







## GENERAL FLOOR PLAN NOTES:

- 1) VERIFY ALL FINISHES WITH OWNER PRIOR TO INSTALLATION.
- 2) G.C. SUPPLIERS SUBMIT (5) SETS OF ALL SUBMITTALS.
- 3) ACCOMMODATE EXISTING OUTLETS, FIXTURES, AND MECHANICAL SYSTEMS TO REMAIN. ADJUST LAYOUT AS NECESSARY WITH OWNER AND ARCHITECT APPROVAL.
- 4) REFER TO IBC 101.2 IN GROUP B AND C OCCUPANCIES THE MINIMUM CLEAR AISLE WIDTH SHALL BE DETERMINED BY OCCUPANT LOAD. 36 INCHES SHALL NOT BE LESS THAN 36 INCHES. EXCEPTION: NON-PUBLIC AISLES SERVING LESS THAN 50 PEOPLE AND NOT REQUIRED TO BE ACCESSIBLE BY CHAPTER II NEED NOT EXCEED 38 INCHES IN WIDTH.
- 5) CARE SHOULD BE TAKEN TO LEAVE EXISTING ITEMS UNDISTURBED AND STILL ACCOMMODATE NEW WORK EXISTING AREAS TO BE PROTECTED DURING CONSTRUCTION.
- 6) VERIFY RECESSED EQUIPMENT WITH OWNER PRIOR TO FRAMING WALLS. ADJUST WALL THICKNESS ACCORDINGLY.
- 7) CARPENTER TO PROVIDE ALL WALL BLOCKING AS NECESSARY FOR OWNER'S EQUIPMENT - VERIFY LOCATION W/ EQUIP. SUPPLIER.
- GENERAL WALL NOTES:
  - 1) REFER TO AND FOLLOW MANUFACTURERS SPECIFICATIONS AND UNDERWRITERS LABORATORIES DIRECTORY FOR SPECIFIC INSTALLATION DETAILS.
  - 2) GYP. BD. TO BE INSTALLED FLOOR TO DECK OR TOP OF STUD WALL, UNLESS OTHERWISE NOTED. DO NOT APPLY GYP. BD. TO SLIP TRACK, UNLESS OTHERWISE NOTED.
  - 3) GAUGE OF STUD SHALL BE ENGINEERED BY THE MATERIAL SUPPLIER. SUBMIT ENGINEERING DATA TO ARCHITECT FOR RECORDS ONLY.
  - 4) SOUND BATT TO BE INSTALLED FLOOR TO DECK, UNLESS OTHERWISE NOTED.
  - 5) TOILET ROOM WALLS SHALL HAVE 2 COATS OIL BASED, SEMI-GLOSS PAINT WITH PRIMER, UNLESS OTHERWISE NOTED.
  - 6) NO GYP. BD. FINISH TO BE OMITTED AT UNOCCUPIABLE SPACES WHERE THE APPLICATION OF GYP. BD. IS PHYSICALLY IMPOSSIBLE.
  - 7) ALL DIMENSIONS ARE FROM NOMINAL FINISHED SURFACES, UNLESS OTHERWISE NOTED, ALLOW FOR FLOOR AND WALL FINISHES.
  - 8) MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS WHERE APPROPRIATE. INSTALL CEMENT BOARD & ALL TILE FINISHES.
  - 9) STRUCTURE OF INTERIOR WALLS, UNLESS SPECIFIED OTHERWISE, TO FASTEN FROM FLOOR TO DECK. PROVIDE SLIP TRACK AT DECK FOR ROOF DEFLECTION.

- 10) ~~XX~~ CRITICAL DIMENSIONS TO BE HELD CLEAR.
- 11) INSTALLATION OF ALL MECHANICAL EQUIPMENT SHALL COMPLY W/ WI DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES CHAPTER 364.
- 12) INSULATE ALL PLUMBING WALLS - TYP.
- 13) ALL PENETRATIONS THROUGH REQUIRED FIRE-RESISTIVE ASSEMBLIES SHALL BE PROTECTED PER IBC 713 BY THE CONTRACTOR MAKING SAME PENETRATION. PENETRATIONS BY DUCTS & AIR TRANSFER OPENINGS SHALL COMPLY WITH IBC 713.
- 14) EXTERIOR DOORS TO BE LOCATED WITHIN 4'-6" OF CORNER TO ALLOW FOR TRIM, LION.
- 15) ALL JOINTS INSTALLED IN OR BETWEEN FIRE RESISTANT RATED WALLS, FLOOR OR CEIL/ CEILING ASSEMBLIES AND ROOF OR ROOF/ CEILING ASSEMBLIES SHALL BE PROTECTED BY APPROVED FIRE RESISTANT JOINT SYSTEMS PER IBC 713. GENERAL CONTRACTOR TO SCHEDULE JOINT PROTECTION PRIOR TO INSTALLATION OF FINISHES.

