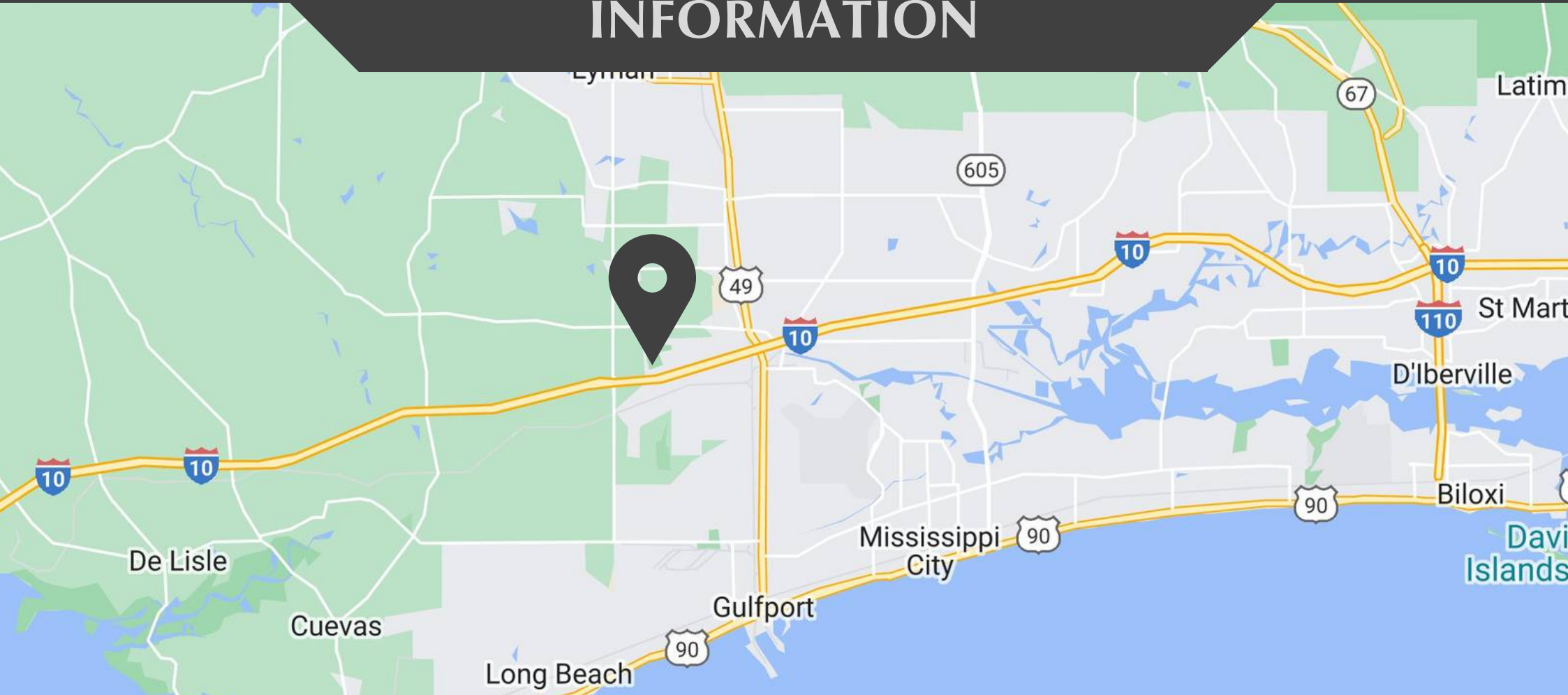


**FOR SALE**  
**Premium Commercial Property**  
**18634 16th St, Gulfport, MS 39503**



# PROPERTY INFORMATION



ZONE

**C-2 GENERAL BUSINESS**



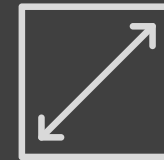
PRICE

**\$2,200,000**



LOCATION

**GULFPORT, MS**



LOT SIZE

**18.10 ACRES**

# PROPERTY DESCRIPTION

**Owen & Co. Real Estate is pleased to offer this incredible development opportunity!**

This 18.1 acre commercial property is strategically located off Canal Road and Interstate 10. With excellent visibility, this property offers diverse potential. Recent infrastructure developments, including the widening of Canal Road and the expansion of the Port of Gulfport enhance its value. Located across from Gulfport Sportsplex and Gulf Islands Waterpark, it presents a unique opportunity for various businesses. Attached plans for multi-family housing or self-storage, show the property's versatile potential, and the owner is open to joint venture discussions. This property would make a perfect hotel site!

