPLIER. GENERAL WALL NOTES: 1) REFER TO AND FOLLOW MANUFACTURERS SPECIFICATIONS AND UNDERWRITERS LABORATORIES DIRECTORY FOR SPECIFIC INSTALLATION DETAILS. 2) GYP. BD. TO BE INSTALLED FLOOR TO DECK OR TOP OF STUD WALL, UNLESS OTHERWISE NOTED. DO NOT APPLY GYP. BD. TO SLIP TRACK, UNLESS OTHERWISE NOTED. 3) GAUGE OF STUD SHALL BE ENGINEERED BY THE MATERIAL SUPPLIER. SUBMIT ENGINEERING DATA TO ARCHITECT FOR RECORDS ONLY. 4) SOUND BATT TO BE INSTALLED FLOOR TO DECK, UNLESS OTHERWISE NOTED. 5) TOILET ROOM WALLS SHALL HAVE 2 COATS OIL BASED, SEMI-GLOSS PAINT WITH PRIMER, UNLESS OTHERWISE NOTED. 6) GYP. BOARD FINISH TO BE OMITTED AT UNOCCUPIABLE SPACES WHERE THE APPLICATION OF GYP. BOARD IS PHYSICALLY IMPOSSIBLE. 7) ALL DIMENSIONS ARE FROM NOMINAL FINISHED SURFACES, UNLESS OTHERWISE NOTED. ALLOW FOR FLOOR AND WALL FINISHES. 8) MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS WHERE APPROPRIATE. INSTALL CEMENT BOARD & ALL TILE FINISHES. 9) STRUCTURE OF INTERIOR WALLS, UNLESS SPECIFIED OTHERWISE, TO FASTEN FROM FLOOR TO DECK. PROVIDE SLIP TRACK AT DECK FOR ROOF DEFLECTION.		
WALL TYPE	DRAWING	DESCRIPTION
1		INTERIOR STUD WALLS TO DECK. 6" STEEL STUDS @ 16" O.C. TO B/O ROOF DECK W/ 5/8" GYP. BD. BOTH SIDES. INSTALL SOUND BATT INSUL. FULL HEIGHT.
2		INTERIOR PLUMBING WALLS TO DECK. 3 5/8" OR 6" STEEL STUDS @ 16" O.C. TO B/O ROOF DECK W/ 5/8" GYP. BD. BOTH SIDES (ALL WET WALLS TO RECEIVE MOISTURE RESISTANT GYP. BD.). INSTALL SOUND BATT INSUL. FULL HEIGHT. - MATCH EXIST WALL THICKNESS
3		INTERIOR STUD WALLS TO DECK. 3 5/8" STEEL STUDS @ 16" O.C. TO B/O ROOF DECK W/ 5/8" GYP. BD. BOTH SIDES. INSTALL SOUND BATT INSUL. FULL HEIGHT. ALL WET WALLS TO RECEIVE MOISTURE RESISTANT GYP. BD.)
GENERAL NOTES		
3		