WALL TYPE	DRAWING	DESCRIPTION
①		INTERIOR STUD WALLS TO DECK. 6" STEEL STUDS @ 16" OC. TO B/O ROOF DECK W/ 5/8" GYP. BD. BOTH SIDES. INSTALL SOUND BATT INSUL. FULL HEIGHT.
②		INTERIOR PLUMBING WALLS TO DECK. 3 5/8" OR 6" STEEL STUDS @ 16" OC. TO B/O ROOF DECK W/ 5/8" GYP. BD. BOTH SIDES (ALL WET WALLS TO RECEIVE MOISTURE RESISTANT GYP. BD.). INSTALL SOUND BATT INSUL. FULL HEIGHT. MATCH EXIST WALL THICKNESS.
③		INTERIOR STUD WALLS TO DECK. 3 5/8" STEEL STUDS @ 16" OC. TO B/O ROOF DECK W/ 5/8" GYP. BD. BOTH SIDES. INSTALL SOUND BATT INSUL. FULL HEIGHT. ALL WET WALLS TO RECEIVE MOISTURE RESISTANT GYP. BD.)

## GENERAL NOTES 3

CONSTRUCTION KEYED NOTES:  
INSTALL NEW CERAMIC TILE FLOORING 4" BASE THROUGHOUT TOILET ROOMS & VESTIBULE - INTERIOR FLOOR FINISHES SHALL COMPLY W/ IBC 203. PROVIDE APPROPRIATE THRESHOLDS AT MATERIAL TRANSITIONS. MATERIAL SPECIFICATIONS TO BE DETERMINED BY OWNER.

PATCH 4 REPAIR EXISTING WALL CONSTRUCTION AS NECESSARY AND PAINT WALLS THROUGHOUT - PAINT SPECIFICATIONS TO BE DETERMINED BY OWNER. INTERIOR WALL FINISHES SHALL COMPLY W/ IBC 203 FOR FLAME SPREAD REQUIREMENTS.

INSTALL NEW CARPET FLOORING & VINYL BASE. INTERIOR FLOOR FINISHES SHALL COMPLY W/ IBC 204. MATERIAL SPECIFICATIONS TO BE DETERMINED BY OWNER.

PATCH 4 REPAIR EXISTING V.T. & VB SUITE B AS NECESSARY & EXTEND V.T. TO MATCH EXISTING AT LOCATIONS OF NEW CONSTRUCTION - INTERIOR FLOOR FINISHES SHALL COMPLY W/ IBC 204. PROVIDE APPROPRIATE THRESHOLDS AT MATERIAL TRANSITIONS. MATERIAL SPECIFICATIONS TO BE DETERMINED BY OWNER.

PATCH 4 REPAIR EXISTING CT & BASE AS NECESSARY - INTERIOR FLOOR FINISHES SHALL COMPLY W/ IBC 204. PROVIDE ADA COMPLIANT THRESHOLDS AT MATERIAL TRANSITIONS. MATERIAL SPECIFICATIONS TO BE DETERMINED BY OWNER.

P6 SEAL CONCRETE W/ V.G. & ALL WALLS - VERIFY FINISH & TEXTURE W/ OWNER & TENANT.

PATCH ALL DRYWALL, PLASTER OR HOLES ON EXISTING WALLS AND CEILINGS PRIOR TO PAINTING TO PROVIDE SMOOTH FINISH. PAINT ALL WALLS W/ 1 PRIMER COAT AND MAX (2) FINISH COATS. VERIFY PAINT TYPE, COLOR, AND SHEEN W/ TENANT.

PATCH NEW WALL CONSTRUCTION THROUGHOUT VESTIBULE & HALLWAY - COORDINATE W/ OWNER. INTERIOR WALL FINISHES SHALL COMPLY W/ IBC 203 FOR FLAME SPREAD REQUIREMENTS.

P3 ALIGN FACE OF NEW WALL CONSTRUCTION W/ FACE OF EXISTING ADJACENT CONSTRUCTION. PROVIDE SMOOTH, SEAMLESS TRANSITION FOR NEW FINISHES - BOTH SIDES.