Fly Over Video: <https://www.youtube.com/watch?v=96V274YZKGc>

Call Broker for additional information.

# PROPERTY INFORMATION

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County: Harrison  
Lot Size: 18.1  
Lot Dimensions: 476 x 269 x 175 x 1159 x 660 x 1262  
Tax Annual Amount: 2870 (2022)  
Leasehold: No  
Flood Insurance Required: Subject to Survey  
Covenants: Yes  
Association: No  
Divisible: Yes  
Parcel #: 0709F-01-001.002  
Sub-Type: Acreage (more than 10 acres)  
Current Use: Unimproved; Vacant  
Possible Use: Commercial; Mini-Storage; Multi-Family; Recreational; Retail; Warehouse  
Additional Transportation: Airport 3+ Miles; City Street; Interstate 1 Mile or Less; Paved  
Covenants And Restrictions: Other  
Legal Description: SEC/TWN/RNG/MER:SEC 18 TWN  
07S RNG 11W 18.1 AC(C) BEG 1194 FT E  
OF NW COR OF SE1/4 OF SW1/4 OF  
SEC 18 E 660 FT S 1261.9

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N or S of CSX RR: North  
N or S of I-10: North  
Road Frontage: 476  
Road Surface Type: Paved  
Lot Features: Other  
Sewer: Public  
Water: Public  
Available Utilities: Electricity; Sewer; Phone; Water  
Community Features: Street Lights  
Location: Park  
Zoning: General Commercial

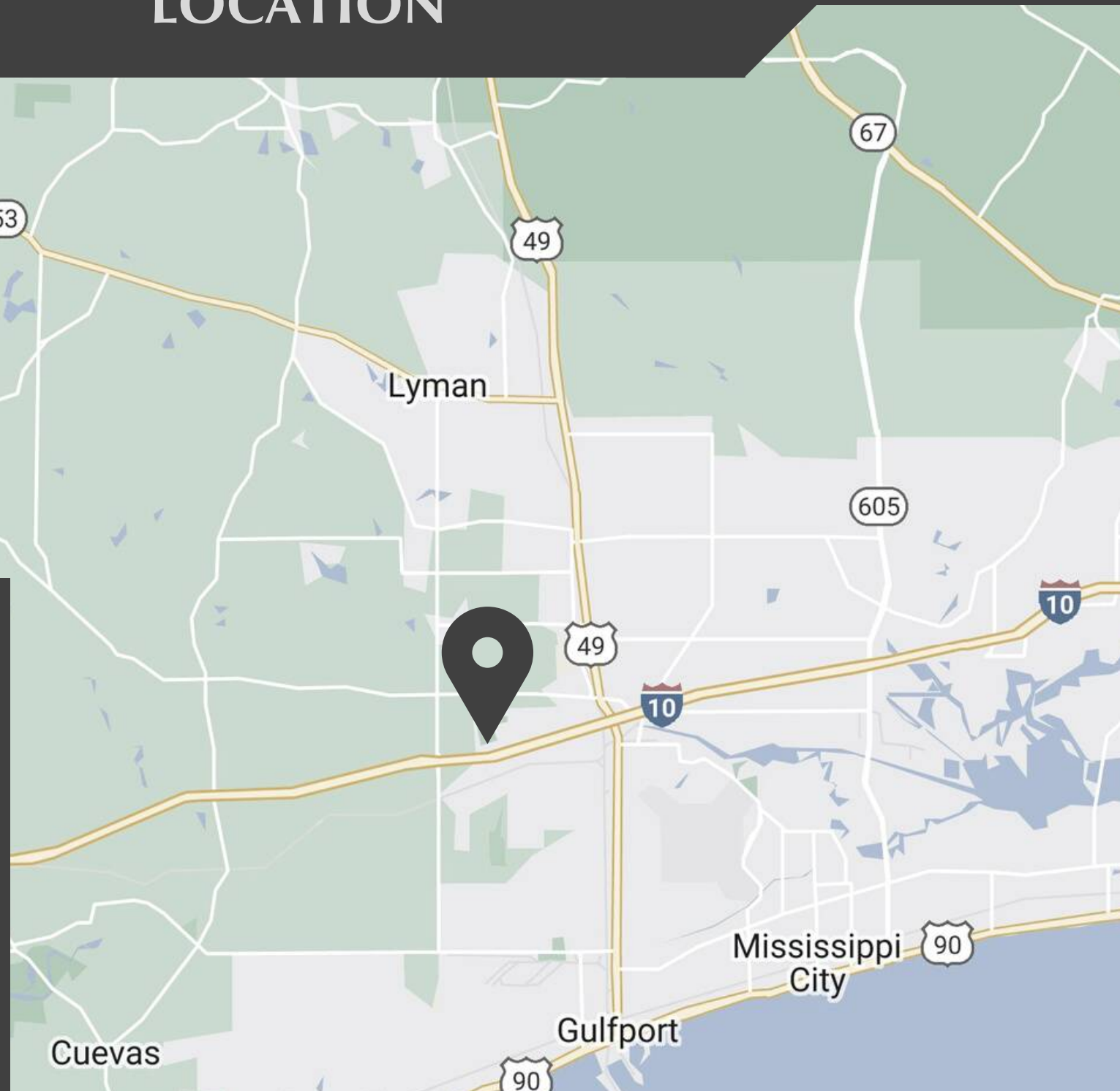
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# LOCATION