CONSTRUCTION KEYED NOTES:		
P1	INSTALL NEW CERAMIC TILE FLOORING & 6" BASE THROUGHOUT TOILET ROOMS & VESTIBULE - INTERIOR FLOOR FINISHES SHALL COMPLY W/ IBC 804. PROVIDE APPROPRIATE THRESHOLDS AT MATERIAL TRANSITIONS. MATERIAL SPECIFICATIONS TO BE DETERMINED BY OWNER.	
P2	PATCH & REPAIR EXISTING WALL CONSTRUCTION AS NECESSARY AND PAINT WALLS THROUGHOUT - PAINT SPECIFICATIONS TO BE DETERMINED BY OWNER. INTERIOR WALL FINISHES SHALL COMPLY W/ IBC 803 FOR FLAME SPREAD REQUIREMENTS.	
P3	INSTALL NEW CARPET FLOORING & VINYL BASE. INTERIOR FLOOR FINISHES SHALL COMPLY W/ IBC 804. MATERIAL SPECIFICATIONS TO BE DETERMINED BY OWNER.	
P4	PATCH & REPAIR EXISTING V.C.T. & V.B. SUITE B AS NECESSARY & EXTEND V.C.T. TO MATCH EXISTING AT LOCATIONS OF NEW CONSTRUCTION - INTERIOR FLOOR FINISHES SHALL COMPLY W/ IBC 804. PROVIDE APPROPRIATE THRESHOLDS AT MATERIAL TRANSITIONS. MATERIAL SPECIFICATIONS TO BE DETERMINED BY OWNER.	
P5	PATCH & REPAIR EXISTING C.T. & BASE AS NECESSARY - INTERIOR FLOOR FINISHES SHALL COMPLY W/ IBC 804. PROVIDE ADA COMPLIANT THRESHOLDS AT MATERIAL TRANSITIONS. MATERIAL SPECIFICATIONS TO BE DETERMINED BY OWNER.	
P6	SEAL CONCRETE W/ VB @ ALL WALLS - VERIFY FINISH & TEXTURE W/ OWNER & TENANT.	
P7	PATCH ALL DRYWALL DAMAGE OR HOLES ON EXISTING WALLS AND COLUMNS PRIOR TO PAINTING TO PROVIDE SMOOTH FINISH. PAINT ALL WALLS W/ (1) PRIMER COAT AND MINIMUM (2) FINISH COATS. VERIFY PAINT TYPE, COLOR, AND SHEEN W/ TENANT.	
P8	PAINT NEW WALL CONSTRUCTION THROUGHOUT VESTIBULE & HALLWAY. - COORDINATE W/ OWNER. INTERIOR WALL FINISHES SHALL COMPLY W/ IBC 803 FOR FLAME SPREAD REQUIREMENTS.	
P9	ALIGN FACE OF NEW WALL CONSTRUCTION W/ FACE OF EXISTING ADJACENT CONSTRUCTION & PROVIDE SMOOTH, SEAMLESS TRANSITION FOR NEW FINISHES - BOTH SIDES.	
P10	EXISTING DOORS TO REMAIN - REPAIR/ MAINTENANCE AS NEEDED, FIT DOOR & FRAME TO MATCH NEW CONSTRUCTION.	
P11	RELOCATE SALVAGED FRAME, DOOR, SIDELIGHT AND ALL RELATED CONSTRUCTION AS NECESSARY FOR NEW LAYOUT, REPAIR/ MAINTENANCE AS NEEDED.	
P12	NEW DOOR, R/T DOOR SCHEDULE.	
P13	RECEPTION COUNTER & GATE. PROVIDE POWER/DATA TO MILLWORK AS DIRECTED BY TENANT. MILLWORK IS 34" HIGH FOR MINIMUM LENGTH OF 36" TO MEET ICC A117.1 - 2009 REQUIREMENTS. TENANT TO COORDINATE CONSTRUCTION AND FINISHES W/ G.C.	
P14	CHAIR & TABLE PROVIDED BY TENANT.	
P15	POTTERY WHEELS PROVIDED BY TENANT.	
P16	PRODUCT DISPLAY MILLWORK. PROVIDE POWER AND/OR OUTLETS AS DIRECTED BY TENANT. TENANT TO COORDINATE CONSTRUCTION AND FINISHES W/ G.C.	
P17	DOUBLE UTILITY SINK. VERIFY STYLE WITH TENANT.	
P18	INACTIVE LEAF - PER IBC 10101.3.4 EXCEPTION 4, WHERE A PAIR OF DOORS SERVES A GROUP B, F, S OCCUPANCY, MANUALLY OPERATED EDGE- OR SURFACE-MOUNTED BOLTS ARE PERMITTED ON THE INACTIVE LEAF PROVIDED SUCH INACTIVE LEAF IS NOT NEEDED TO MEET EGRESS CAPACITY REQUIREMENTS AND THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH IBC 903.3.1.1 - THE INACTIVE LEAF SHALL NOT CONTAIN DOORKNOBES, PANIC BARS OR SIMILAR OPERATING HARDWARE	
P19	NEW WATER HEATER LOCATION. G.C. TO COORDINATE W/ PLUMBER.	
P20	NEW 5'-0" X 1'-0" GYP. BD. OPENING AT STORAGE ROOM - SUPPORT WALL TO REMAIN AS NECESSARY FOR NEW BULKHEAD & HEADER ABOVE - BRACE AS NECESSARY	
P21	NEW 6'-0" X 4'-0" WINDOW AT STORAGE ROOM AND PARTY ROOM. VERIFY ROOF PERIMETER WINDOW MANUFACTURER. SUPPORT WALL TO REMAIN AS NECESSARY FOR NEW BULKHEAD & HEADER ABOVE - BRACE AS NECESSARY	
P22	INSTALL ADA COMPLIANT VERTICAL GRAB BAR IN ACCESSIBLE TOILET STALLS / SINGLE USE TOILET ROOMS - R/T AGI FOR MOUNTING HEIGHT	
P23	REPLACE EXISTING TOILET ROOM PARTITION MILLWORK, AND COUNTERTOP W/ DROP IN LAVATORY - MIRROR, LAVATORY & FAUCETS THROUGHOUT. R/T ENLARGED PLAN.	
P24	NEW MOP SINK LOCATION. INSTALL UTILITY SHELF & MOP RACK ABOVE BASIN PROVIDE SERVICE FAUCET W/ HOSE INSTALL FRP ON ALL ADJACENT WALLS TO 48" AFF W/ WEDGE & CORNER TRIM. SEAL PER MANUF. RECOMMENDATIONS.	
CONST. KEYED NOTES		
1		