P4 EXISTING DOORS TO REMAIN - REPAIR/ MAINTENANCE AS NEEDED. PT DOOR & FRAME TO MATCH NEW CONSTRUCTION.

P5 RELOCATE SALVAGED FRAME, DOOR SIDELIGHT AND ALL RELATED CONSTRUCTION AS NECESSARY FOR NEW LAYOUT, REPAIR/ MAINTENANCE AS NEEDED.

P6 NEW DOOR, R/T DOOR SCHEDULE.

P7 RECEPTION COUNTER & GATE. PROVIDE POWER/DATA TO MILLWORK AS DIRECTED BY TENANT. MILLWORK IS 34" HIGH FOR MINIMUM LENGTH OF 36". TO MEET ICC ALL 1-1 - 2009 REQUIREMENTS, TENANT TO COORDINATE CONSTRUCTION AND FINISHES W/ G.C.

P8 CHAIR & TABLE PROVIDED BY TENANT.

P9 POTTERY WHEELS PROVIDED BY TENANT.

P10 PRODUCT DISPLAY MILLWORK. PROVIDE POWER AND/OR OUTLETS AS DIRECTED BY TENANT. TENANT TO COORDINATE CONSTRUCTION AND FINISHES W/ G.C.

P11 DOUBLE UTILITY SINK. VERIFY STYLE WITH TENANT.

P12 INACTIVE LEAF - PER IBC 101.9.4 EXCEPTION 4 WHERE A PAIR OF DOORS SERVES A GROUP B, C, & D OCCUPANCY. MANUALLY OPERATED EDGE- OR SURFACE-MOUNTED BOLTS ARE PERMITTED ON THE INACTIVE LEAF PROVIDED SUCH INACTIVE LEAF IS NOT NEEDED TO MEET EGRESS CAPACITY REQUIREMENTS AND THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH IBC 903.3.1 - THE INACTIVE LEAF SHALL NOT CONTAIN DOORNOBBS, PANIC BARS OR SIMILAR OPERATING HARDWARE.

P13 NEW WATER HEATER LOCATION. GC TO COORDINATE W/ PLUMBER.

P14 NEW 3'-0" X 7'-0" GYP. ED. OPENING AT STORAGE ROOM - SUPPORT WALL TO REMAIN AS NECESSARY FOR NEW BULKHEAD & HEADER ABOVE - BRACE AS NECESSARY.

P15 NEW 6'-0" X 4'-0" WINDOW AT STORAGE ROOM AND PARTY ROOM. VERIFY ROUGH OPENING SIZE PER WINDOW MANUFACTURER - SUPPORT WALL TO REMAIN AS NECESSARY FOR NEW BULKHEAD & HEADER ABOVE - BRACE AS NECESSARY.

P16 INSTALL ADA COMPLIANT VERTICAL GRAD BAR IN ACCESSIBLE TOILET STALLS / SINGLE USE TOILET ROOMS - R/T AGI FOR MOUNTING HEIGHT.

P17 REPLACE EXISTING TOILET ROOM PARTITION, MILLWORK, AND COUNTERTOP W/ DROP IN LAVATORY. MIRROR, LAVATORY & FAUCETS THROUGHOUT. R/T ENLARGED PLANS.

P18 NEW MOP SINK LOCATION. INSTALL UTILITY SHELF & MOP RACK ABOVE BASIN PROVIDE SERVICE FAUCET W/ HOSE. INSTALL FRP ON ALL ADJACENT WALLS TO 48" AFF WEDGE & CORNER TRIM. SEAL PER MANUF. RECOMMENDATIONS.

FULL SIZE PRINT = 24" x 36" SHEET

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NOT FOR CONSTRUCTION

DO NOT SCALE THESE DRAWINGS

- PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY

Project:	REV #	REV DATE	DESCRIPTION	REV BY:
Interior Alteration For: WaterStone Bank, 1230 George Town Dr, Pewaukee, WI 53072	1	1-16-19	Owner/Tenant Review	

PLAN NORTH  
PROPOSED FLOOR PLAN  
CONST. KEYED NOTES 1  
SCALE: 1/8" = 1'-0"

Sheet:	THIS BOX IS 1/2" X 1/2"	Date:	Scale:	Drawn:	Job:
A1.1		1/16/19	NOTED	JMM	18-088