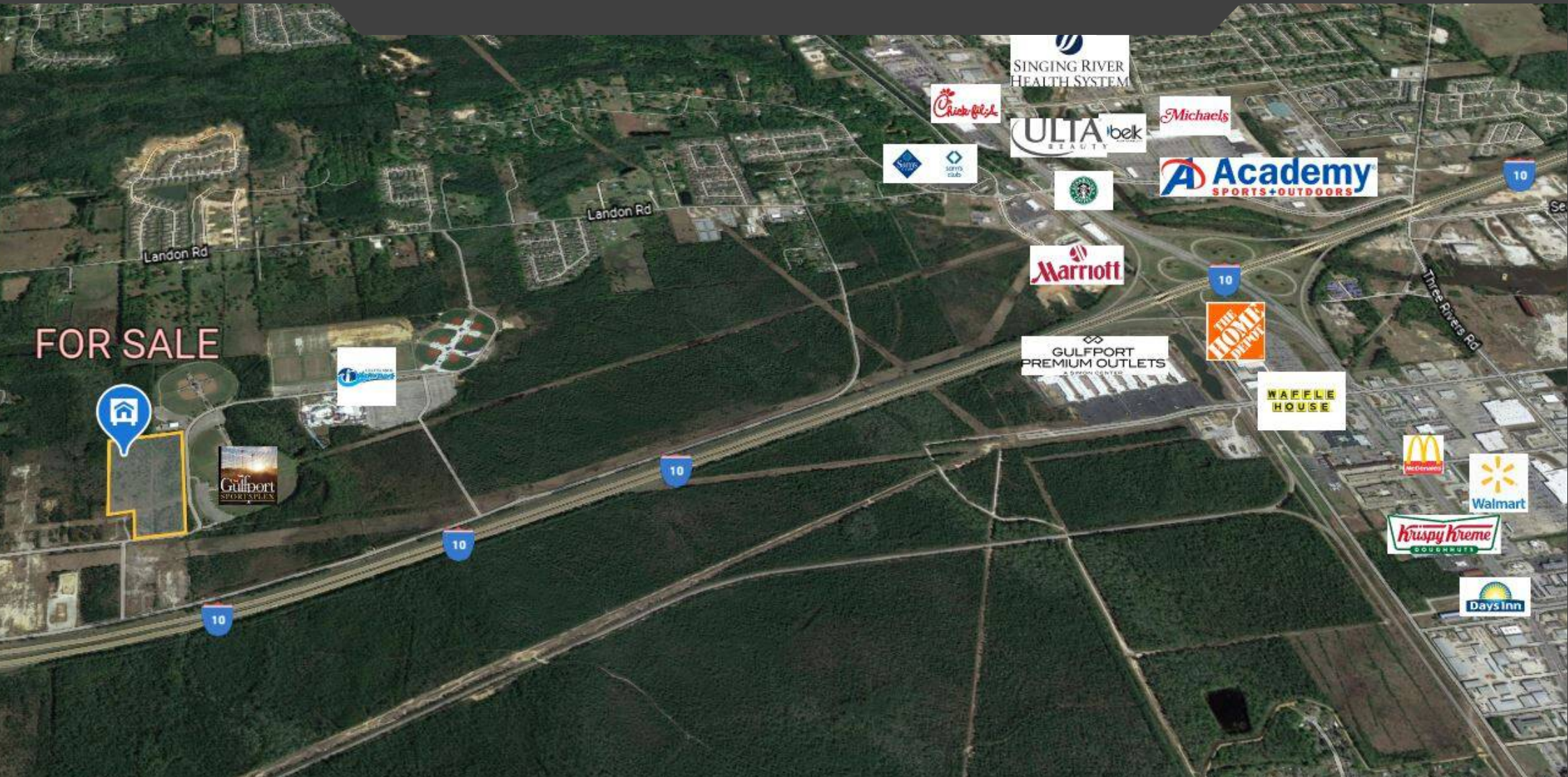
## GULFPORT

Gulfport is the second-largest city in Mississippi and offers a variety of eateries, entertainment, recreation adventures and industry pillars. Hallmark locations such as the Port of Gulfport, Gulfport/Biloxi International Airport, Gulf Blue, Gulfport Sportsplex, Mississippi Aquarium, Jones Park, Lynn Meadows Discovery Center and much more are situated in the vibrant community of Gulfport.