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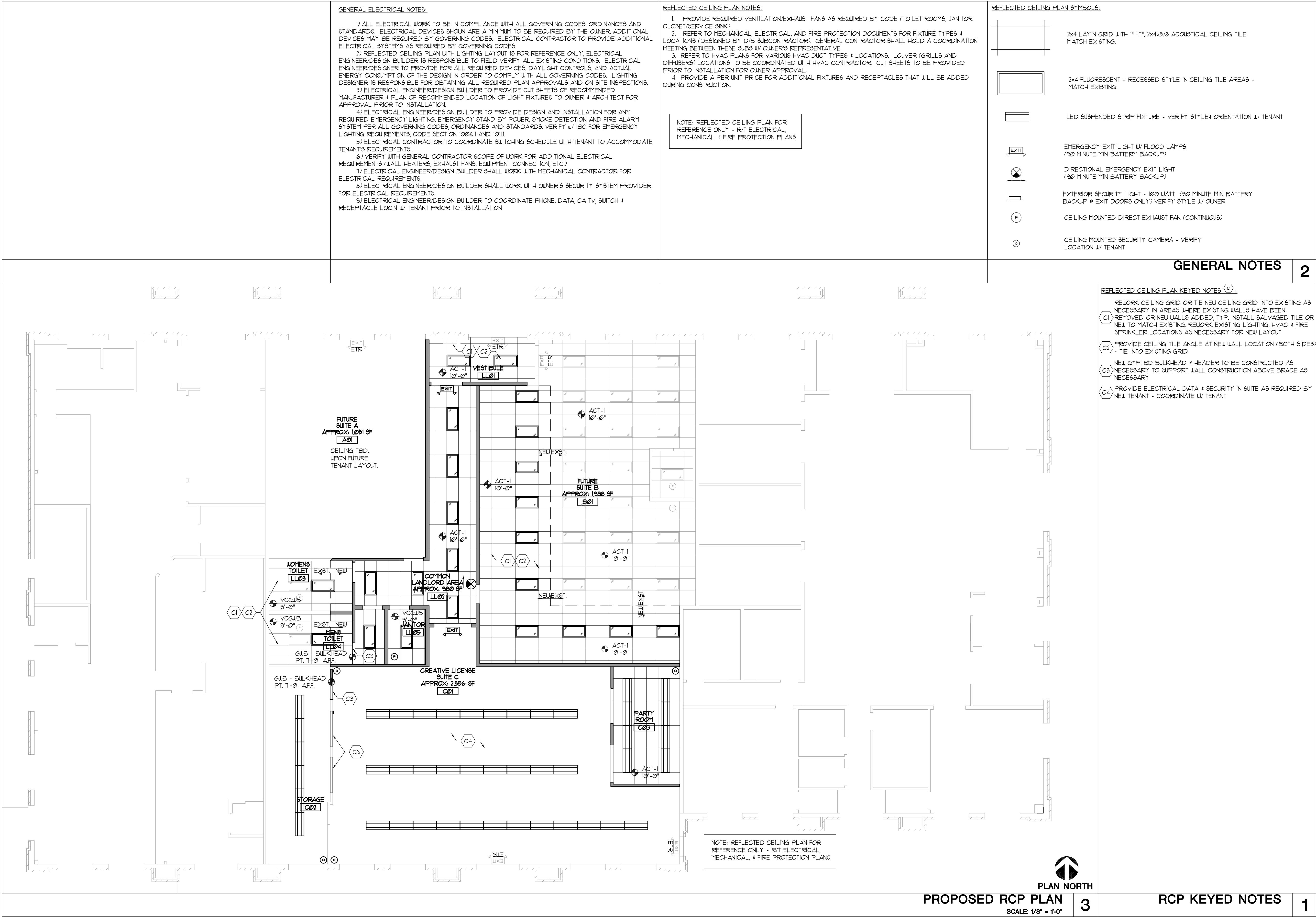
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REV. BY:	DESCRIPTION	REV. #	REV. DATE	Project
	Owner/Tenant, Rev/ew		1-16-19	
Interior Alteration For				
WaterStone Bank				
1230 George Town Dr,				
Pewaukee, WI 53072				
PERSPECTIVE DESIGN, INC.				
11525 W. North Avenue				
Wauwatosa, WI 53226				
Tel (414) 302-1780 Fax (414) 302-1781				
Drawing Title:				
PROPOSED FLOOR PLAN				
THIS BOX IS 1/2" x 1/2"				
Date: 1/16/19				
Scale: NOTED				
Drawn: JMM				
Job: 18-088				
Sheet:				
A1.1				