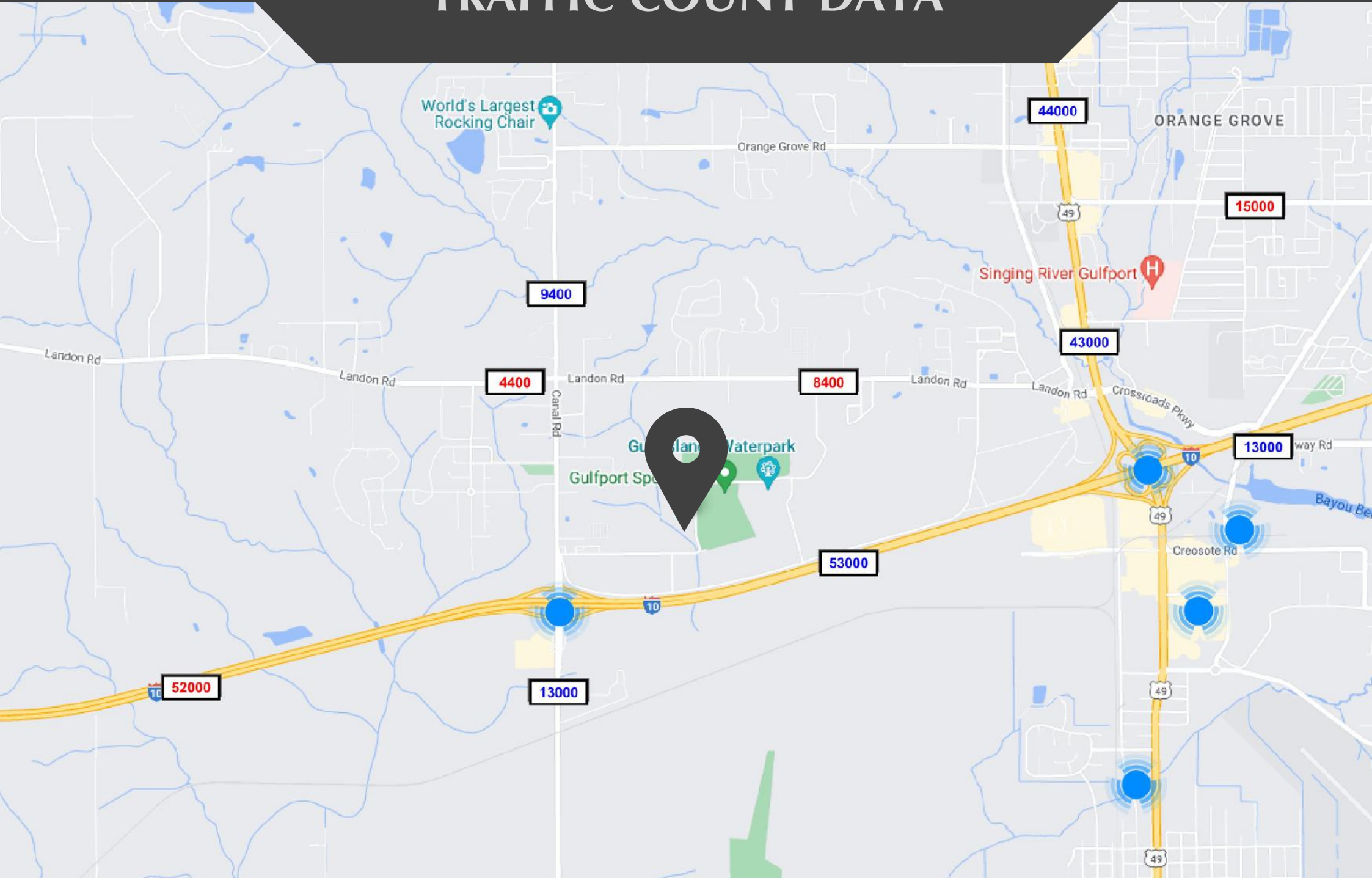


# NEIGHBORHOOD





# TRAFFIC COUNT DATA

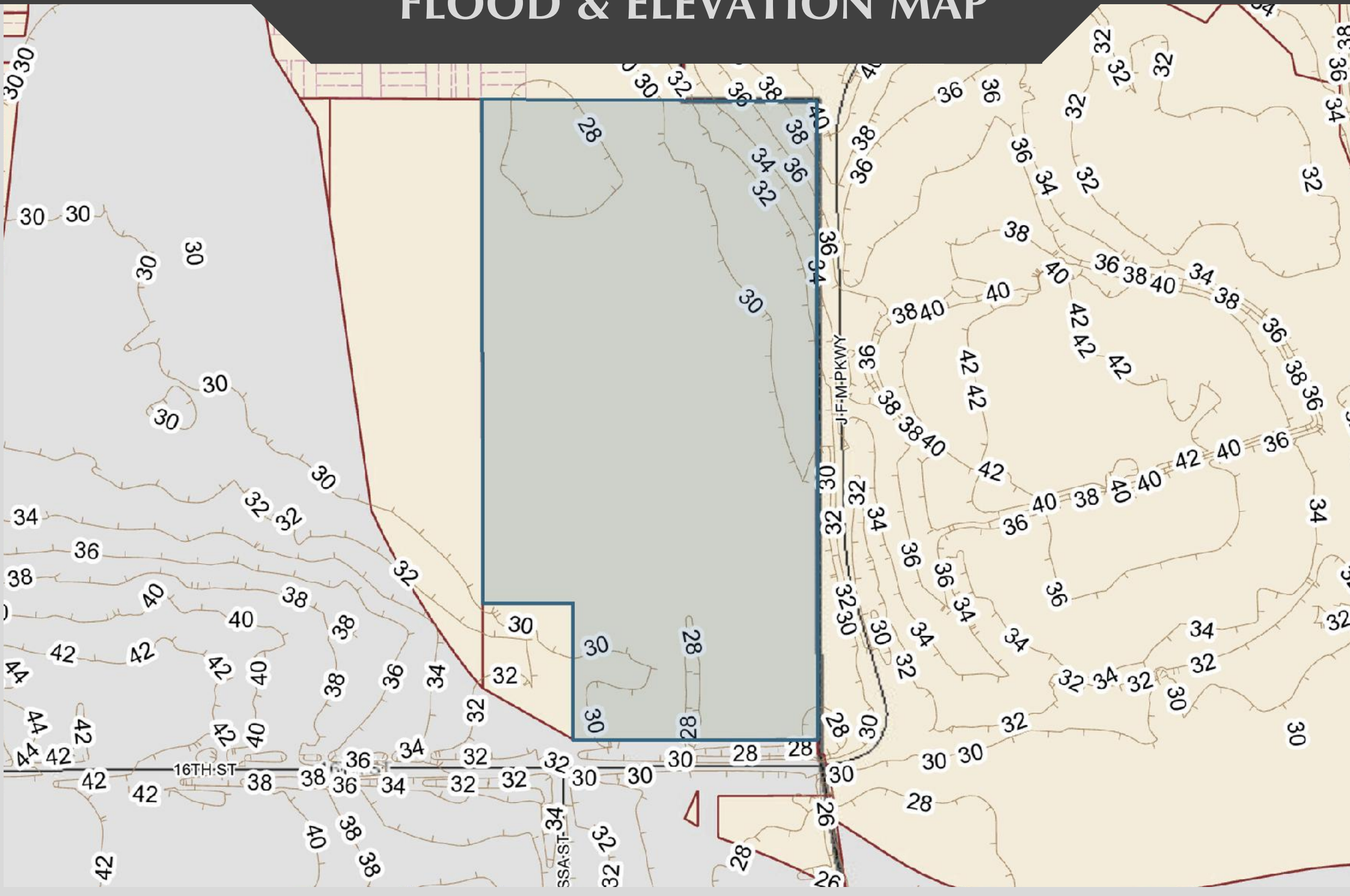


# LOT MAP

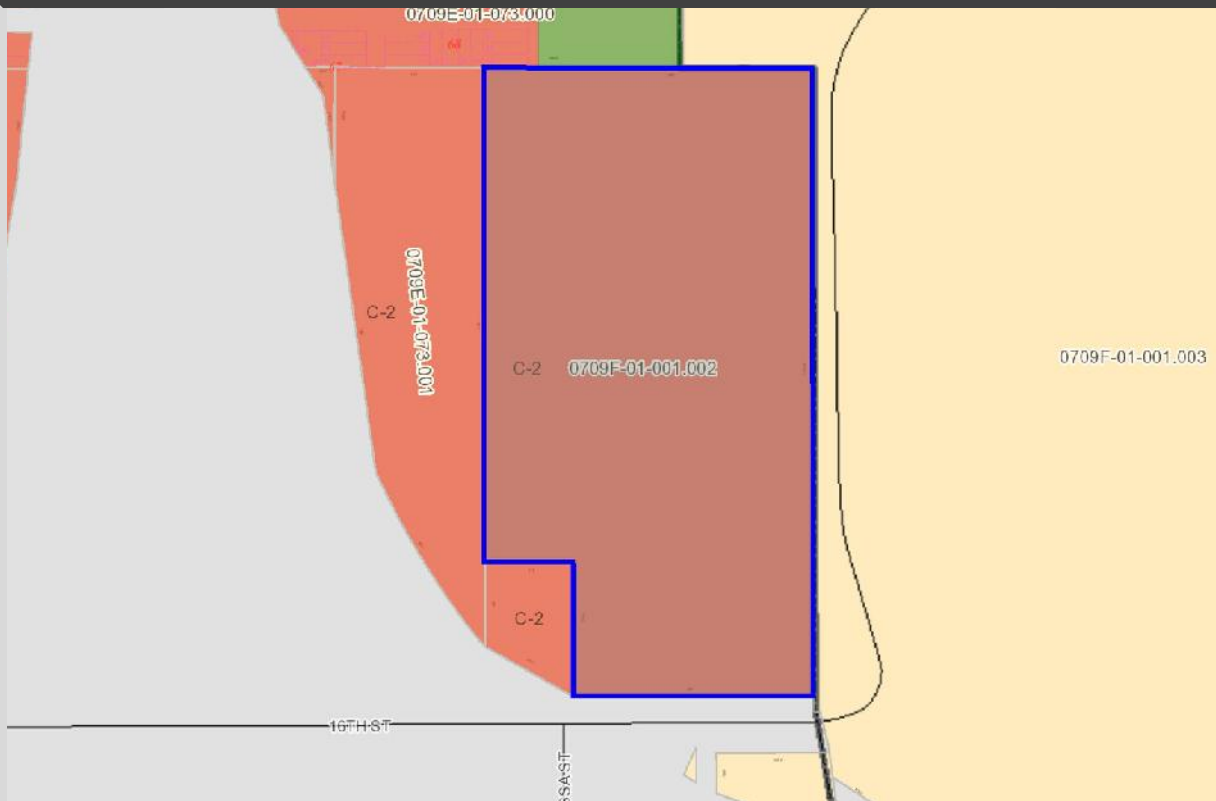




# FLOOD & ELEVATION MAP



# ZONING INFORMATION



## B2 - GENERAL BUSINESS DISTRICTS

These districts are composed of land and structures occupied by or suitable for uses furnishing, in addition to the retail goods and services supplied by the neighborhood business districts, the wider range of retail goods and services required by residents of a group or community of neighborhoods, and by the city generally. Usually located on a thoroughfare or highway or near the intersection of principal thoroughfares or highways, these districts are large and within convenient distance of the area they serve. The district regulations are designed to permit the development of the districts for their purpose in a spacious arrangement of uses and structures. To protect the abutting and surrounding residential areas, certain requirements are placed on uses. It is intended that additional general business districts will be created, in accordance with the amendment procedure of this ordinance, as they are needed to serve groups of new neighborhoods or the city generally.