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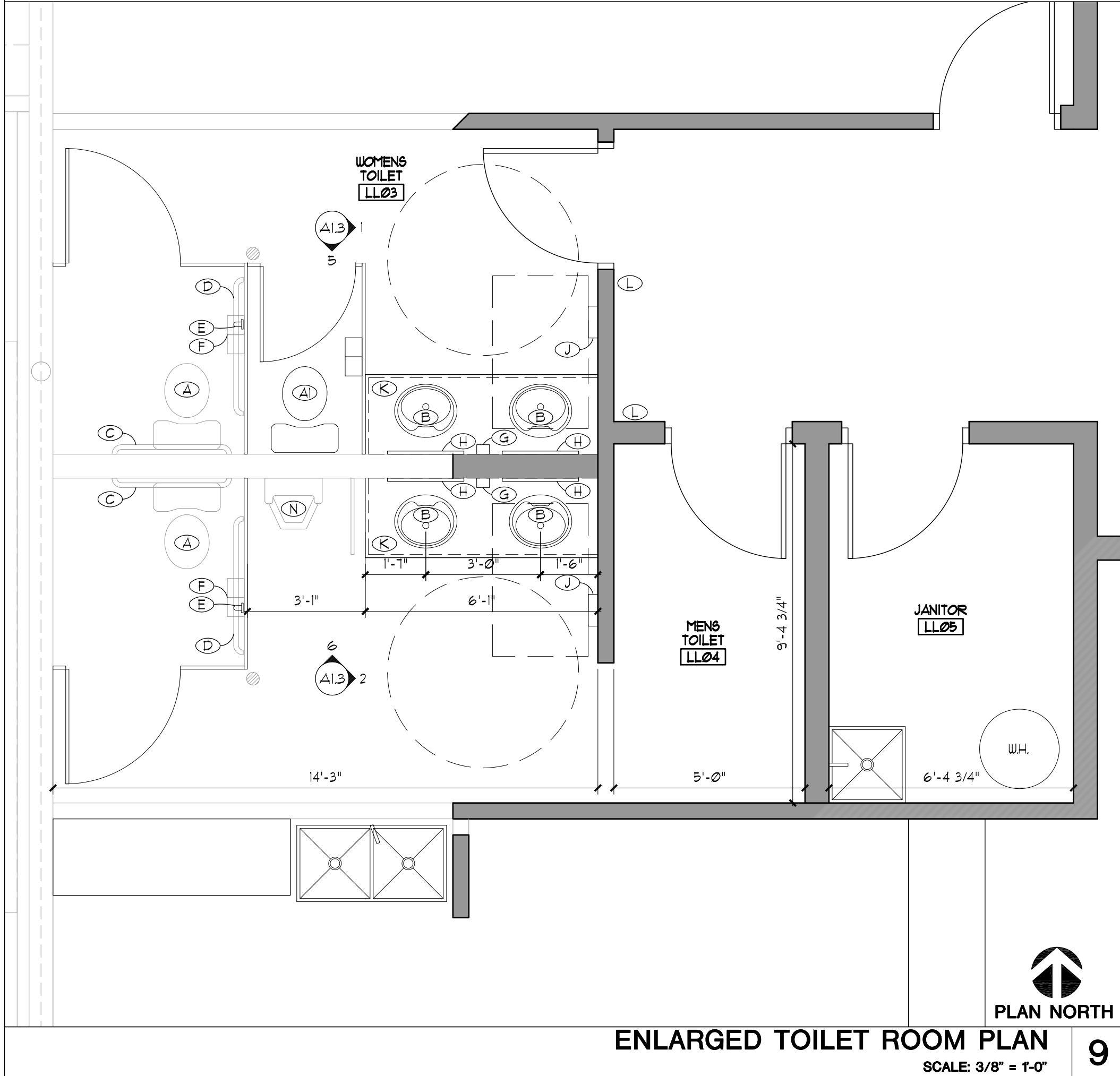
REV. #	REV. DATE	DESCRIPTION	REV. BY:
1-16-19		Owner/Tenant Rev/ew	
Project:			
Interior Alteration For:			
WaterStone Bank			
1230 George Town Dr,			
Pewaukee, WI 53072			
Drawing Title:			
PROPOSED RCP PLAN			
Date:			
1/16/19			
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JMM			
Job:			
18-088			
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HARDWARE GROUPS				
GROUP 1 - PARTY ROOM	GROUP 2 - SUITE C ENTRANCE	GROUP 3 - SUITE A/B ENTRANCE	GROUP 4 - JANITOR	GROUP 5 - TOILET ROOMS
- FULL MORTISE HINGES	- FULL MORTISE HINGES	- FULL MORTISE HINGES	- FULL MORTISE HINGES	- FULL MORTISE HINGES
- PASSAGE LOCKSET	- ENTRANCE LOCKSET	- OFFICE LOCKSET	- STOREROOM LOCK	- WALL STOP
- PARALLEL ARM CLOSER W/ HOLD OPEN ON ACTIVE LEAF	- PARALLEL ARM CLOSER W/ HOLD OPEN ON ACTIVE LEAF	- WALL STOP	- WALL STOP	- PUSH / PULL
- INACTIVE LEAF	- INACTIVE LEAF	- PARALLEL ARM CLOSER	- PARALLEL ARM CLOSER	- PARALLEL ARM CLOSER
- MANUALLY OPERATED EDGE-BOLTS	- MANUALLY OPERATED EDGE-BOLTS			
NOTE: NO DOORKNOBS, PANIC BARS OR SIMILAR OPERATING HARDWARE ON INACTIVE LEAF	NOTE: NO DOORKNOBS, PANIC BARS OR SIMILAR OPERATING HARDWARE ON INACTIVE LEAF			RE-USE EXISTING HARDWARE TO MAX. EXTENT POSSIBLE

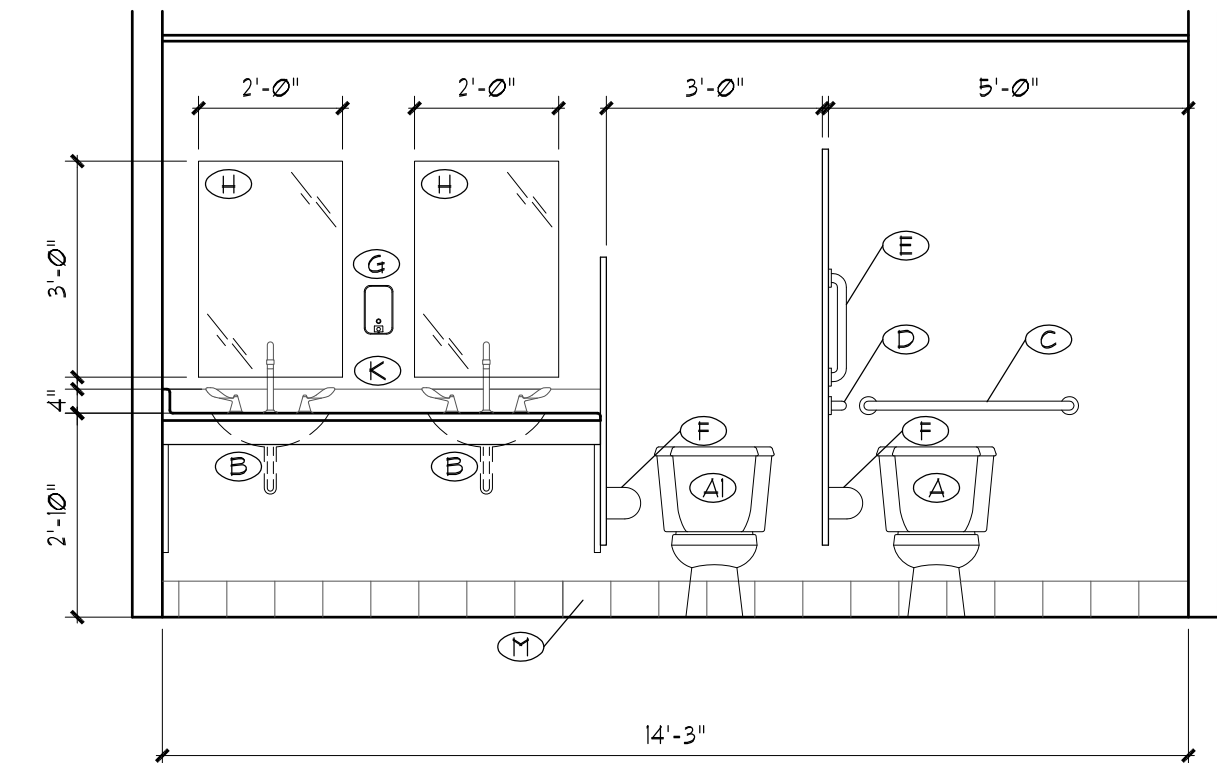
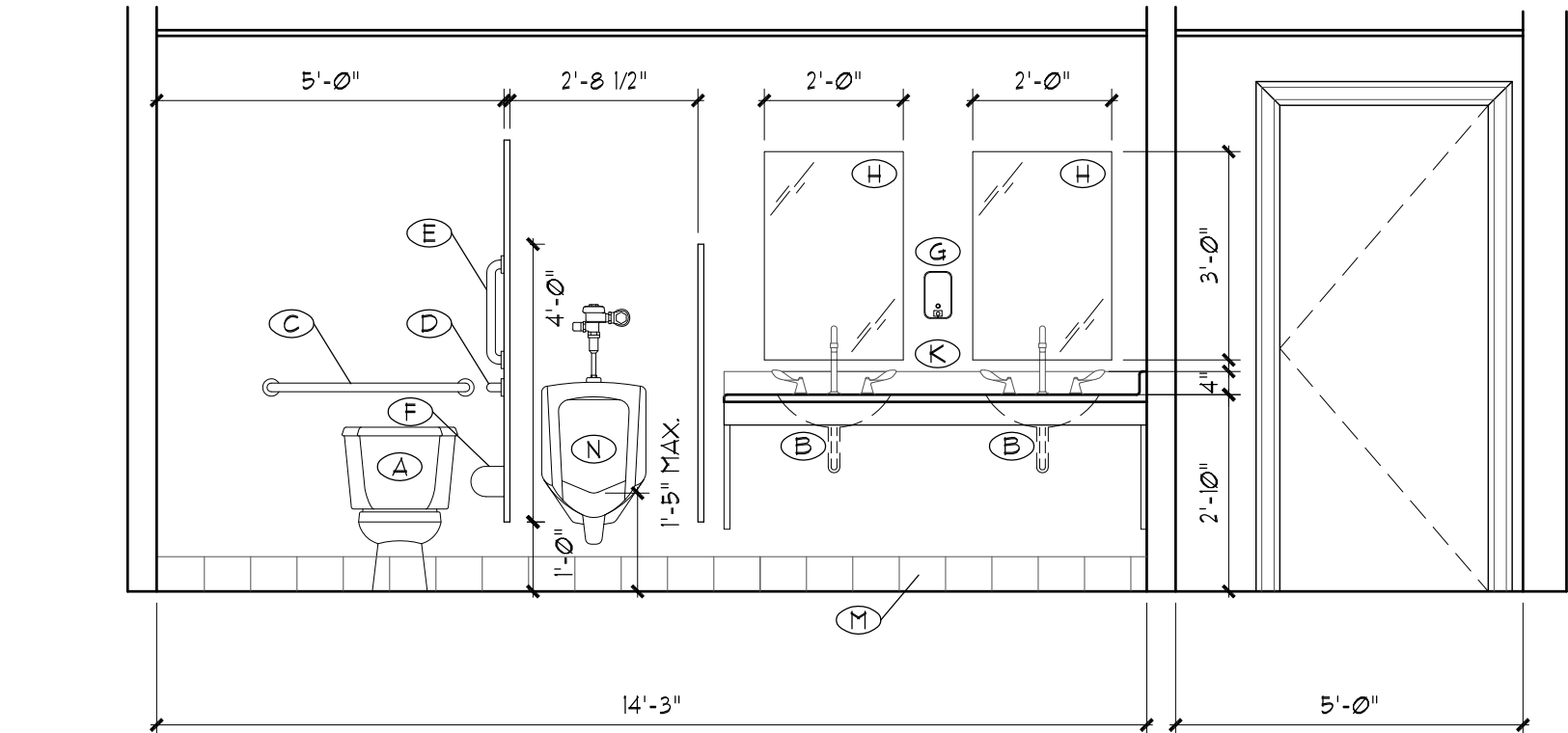
TOILET ACCESSORIES SCHEDULE		
TAG	DESCRIPTION	NOTES
A	ACCESSIBLE TOILET W/ TANK	STANDARD WHITE W/ FLUSH VALVE OPEN SIDE
A1	STANDARD TOILET	STANDARD WHITE
B	ACCESSIBLE LAVATORY	DROP - IN BOWL
C	1 1/2" DIA., 36" GRAB BAR	STAINLESS STEEL MATTE FINISH w/ CONCEALED MOUNTING (BY G.C.)
D	1 1/2" DIA., 42" GRAB BAR	STAINLESS STEEL MATTE FINISH w/ CONCEALED MOUNTING (BY G.C.)
E	1 1/2" DIA., 18" GRAB BAR	STAINLESS STEEL MATTE FINISH w/ CONCEALED MOUNTING (BY G.C.)
F	TOILET TISSUE DISPENSER	DOUBLE ROLL (BY OWNER)
G	SOAP DISPENSER	BY OWNER
H	24x36 MIRROR	ALUM CHANNEL FRAME (BY OWNER)
J	PAPER TOWEL DISPENSER	BY OWNER
K	P-LAM COUNTER & BACKSPLASH	SEE INT. ELEVATIONS FOR DETAILS
L	ADA SIGN	
M	6" CERAMIC TILE BASE	TO BE DETERMINED BY OWNER
N	URINAL	STANDARD WHITE WALL MOUNTED W/ MANUAL FLUSH VALVE