\*\*\*Chart of Permitted Uses available upon request\*\*\*



# DISTRICT REGULATIONS

Excerpted from the Gulfport Zoning Ordinance

## B2 - GENERAL BUSINESS DISTRICTS

- Permitted uses - Chart available on request.
- Building site area - There is no minimum required building site area, except that multiple-family dwellings permitted as special exception uses shall comply with the building site area requirements specified for the R-B districts.
- Building site coverage - The maximum building site coverage by all buildings shall be fifty (50) percent.
- Building height limit - Except as provided in section IV, no structure shall exceed thirty-five (35) feet in height.
- Yards required - Except as provided in section IV, the minimum dimensions of yards shall be:  
Front yard - 25 feet

(There are no minimum required side or rear yards except that multiple-family dwellings permitted as special exception uses shall have yards as specified for the R-B districts.)



# PHOTOS





# PHOTOS

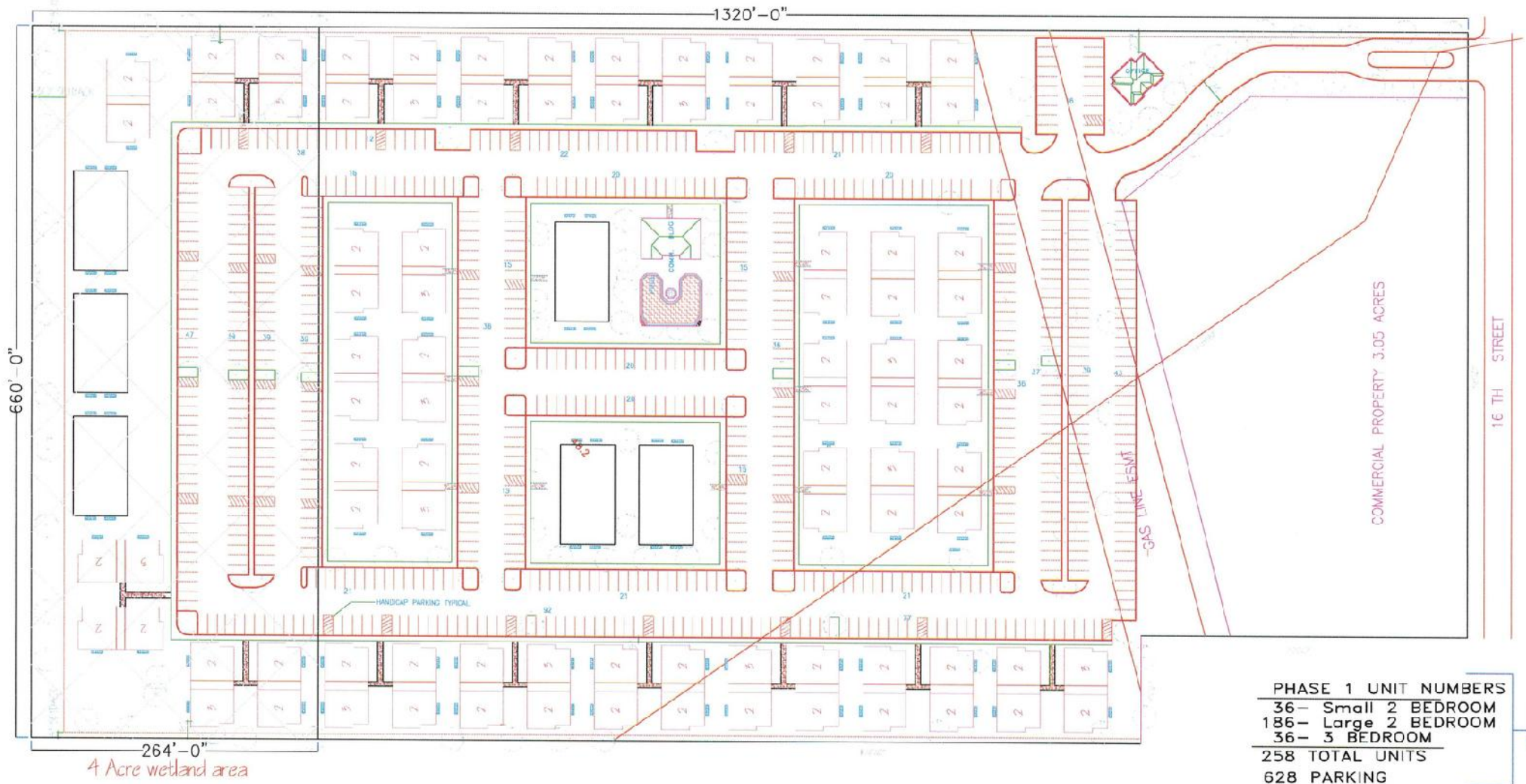








# SITE PLANS



**PHASE 2 UNIT NUMBERS**  
 36- Small 2 BEDROOM  
 33- Large 2 BEDROOM  
 9- 3 BEDROOM  

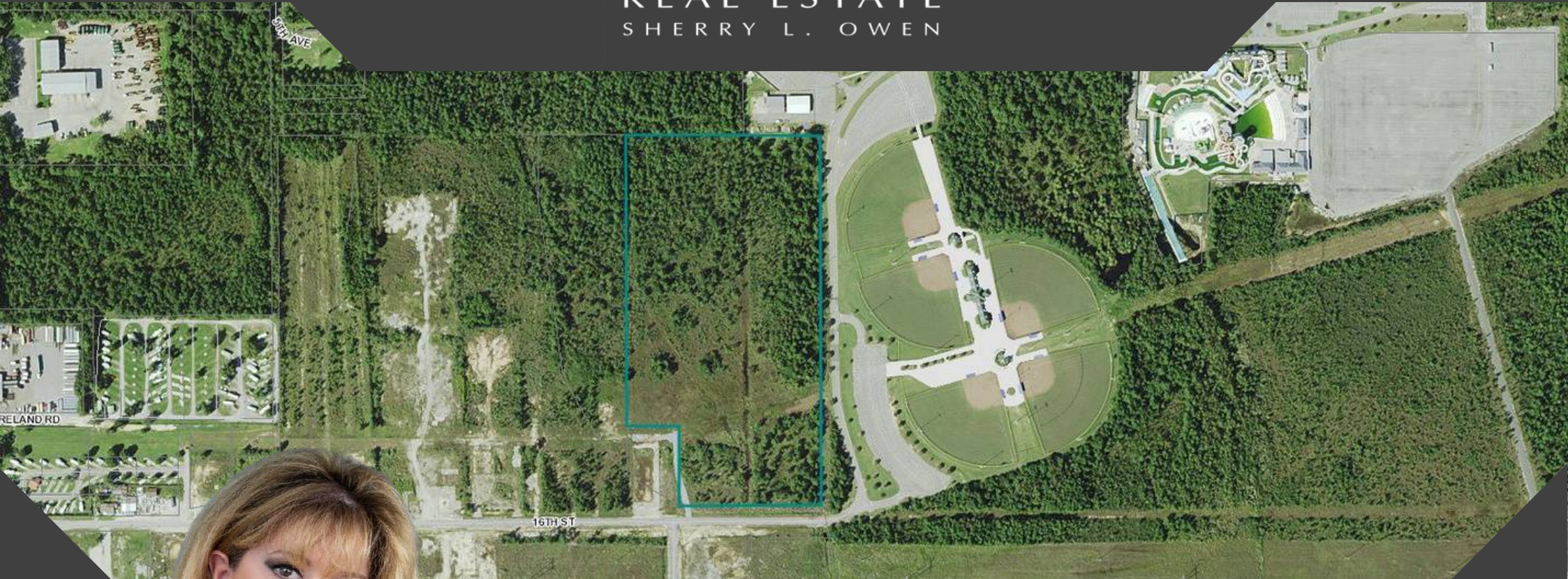

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 78 TOTAL UNITS  
 190 PARKING

N  **SITE PLAN**  
SCALE 1/4" = 10'-0"



Owen & Co., LLC  
REAL ESTATE  
SHERRY L. OWEN



**OWEN & CO LLC, REAL ESTATE**  
**Sherry L. Owen**  
CRS, GRI, SFR, ABR  
Owner/Broker

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