GENERAL TOILET ACCESSORY NOTES:  
1. REFER TO ANSI A117.1 GUIDELINES FOR STANDARD MOUNTING HEIGHTS.  
2. ALL TAGS FOR TOILET ACCESSORIES ARE TYPICAL.  
3. PROVIDE ALL NECESSARY BLOCKING PRIOR TO INSTALLATION.  
4. CONFIRM ALL ACCESSORIES W/ OWNER. MUST RECEIVE APPROVAL PRIOR TO PURCHASE & INSTALL.  
5. INSULATE ALL EXPOSED PLUMBING PER ANSI A117.1.

DOOR SCHEDULE											
DOOR NO	DOOR LOCN	DOOR		DOOR		DOOR		DOOR		FRAME	
		SIZE	THK	TYPE	COMP	FINISH	TYPE	COMP	FINISH	HARDWARE GROUP	NOTES
LLO1A	VESTIBULE	EXST.	EXST.	EXST.	EXST.	EXST.	B	ALUM.	MATCH EXST. ANTIQUE BRONZE	EXST.	4
LLO2A	SUITE A	3'-0"x7'-0"	1 3/4"	A	WD	STAIN TO MATCH EXST.	AA	WD	STAIN TO MATCH EXISTING	3	1,2,3,5
LLO3A	WOMEN'S TOILET	EXST.	EXST.	A	WD	STAIN TO MATCH EXST.	AA	WD	STAIN TO MATCH EXISTING	5	1,2,3,5
LLO4A	MEN'S TOILET	EXST.	EXST.	A	WD	STAIN TO MATCH EXST.	AA	WD	STAIN TO MATCH EXISTING	5	1,2,3,5
LLO5A	JANITOR	3'-0"x7'-0"	1 3/4"	A	WD	STAIN TO MATCH EXST.	AA	WD	STAIN TO MATCH EXISTING	4	1,2,3,5
LLO2B	SUITE B	3'-0"x7'-0"	1 3/4"	A	WD	STAIN TO MATCH EXST.	AA	WD	STAIN TO MATCH EXISTING	3	1,2,3,5
LLO2C	SUITE C	(2) 3'-0"x7'-0"	1 3/4"	B	WD	STAIN TO MATCH EXST.	AA	WD	STAIN TO MATCH EXISTING	2	1,2,3,5
CO1A	PARTY ROOM	(2) 3'-0"x7'-0"	1 3/4"	B	WD	STAIN TO MATCH EXST.	AA	WD	STAIN TO MATCH EXISTING	1	1,2,3,5

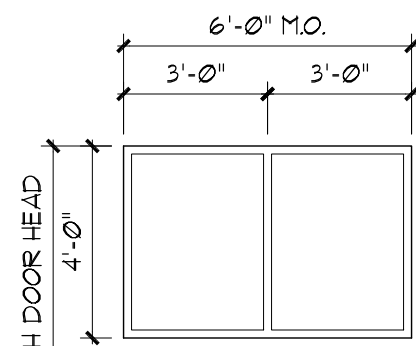
GENERAL DOOR NOTES:  
1. ALL HARDWARE TO MATCH EXISTING. COORD. DOOR HARDWARE W/ OWNER PRIOR TO PURCHASE AND INSTALLATION.  
2. ALL WOOD DOORS TO BE SOLID CORE MATCH EXISTING.  
3. G.C. TO COORDINATE ALL HARDWARE GROUPS & KEYING W/ OWNER PRIOR TO INSTALLATION.  
4. REINSTALL SALVAGED DOOR, FRAME, SIDELIGHT, HARDWARE & ALL ASSOCIATED EQUIPMENT IN NEW LOCATION.  
5. PROVIDE ADA COMPLIANT LEVER HARDWARE TO MATCH EXISTING.

SCHEDULES 8

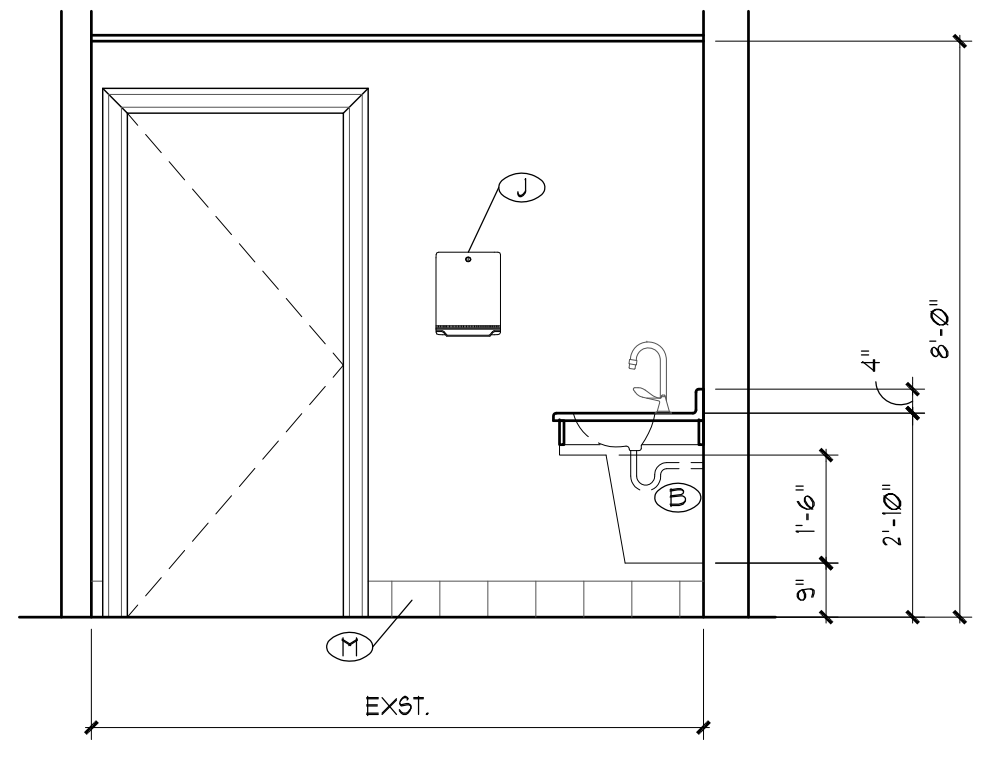
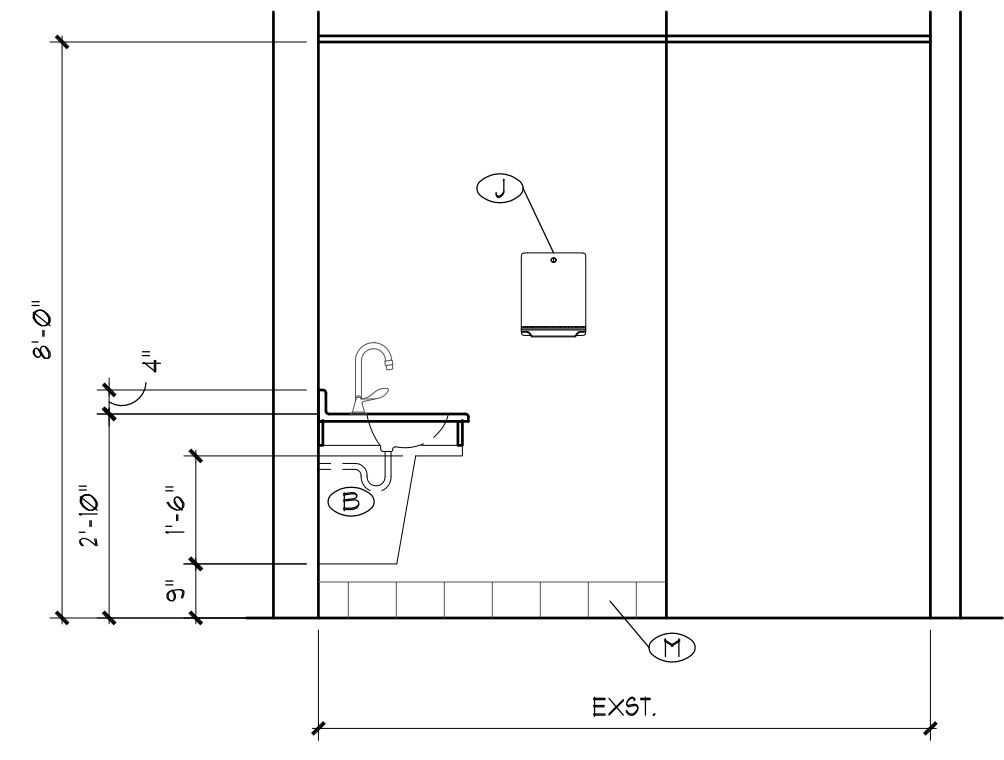


WOMENS TOILET ROOM ELEVATION 5

WINDOW TYPE 7



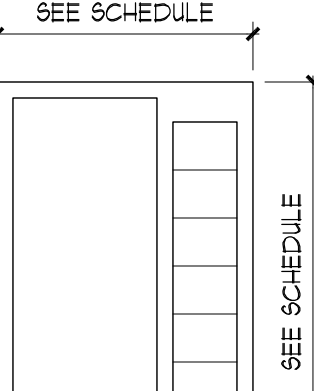
WINDOW TYPE A:  
WOOD FRAME (PROVIDE  
TEMPERED GLAZING IF LESS  
THAN 2'-0" FROM DOOR)



WOMENS TOILET ROOM ELEVATION 1

WINDOW TYPE "B" W/  
SIMULATED DIVIDED LIGHT IN  
SIDELIGHTS

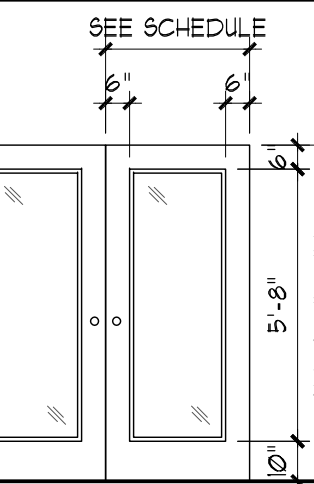
FRAME TYPE "AA"  
ALUM. STOREFRONT W/ WOOD CASING -  
STAINED TO MATCH EXISTING



DOOR TYPES 4

DOOR TYPE "B"  
SOLID CORE WOOD W/ FULL  
LIGHT - STAINED TO MATCH EXISTING

DOOR TYPE "A"  
SOLID CORE WOOD - STAINED  
TO MATCH EXISTING



FRAME TYPES 3

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Drawing Title:  
PROPOSED  
ENLARGED  
TOILET ROOM  
PLAN, INTERIOR  
ELEVATIONS,  
& SCHEDULES

Date: 1/16/19  
Scale: NOTED  
Drawn: JMM  
Job: 18-088

Sheet:  
A1.3

Interior Alteration For:  
WaterStone Bank  
1230 George Town Dr.,  
Pewaukee, WI 53072

Rev. # REV. DATE  
1-16-19

Rev. By: DESCRIPTION  
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